



Development Objectives

Desired Uses:

- Commercial use at street level
- Residential lobby and amenity space at street level
- A mix of studio, one-bedroom and two-bedroom units on upper 5 floors
- Parking use at street level and basement
- Rooftop garden, pea patch and dog garden

Structural Height:

65'

Residential Units:

Approximately 119 units

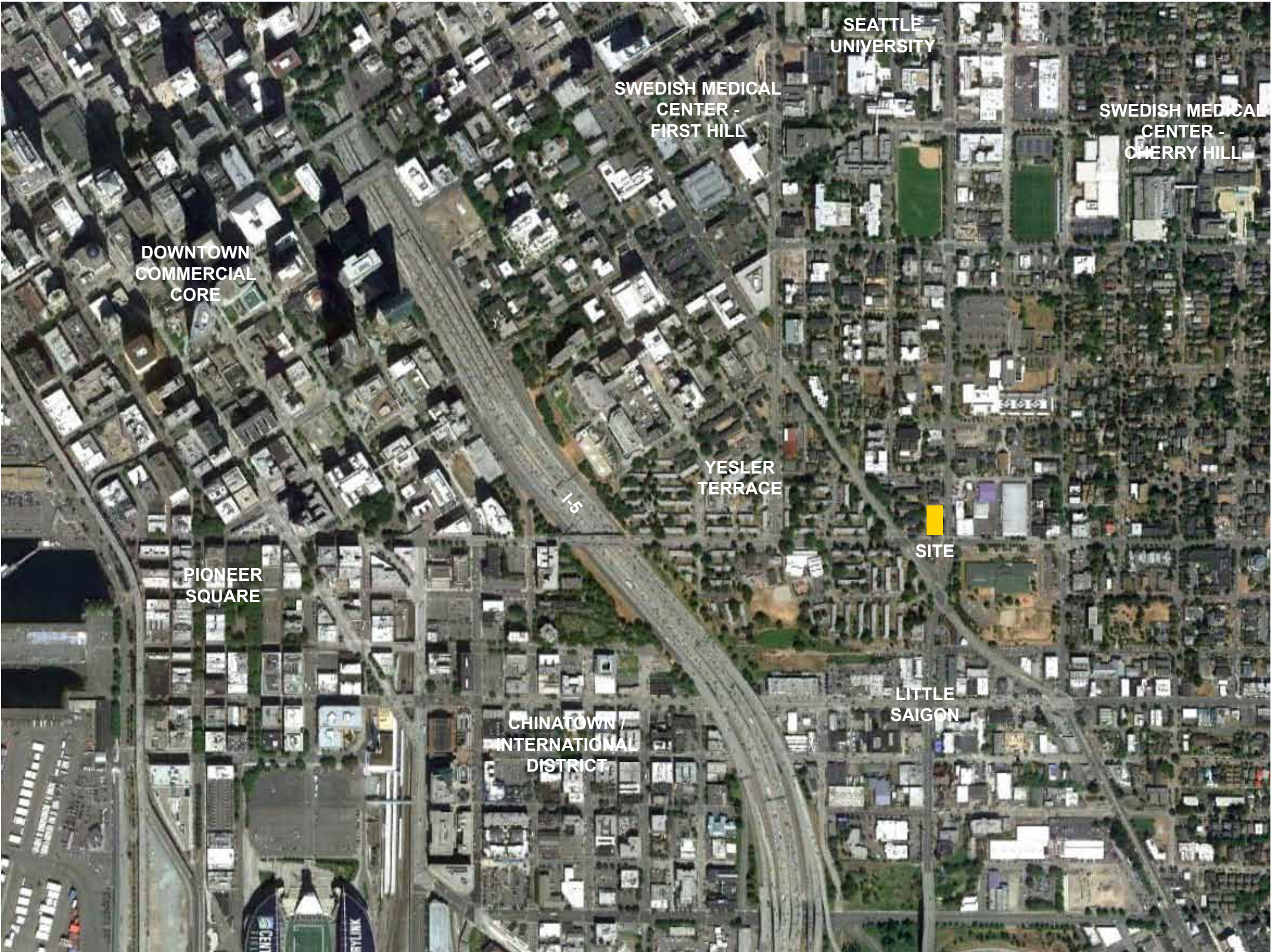
Commercial Square Footage:

Approximately 4,000 sf

Parking Stalls:

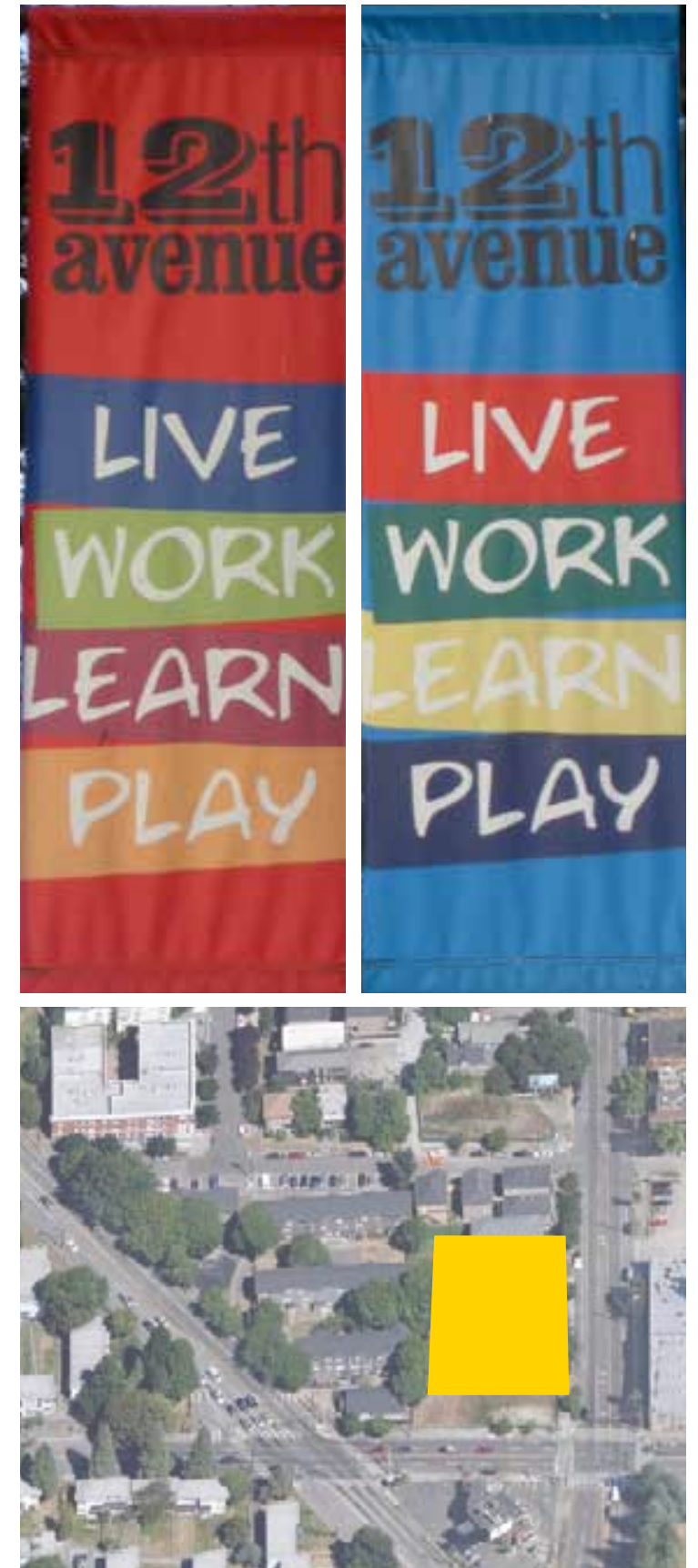
Approximately 48 stalls at low ratio of 0.4 stall per unit

North



The applicant's objective is to create a pioneer project as the first private development of Yesler Terrace, and provide a walkable transit oriented development for workforce housing containing an effective mix of incomes and uses.

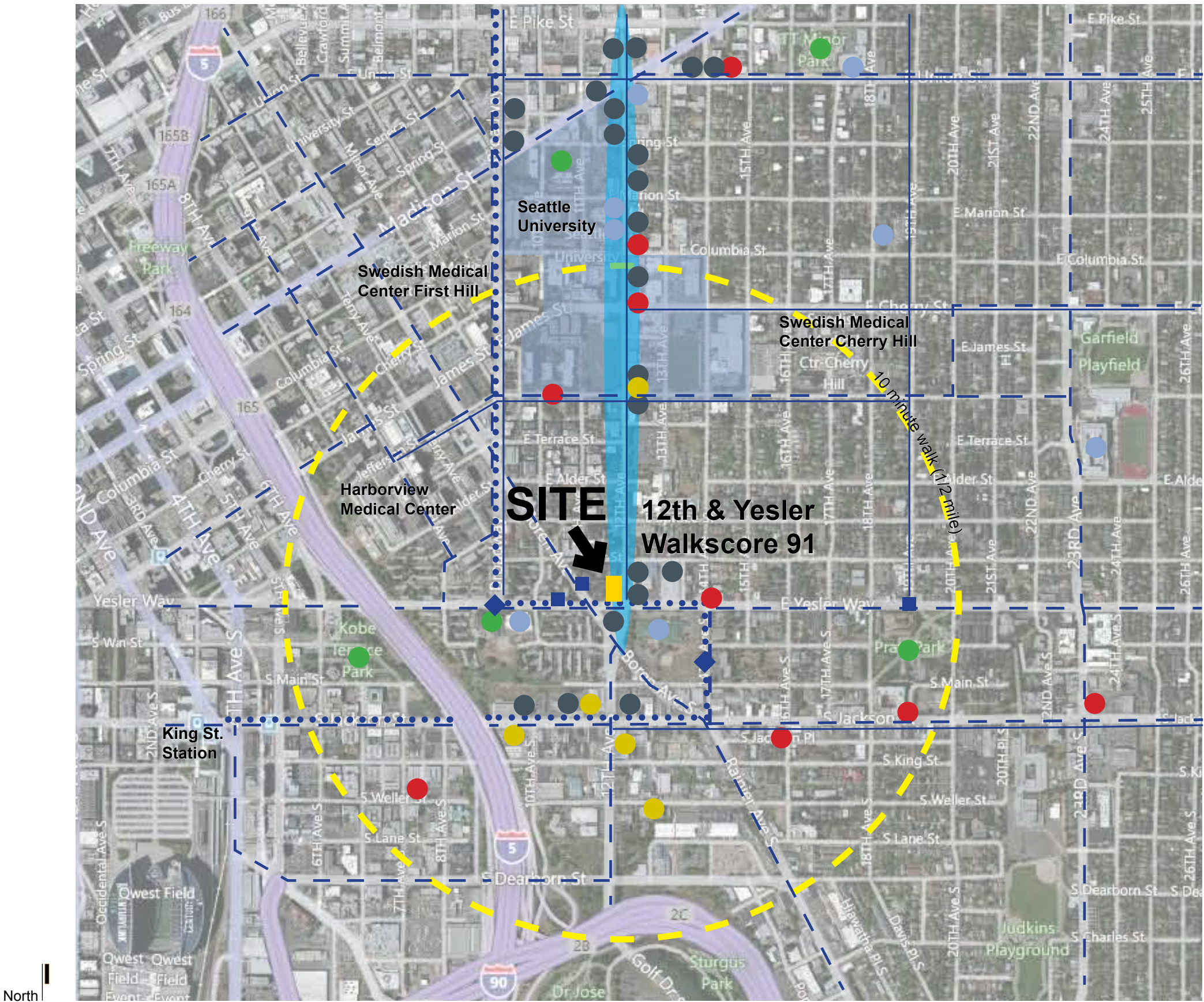
- Anchor the corner of 12th Avenue and E Yesler Way to create a gateway to the neighborhood & 12th Avenue corridor
- Create a strong activated urban street experience
- Add to the commercial activity of 12th Avenue corridor
- Activate the street edges
- Enhance the pedestrian experience along 12th Avenue
- Respond to 1105 E Fir Street project to the west
- Maximize amount and quality of workforce housing
- Target LEED silver certification



Urban Design Opportunities and Constraints

LEGEND

- 12th & Yesler Site
- restaurant
- civic/educational
- grocery/market
- park
- apartments - existing
- bus route
- bike lane
- streetcar
- 10 min walk/ 1/2 mile
- 12th Ave pedestrian zone

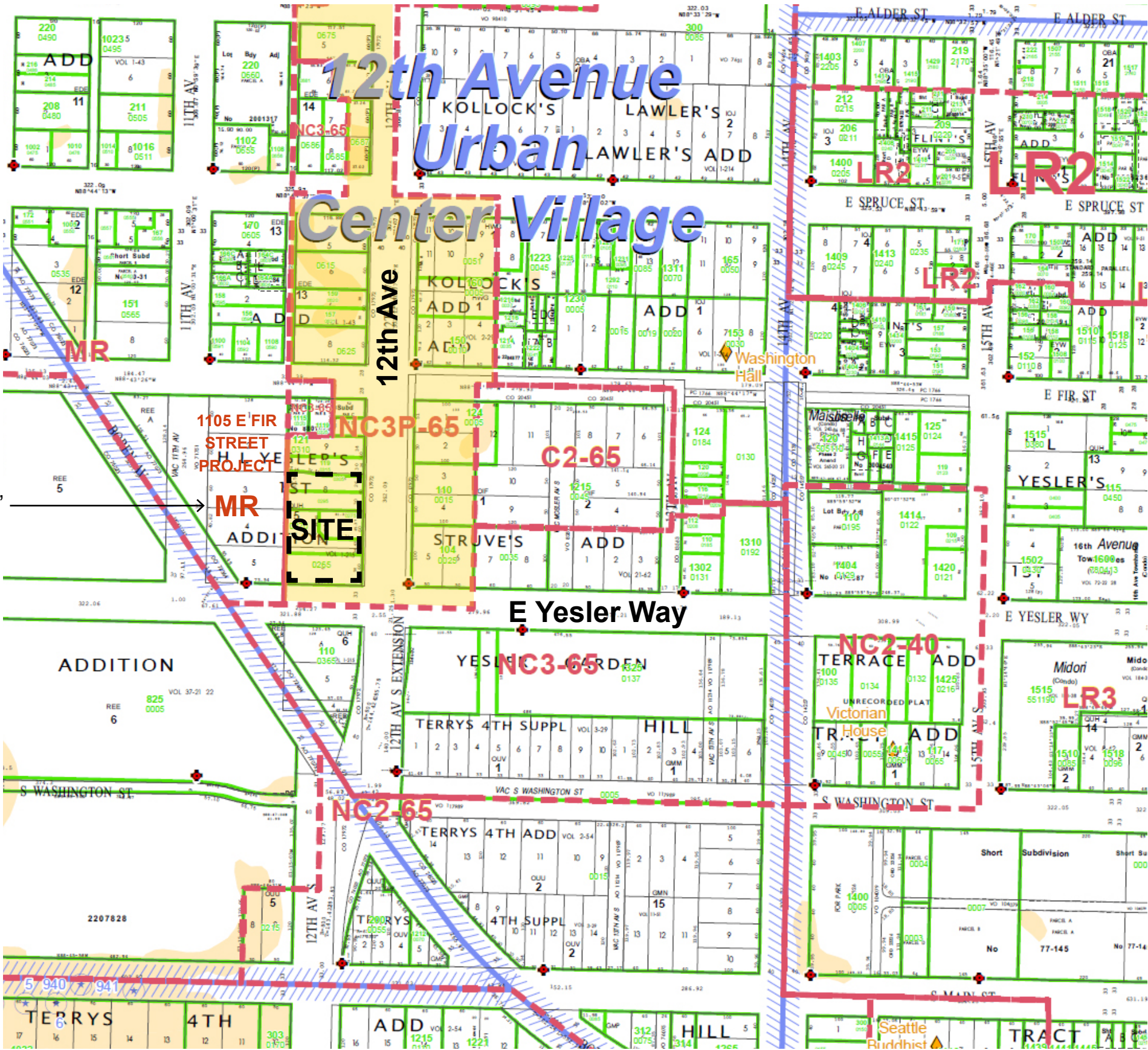


North

Zoning Map

Pedestrian Areas

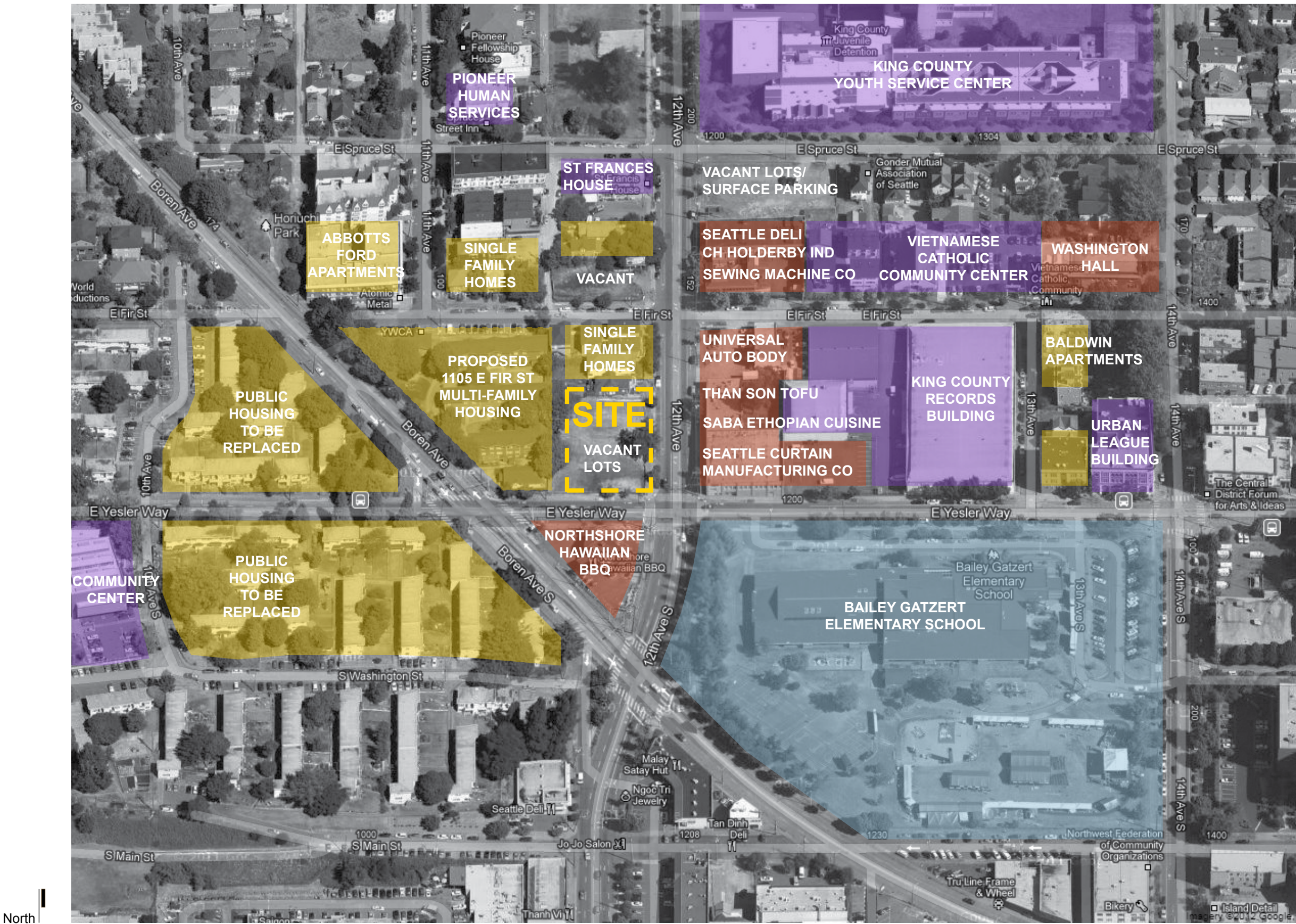
MR zone
Base height limit 60'
Maximum height limit 75'



Urban Design Opportunities and Constraints

Current Surrounding Uses and Structures

- Commercial
- Residential
- Educational Facilities
- Community Facilities





Future Yesler Terrace Development

North
Yesler Terrace Development Rendering by GGLO

Urban Design Opportunities and Constraints

Design Cues:

The project site is within the 12th Avenue Urban Center Village and bounded by the 12th Avenue corridor with increasing commercial development. Key opportunity for the proposed project is to contribute to the commercial activity and improve the streetscape along 12th Avenue.

The 12th Avenue has been identified as an important pedestrian connection in the neighborhood. There is an opportunity with this project to enhance pedestrian experience along 12th Avenue.

The building typology in this area is varied with a combination of low to mid-rise apartments, low-rise warehouse and commercial buildings, and single family structures of varying ages. There are no prevailing styles or forms of architectural development in this area, but rather an eclectic mix of styles and periods. The transitional aspect of the neighborhood provides opportunity for creating an unique and vibrant mix-used building to add more character to this evolving neighborhood.

The lack of alley access will dictate access of parking and services to be located directly from the streets.

The property to the north in the same zone (NC3P - 65) could eventually be developed with a blank wall on the property line.





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Urban Design Opportunities and Constraints



Streetscape photo montage of the west side of 12th Avenue between E Yesler Way and E Fir Street



Streetscape photo montage of the east side of 12th Avenue between E Yesler Way and E Fir Street



Key Map



Streetscape photo montage of the north side of E Yesler Way between Boren Ave and 12th Ave



Streetscape photo montage of the south side of E Yesler Way between Boren Ave and 12th Ave

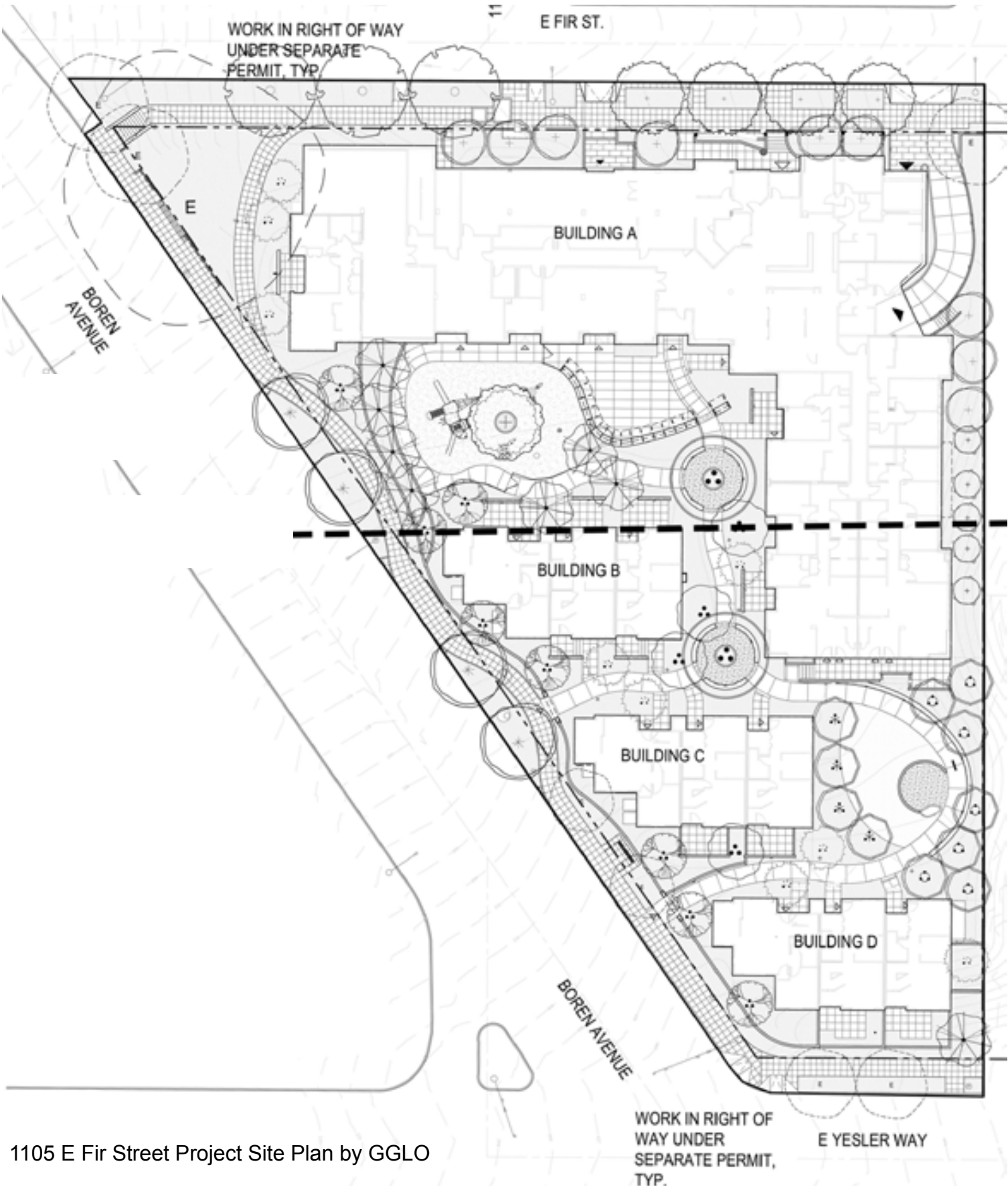


Key Map



1105 E Fir Street Project Rendering by GGLO

12th & Yesler site is abutted on the west side by 1105 E. Fir Street project with MR midrise residential zoning. The 1105 E. Fir Street project consists of one six-story apartment building and three buildings with townhouses, containing a total of 100 residential units. Parking for 60 vehicles will be located in structured and below grade parking, accessed from E. Fir Street. An existing building will be demolished. The demolition and construction is scheduled to start in February 2013.



1105 E Fir Street Project Site Plan by GGLO

**12TH &
YESLER
SITE**

Location:

The site is located on the corner of 12th Avenue and E Yesler Way.

Lot Size: 23,059 sf

Uses:

Vacant lot

Topography:

The grade rises approximately 6 feet from the southeast corner to north along 12th Avenue, approximately 8 feet from the southeast corner to west along E Yesler Way.

Trees:

According to the arborist's report by Urban Forestry Services, Inc. dated December 1, 2011, none of the 4 existing trees meet the standards for Exceptional trees as defined by Seattle Department of Planning and Development DR 16-2008, and the preservation value of the trees range from moderate, to moderate to low.



Site Analysis

Site Influences

Gateway location to 12th Avenue, Capitol Hill, Yesler Terrace and Downtown

Prominent / visible corner

Transitional neighborhood

Walkable / transit oriented neighborhood

Pedestrian connection

Site access

Access for parking

Site topography

Adjacent structures

Future developments

View

Noise

Solar

Wind

Access Opportunities

Residential entry from 12th Avenue

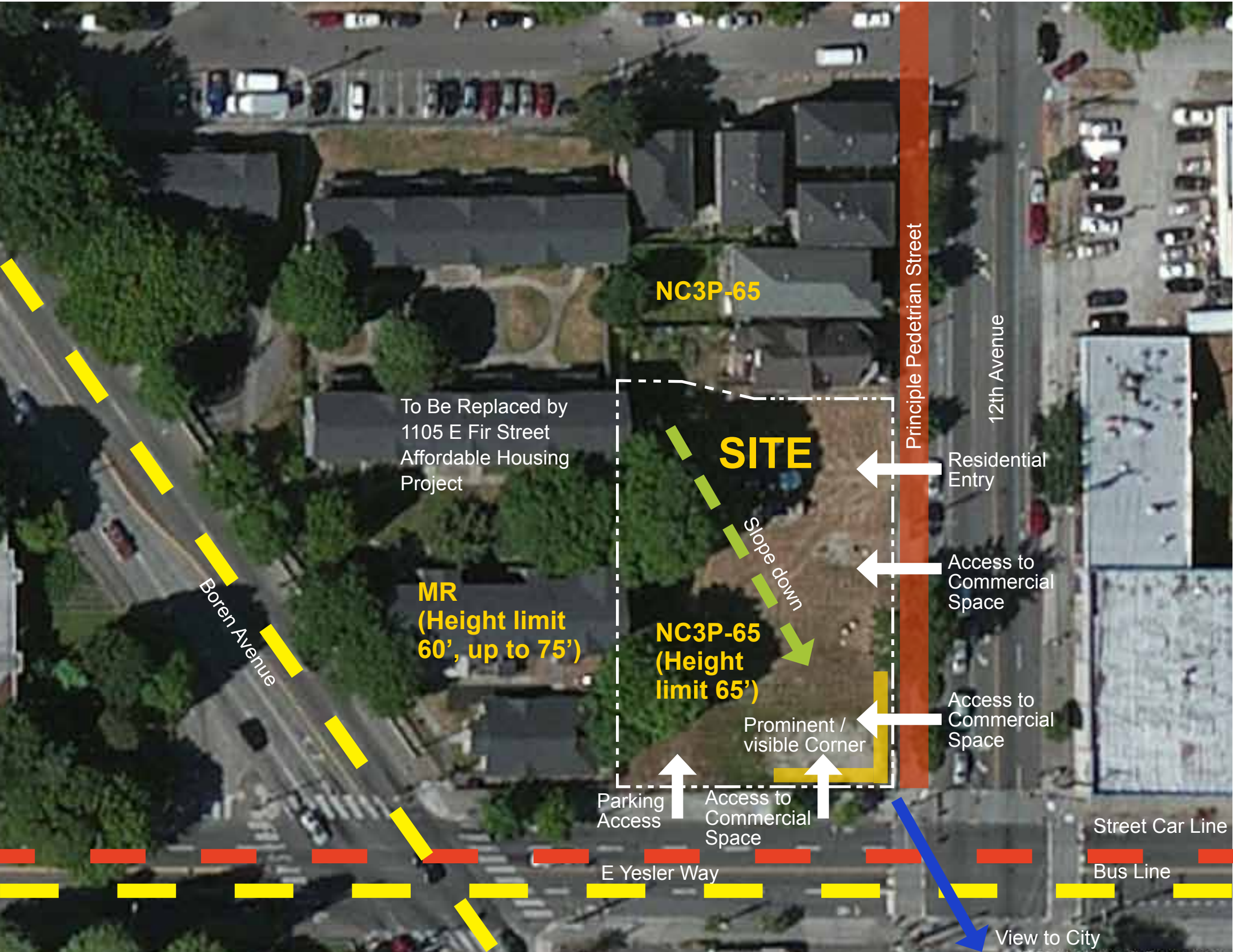
Multiple access points to commercial space along 12th Avenue and E Yesler Way

Access Constraints

Parking access is not allowed from 12th Avenue because 12th Avenue is a principle pedestrian street

Parking access is limited to be located along E Yesler Way

There is an existing driveway curb cut on E Yesler Way





View to project site from southeast



Key Map



Existing sidewalk along E Yesler Way



Existing sidewalk along 12th Avenue

Alternative Architectural Concepts

Same approach for all three options:

Commercial space is located along 12th Avenue, turning the corner along E Yesler Way with multiple entries from 12th Avenue and one entry from E Yesler Way.

Residential lobby entrance and amenity space are located along 12th Avenue.

Access to the parking garage is off of E Yesler Way at the existing driveway curb cut location, ramping up to the upper parking at the west half of the floor plate, ramping down to the lower parking at the basement level.

OPTION 1

(Code-complying Option)

Pros:

The building is placed along 12th Avenue and E Yesler Way to define and activate the street edges.

Cons:

The continuous west facade doesn't respond to the 1105 E Fir Street project to the west.

Lack of daylight in the courtyard space.

Lack of emphasis on the building corner massing to support gateway concept.

Departures:

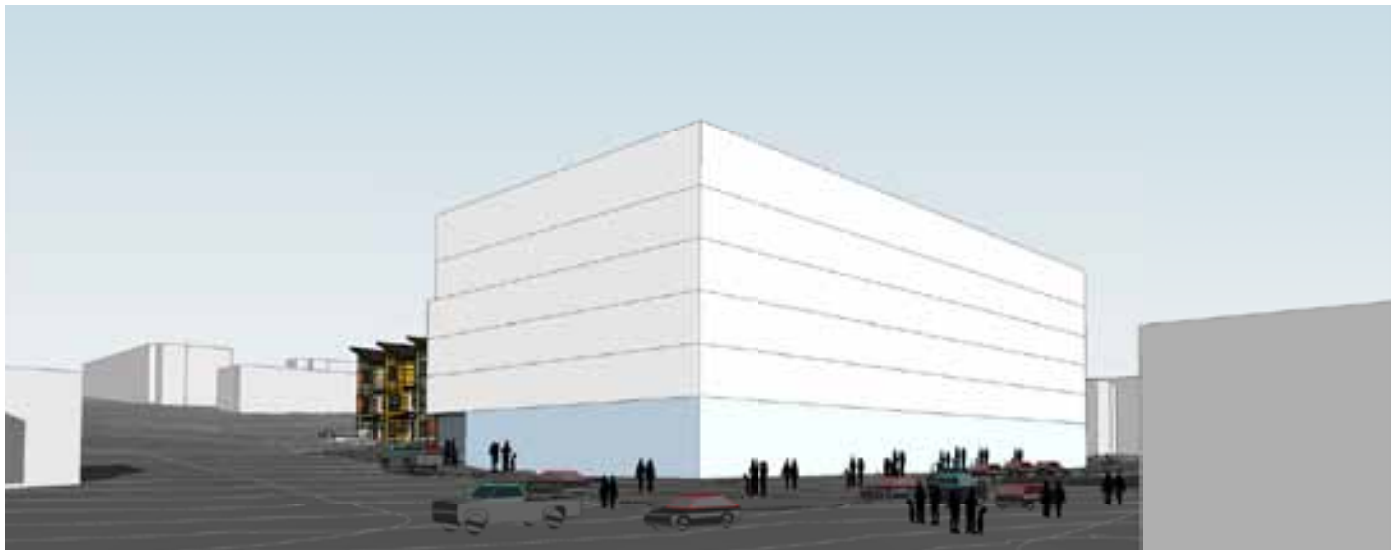
None



Aerial View from Southeast

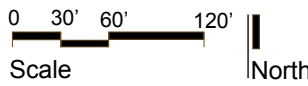


Aerial View from Southwest



Street View

Site Plan View



OPTION 2

Pros:

The building base is placed along 12th Avenue and E Yesler Way to enhance the pedestrian experience.

The open courtyard provides open space, daylight and views to residential units.

Cons:

The continuous west facade doesn't respond to the 1105 E Fir Street project to the west.

Lack of strong presence along 12th Avenue.

Lack of emphasis on the building corner massing to support gateway concept.

Departures:

Propose reducing 15' setback to 10' at the west property line.



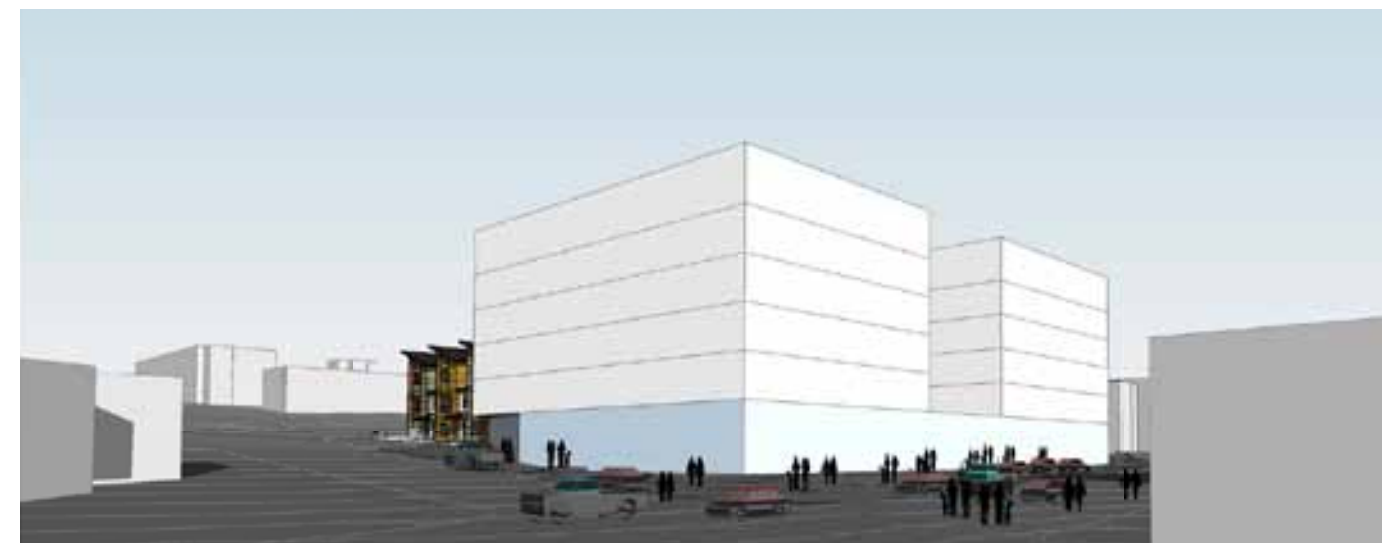
Aerial View from Southeast



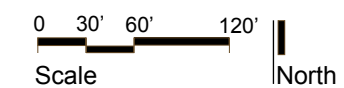
Aerial View from Southwest



Site Plan View



Street View



OPTION 3

(Preferred Option)

Pros:

The building is placed along 12th Avenue and E Yesler Way to define and activate the street edges.

The courtyard opens to the west to respond to the 1105 E Fir Street project and integrate with its open space.

The building corner and base are expressed as a distinctive element with a change in massing and greater level of transparency.

The building base is set back 3' along full length of 12th Avenue and E Yesler Way to provide wider sidewalks.

Upper building massing is projected beyond the building base to create more animated street facades.

Cons:

Less building area at residential floors and commercial space at the ground floor due to setback at the corner and street level

Departures:

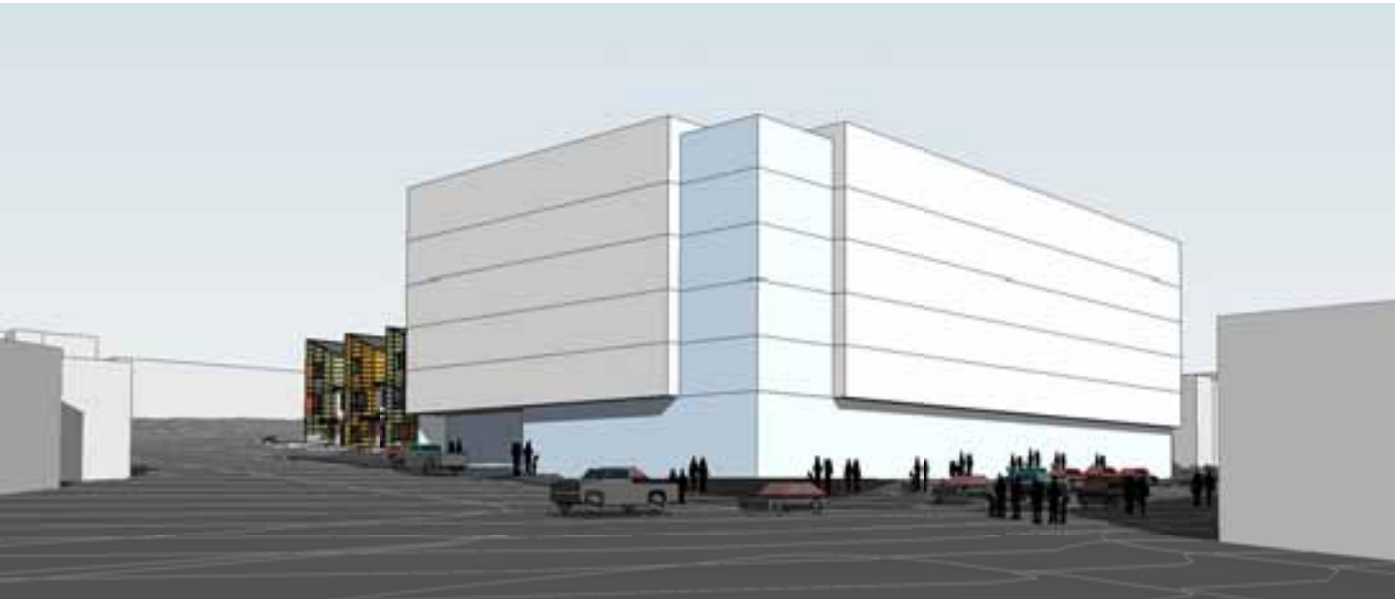
Propose reducing 15' setback to 10' at the west property line.



Aerial View from Southeast

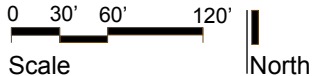


Aerial View from Southwest



Street View

Site Plan View





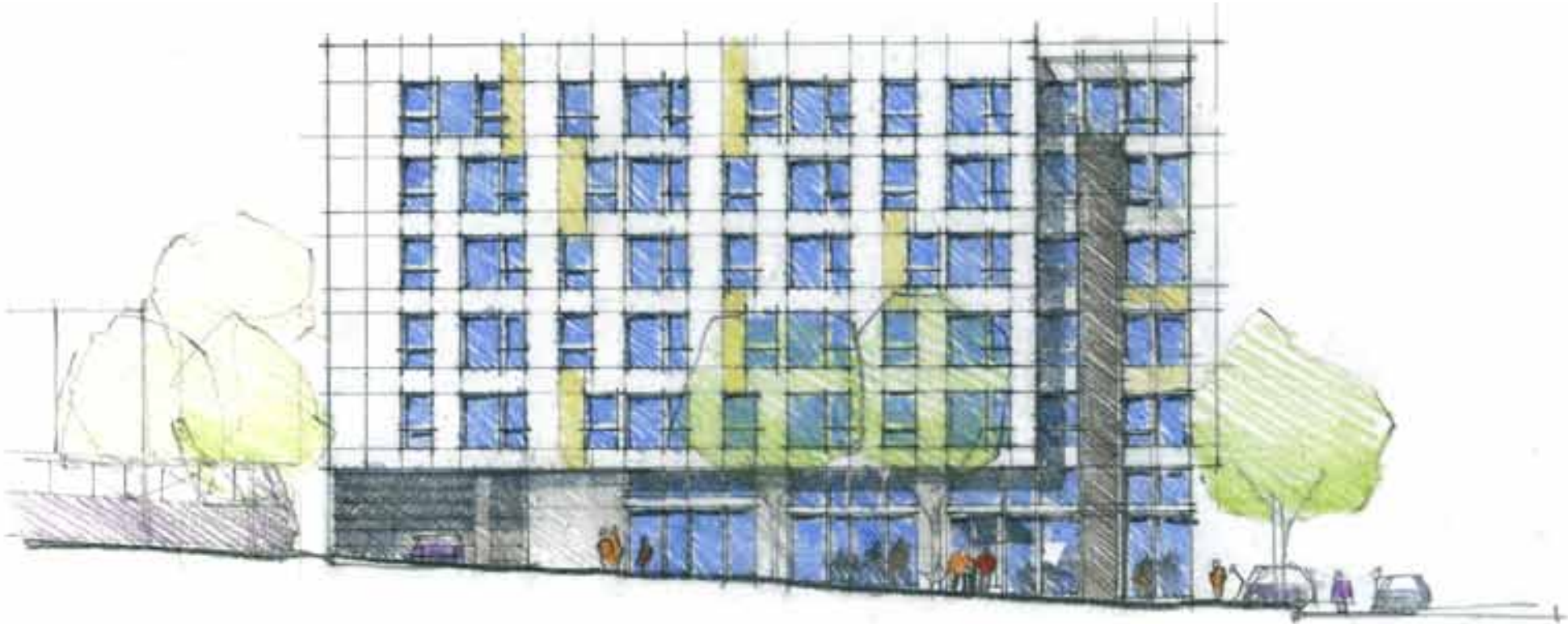
Concept Perspective Sketch at 12th Ave & Yesler

Alternative Architectural Concepts

Option 3 (Preferred Option)



East Elevation Concept Sketch - 12th Avenue



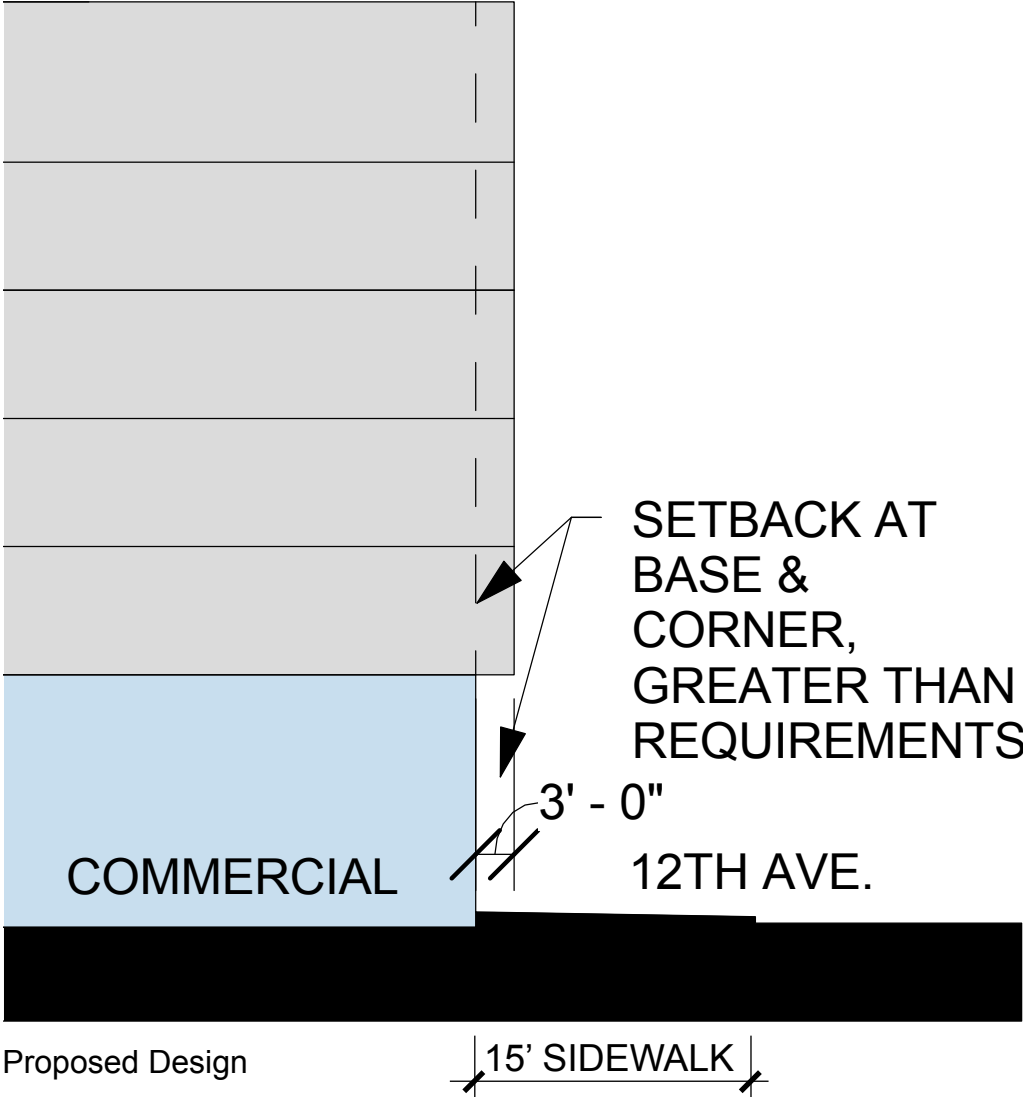
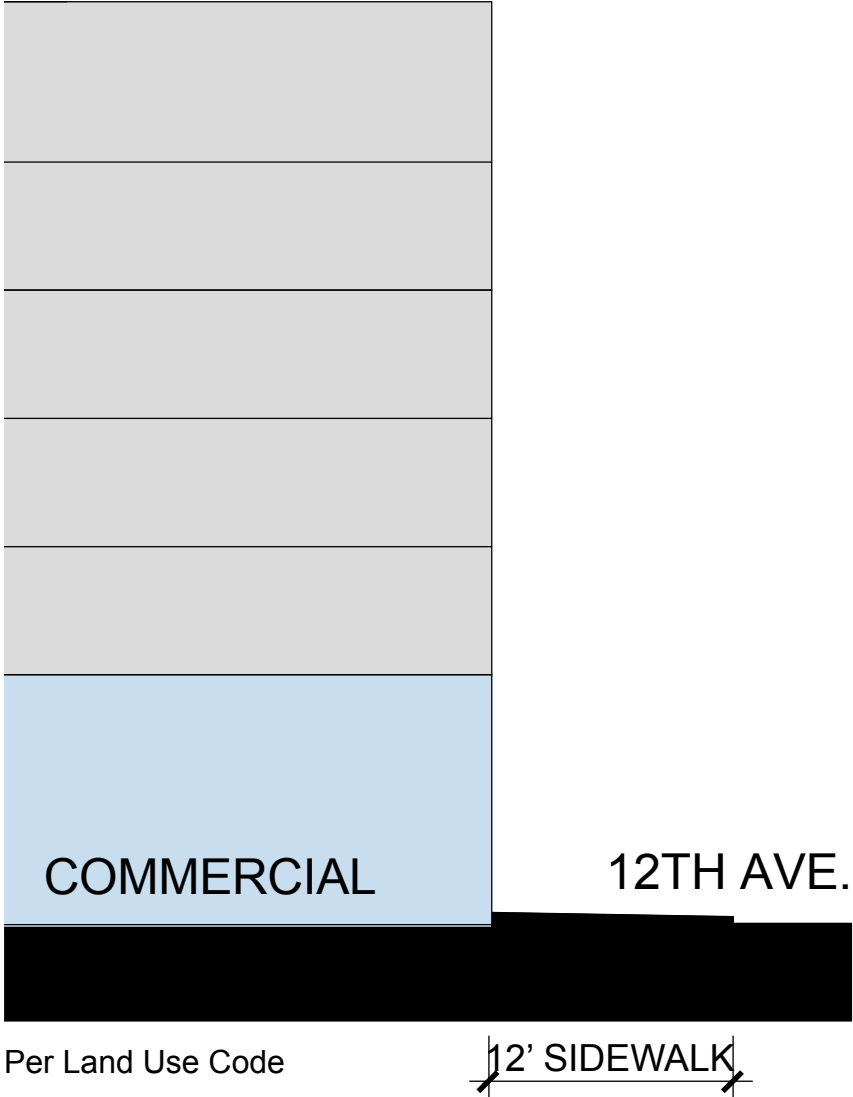
South Elevation Concept Sketch - E Yesler Way



West Elevation Concept Sketch

Alternative Architectural Concepts

Option 3 (Preferred Option)



Key Guidelines Identified for This Project

Design Review Guidelines for Multifamily and Commercial Buildings, effective October 1993, updated November 1998; also includes the January 2007 revised Section D: Pedestrian Environment.

A. Site Planning

A-2: Streetscape Compatibility

Guideline: The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Proposed Design:
The building is placed along both 12th Avenue and E Yesler Way to create a continuous street front to respond to the character of 12th Avenue with increasing commercial development. 12th Avenue has been identified as an important pedestrian connection in the neighborhood. The preferred option will have a 3’ continue setback at the street level along both 12th Avenue and E Yesler Way to increase the width of the sidewalk and enhance the pedestrian experience along the 12th Avenue.

A-3: Entrances Visible from the Street

Guideline: Entries should be clearly identifiable and visible from the street.

Proposed Design:
Active, street level storefront with approximately 4,000 sf commercial space will have multiple direct on-grade access points along 12th Avenue and E Yesler Way. Each entry will have signage and weather protection. The residential lobby entrance facing 12th Avenue will have distinct signage and weather protection to distinguish itself from the commercial entries.

A-4: Human Activity

Guideline: New development should be sited and designed to encourage human activity on the street.

Proposed Design:
Commercial space and the residential lobby and amenity space will provide a high percentage of transparency to animate the street and allow passersby to interact with the activities inside. The preferred option will set the facade back at the street level to provide better sidewalk experience and seating opportunities for the businesses.

A-5: Respect for Adjacent Sites

Guideline: Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

Proposed Design:
To respond to adjacent buildings, a courtyard is open to the west to break down the building mass and connect to the outdoor space on 1105 E Fir Street project site. The open courtyard will also give neighbors landscaped amenity area to look out onto. The proposed design provides a 10’ landscaped buffer along the west property line to minimize impact of the privacy and outdoor activities of residents in adjacent buildings. A portion of the north facade is set back by 10’ from the north property line to allow windows into the units and minimize blank walls at the north facade.

A-7: Residential Open Space

Guideline: Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Proposed Design:
The project provides landscaped, exterior spaces at the courtyard level and the roof. The open courtyard will relate to the outdoor space of the neighboring project. The courtyard can be directly accessed by several courtyard-facing R1 level units and from the common fitness amenity space. The roof provides common amenity space for residents with excellent views, landscaping, seating and space for a variety of activities including gardening and a dog area.

A-8: Parking and Vehicle Access

Guideline: Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Proposed Design:
Parking access is not allowed from 12th Avenue because 12th Avenue is principle pedestrian street. The parking entry is located along E Yesler Way away from the southeast corner in the least visible portion of the site and at the existing driveway curb cut location. A total of 48 parking spaces will be provided at a low ratio of 0.4 per unit.

A-10: Corner Lots

Guideline: Building on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Proposed Design:
The building is placed along both 12th Avenue and E Yesler Street to define and active the street edges. The corner is celebrated in the massing to help form a neighborhood gateway. Parking is located away from the corner.

B. Height, Bulk and Scale

B-1: Height, Bulk, and Scale Compatibility

Guideline: Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

Proposed Design:
The west-facing open courtyard is located on the zone edge of the MR zone to break down the building mass. A 10’ landscaped buffer is provided for the neighboring buildings.

C. Architectural Elements and Materials

C-2: Architectural Concept and Consistency

Guideline: Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

Proposed Design:
To create a gateway to the neighborhood, the building corner and base are set back and expressed as a distinctive element with a change in massing and greater level of transparency. The upper building massing is projected beyond the building base to create more animated street facades. The building massing and facade articulation will clearly reflect building programs of upper 5 residential floors over the mix-used base with greater level of openness and transparency for the units at the corner. Transparent facades at the ground level distinguish the commercial and residential amenity space from the residential units above.

C-3: Human Scale

Guideline: The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale

Proposed Design:
The preferred option will have a 3’ continuous setback at the street level along both 12th Avenue and E Yesler Way to increase the width of the sidewalk while upper building provides overhang to keep the scale more pedestrian friendly along the streets. The residential and commercial entries to the building will be sized at the appropriate scale to pedestrians and accented with pedestrian scale weather protection, signage and lighting.

D. Pedestrian Environment

D-2: Blank Walls

Guideline: Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest.

Proposed Design:
No large blank walls proposed facing the streets.

D-6: Screening of Dumpsters, Utilities, and Service Areas

Guideline: Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Proposed Design:
Dumpsters will be enclosed within the building, and utility meters will be located away from the street front.

D-11: Commercial Transparency

Guideline: Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

Proposed Design:
The proposed design provides a well defined, transparent street edge along the commercial frontage of 12th Avenue and E Yesler Way.

E. Landscaping

E-1: Landscaping to Reinforce Design Continuity with Adjacent Sites

Guideline: Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Proposed Design:
New street trees and streetscape planting are proposed along both 12th Avenue and E Yesler Way to reinforce the character of the neighborhood and to meet Green Factor requirements.

E-2: Landscaping to Enhance the Building and/or Site

Guideline: Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Proposed Design:
A west-facing landscaped courtyard and landscaped outdoor space on the roof are proposed.

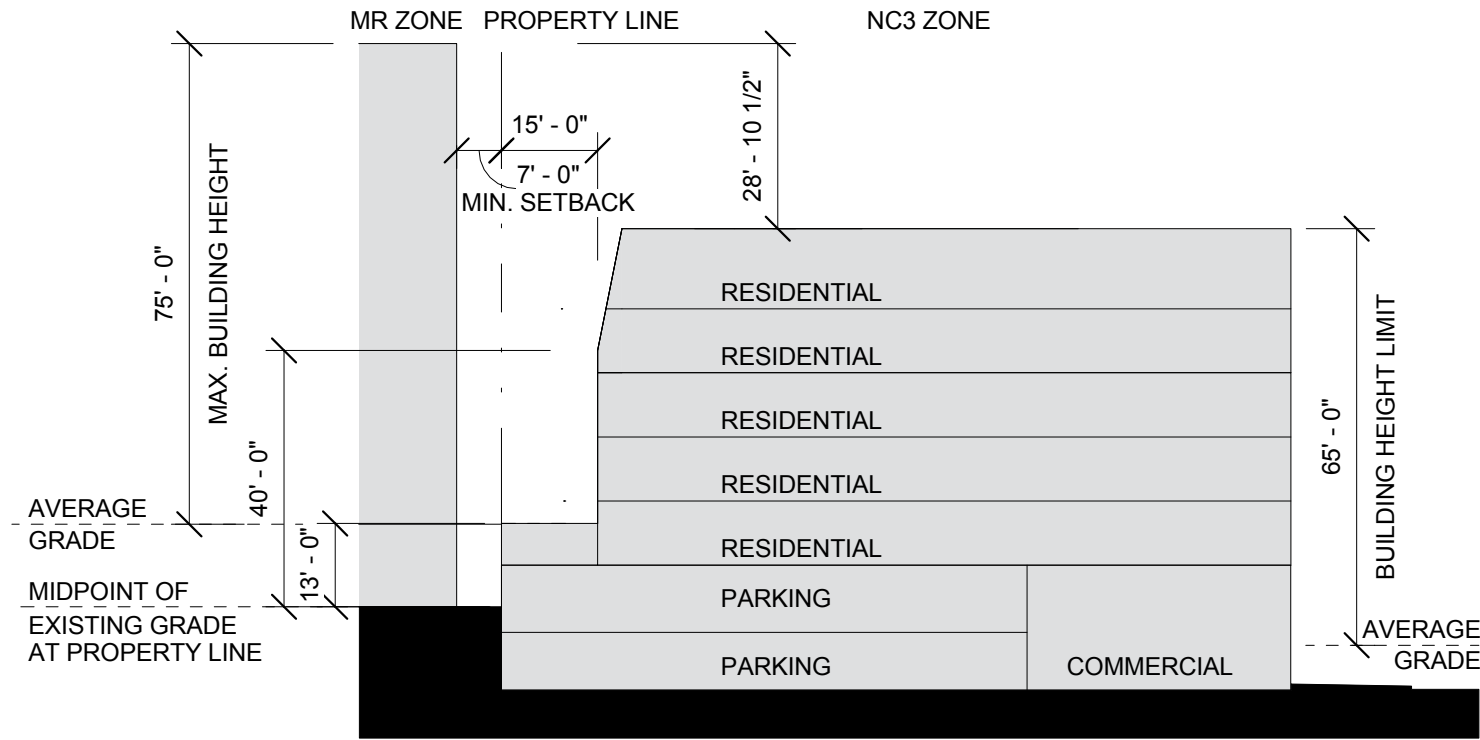
Proposed:

Reduce 15' setback to 10' at the west property line. See Page 27.



Aerial View Diagram

PORTIONS EXCEEDING REQUIRED SETBACK



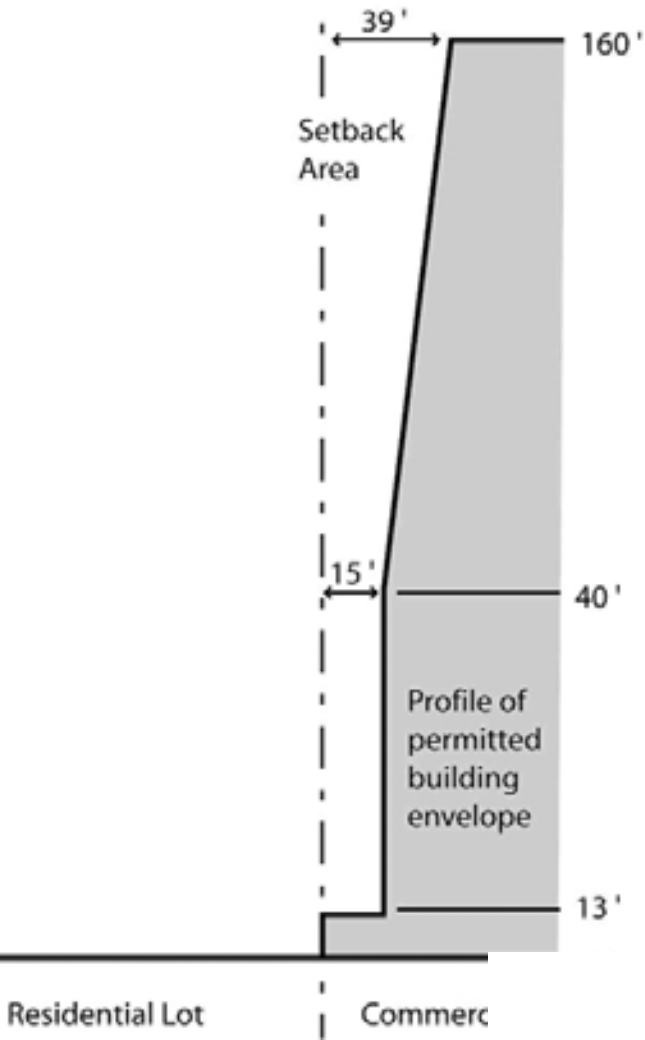
Setback Requirements Section Diagram

Standard:

SMC 23.47A.014 Setback Requirements B.3
“3. For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows:

a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and

b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet (Exhibit C for 23.47A.014).”



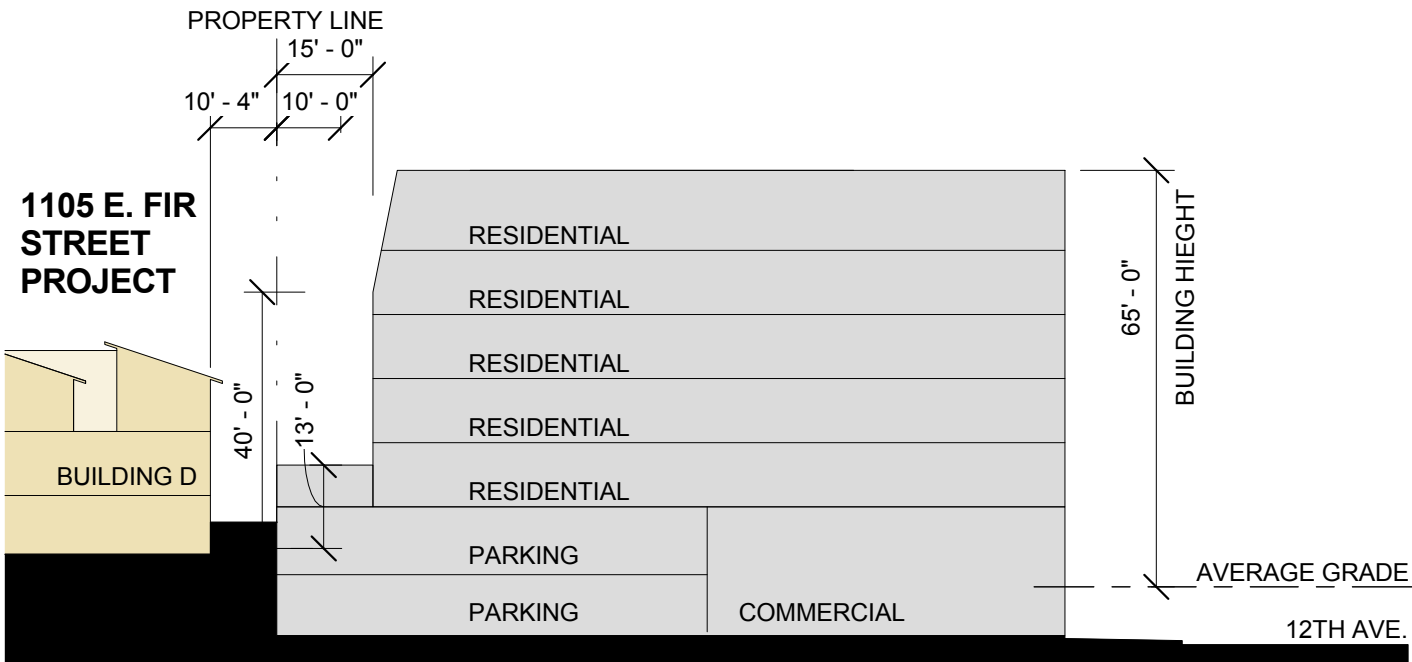
Departure Request

Proposed:

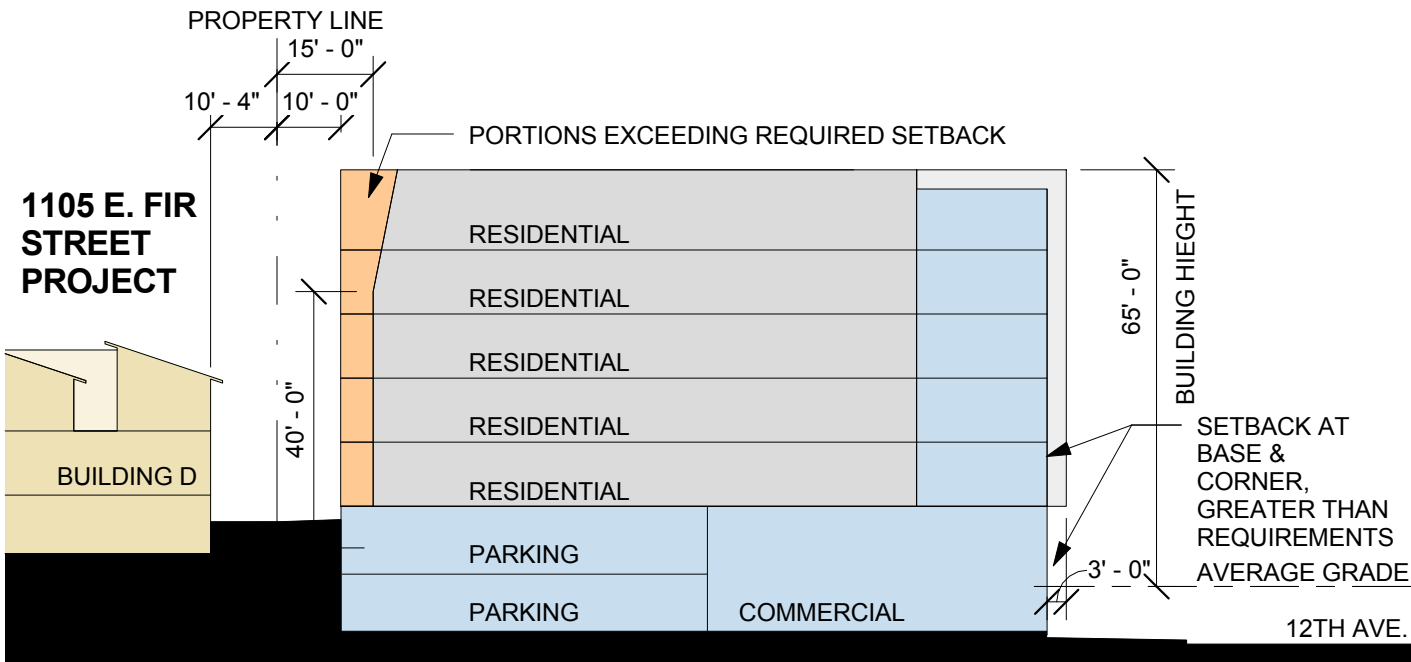
Reduce 15' setback to 10' at the west property line. See Page 27.



Aerial View Diagram



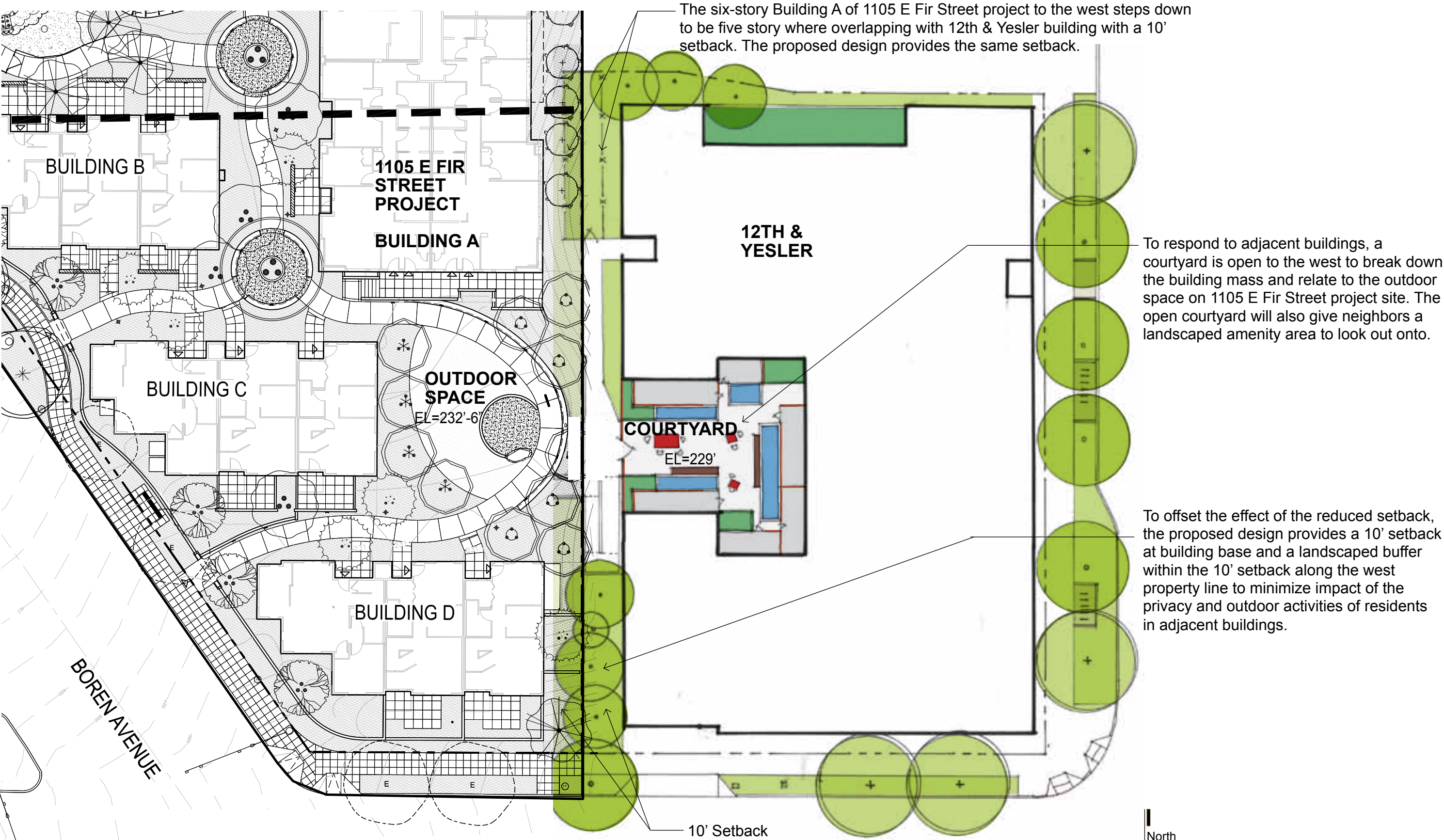
Setback Requirements Section Diagram



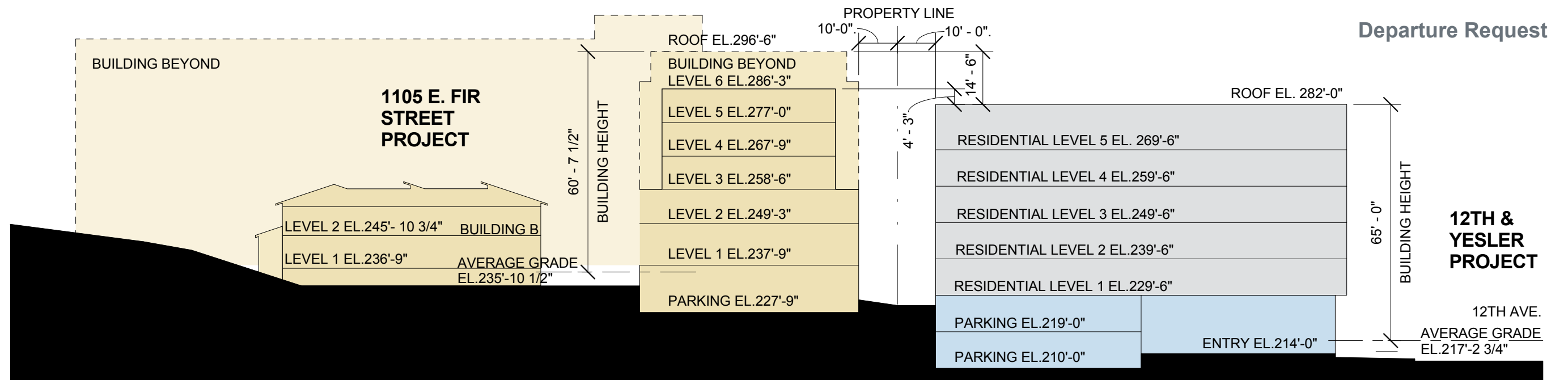
Proposed Section Diagram

Proposed:

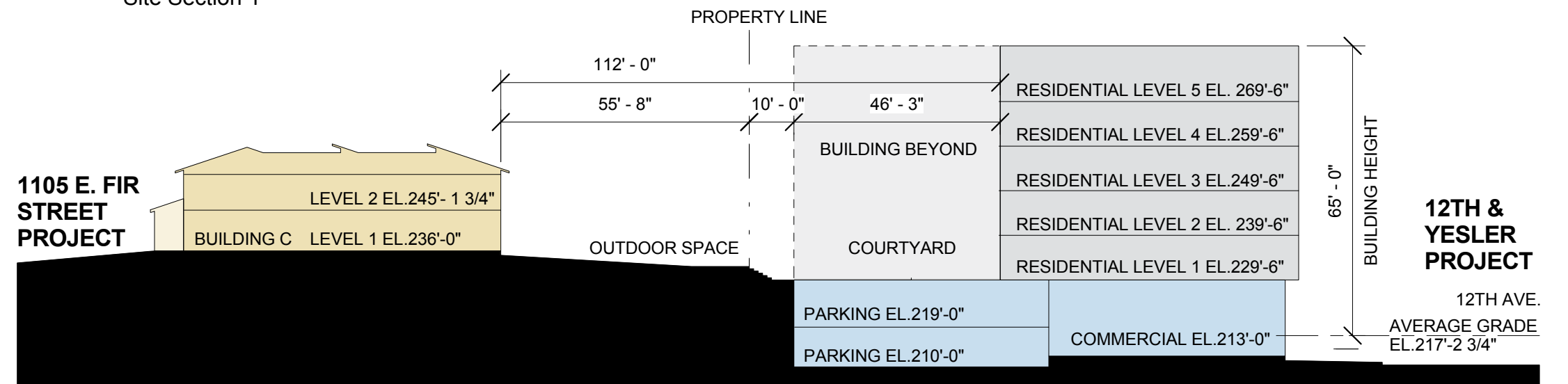
1. The reduced setback will allow the project to provide an open courtyard to better meet the intent of the design review guidelines A-5, A-7, A-10, B-1, C-2 and E-2, and achieve a better overall design.
2. We understand the intent of the setback requirements is to respect lower intensity zones such as lowrise residential zones. The site to the west is zoned as MR midrise residential which allows taller developments than NC3 zones.
- 3. The MR zone allows 7' setback from interior lot line, the 1105 E Fir Street project provides 10' setback, which the proposed design matches.**
- 4. To respond to adjacent buildings, a courtyard is open to the west to break down the building mass and relate to the outdoor space on 1105 E Fir Street project site. The open courtyard will also give neighbors a landscaped amenity area to look out onto. See Site Plan on Page 28.**
- 5. The proposed design provides a 3' setback at the building base along full length of 12th Avenue and E Yesler Way to provide a wider public sidewalk and enhanced pedestrian experience.**
- 6. The proposed design provides a 3' setback at the building corner for the upper 5 floors to create a gateway to the neighborhood.**
- 7. To offset the effect of the reduced setback, the proposed design provides a 10' setback at building base and a landscaped buffer within the 10' setback along the west property line to minimize impact of the privacy and outdoor activities of residents in adjacent buildings. See Site Plan on Page 28.**
- 8. Seattle Housing Authority (SHA), the owner of the property to the west is supportive to the proposed design with this departure request.**
9. The topography of the abutting site to the west slopes upwards. The reduced setback will have minimal light and air impact to the residential uses to the west, and allow for morning light to hit the outdoor space of 1105 E Fir Street project. See Site Section 1, 2 & 3 on Page 29.
10. The six-story Building A of 1105 E Fir Street project to the west is taller than 12th & Yesler building and steps down to be five story where overlapping with 12th & Yesler building with a 10' setback. The proposed design provides the same setback. See Site Plan on Page 28, and Site Section 1 on Page 29.
11. No balconies will be projected out from the west facade within the 10' setback facing the neighboring Building A, C & D.



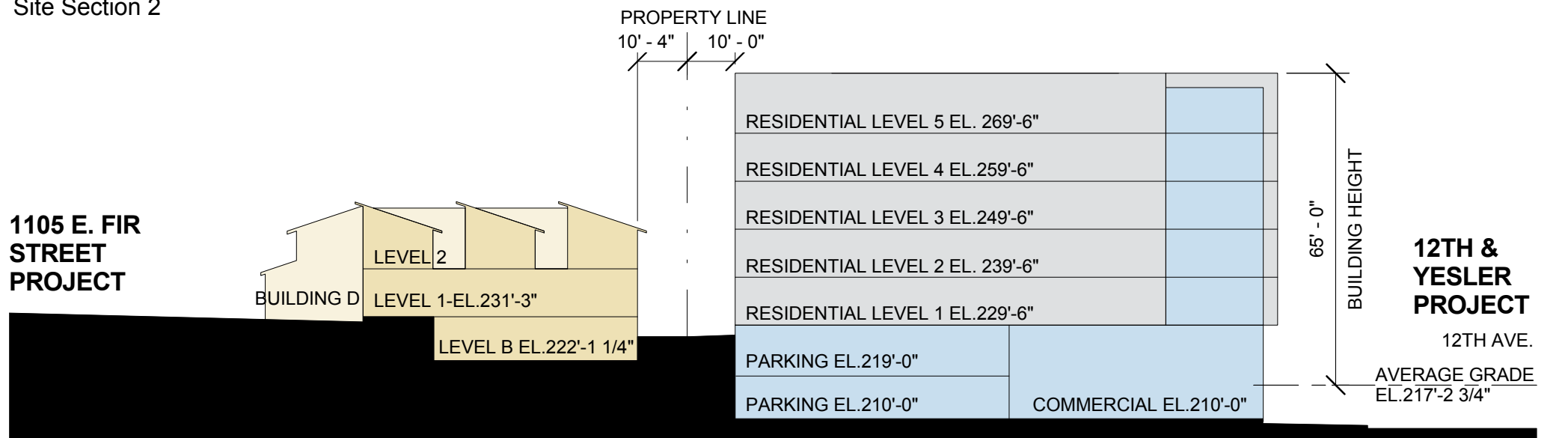
1105 E Fir Street Project Site Plan by GGLO



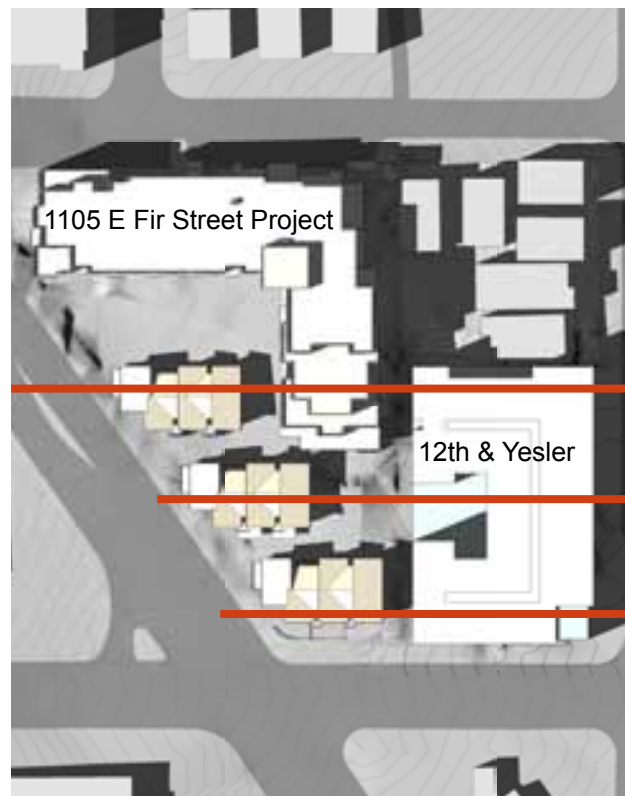
Site Section 1



Site Section 2



Site Section 3



Departure Request



View 1 - Looking East From Boren Avenue



View 2 - Looking East From Boren Avenue



View 3 - Looking East From Boren Avenue

