

EARLY DESIGN GUIDANCE

DPD #3014484

8026 15th Ave. NW

A Proposed Apartment Development

February 25, 2013

studio **MENG STRAZZARA**

ARCHITECTURE
PLANNING
CONSULTING

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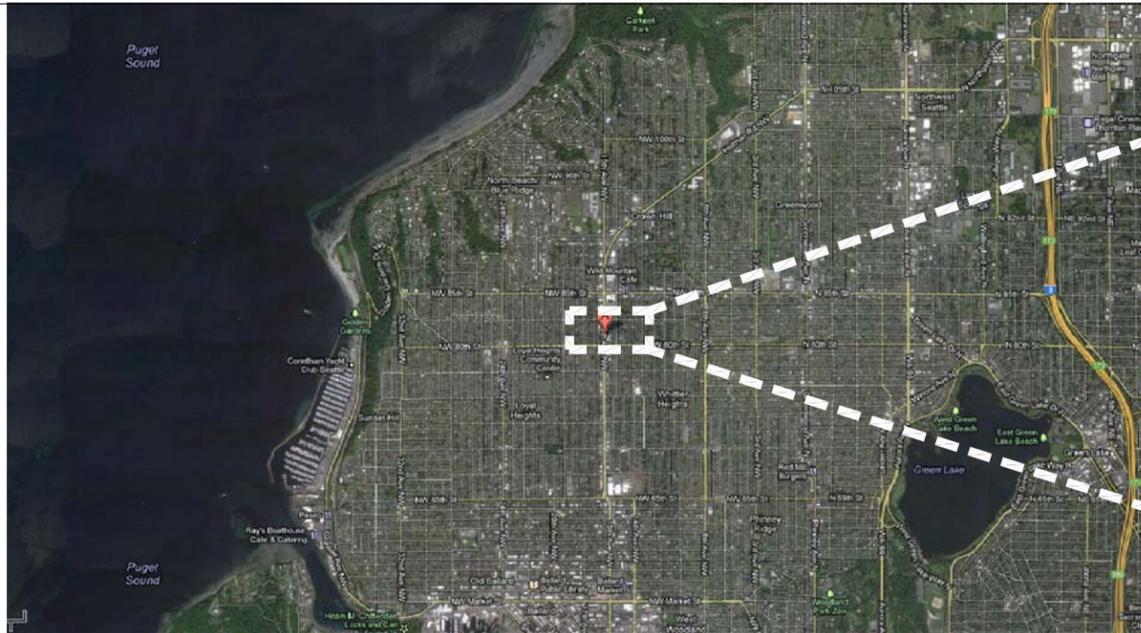
SURVEYOR

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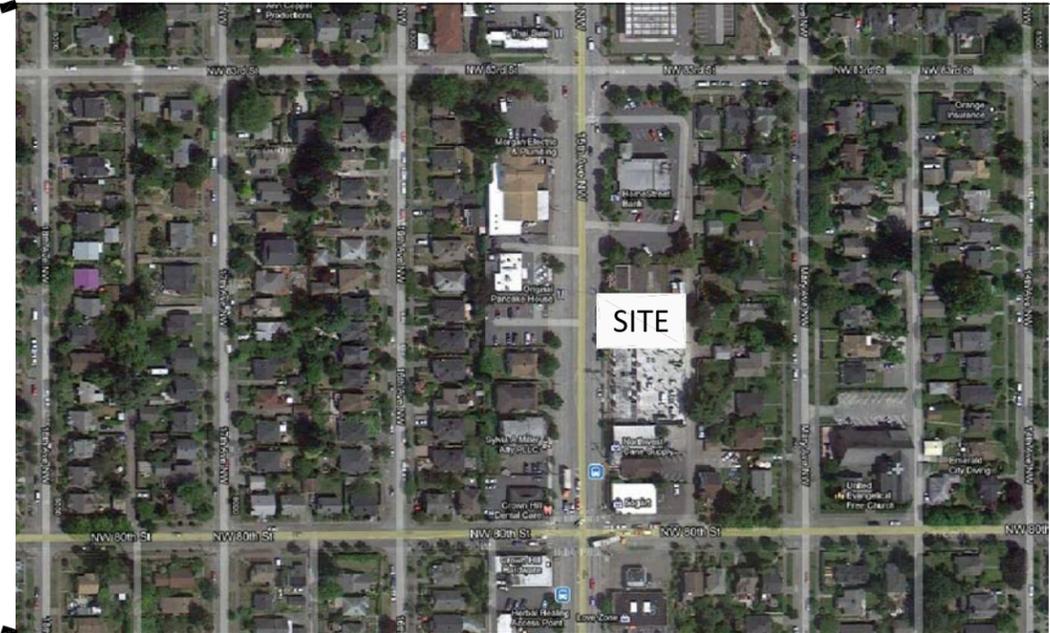
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VICINITY MAP



SITE MAP

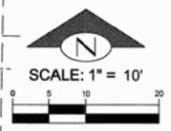
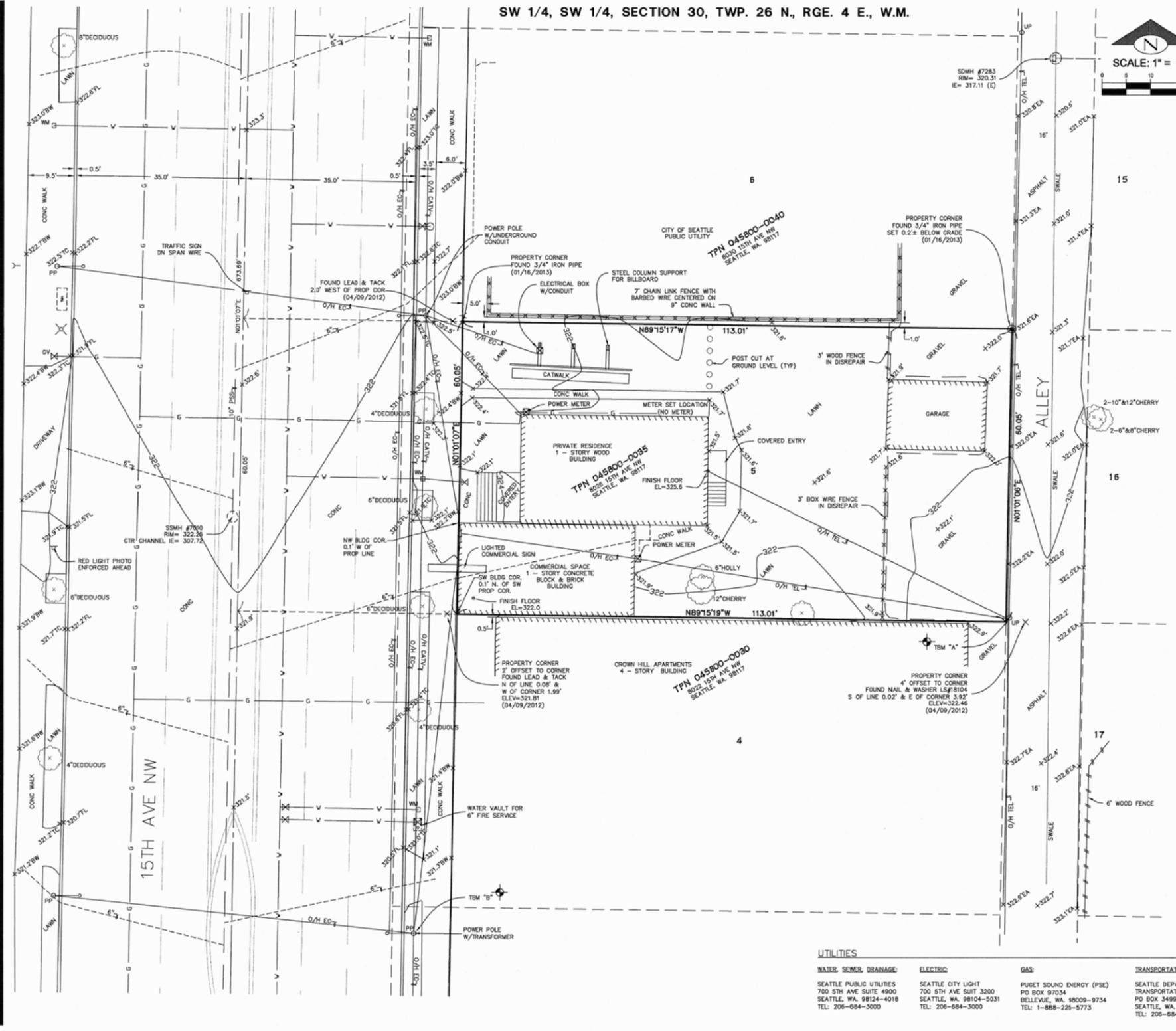


DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
TITLE SHEET

T1

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SW 1/4, SW 1/4, SECTION 30, TWP. 26 N., RGE. 4 E., W.M.



HORIZONTAL DATUM:
 WASHINGTON STATE PLANE COORDINATE SYSTEM NAD 83/2002
 HORIZONTAL CONTROL ESTABLISHED VIA LEICA GEOSYSTEMS SPIDER NET GPS REAL TIME NETWORK.

HORIZONTAL CONTROL:
 FOUND PUNCH MARK IN BRASS PLUG SET IN CONC MON IN CASE AT INTERSECTION OF 15TH AVE. NW AND NW 83RD ST.
 DOWN 1.6'
 N 255037.3307
 E 1260294.2381

CITY OF SEATTLE MONUMENT
 FOUND PUNCH MARK IN BRASS PLUG SET IN CONC MON IN CASE AT INTERSECTION OF 15TH AVE. NW AND NW 80TH ST.
 DOWN 1.3'
 N 254363.7859
 E 1260282.2615

BASIS OF BEARING
 HELD A BEARING OF NORTH 01°01'07" EAST ALONG 15TH AVENUE NORTHWEST, BETWEEN FOUND MONUMENTS AS NOTED AT THE INTERSECTIONS NORTHWEST 80TH STREET & NORTHWEST 83RD STREET.

VERTICAL DATUM:
 NAVD 88

BENCHMARKS

ORIGINAL BENCHMARK:
 VERTICAL CONTROL MONUMENT
 CITY OF SEATTLE (SNP 8-19)
 FOUND PUNCH MARK IN 2" BRASS DISC SET IN CONC WALK.
 STAMPED: "CP 8-19"
 ELEV=328.51

SITE BENCHMARKS:
 TBM "A":
 SET RAIL ROAD SPIKE IN THE SOUTH FACE OF UTILITY POLE AT THE SOUTHEAST CORNER OF SITE.
 ELEVATION=324.72
 TBM "B":
 SET RAIL ROAD SPIKE IN THE EAST FACE OF POWER POLE ON THE WEST SIDE OF SITE AND 66± FEET SOUTH OF PROPERTY.
 ELEVATION=322.72

- SYMBOL LEGEND**
- PP O WOODEN POWER POLE
 - PP O WOODEN POWER POLE WITH LIGHT
 - UP O UTILITY POLE
 - TELEPHONE VAULT
 - ELECTRICAL JUNCTION BOX
 - GUY ANCHOR
 - CATCH BASIN TYPE II
 - SDCO STORM DRAIN CLEANOUT
 - SANITARY SEWER MANHOLE
 - SIGNS
 - GAS VALVE
 - GAS METERS
 - FIRE HYDRANT
 - WATER MANHOLE
 - WATER METER
 - GATE VALVE
 - WATER VAULT
 - BACK OF WALK
 - EA EDGE OF ASPHALT
 - FL CURB FLOW LINE
 - TC TOP OF CURB
 - DECIDUOUS TREES <12" DIA. TRUNK
 - DECIDUOUS TREES >=12" DIA. TRUNK

- LINE LEGEND**
- 8" PSS
 - SANITARY SEWER MAINLINES < 12"
 - SIDE SEWERS
 - 8" PSD
 - STORM DRAIN MAINLINES < 12"
 - OH E/C
 - OVERHEAD ELECTRICAL LINES
 - ECD
 - ELECTRICAL CONDUITS & ELECTRICAL DUCTS
 - 4" G
 - OR FUEL GAS MAINLINES
 - 20" C.I.P.
 - WATER MAINLINES & SERVICES
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - STEEL FENCES (CHAIN LINK, BARBED WIRE, ETC.)
 - WOOD FENCES
- *NOTE: MAY ALSO CONSIST OF TELEPHONE AND CABLE WIRES

UTILITIES

WATER, SEWER, DRAINAGE SEATTLE PUBLIC UTILITIES 700 5TH AVE SUITE 4900 SEATTLE, WA 98124-4918 TEL: 206-684-3000	ELECTRIC SEATTLE CITY LIGHT 700 5TH AVE SUIT 3200 SEATTLE, WA 98104-5031 TEL: 206-684-3000	GAS PUGET SOUND ENERGY (PSE) PO BOX 97034 BELLEVUE, WA 98009-9734 TEL: 1-888-225-5773	TRANSPORTATION SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT) 1313 E COLUMBIA RM 208 SEATTLE, WA 98122 TEL: 206-684-6823	PHONE QWEST (ENGINEERING) 1313 E COLUMBIA RM 208 SEATTLE, WA 98122 TEL: 206-345-8922	CABLE TV COMCAST (ENGINEERING) 1525 75TH ST SW SUITE 200 EVERETT, WA 98203 TEL: 425-398-6025
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 800.488.0756 toll free
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BOUNDARY & TOPOGRAPHIC SURVEY FOR

GRE - CROWN HILL 2
 8026 15TH AVE N.W.
 SEATTLE, WA. 98117
 WASHINGTON

QUALITY F. FREEMAN, PLS
 PROJECT MANAGER

LOANIE E. CARLSON, PLS
 PROJECT SURVEYOR

PROJECT ENGINEER

PROJECT LANDSCAPE ARCHITECT
 FIRST SUBMITTAL DATE: 01/22/2013
 SCALE: HORIZ: 1"=10' VERT:

1/25/13

STAMP NOT VALID UNLESS SIGNED AND DATED

JOB NO. **13-005**

SHEET NO. **2 of 2**

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DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
 SITE SURVEY PLAN

A1

ZONING CODE SUMMARY

PROPERTY ADDRESS: 8026 15th Ave NW, 98117
 PARCEL NUMBER: 045800-0035
 ZONE: NC2-40
 OVERLAYS: CROWN HILL(RESIDENTIAL URBAN VILLAGE)
 MAPPED ECA: NO
 LOT AREA: 6,780 SF
 FAR: 3.25
 LEGAL DESCRIPTION: BALLARD HEIGHTS LESS POR FOR ST

PROJECT DESCRIPTION

Demolish existing commercial building and single family residence and construct a 4-story mixed use apartment building. A leasing office and one live/work unit will be located along the 15th Ave NW street frontage with 14 parking at-grade parking stalls located off the existing alleyway. Three stories consisting of 8 residential units sit above the ground level.

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REQUIREMENT FOR NC2-40 ZONE

PARKING REQUIREMENTS:

SMC 23.54.015 Chart B- Parking For Residential Uses

Use M - All residential uses in commercial and multifamily zones within urban villages that are not within an urban center or the Station Area Overlay District, if the residential use is located within 1,320 feet of a street with frequent transit service, measured as the walking distance from the nearest transit stop to the lot line of the lot containing the residential use. (1) No minimum requirement.

Parking Quantity Exceptions: Frequent Transit Corridor

Required parking:

0 Parking Stalls

Proposed Unit & Parking Stalls:

24 Residential Units

1 Live/Work Unit

14 Parking Stalls Provided

FLOOR AREA RATIO (FAR)

SMC 23.47A.013 Chart A: Maximum Floor Area Ratio (FAR)

Outside of the Station Area Overlay District

Total permitted for all uses within a mixed-use structure containing residential and non-residential uses for 40'-0" height limit= 3.25

Calculation

Gross Floor Area of Buildings= FAR x Total Area of Lot

Allowed Gross Floor Area of Buildings= 22,035 SF

(3.25 x 6,780 SF)

Proposed Gross Floor Area of Buildings:

Parking Level= 5,840 SF

Level 2,3,4 = 5,370 SF

Gross Floor Area= 21,950 SF

RESIDENTIAL AMENITY AREA

SMC 23.47A.024

Proposed Residential Gross Floor Area= 17,950 SF @ 5% = 898 sf.

Area provided - Roof Terrace 900 sf

Amenity Area Requirements:

1.) All residents shall have access to at least one common or private amenity area.(SMC 23.47A.024B1)

2.) Amenity Area shall not be enclosed.(SMC 23.47A.024B2)

3.) Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size.(SMC 23.47A.024B4)

PERMITTED AND PROHIBITED USES

SMC 23.47A.004

CHART A: Residential uses are permitted in NC 2-40 Zones

STREET-LEVEL USES

23.47A.005

C. Residential uses at street level

1. Residential uses are generally permitted anywhere in a structure in NC2 zones, limited to 20% of the Street facing facade at arterial streets.

SETBACK REQUIREMENTS

SMC 23.47A.014

B. Setback requirements for lots abutting or across the alley from residential zones.

3. For a structure containing a residential use, a setback is required...as follows

a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet

4. One-half of the width of an abutting alley may be counted as part of the required setback.

Building rear setback (from center of alley) 15 feet

Building side setback 0 feet

Building front setback 6 feet

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
 ZONING CODE SUMMARY

A2

REQUIREMENT FOR NC2-40 ZONE (CONTINUED)

LANDSCAPING AND SCREENING STANDARDS

SMC 23.47A.016

Landscaping Requirements:

Landscaping achieves a Green Factor score of .30 or greater, pursuant to the procedures set forth in Section 23.86.019. (SMC 23.47A.016A2)

Street Tree Requirements:

Street trees are required when any development is proposed, except as provided in subsection 23.47A.016.B2 and section 23.53.015.

Existing street trees shall be retained unless DOT approved its removal. (SMC 23.47A.016B1)

General standards for screening and landscaping where required for specific uses.

1.) Screening shall consist of fences, walls, hedges, or landscaped berms. Any type of screening shall be at least as tall as the height specified in subsection 23.47A016.D.

Proposed Landscaping and Screening

- 1.) 7'-0" high metal cyclone fence for climbing plants (i.e. ivies) to serve as screening and part of the landscaping requirements.
- 2.) Street trees will be provided.
- 3.) Landscaping will be provided at front building setback area

Landscaping and Screening Waiver and Reduction:

- 1.) When it would not otherwise be feasible to provide the required number of spaces. (SMC 23.47A.016D1d3)

ACCESS TO LOTS

SMC 23.53.005

A.1. For residential uses, at least 10' of a lot line shall abut on a street or private vehicle access easement.

SOLID WASTE & RECYCLABLE MATERIALS STORAGE SPACE

SMC 23.54.040

For Multifamily Structure Size 16-25 units:

Minimum Area for Storage Space = 225 Square Feet

SMC 23.54.040.B Mixed use development that contains both residential and nonresidential uses shall meet the storage space requirements shown in Table A for residential developments, plus 50 percent of the requirement for nonresidential development.

For Nonresidential Development 0-5,000 sf:

Minimum Area for Shared Storage Space = 82 sf x .5 = 41 sf

Total Area for Shared Storage Space - 266 sf

Container Type = Front-loading containers

- a. The storage space shall have a horizontal dimension of 12 feet

STRUCTURE HEIGHT LIIMIT

SMC 23.47A.012

SMC 23.32 Official Land Use Map= 40'-0" Height Limit

Structure Height Exception:

A.1.a. In zones with a 30' or 40' mapped height limit, the height of a structure may exceed the limit by up to 4' when the non-residential use on the street level has a min.floor to floor ht. of 13'; or the first floor of a residential use is located on a street level, street-facing facade and is 4' above sidewalk grade.

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STREET-LEVEL DEVELOPMENT STANDARDS

SMC 23.47A.008

A. Basic street-level requirements;

2.b. Blank facades that face towards the street cannot exceed 20' wide at heights between 2'-8' above the sidewalk.

2.c. Total of all blank facade segments cannot exceed 40% of the width of the facade along the street.

3. Street-level street-facing facades must be located within 10' of street lot line unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

B. Non-residential Uses (Live-Work)

2. Transparency

- 60% of street facing facade at 2'-8'

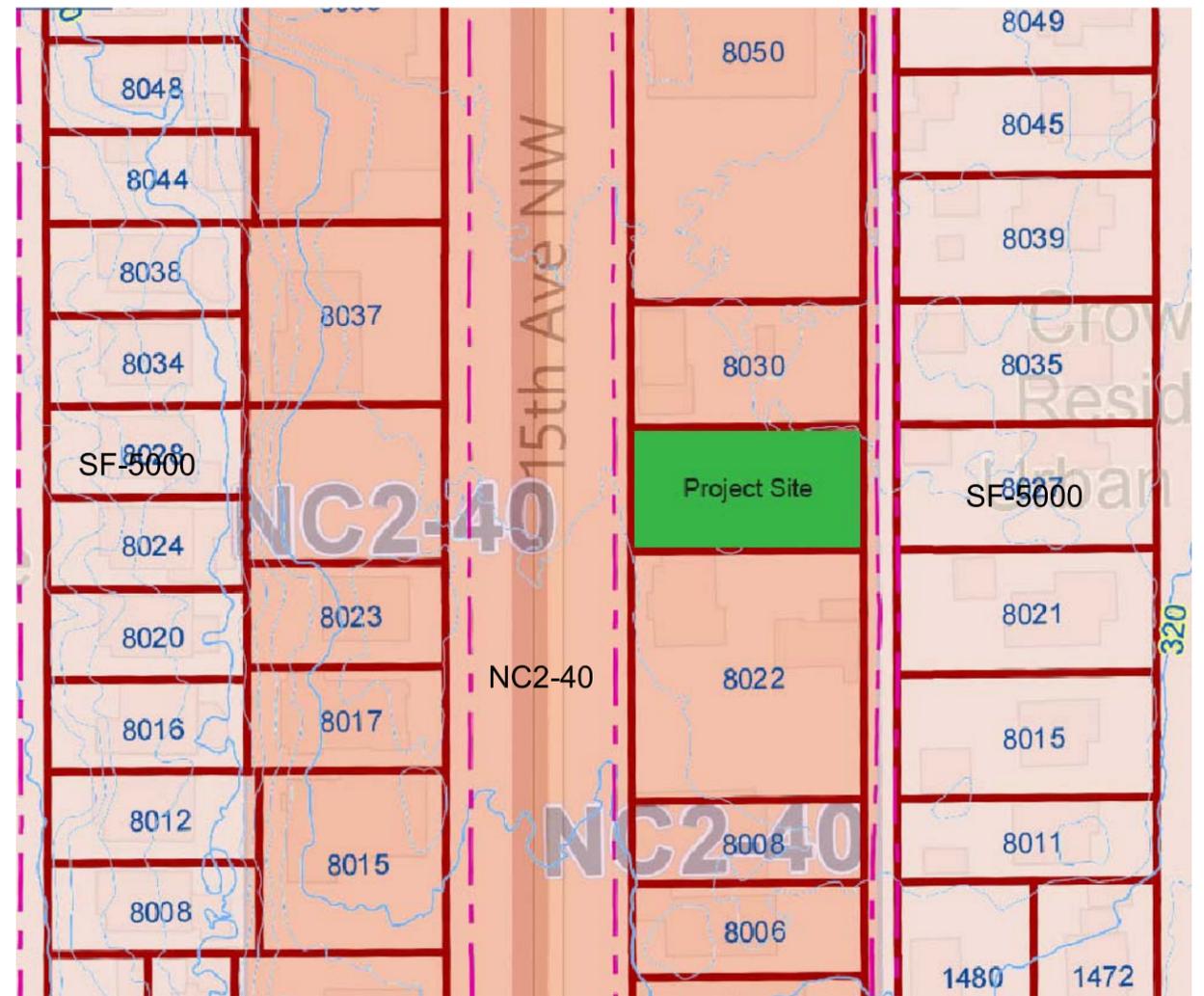
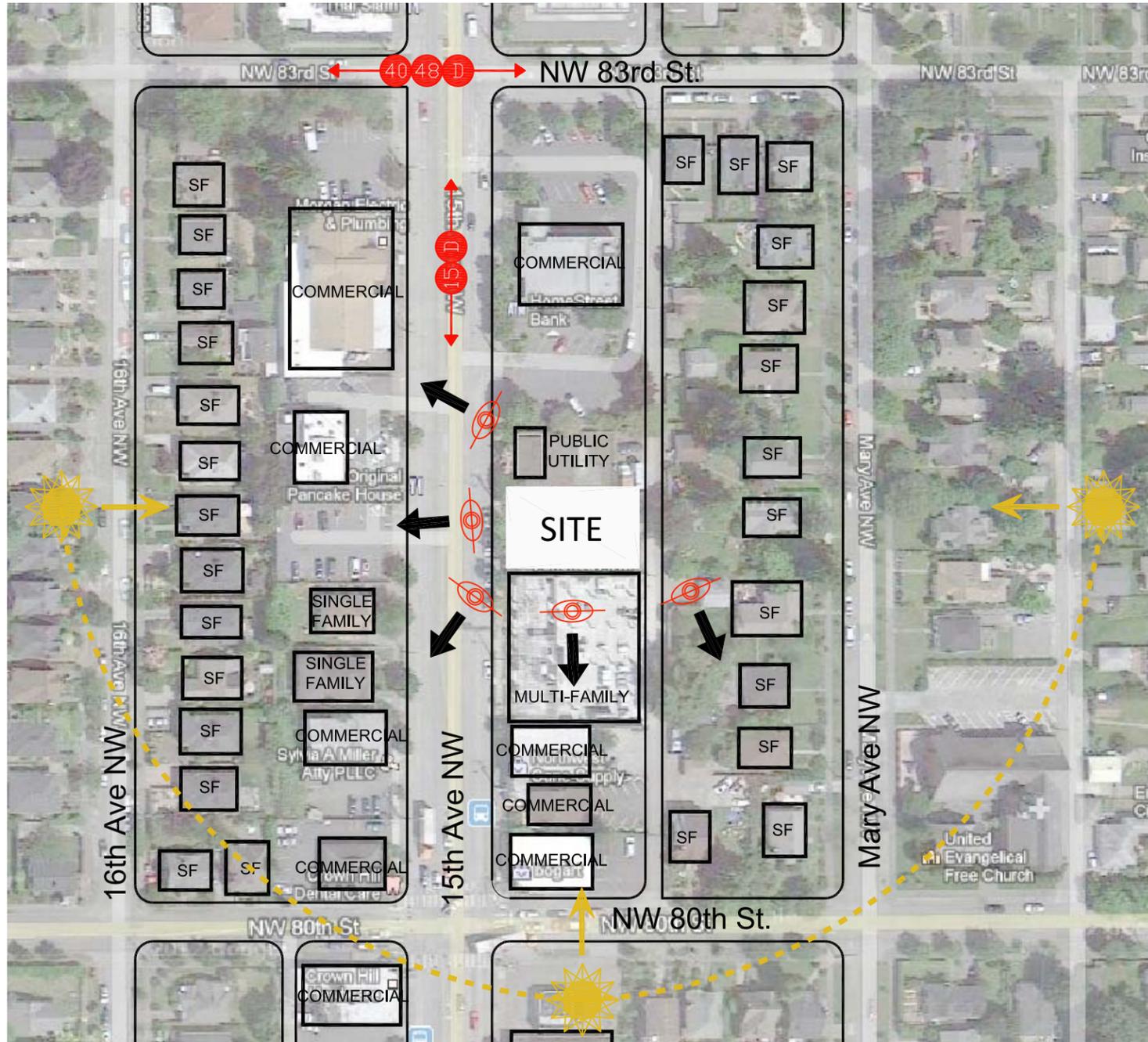
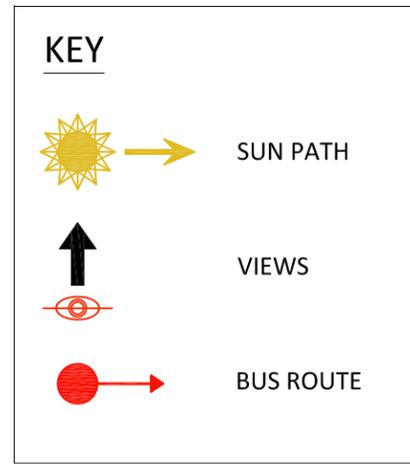
3. Height and Depth

- 13' floor to floor or see Live-Work

- 30' average, 15' min. depth from street.

D.3. When a residential unit is located along the street-facing facade the floor level shall be at least 4' above or 4' below sidewalk grade or be set back at least 10' from the sidewalk.

E. When a live-work unit is located on a street-level, street-facing facade, the portion of each live-work unit in which business is conducted must be located between the principal street and the residential portion of the live-work unit.



1 SITE ANALYSIS MAP
SCALE: NTS



2 ZONING MAP
SCALE: NTS



DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
CONTEXT & ZONING MAPS

A4

PHOTO KEY



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1 - 15TH AVE E LOOKING EAST

PROJECT SITE



2 - 15TH AVE E LOOKING WEST

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
15TH AVE NW PHOTOS

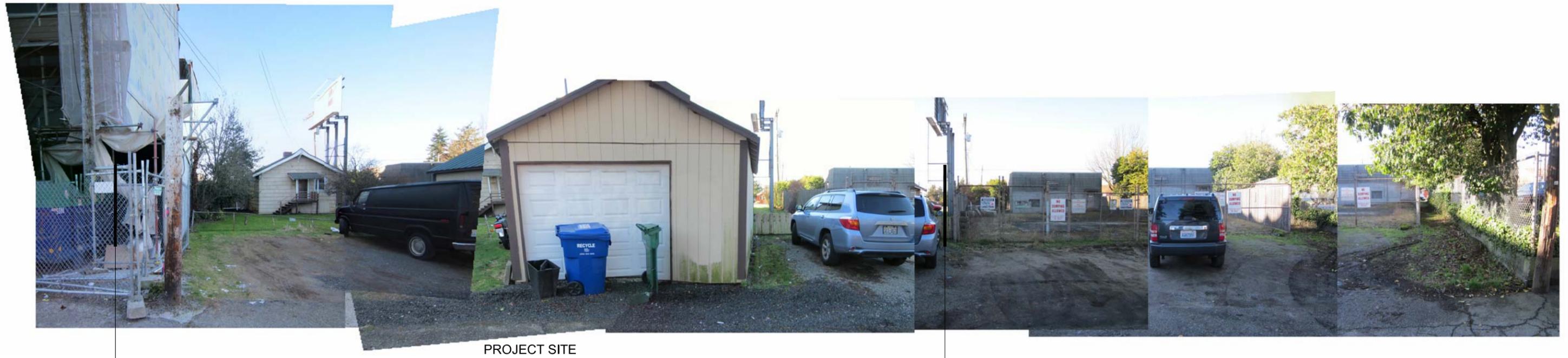
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PHOTO KEY



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3 - ALLEYWAY LOOKING WEST



4 - ALLEYWAY LOOKING EAST

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
ALLEYWAY PHOTOS

A6

PHOTO KEY

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5



6



7



8



9



10



11



12



13



14



15



16



17



18



19

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
SITE CONTEXT PHOTOS

A7

DESIGN GUIDELINES

A-7 Residential Open Space

The proposed development of the site does not leave much room for residential open space at the ground level. Balconies can be provided at some units on the upper levels, but create unsightly "outdoor storage" areas for tenants which detract from the appearance of the building when occupied. We propose that the majority of the residential open space/amenity requirement be met via the creation of a roof deck accessible to all building tenants. This deck will be at a high enough elevation that it will have views of The Olympic Mountains and the City of Seattle.

A-8 Parking & Vehicle Access

The site has right-of-way access along the western edge bordering 15th Avenue NW and alley access, allowing vehicular access from the alleyway.

B-1 Height, Bulk & Scale Compatibility

The immediate area surrounding the site is quite eclectic. The only building that fills their site from lot-line to lot-line is the owner's previous development at the property to the south. Our proposed building configuration provides a continuation of the bulk and scale presented by this building to the south.

C-2 Architectural Concept & Consistency

We intend to use building form, materials, and fenestration to create a cohesive and engaging design which follows a coherent overall concept. Carving from a simple form with bold, layered geometry and organic color differentiation. Rhythmic proportioning will be used to unify design elements within the context of this dynamic streetfront.

C-4 Exterior Finish Materials

This project will be designed under very tight budgetary constraints, making it difficult to incorporate higher-end finishes into the design. However, we are committed to creating a design and details with materials which are visually engaging and durable. We refer the Board to examples of our past work as evidence of our ability to fulfill this commitment.

D-2 Blank Walls

Because portions of the proposed building are built directly to the side property lines, there are four internal lot-line fire walls which can have no openings for fire-resistance reasons. The walls on the south end will be treated monolithically, as they will be covered by the adjacent building construction. The walls to the north will be treated with similarly, although the use of color will be added to make these more visually appealing.

D-6 Screening of Service Areas

The service and garbage collection area is proposed to be located within the building envelope at the parking level.

D-12 Residential Entrance

The residential lobby and entrance has been located near the north of the façade and recessed partially to create an entrance plaza area at the street. The first-floor walls parallel to 15th Ave., along the live-work spaces, angle in from the north and south building corners toward the residential entrance for spatial and formal emphasis. Color differentiation, canopy placement, and signage will also be used to emphasize the "front door" of the project.

DESIGN STATEMENT

This project is a continuation of the development of Crown Hill Residential Urban Village.

As this particular site was being considered for development, the property owner identified the core criteria that would have to be met to result in a successful project. These include:

1. Total construction cost of **less than \$120 per square foot**
2. Target project for **workforce housing** (100% to 120% of median income)

The first criterion derives from financial feasibility limitations. At construction hard costs over \$120/sf, the project is not feasible. The second criterion derives from the challenges of sourcing capital for construction projects in the current economy. Private equity participation is now necessary to make projects of this type happen, and most private equity participants have investment thresholds, one of which is a minimum unit count of 50 dwelling units. The third criterion is driven by demand.

Design Criteria

Following from these two criteria, our design team developed the following design criteria to meet the project requirements:

- No parking below grade.
- Mostly wood-frame construction (i.e. no concrete, minimal steel).
- Use simple building geometry, regular shapes, and compact plans.
- Take a Systems Approach to design.
- Use low life-cycle- and first-cost building materials, finishes, and fixtures.
- Minimize construction waste and material use (e.g. advanced framing, modular geometry, etc.).
- Maximize building perimeter available for dwelling unit daylighting while maintaining appropriate unit sizes and types.



This project development promotes the idea of urban development by providing efficient unit layout along a Frequent Transit Corridor and within the Crown Hill Residential Urban Village.

While some parking is provided within the building, residents will be encouraged to use alternative methods of transportation and take advantage of bus services located along 15th Ave NW.

Potential development of 15th Ave NW Transit Corridor

- = 1-3 years
- = 3-6 years
- = 6-10 years
- = 10+ years

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OPTION 1 - CODE COMPLIANT

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1 PROPOSED SOUTHWEST ELEVATION
SCALE: NOT TO SCALE



2 PROPOSED NORTHWEST ELEVATION
SCALE: NOT TO SCALE



3 PROPOSED NORTHEAST ELEVATION
SCALE: NOT TO SCALE



4 PROPOSED SOUTHEAST ELEVATION
SCALE: NOT TO SCALE

Details:
24 Residential Units
1 Live/Work Units
14 Parking stalls

Gross Square Footage:
Level 1 - 5,840 sf
Level 2 - 5,370 sf
Level 3 - 5,370 sf
Level 4 - 5,370 sf
Total 21,950 sf

Maximum FAR = 3.25(6,780) = 22,035 sf
21,950 GSF < 22,035 sf ok

Description:

- The building is an I-shape with light-wells located along the north and south zero lot-line walls
- The majority of the units face 15th Ave NW and the alleyway.
- 2 internal units have views to the internal lightwell which aligns with the light-well of the property to the south
- Primary views are to the W (Olympic Mountains) and S (City of Seattle).
- Vehicular entrance to on-grade covered parking is located off of the alleyway to the east property line.

Advantages:

- Average unit size of 575 sf
- Building configuration provides maximum daylighting for all units
- Light wells at the north and south of the building provide light and air circulation along zero-lot line walls
- Unit layouts provide for the most comfortable, ideal unit sizes
- No design departures required

Challenges:

- Zero lot line wall treatment

OPTION 1 - CODE COMPLIANT

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PROPOSED GROUND LEVEL

SCALE: NOT TO SCALE



PROPOSED UPPER LEVELS

SCALE: NOT TO SCALE

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OPTION 1 CODE COMPLIANT - CONCEPTUAL PLANS

A10

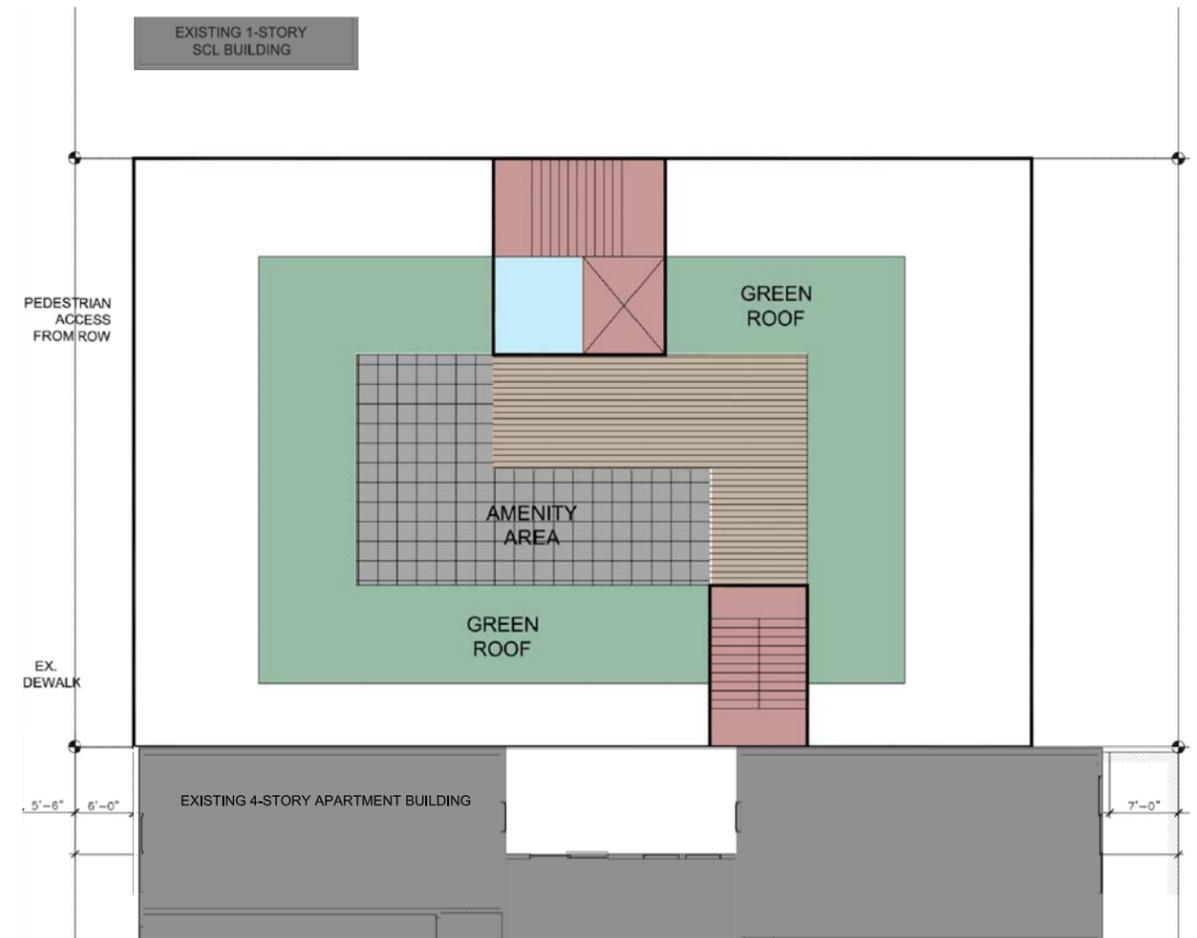
OPTION 1 - CODE COMPLIANT

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PROPOSED 15TH AVE NW ELEVATION
SCALE: NOT TO SCALE



PROPOSED ROOFTOP AMENITY AREA
SCALE: NOT TO SCALE

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
OPTION 1 CODE COMPLIANT - CONCEPTUAL ROOF PLAN AND PERSPECTIVES

A11

OPTION 2 - L-SCHEME

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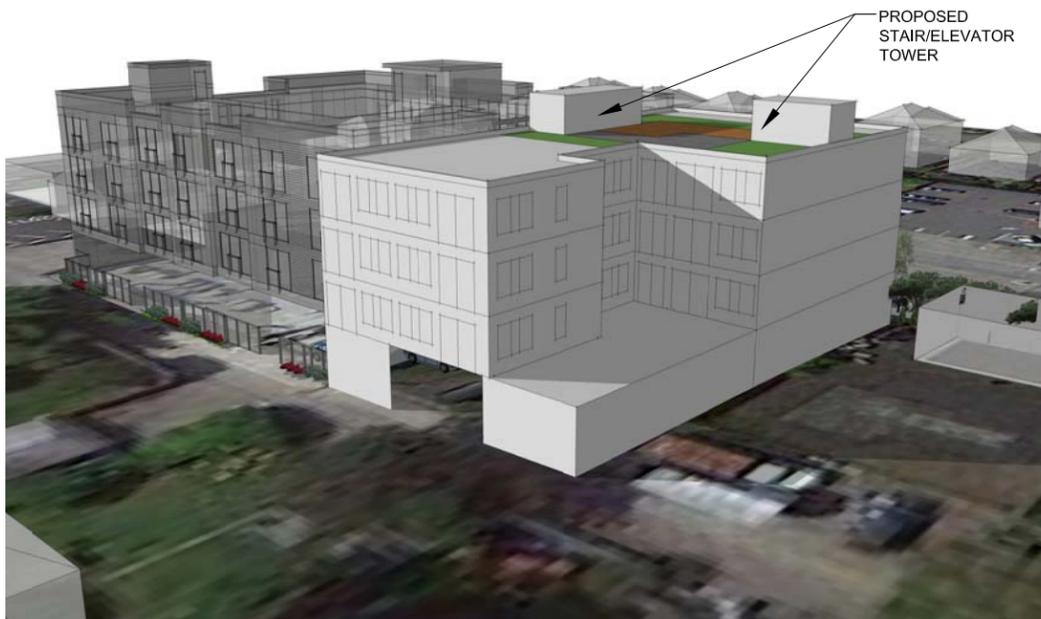
ARCHITECTURE
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1 PROPOSED SOUTHWEST ELEVATION
SCALE: NOT TO SCALE



2 PROPOSED NORTHWEST ELEVATION
SCALE: NOT TO SCALE



3 PROPOSED NORTHEAST ELEVATION
SCALE: NOT TO SCALE



4 PROPOSED SOUTHEAST ELEVATION
SCALE: NOT TO SCALE

Details:

- 24 Residential Units
- 1 Live/Work Units
- 15 Parking stalls

Gross Square Footage:

Level 1 -	6,240 sf
Level 2 -	5,265 sf
Level 3 -	5,265 sf
Level 4 -	5,265 sf
Total	22,035 sf

Maximum FAR = 3.25(6,780) = 22,035 sf
22,035 GSF < 22,035 sf ok

Description:

- The building is L-shaped and setback from the west property line to align with the building to the south.
- The majority of the units face 15th Ave NW with the rest of the units facing a courtyard-like space.
- The primary views to the west are utilized by filling the 15th Ave NW side with units.
- Primary views are to the W (Olympic Mountains) and S (City of Seattle).
- Vehicular entrance to on-grade covered parking is located off of the alleyway to the east property line.

Advantages:

- Average unit size of 545 sf
- The building configuration provide maximum unit exposure to the street while also providing more quiet units in the rear
- Zero-lot line wall construction is minimized on the north side
- No design departures required

Challenges:

- Unit exposure to light and air is tight on the backside
- Units located at the convergence of the L have awkward views
- Courtyard design?

OPTION 2 - L-SCHEME

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1 PROPOSED GROUND LEVEL
SCALE: NOT TO SCALE

2 PROPOSED UPPER LEVELS
SCALE: NOT TO SCALE

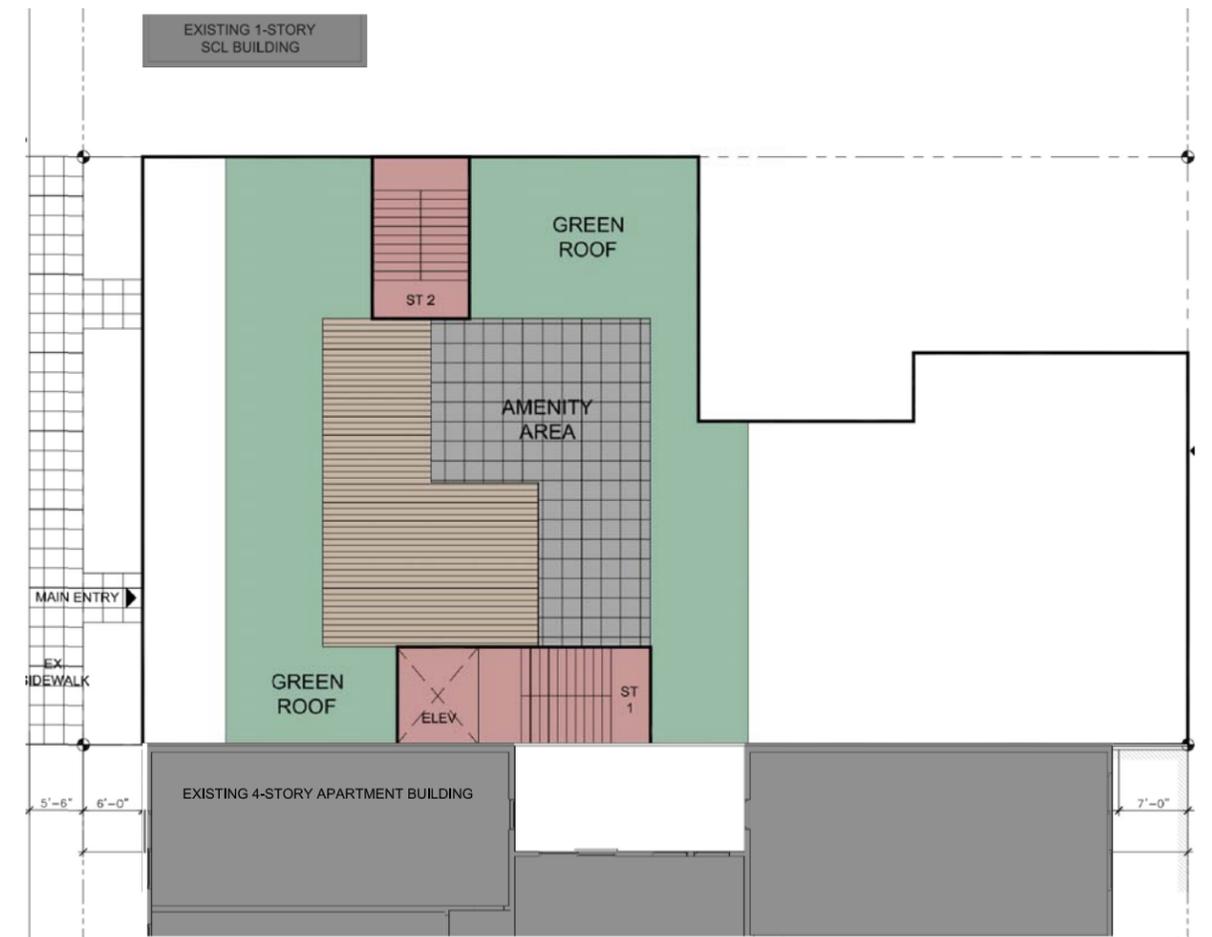
OPTION 2 - L-SCHEME

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PROPOSED 15TH AVE NW ELEVATION
SCALE: NOT TO SCALE



PROPOSED ROOFTOP AMENITY AREA
SCALE: NOT TO SCALE

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
OPTION 2 L-SCHEME - CONCEPTUAL ROOF PLAN AND PERSPECTIVES

A14

OPTION 3 - I-SCHEME W/ MODULATION

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1 PROPOSED SOUTHWEST ELEVATION
SCALE: NOT TO SCALE



2 PROPOSED NORTHWEST ELEVATION
SCALE: NOT TO SCALE



3 PROPOSED NORTHEAST ELEVATION
SCALE: NOT TO SCALE



4 PROPOSED SOUTHEAST ELEVATION
SCALE: NOT TO SCALE

Details:
24 Residential Units
1 Live/Work Units
14 Parking stalls

Gross Square Footage:
Level 1 - 5,840 sf
Level 2 - 5,370 sf
Level 3 - 5,370 sf
Level 4 - 5,370 sf
Total 21,950 sf

Maximum FAR = 3.25(6,780) = 22,035 sf
21,950 GSF < 22,035 sf ok

Description:

- The building is an I-shape with light-wells located along the north and south zero lot-line walls
- Facade modulation along the 15th Ave W frontage and alleyway mimic the rhythm created by the building to the south.
- The majority of the units face 15th Ave NW and the alleyway.
- 2 internal units have views to the internal lightwell which aligns with the light-well of the property to the south
- Primary views are to the W (Olympic Mountains) and S (City of Seattle).
- Vehicular entrance to on-grade covered parking is located off of the alleyway to the east property line.

Advantages:

- Average unit size of 575 sf
- Building modulation creates a more friendly pedestrian level facade
- Building configuration provides maximum daylighting for all units
- Light wells at the north and south of the building provide light and air circulation along zero-lot line walls
- Unit layouts provide for the most comfortable, ideal unit sizes
- No design departures required

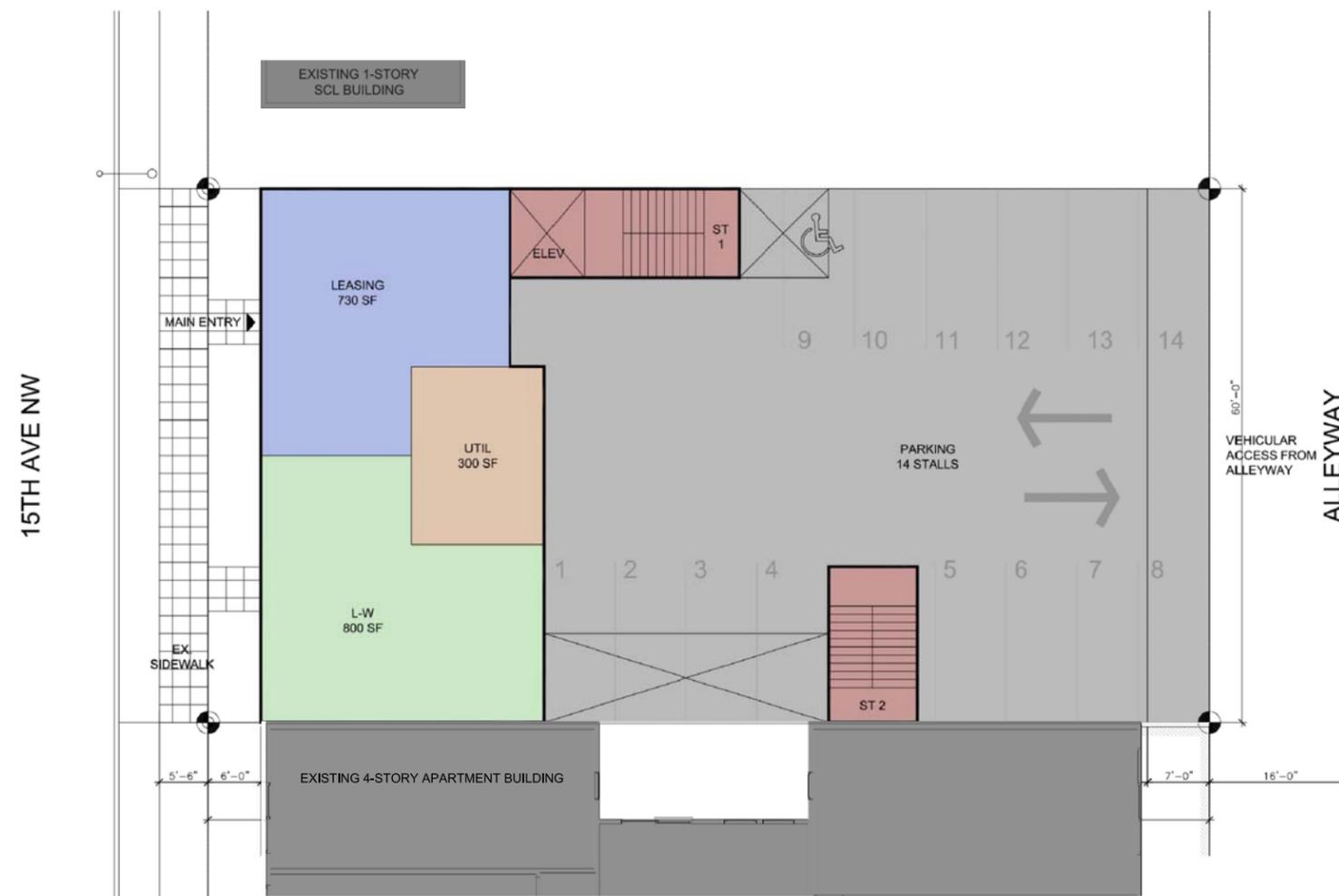
Challenges:

- Zero lot line wall treatment

OPTION 3 - I-SCHEME W/ MODULATION

studio **MENG STRAZZARA**

ARCHITECTURE
PLANNING
CONSULTING



PROPOSED GROUND LEVEL
SCALE: NOT TO SCALE

PROPOSED UPPER LEVELS
SCALE: NOT TO SCALE

DPD #3014484 8026 15TH AVE NW: EARLY DESIGN GUIDANCE
OPTION 3 I-SCHEME W/ MODULATION (PREFERRED SCHEME) - CONCEPTUAL PLANS

A16

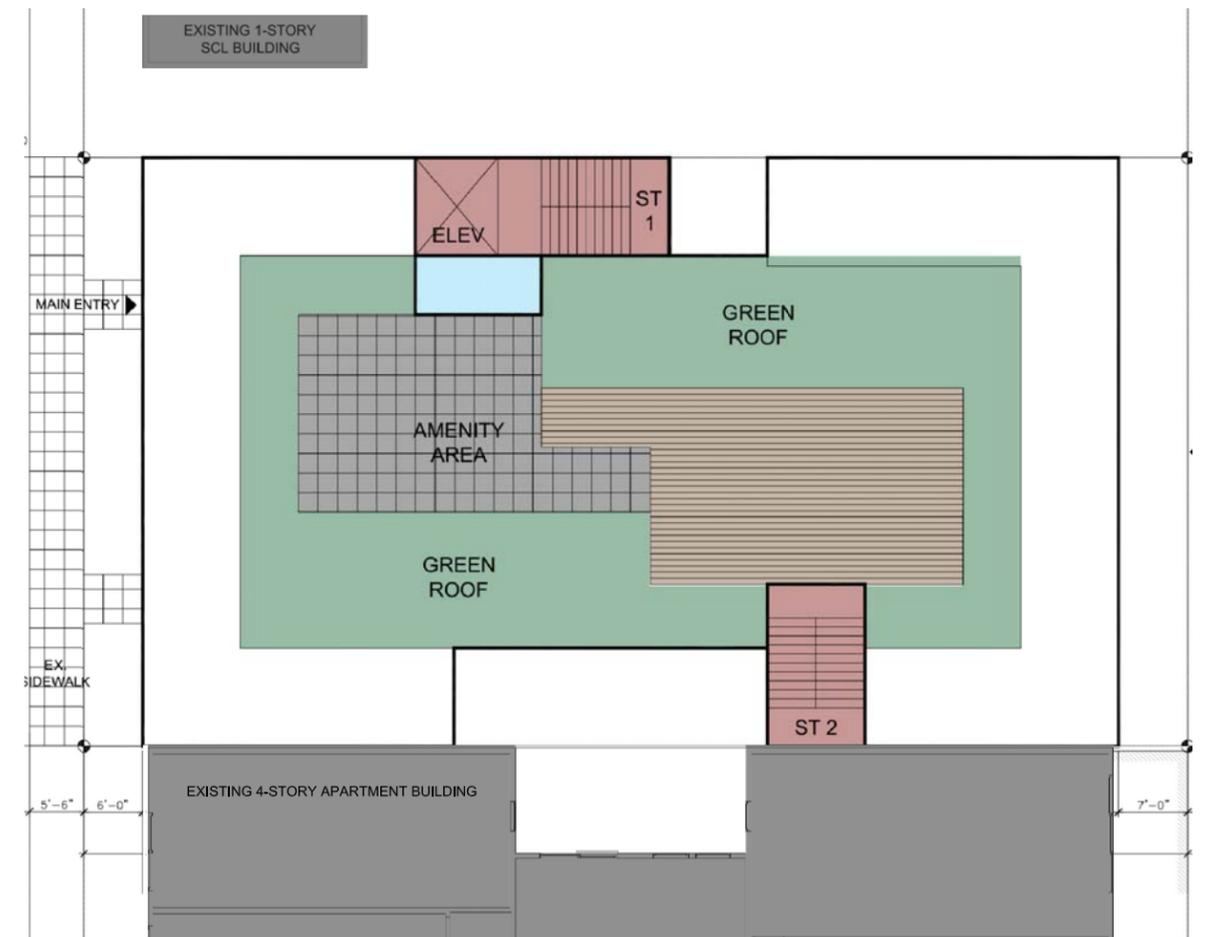
OPTION 3 - I-SCHEME W/ MODULATION

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PLANNING
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PROPOSED 15TH AVE W ELEVATION
SCALE: NOT TO SCALE



PROPOSED ROOFTOP AMENITY AREA
SCALE: NOT TO SCALE

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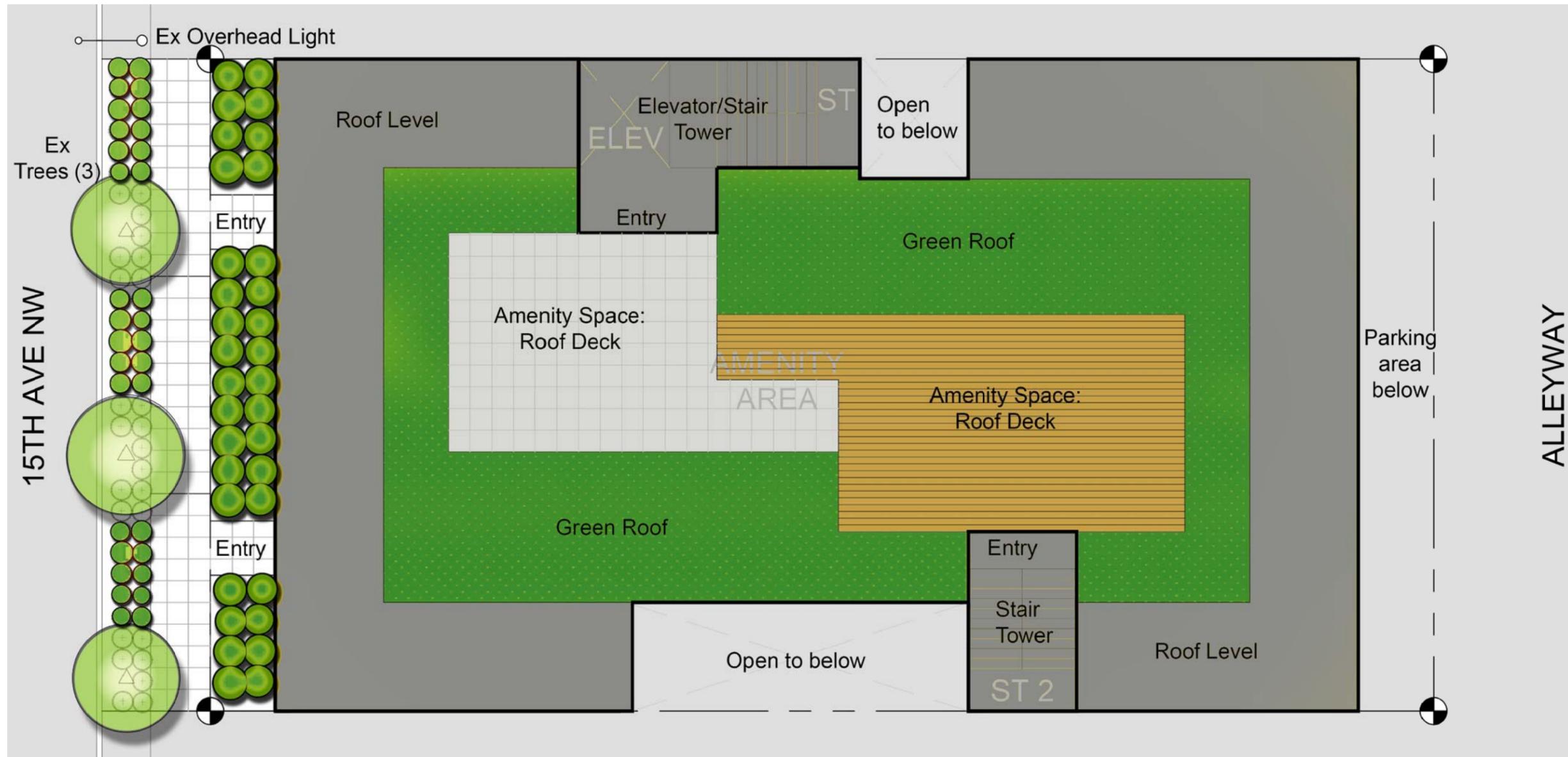
8026 15th Ave NW

DEPARTURES – (OPTION 2 ONLY)

DEVELOPMENT STANDARD REQUIREMENT	REQUEST/PROPOSAL	JUSTIFICATION	ACTION
<p>SMC 23.47A.014.B.3 Setback Requirements “For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows: a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet;</p>	<p>The applicant is requesting relief from the 15 foot required setback at the east end of the building adjacent to the alley way. The applicant is proposing extending the units on the second, third, and fourth floors to the property line, which is 8 feet from the center of the alley.</p>	<p>1) The applicant is requesting relief from the setback requirement in order to allow adequate unit sizing at the eastern most units. 2) Placing the eastern most units along the property line in the L-scheme allows for the other units around the open area to receive more access to daylight and views.</p>	



2 PROPOSED UPPER LEVELS
SCALE: NOT TO SCALE



1 PROPOSED LANDSCAPE PLAN
SCALE: NOT TO SCALE



GREEN ROOF -SEDUM



SERVICEBERRY



ASTILBE



SWORD FERN



PIERIS



MAHONIA



LIRIOPE



SNOWBERRY



SALAL



HEAVENLY BAMBOO



MAGNOLIA



Crown Hill

February 2013

Plant Images

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PROPOSED LANDSCAPE PALETTE

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