

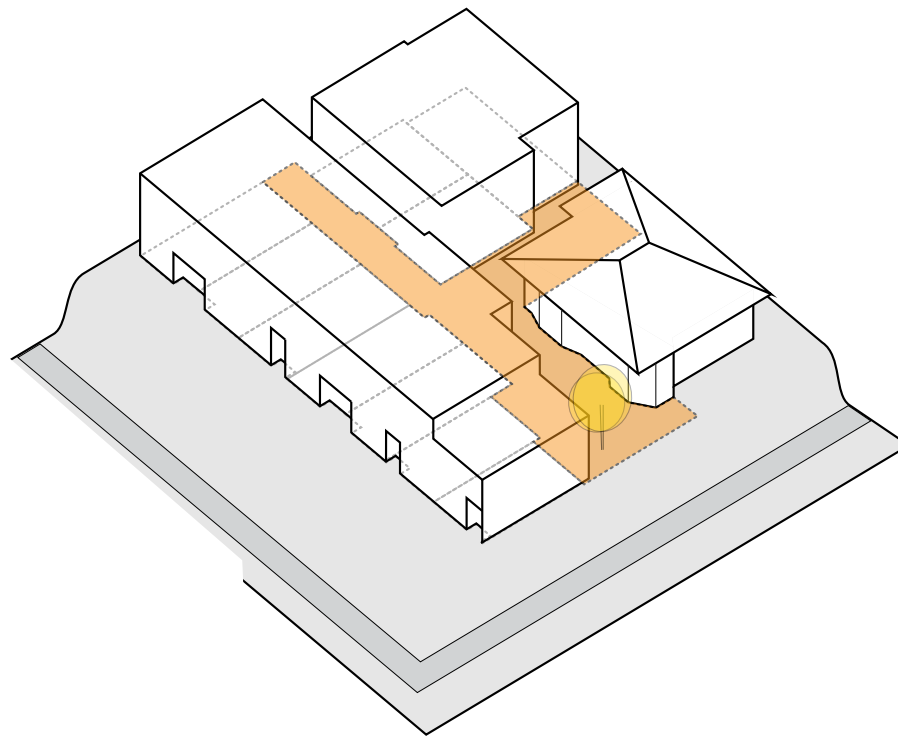
merc er mal den



This page intentionally left blank

TABLE of CONTENTS INFORMATION

PROJECT SUMMARY	4	Address 607 Malden Avenue E
CONTEXT ANALYSIS	6	Lot Size 10,000 square feet
SUMMARY of RESPONSE to EARLY DESIGN GUIDANCE	14	Zoning Lowrise LR-3 with Capitol Hill Urban Center Village Overlay
MUP PROPOSAL	16	SEPA Review Required with construction of over 8 dwelling units in LR-3.
Project Views	18	
Landscape Plan	30	
Departures	34	
Rendered Elevations	40	
Building Plans	47	



View looking west from E Thomas St.

DESCRIPTION

The site, approximately 10,000 square feet of L3 zoned property, is at the northwest corner of Malden Ave and East Mercer on Capitol Hill. Currently developed as three single family homes, the property is generally flat and approximately 6 feet above the sidewalk level. Proposed are ten new homes and the preservation of one of the three existing single family homes. The structures will be three stories tall with parking for 17 vehicles in the shared parking garage below grade accessed from East Mercer street. The siting of the proposal provides the opportunity to preserve an existing exceptional Ginkgo tree at the east edge of the site abutting Malden Ave E.

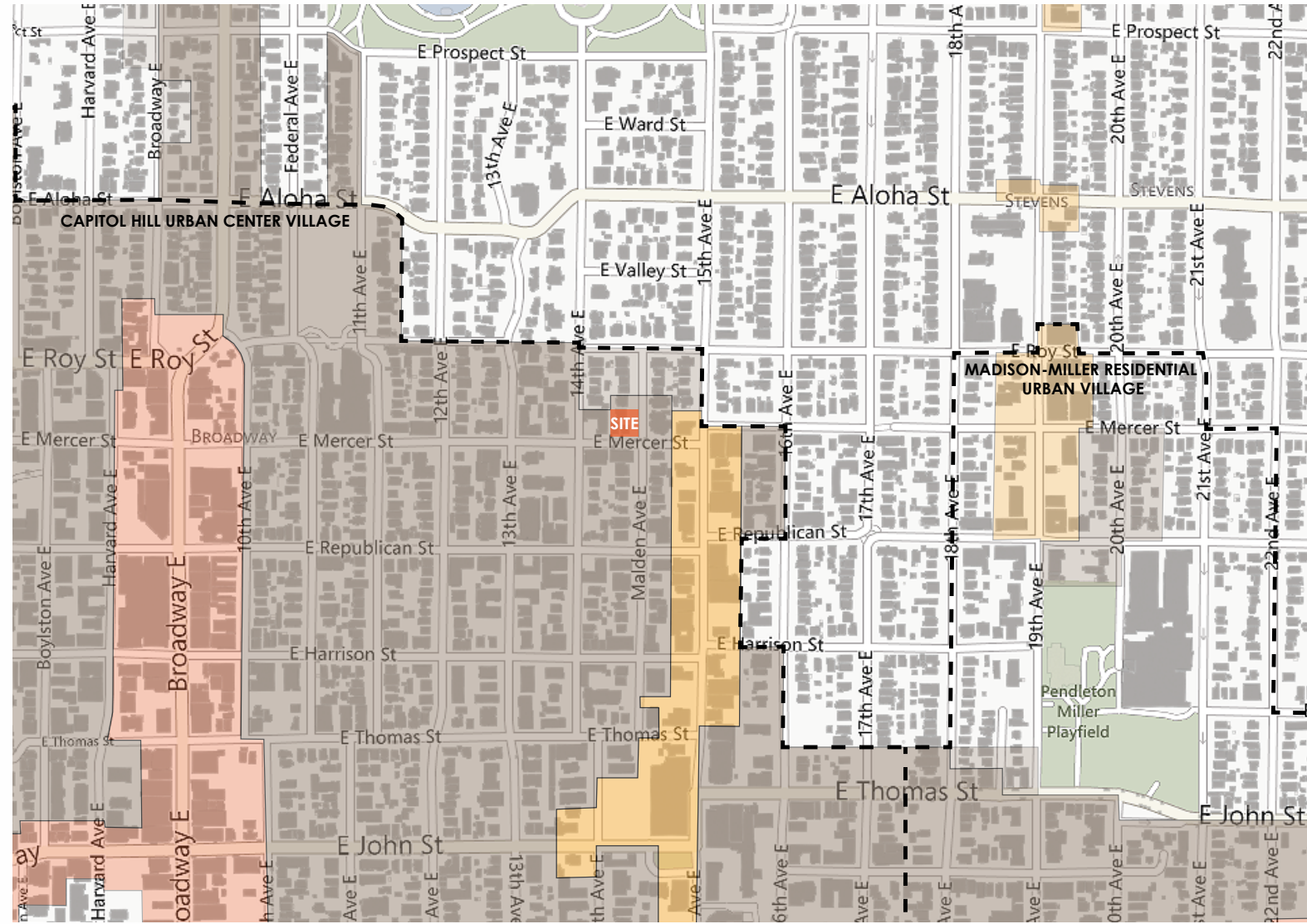
GOALS

Sustainability

Achieve a minimum 4-Star Built Green certification and capture rainwater on site. Preserve existing Ginkgo tree and 1906 family home. Utilize reclaimed materials.

Community

The proposal will be designed around a central courtyard and walkway that connects the site from east to west and engages the Ginkgo.



Seattle DPD Zoning Map

Zoning Map Legend

- LR3
- LR2
- NC3P-65
- NC2-40
- NC1-40
- URBAN VILLAGE



SITE

① panoramic view along E Mercer St. looking north



ACROSS FROM SITE

② panoramic view along E Mercer St. looking south



SITE

③ panoramic view along Malden Ave E. looking west



ACROSS FROM SITE

④ panoramic view along Malden Ave E. looking east



① South to west to north panoramic of Malden Ave. E



② Detail of north existing house



③ Looking west to north from the intersection of E Mercer st. and Malden Ave. E



④ Looking east down E Mercer St.

Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

The site, located near the highest point on Capitol Hill, is at the northwest corner of Malden Ave East and East Mercer Streets. Two modest homes, which will be deconstructed, face Mercer and are hidden by a dense row of thundercloud plum street trees. An existing 1906 family-house facing Malden is shadowed by a exceptional, mature ginkgo tree. Both the house and tree will be saved. While the property is generally flat, each home sits above their respective street by approximately 6 feet. The site dimensions are approximately 99 feet east-west and 103 feet north-south.



⑤ Looking north west from Malden Ave. E

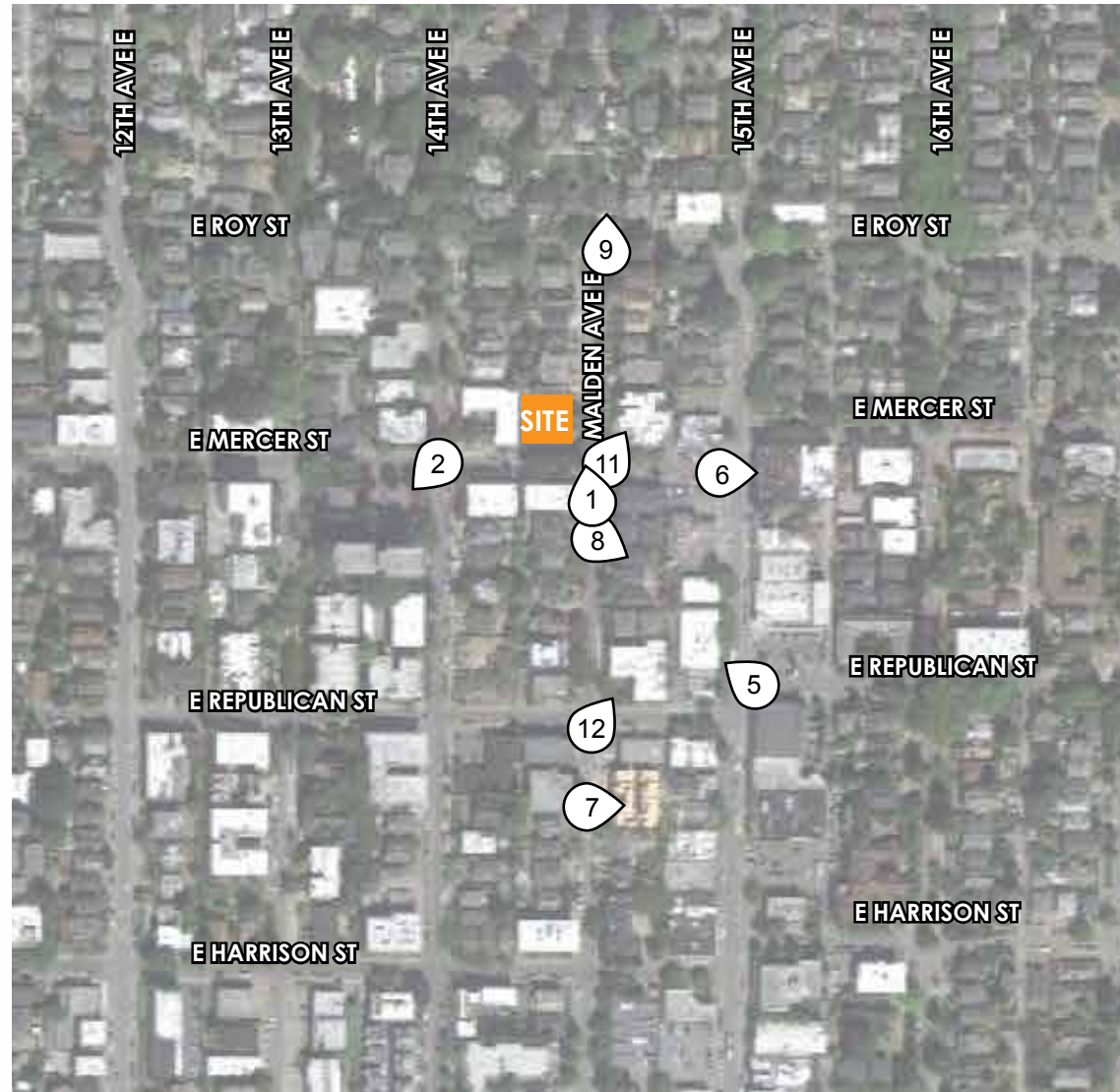


⑥ Looking north from the back yard of north existing house



⑦ South west view of the existing house.

The site offers great access to all that is Capitol Hill and beyond, by foot, bike, bus, rail, and car. Metro bus lines numbers 10, 60, 43, 8, 49, 9 and 12, serving Capitol Hill, downtown Seattle, University of Washington, Rainier Valley, Lower Queen Anne and Columbia City are all very close. Light rail and the trolley will be a few blocks away.



Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Zoning

The site, shown in orange in the aerial photo above and zoning maps located on pages 4 and 5 is located in the LR3 zone. The LR3 zone continues in all directions from the site with most of it to the south and west. One block to the north it becomes SF 5000 with a transition to LR2 along in the block between E Mercer St and E Roy St. To the east along 15th Ave E is NC2-40.

Uses and Physical Features

The predominant use in the vicinity of the site is a variety of two, three and four-story multi-family residential buildings. In addition, along 15th Avenue E, one block east of the site, is a mix of one to three story commercial buildings. A block to the north of the site there are a mix of two and three-story single-family dwellings. This is a very dense neighborhood, located within the Capitol Hill Urban Center Village. 15th Ave E is a vibrant commercial district with a variety of uses including cafés and restaurants, retail uses, grocery stores, Group Health, pharmacy and the Hilltop Service Station. This site is located near the top



View looking north on Malden Ave E.



Apartment building at E Mercer St. and 14th Ave E.



Territorial, Olympic and Sound view from 14th Ave E



View of nearby Volunteer Park.



Multi-family development at E Republican St. and Malden Ave. E



A historic house on 14th Ave E. and E. Aloha St.



Various shops and bars on 15th Ave E.



Duplex on Malden Ave. E south of E Mercer St.



Apartment building at E Mercer St. and Malden Ave E.



Canterbury Ale & Eats on E Mercer St. & 15th Ave. E



A single family house on E Roy St. and Malden Ave E.



Apartment building at E Republican St. and Malden Ave E.

of Capitol Hill with the topography sloping downhill to the west most sharply, south and east slightly. Volunteer Park is located four blocks to the north.

Existing Architecture

The architecture on E Mercer Street and Malden Avenue E varies to a small degree in scale and building type with most structures two to three-stories. Immediately adjacent to the site to the west and across E Mercer to the south are three-story with basement brick apartment buildings dating from 1910 to 1957. They range from 19 to 25 units, with the majority of units one and two bedrooms averaging 675 square feet. There is a wide range of three-story multi-family structures in the immediate vicinity from townhouses to small apartment buildings as well. Along 15th Avenue E are commercial structures of varying ages with character structures of one to three stories. There is no single dominant building typology or architecture.

Views

All new homes will have territorial and possible downtown, mountain and Sound views from roof top decks.

Community Landmarks

Volunteer Park, a historic Olmstead Park containing over 48 acres, was declared a Seattle Landmark in 2011. It is located four blocks north of the site. Located in the heart of Seattle, Volunteer Park is home the Volunteer Park Conservatory and the Seattle Asian Art Museum. It includes a fountain, paths, landscaping, tennis courts, multiple large sculptures, fields, sound, mountain and downtown views, the Olmsted Exhibit located in the Water Tower at the south entrance to the park, a children's play area and a band stand. This open park invites walking, sitting, reading, contemplation, informal sports in the meadow, and organized sports on the athletic field.



contemporary residential



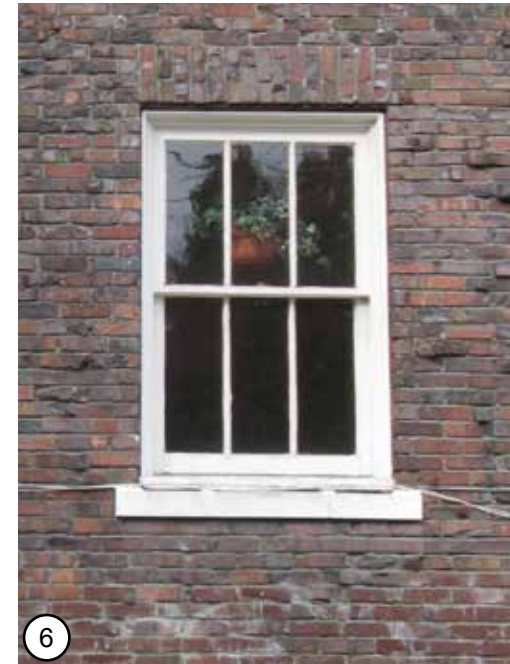
traditional residential



E Prospect St.
E Aloha St.
E Roy St.
E Mercer St.
E Republican St.
E Harrison St.
E Thomas St.
E John St.
E Denny Way

A-2 Streetscape Compatibility:

Analysis of the neighborhood helped the design team develop a language for the project design. Examples of urban brick structures are abundant in the immediate neighborhood and demonstrate a model that this project emulates without imitating history. Raised recessed entries, well-detailed window and door openings provide context for reference. A study of setbacks around the site has demonstrated that our design proposal is consistent with setbacks in the immediate area.



fenestration and brick detailing study

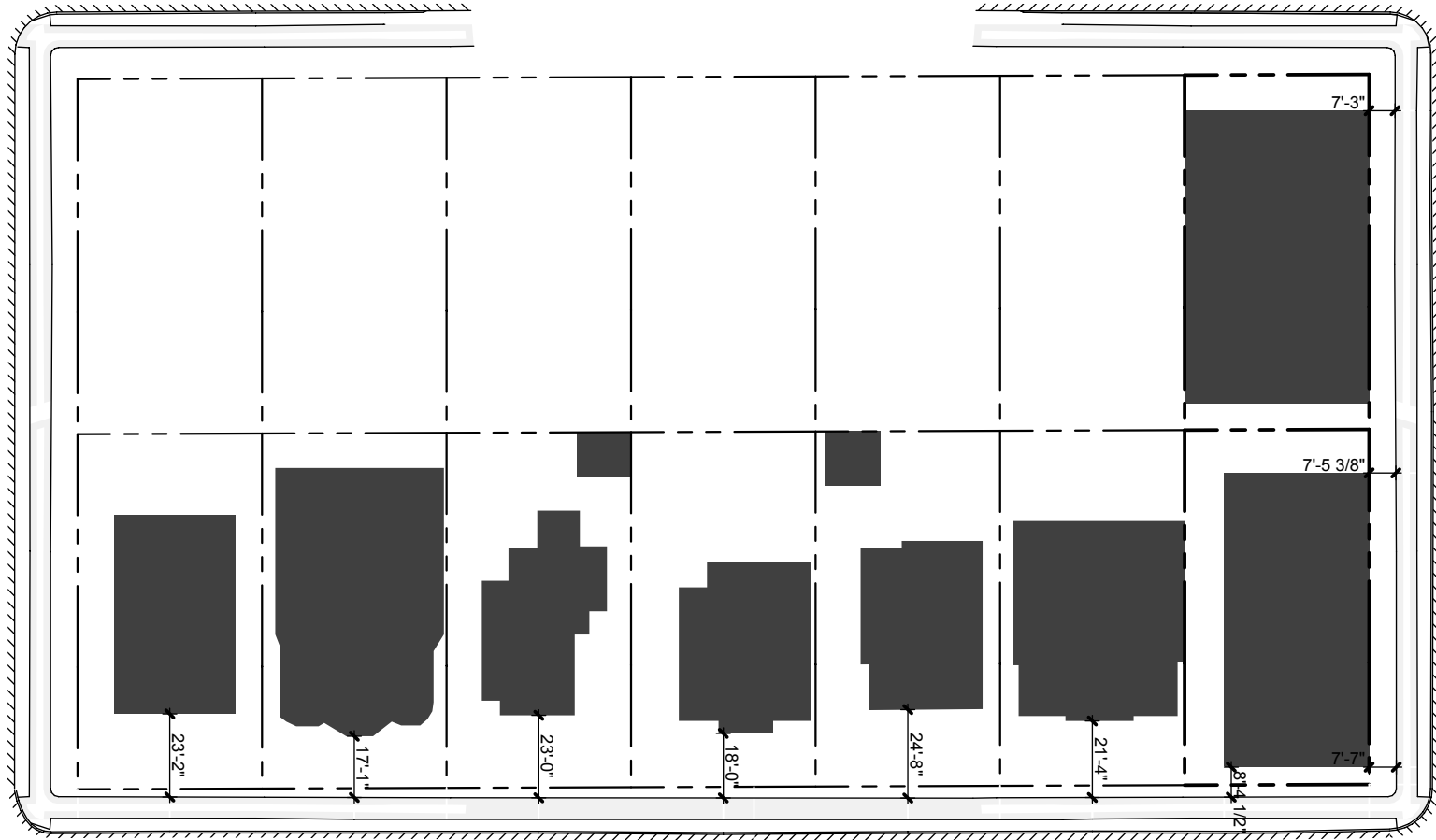


modern civic

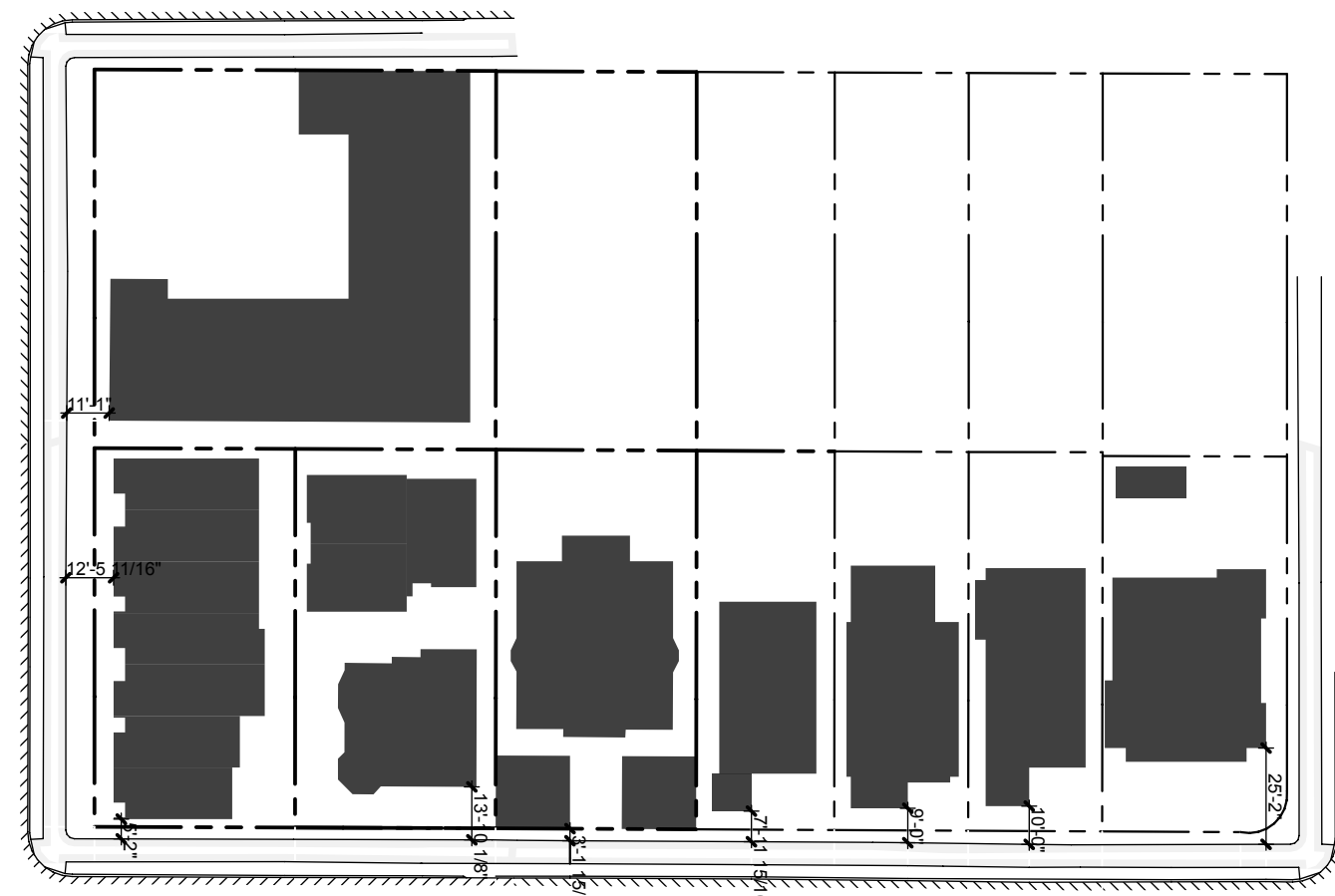


typical stoops and grade change conditions

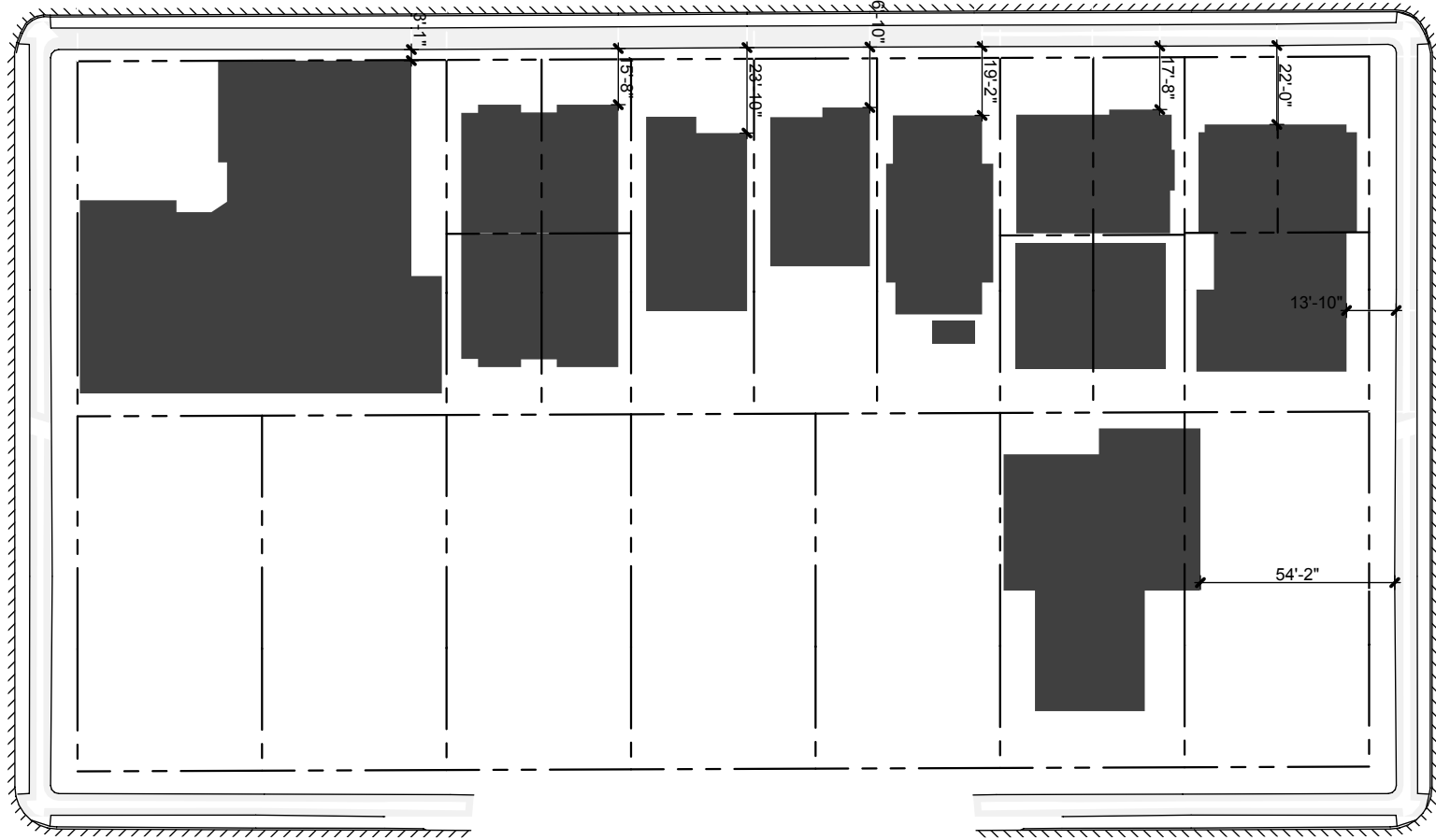


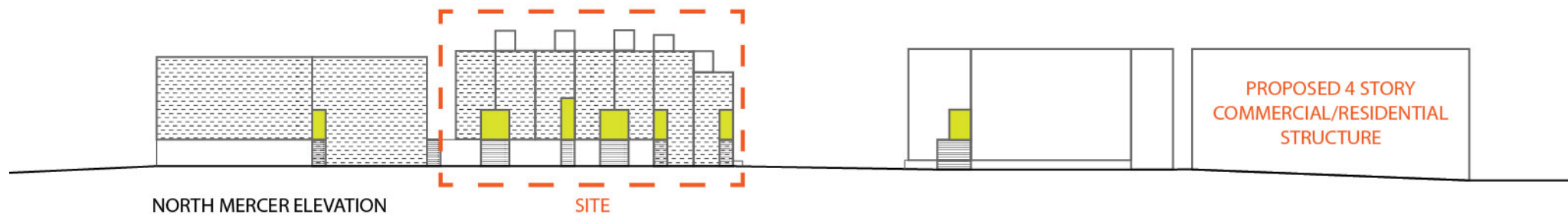
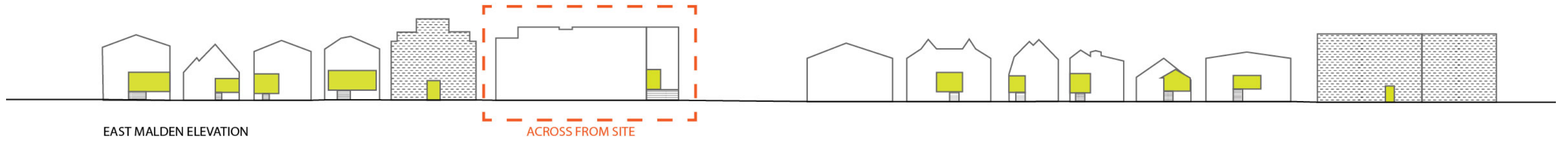
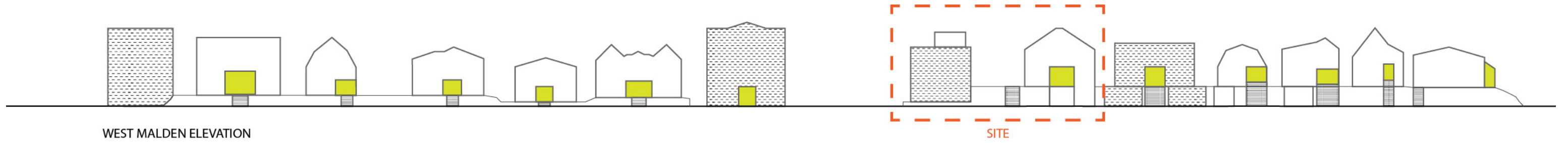


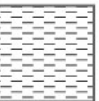


E MERCER STREET



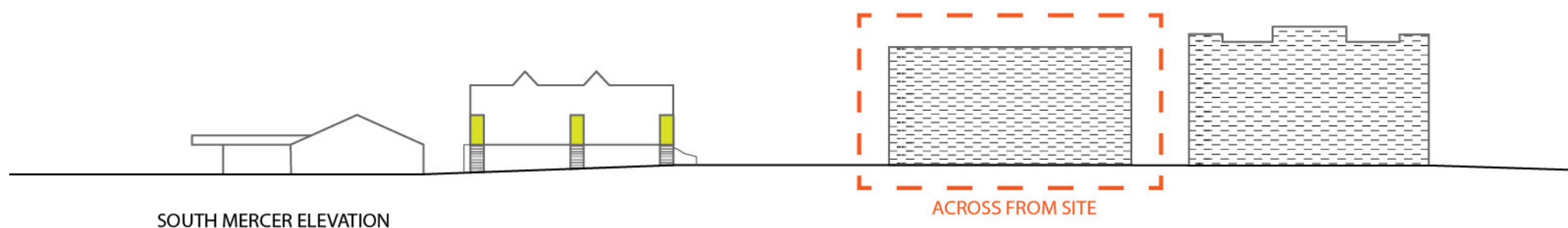
MALDEN AVENUE E





-  BRICK SIDING
-  STAIRS
-  ENTRY MOMENT

* heights are approximated



Summary of Early Design Guidance

At the conclusion of the EDG meeting, the Board recommended the project should move forwards to MUP Application in response to the guidance provided at this meeting.

EDG



EDG preferred alternative

MUP



performed analysis of current neighborhood patterns ①



developed human scale elements



③ ⑤



preserving existing house and ginkgo tree ② ④

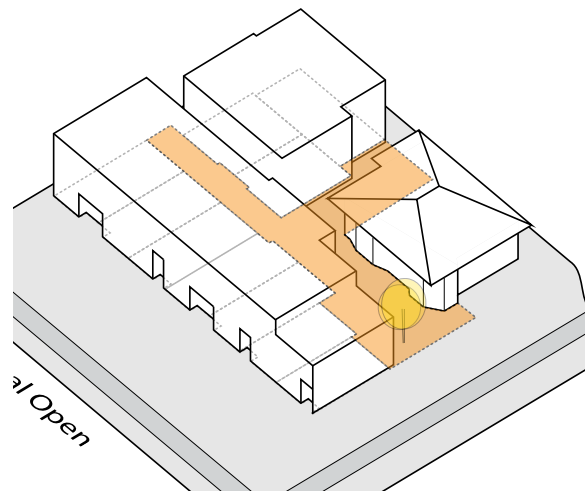


massing at the corner of Malden and Mercer ⑥

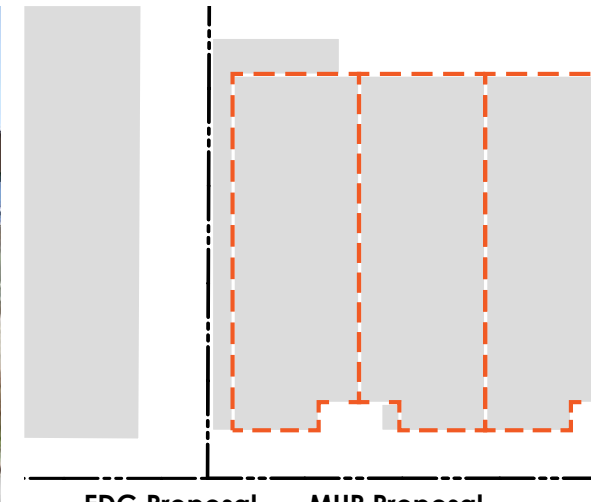
Profile Proposed at
Early Design Guidance

Summary of Early Design Guidance

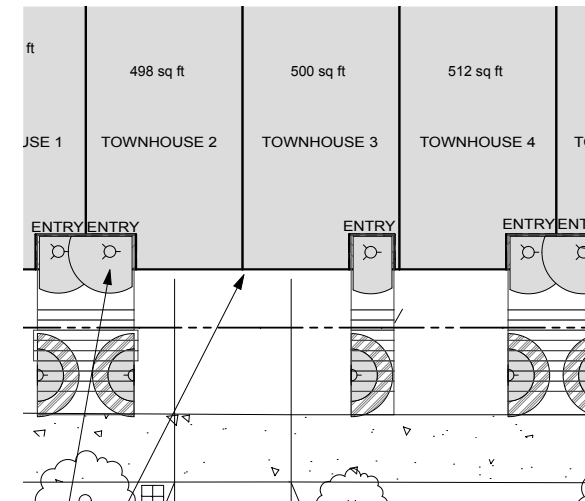
- ① The streetscape should be informed by the pattern of the neighborhood. At the Recommendation Meeting the applicant shall provide an analysis of the surrounding neighborhood properties. The analysis should provide the dimensions and square footage of structures and the setback dimensions of structures from their property lines.
- ② The Ginkgo tree needs to be preserved.
- ③ Parking needs to have a single point of access.
- ④ The Malden Ave E house should be preserved.
- ⑤ The Board likes that the look of the structures is "modern". They would like the project to appear less monolithic and provide more human scale elements.
- ⑥ The Mercer and Malden facades should be brick.
- ⑦ At the Recommendation meeting provide a lighting plan.
- ⑧ At the Recommendation Meeting provide a detailed landscape plan.



examined open space on the site



west property line at E Mercer



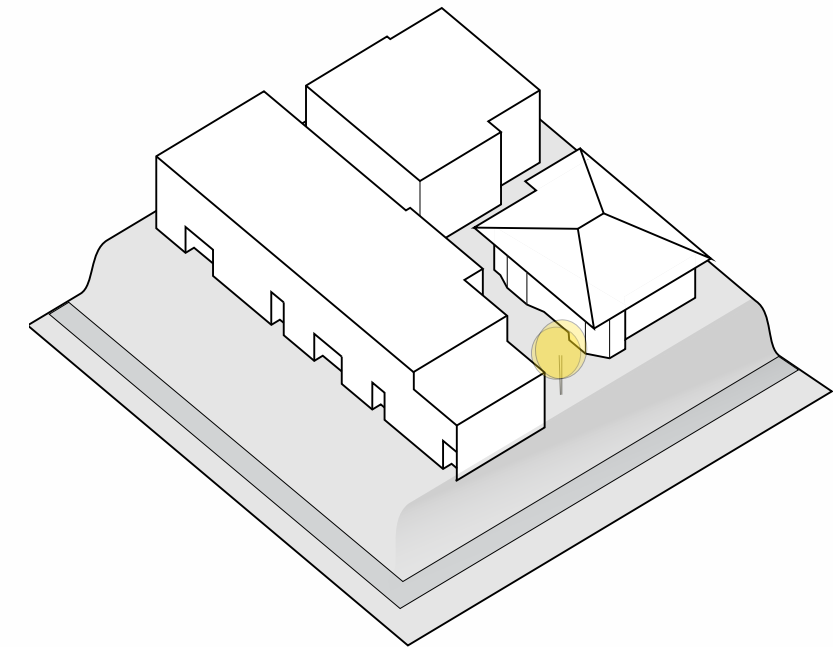
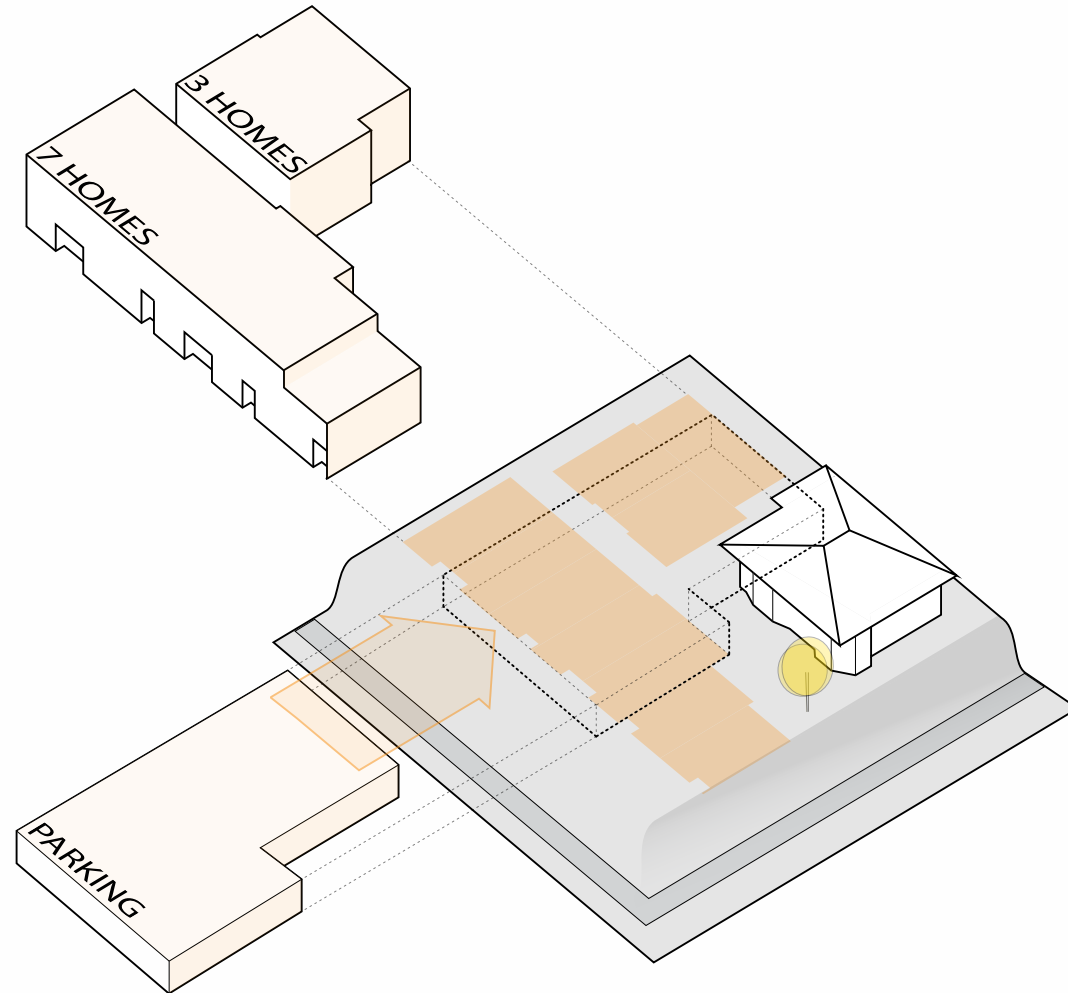
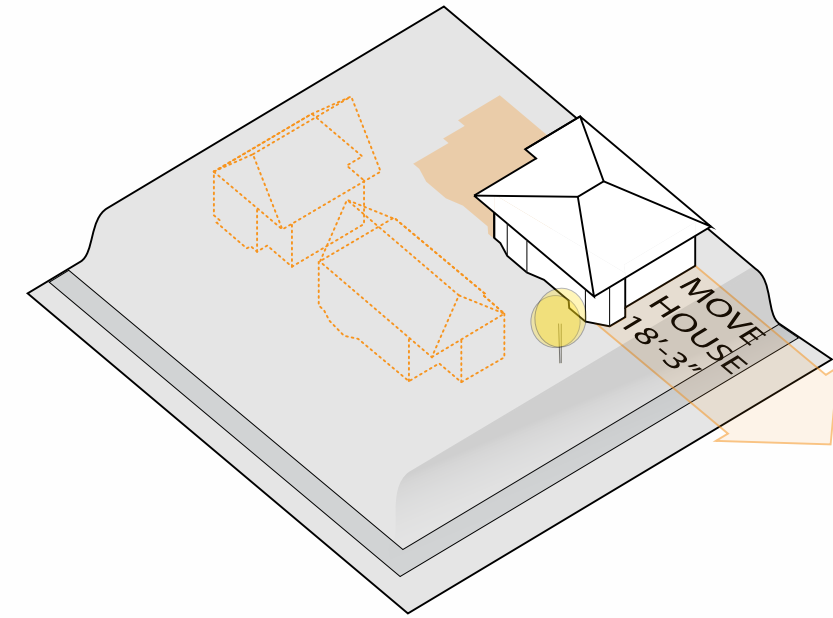
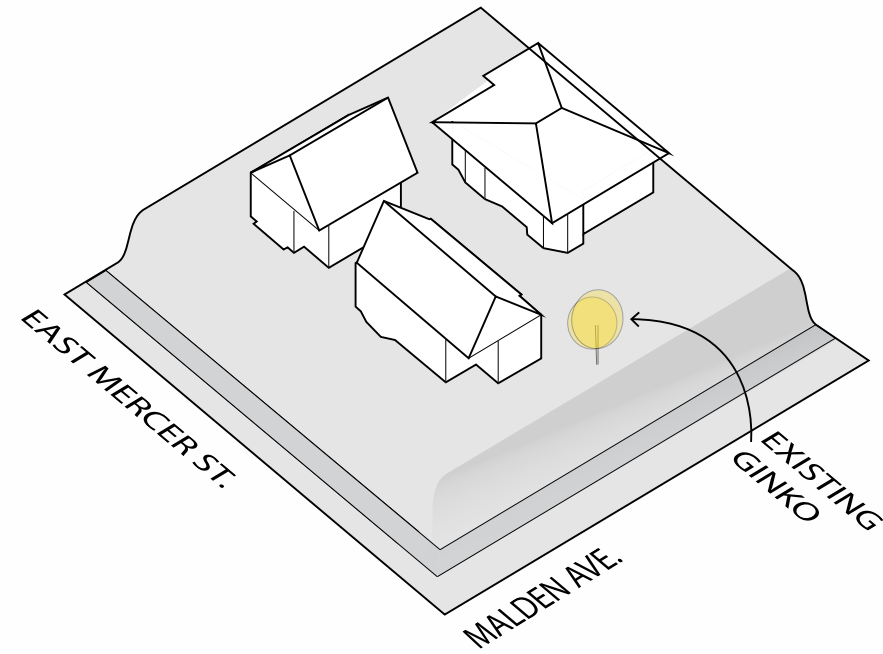
lighting plan

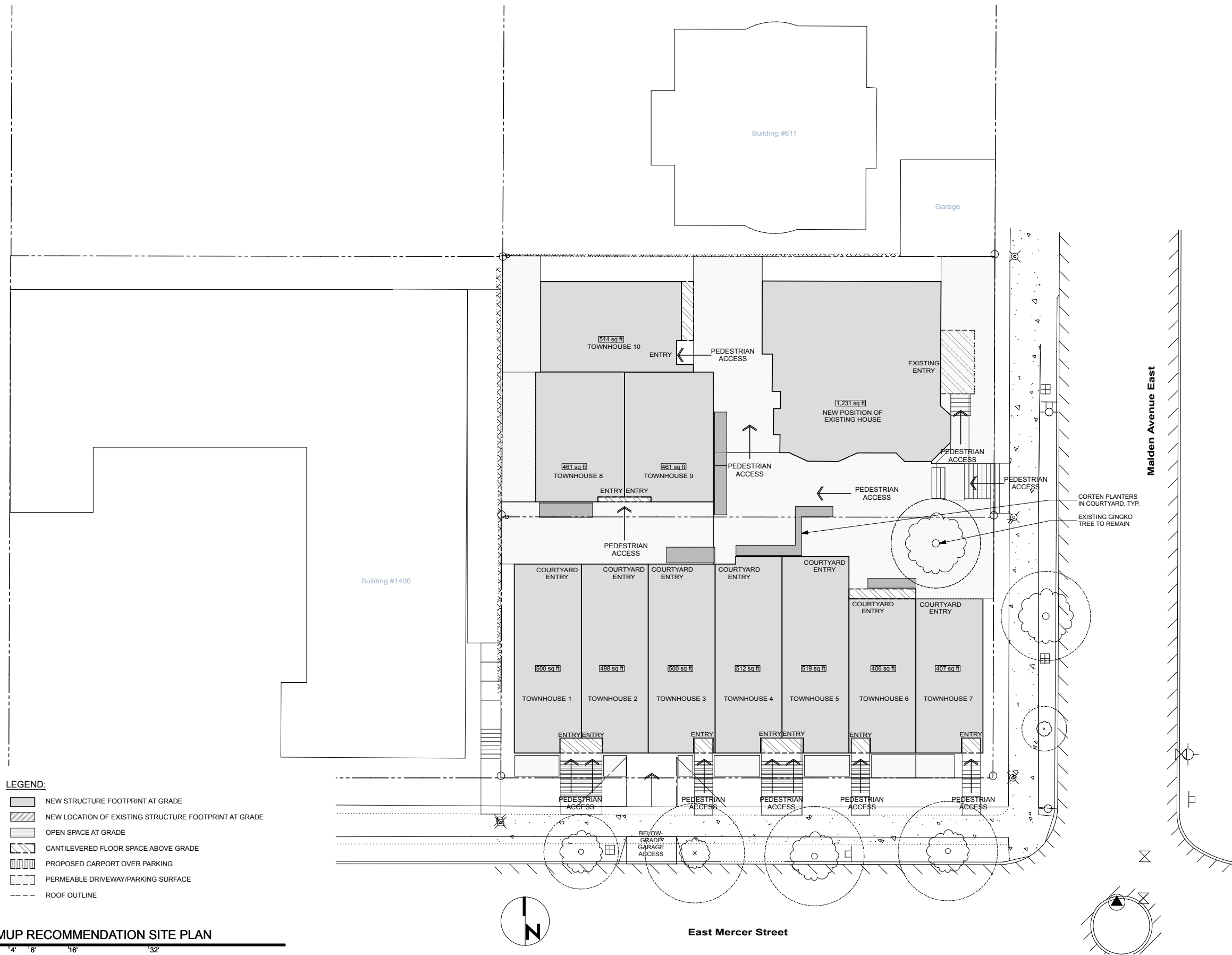
⑦



landscape consistent with neighborhood patterns

⑧





Please describe the proposal in detail, including types of uses, size of structure(s), location of structure(s), amount, location and access to parking, special design treatment of any particular physical site feature, etc.

Development Objectives

The project strives to create a compelling community of homes while integrating neighborhood character by preserving an existing single family home. The new homes will acknowledge the area and the times, while injecting fresh concepts and energy into a vibrant existing neighborhood.

Type of Uses

The project proposes ten new homes in two structures, assembled around the existing 1906 single family home. All homes shall have access to an outdoor, shared courtyard. The courtyard provides a communal space at the heart of the project and access via a communal stair to the shared below-grade parking structure. All homes will connect visually to the central communal space at the center of the two parcels with access to Malden Avenue E to the east. The project will have two front façades with the courtyard and existing structure addressing Malden Ave E directly and the seven townhouses addressing E Mercer St and the corner. The triplex at the rear of the site engages Malden via the courtyard. Private roof decks extend the interior living spaces and take advantage of the south, southwest and west views.

Structure Height

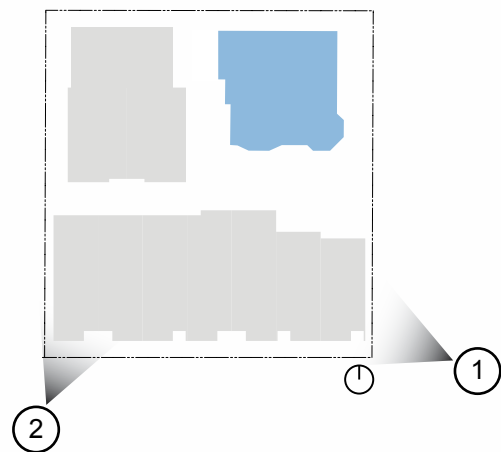
The townhomes will utilize the majority of the allowable height, with conscious reductions for the rear triplex, within the courtyard and the townhouse abutting the corner of Malden and Mercer. Stair penthouses will be limited and oriented to minimize impacts on adjacent sites.

Parking

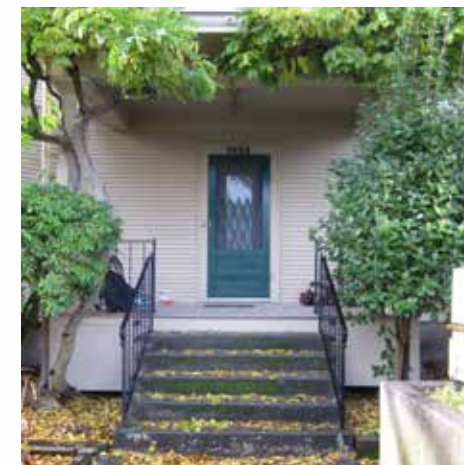
The project proposes parking for all of the homes in a common below-grade garage structure accessed from E Mercer St. Given the site's location within the Capitol Hill Urban Center Village no on-site parking is required.



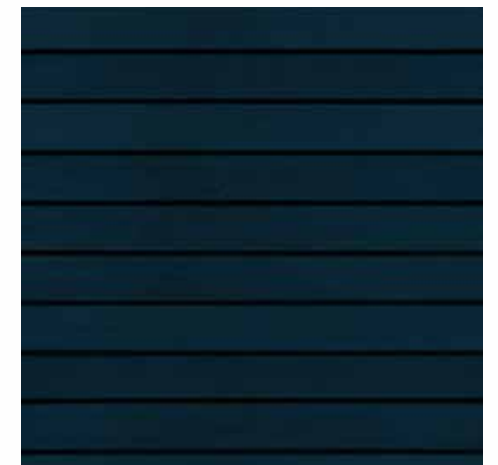
① view from the intersection of E Mercer Street and Malden Avenue E looking northwest
preserving character:



existing ginko tree is to be preserved



existing 1906 home to be preserved



painted blue siding



Response to Early Design Guidance

A-5 Respect for Adjacent Sites:

The Mercer townhouse structure was narrowed to provide a larger setback along its west lot line resulting in nearly 10 feet between the new structure and its neighbor to the west. The length of the proposed wall was shortened and its third floor reduced in massing. A green wall is proposed in this location to mitigate the impact of the façade. The departure for the west lot line has been reduced in response to the board's concern. The Mercer townhouse structure has been narrowed to create a minimum setback of 2'-6" widening to 2'-8 1/2" at the street to its west property line. The adjacent structure to the west has a wall that is 94'-3" long for a façade length of 89.8%. The distance between the new position of our west façade abutting Mercer St and the abutting structure to the west is 9'-10". In addition the third floor of the proposed wall, for a distance of nearly 16 of the 38 foot façade provides a setback of 6 feet. The western most townhouse provides stair access to its roof deck in this setback, removing the need for a penthouse and reducing the potential impact on the neighboring property.

C-2 Architectural Concept and Consistency:

The design addresses issues of human scale through the design of individual and paired front stoops mostly rendered in brick on grade, framed recessed enamel painted steel entries, low planters with landscaping between front stoops, large windows organized in patterns referencing neighborhood structures and similar typologies, steel at railings and at brick window head detailing. On the Mercer and Malden façades, areas of contrasting steel panels to add elements of visual interest at upper floors complementing the entry design element and provide further opportunities for human scale.

D-2 Blank Walls:

The wall along the west property line has been moved a minimum of 2'-6" away from the property line for most of the wall. At the third floor a section of wall is set back an additional distance to be 6 feet from the property line to allow for windows and a door to provide stair access to the roof deck. The brick will wrap around from the Mercer St façade and transition to cement board siding that will be covered with vines for the full height of the wall. Landscaping along E Mercer St enlivens the the low concrete walls.

② view from the intersection of E Mercer Street and Malden Avenue E looking northwest



traditional red varitone brick
mutual materials



ebonized douglas fir vertical siding
windfall lumber



board-formed concrete planters



white enamel-coated steel



akebia quinata at green wall

Response to Early Design Guidance

A-3 Entrances Visible from the Street

The design of the entries has been clarified. For all new units, entries are highlighted with a contrasting painted white steel trim that punches into the recessed entries. The seven units that face east Mercer Street are also called out by front stoops that carry the brick of the primary façade down to the sidewalk level. A steel angle detail identifies the individual units within the larger brick façade. The rear townhouse structure, directly visible from Malden announces its entries through a welded tube steel canopy. The existing house maintains its connection to Malden.

A-4 Human Activity

Human activity is prioritized for the development and its relationship to the immediate neighborhood. Stoops line the Mercer St façade, providing opportunities to linger and engage with neighbors with the eastern most one shifting to the east to directly engage the corner. The corner townhouse is lowered significantly in height to reduce the scale of the proposal at the corner. The existing retaining wall is removed allowing for a more direct connection to the sidewalk with a low landscaped buffer in front of the structure. A wider, more public stair provides opportunities for the project's courtyard to directly engage the neighborhood and to encourage interaction. The ginkgo tree is preserved providing a strong landscape element to anchor the entry to the courtyard. The front porch of the existing house is now closer to the street by 17 feet, offering a great vantage point for visual connection.

A-6 Transition Between Residence and Street

After documenting and analyzing the surrounding context, the design proposes to use an open concrete stair with brick treads as a way of transitioning between the units and the sidewalk. Dense planting areas relate to the existing pattern within the neighborhood and allow for generous landscaping along the south and east edges of the site. By combining entries into a double wide stoop at two locations and providing a generous stair into the central courtyard, the proposal maintains a feeling of openness between its more public and private spaces. The first floor is raised up above the street 7 feet to maximize security and privacy for the residents while the stoops and planters are designed to be open to encourage social interaction.

A-10 Corner Lots:

The corner townhouse abutting Malden was moved slightly closer to the corner in order to create a larger setback to the west. In addition, the townhouse was lowered significantly to reduce its impact. The entry for this townhouse has been moved to the east to address the corner directly. The E Mercer façade stayed in its location with the stoops set 2 feet from sidewalk per SDOT requirements. The existing house has been moved closer to the east property line as well.



③ aerial view looking northwest



④ view from Malden Avenue E looking southwest

Response to Early Design Guidance

A-1 Responding to Site Characteristics:

The ginkgo tree is preserved and made the anchor of the public side of the shared courtyard. The existing house is lowered by a foot, shifted 1'-2" north and 2'-8" closer to the street to provide additional space for the tree.

A-2 Streetscape Compatibility:

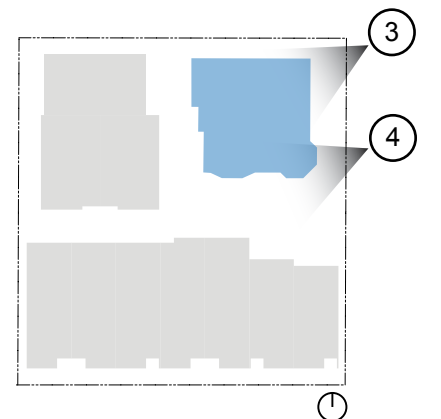
The Malden Ave E house is to be preserved, repositioned on site 1'-2" north and 18'-3" east. Its curb cut will be removed creating a stronger connection to the street in its new position. Combined with the townhouse structure, wide stair access to the courtyard and the ginkgo tree, Malden becomes the true front of the project.

C-2 Architectural Concept and Consistency:

The design addresses issues of human scale through the design of individual and paired front stoops mostly rendered in brick on grade, framed recessed enamel painted steel entries, low planters with landscaping between front stoops, large windows organized in patterns referencing neighborhood structures and similar typologies, steel at railings and at brick window head detailing. On the Mercer and Malden façades, areas of contrasting steel panels to add elements of visual interest at upper floors complementing the entry design element and provide further opportunities for human scale.

D-3 Retaining Walls:

The retaining walls along Malden Ave E have been addressed per the board's concern. It is broken into individual segments so that it can be lowered at the corner to 18 inches. It steps up the existing slope north of the ginkgo tree to create a varied wall at the courtyard edge adjacent to the existing house. Planting occurs all along this edge above and below the wall where possible.





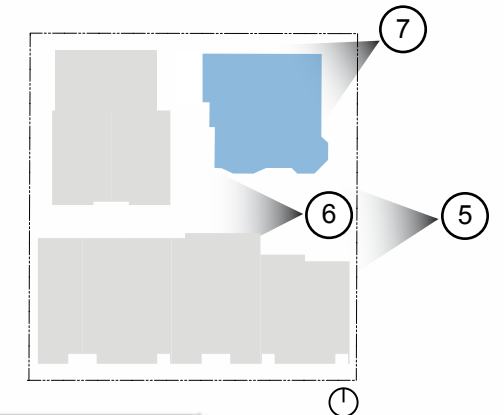
junkus patens "Elk Blue"



rosmarinus officinalis "Salem"



board formed concrete planters



⑤ view from Malden Ave. looking west



⑥ view of courtyard entry from Malden Ave.

Response to Early Design Guidance

A-7 Residential Open Space:

The open space for the project is provided in three primary locations: a common courtyard at the center of the site, private stoops and landscape areas in the setbacks and private decks at upper floors and roof. The design responds to the board's concern by enlarging the area of the common courtyard in three ways. First, the north-south dimension of the Mercer St townhouse structures was reduced from 42 feet at the west boundary to 38 feet and its footprint was reduced from 3,652 square feet to 3,455 square feet a reduction of nearly 200 square feet. Second, the footprint of the rear townhouse structure was reduced from 1,582 square feet to 1,468 square feet, a reduction of 114 square feet. This two changes increased the space between the townhouse structures from as little as five feet to a continuous dimension of 12'-6". Third the existing Malden residence was shifted 1 foot to the north increasing the space between it and the Mercer townhouses. In all the open space is significantly more than is required by code.

C-1 Architectural Context:

The Malden Ave. E residence is being retained in the proposal. It will be moved on site 18'-3" east, 1'-2" north, and lowered 1'-0". The new structures are intentionally modern and intend to employ traditional materials in a contemporary way.

A-10 Corner Lots:

The single-family house and seven unit structures have each moved closer to the corner as a way of engaging with the corner of the site. In addition, the entry at unit 7 has also been shifted to the east side of the building to engage with the corner as well. The two and a half story volume at the corner also makes use of a generous amount of glass at the street.



⑦ view from Malden Ave. looking southwest



ebonized douglas fir vertical siding
windfall lumber



cement composite panel



pavers at courtyard



⑧ view of courtyard looking west

Response to Early Design Guidance

D-1 Pedestrian Open Spaces and Entrances:

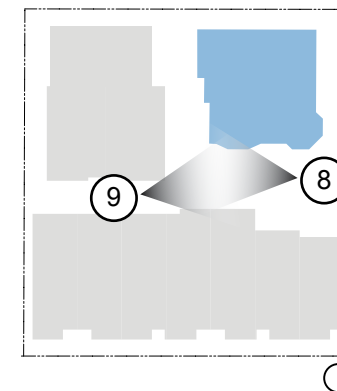
The lighting plan features stair tread/retaining wall lights and lights at all private stoops along Mercer and at the shared access stair from Malden. Individual down lights are provided at the recessed entrances along E Mercer Street as well as at the entrance to the shared garage. At the interior of the courtyard down lighting will be provided at each of the Mercer townhouses rear doors as well as along all sides of the existing house to light the courtyard. For the rear townhouses similar down lighting will highlight their entrance doors. Lighting will be provided in the shared garage and along the stair connecting to the center of the courtyard.



9 view of courtyard looking east

A-7 Residential Open Space:

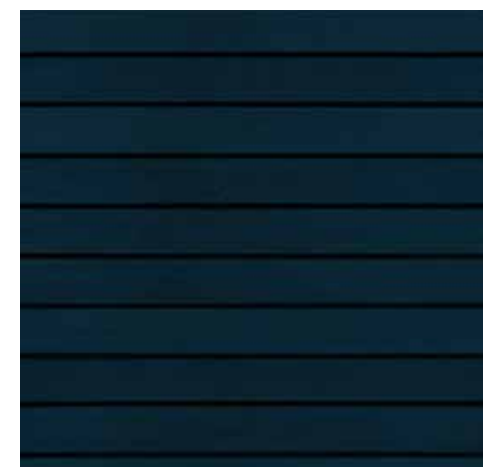
The design responds to the board's concern by enlarging the area of the common courtyard in three ways. First, the north-south dimension of the Mercer St townhouse structures was reduced from 42 feet at the west boundary to 38 feet and its footprint was reduced from 3,652 square feet to 3,455 square feet a reduction of nearly 200 square feet. Second, the footprint of the rear townhouse structure was reduced from 1,582 square feet to 1,468 square feet, a reduction of 114 square feet. This two changes increased the space between the townhouse structures from as little as five feet to a continuous dimension of 12'-6". Third the existing Malden residence was shifted 1 foot to the north increasing the space between it and the Mercer townhouses. In all the open space is significantly more than is required by code. The structures were reduced in footprint in order to provide a larger central open space. The corner unit has been redesigned to be significantly lower than the rest of the Mercer St structure by almost an entire story. The wall at the corner is 29 feet tall to the top of its parapet with a railing that extends another 2 feet above that.



painted steel trellis example



corten steel planters



painted blue siding



⑩ view of courtyard looking southeast

A-7 Residential Open Space:

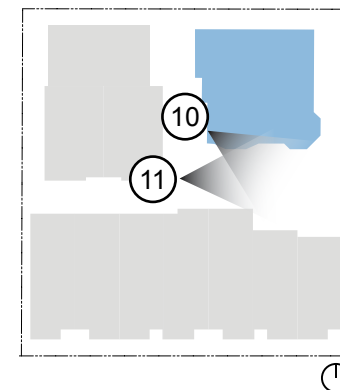
The rear side setback has been increased and private amenity areas are being provided for the triplex structure along the west and northern edges. The largest open space is still being provided at the center of the proposal with privately accessible roof decks for each of the new units. The stair access to the common garage, access points to each home, private decks at lower floors, proposed landscaping, the existing ginko tree and the common stair connecting to Malden all activate the central courtyard.



11 view of courtyard looking east

E-3 Landscape Design to Address Special Site Conditions:

The proposal has been sited so that the entry to the shared courtyard is located adjacent to the existing ginkgo tree. The tree is exceptional and will be preserved as the anchor of the courtyard.





12 view of entries on E Mercer St.

A-8 Parking and Vehicle Access:

A single point of access to below grade parking is being provided from Mercer at the southwestern edge of the development. A cobblestone paver is being planned for the driveway and placement is being coordinated to minimize the impact on existing street trees.

C-3 Human Scale:

An architectural language of brick, steel, and wood siding has been developed to break down the primary elements of the proposal. Painted white steel punches are employed to call out entries and add modulation at the third floor. Vertical steel angles are also used to separate each of the individual units.



taxus baccata "Repandens"



cobblestone paver
at garage entry



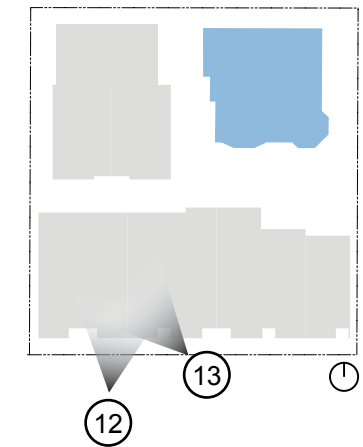
inca smooth brick
mutual materials



fragaria chiloensis "Lipstick"



symphoricarpos orbiculatus "Spun Sugar"



13 detail at entry on E Mercer St.

C-4 Exterior Finish Materials:

The proposal uses a full-depth brick veneer wall at the street facing units in a manner consistent with the character of the neighborhood. Secondary materials including wood siding and enamel coated steel will be similarly durable and maintainable.



A-5 Respect for Adjacent Sites:

The seven unit townhouse structure was narrowed and shifted to the east to respect its neighbor to the west, providing a nearly 10-foot setback to the adjacent structure. The seven unit structure also steps further back at the third floor and provides a full height green wall on its west façade.

— — — Profile Proposed at
Early Design Guidance



A-10 Corner Lots:

The single-family house and seven unit structures have each moved closer to the corner as a way of engaging with the corner of the site. In addition, the entry at unit 7 has also been shifted to the east side of the building to engage with the corner as well. The two and a half story volume at the corner also makes use of a generous amount of glass at the street.

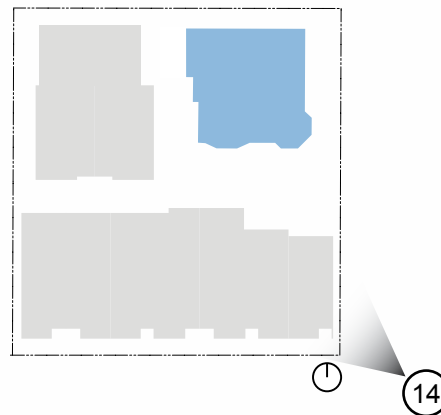
B-1 Height, Bulk, and Scale Compatability:

The unit at the corner of the site has been significantly lowered and the planters have also been lowered as a way of transitioning at the corner of the site. Materiality, façade modulation, and fenestration have been employed to bring the proposal to a human scale. In addition the rear triplex structure does not propose to build to it allowable maximum height to reduce the mass proposed to the west and north properties. Modulation along the north and west façades reduce the mass and bulk of the proposal as described above.

— — — Profile Proposed at Early Design Guidance

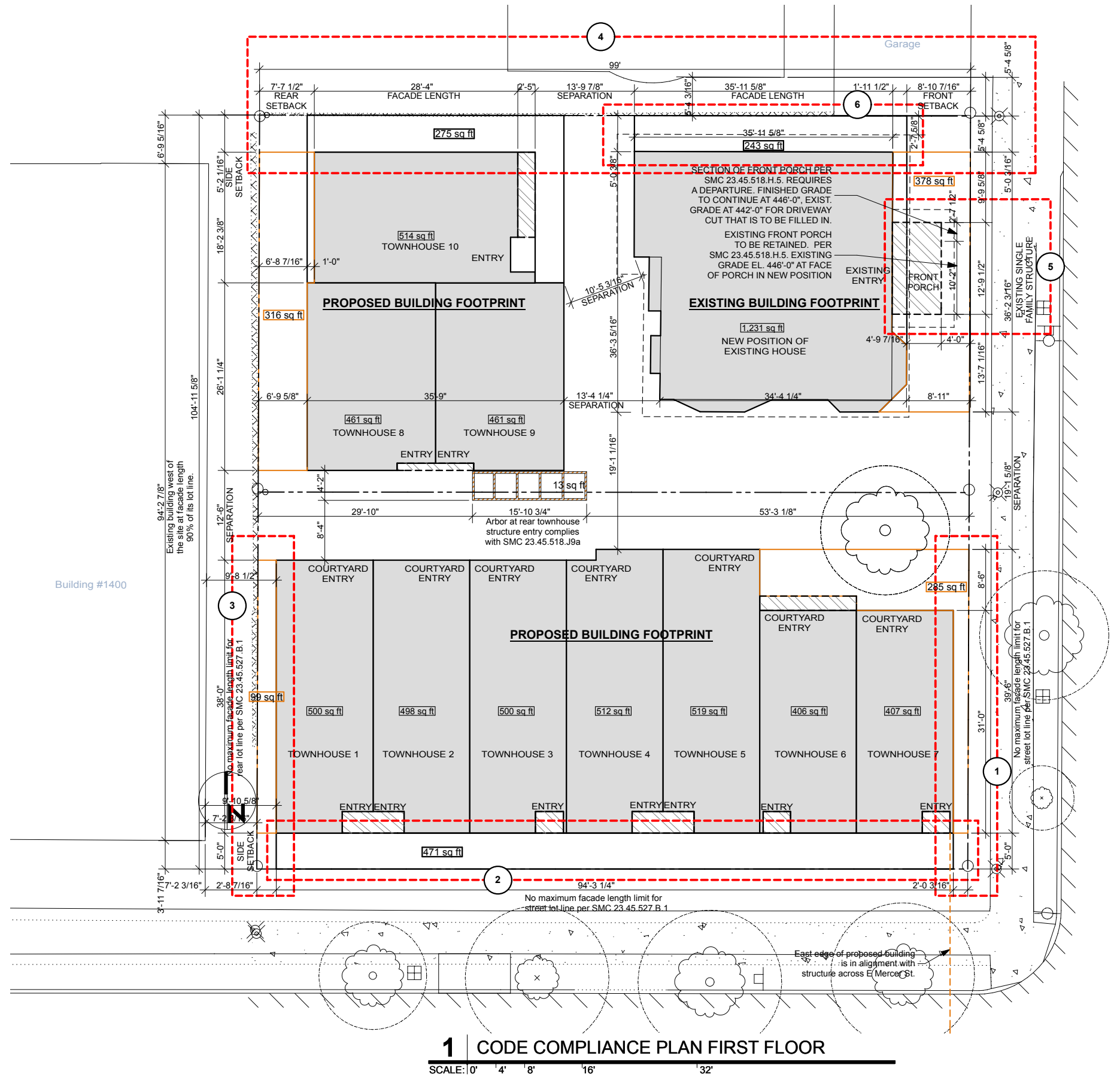


14 view from the intersection of E Mercer Street and Malden Avenue E looking northwest



Development Standard	Required	Proposed	Design Guidelines Supported by Anticipated Departure
1. Front Setback 23.45.518.A	For townhouse uses, front setback shall be 7 feet average, 5 feet minimum.	8'-8 3/4" average between the repositioned existing single-family structure and proposed townhouse structure and 2'-0 1/4" minimum for setback at Townhouse 7.	A-1, A-2, A-7,
2. Side Setback 23.45.518.A	For façades greater than 40 feet in length for townhouse uses, the side setback shall be 7 feet average, 5 feet minimum.	5' average and 5' minimum for south setback along Mercer St.	A-1, A-6, A-7, D-5, E-3
3. Rear Setback 23.45.518.A	For townhouse uses, rear setback shall be 7 feet average, 5 feet minimum.	7'-1 1/2" average and 6'-9 3/4" minimum rear setback at triplex structure. 2'-8 1/2" average and 2'-8 1/2" minimum rear setback at west side of Townhouse 1. 5'-1" average for both structures	A-2
4. Façade Length 23.45.527.B	The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.	North side façade length is compliant at the first and third floors with lengths of 64'-3 5/8" (65%) and 62'-2" (61% respectively. At the second floor only the length is 66'-8 5/8 or 67% of the lot length, and 60'-2" 5/8 or 61% at the third floor.	A-1
5. Front Setback 23.45.518.H.5	If setbacks are required pursuant to subsection A.1 of this Section 23.45.518, unenclosed porches or steps no higher than 4 feet above existing grade, or the grade at the street lot line closest to the porch, whichever is lower, may extend to within 4 feet of a street lot line.	The existing front porch is no higher than 5 feet above grade.	A-1, A-2, A-3, A-4, A-6
6. Side Setback 23.45.518.H.1	Cornices, eaves, gutters and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.	Eave and gutter on the existing residence project to within 2.6 feet of the north side lot line.	A-1, A-2, A-3, A-7

Comment / Rationale by Architect.
<p>In order to preserve existing vegetation, a slight modification of the front setback (on Malden Ave E) is anticipated. Planning the units in this way, to preserve the existing tree, results in shorter but slightly wider units to create a reduced front setback. In addition, the setback is also compatible with the adjacent building to the south across E Mercer St. The departure request allows a better relationship with the street and encourages interaction. The townhouse unit triggering the request engages with the sidewalks at the corner and greatly reduces its allowable height.</p>
<p>The proposal creates a large and well-scaled public space at the center of the project, a design element supported by the city's design guidelines as well as the applicable specific Capitol Hill neighborhood design guidelines. The new structure abutting E Mercer St. proposes the minimum required setback to preserve more space internally for the courtyard. The 5' setback is consistent with the setback of the adjacent structures. The proposed depth of the structure, which leaves adequate space for stoops, plantings and street trees, is more compatible with the character of the street. The anticipated departure also creates a recessed garage entry and thereby reduces the visual impact of the parking structure along the pedestrian environment. A review and analysis of the surrounding properties demonstrated a rich context of multifamily and residential structures that engage their sidewalk through the use of recessed entries and projected stoops consistent with this proposal.</p>
<p>Neighborhood specific and citywide design guidelines support the enhancement of the pedestrian environment. The proposal accomplishes this by maintaining a continuous street wall along E Mercer Street with modulation and variation between stoops and plantings. This is in keeping with the intent of the design guidelines for such a structure. The structure abutting Mercer has been narrowed to allow for nearly a 10-foot setback to the adjacent structure to the west whose façade length is over 94 feet long (90% of the lot length). The third floor of both structures is modulated to allow for a larger average setback of 4 feet at that floor.</p>
<p>The departure request is at the second floor <u>only</u>, exceeding the 65% limit by 2'-4". It is anticipated in order to preserve the existing house. Seattle City Design Guidelines support the preservation of an existing structure where slight modification of setbacks will allow it. The proposed structure contributes only 30'-9" (less than half) to the total façade length at the second floor. The third floor is steps back, reducing the façade of the proposed structure to 22'-3". This balances the façade area between the three floors with the average façade length for all floors at 63'-9" which would be compliant at 64.4% of the lot depth.</p>
<p>Retaining the existing house and front porch supports design guidelines A-1 Responding to Site Characteristics, A-2 Streetscape Compatibility, A-3 Entrances Visible from the Street, A-4 Human Activity and A-6 Transition Between Residence and Street. The high bank separating the existing house and porch from the sidewalk provides existing grade at the required height for most of the porch street front. However, a small area contributing to less than 3 feet of the porch frontage is now located in the cut for the original driveway. That cut will be partially filled in to create finished grade at the 5-foot height.</p>
<p>Retaining the existing house and front porch supports design guidelines A-1 Responding to Site Characteristics, A-2 Streetscape Compatibility, A-3 Entrances Visible from the Street and A-7 Open Space. In order to create a large and well-scaled public space at the center of the project, the existing structure is shifted 1'-2" to the north and 18'-3" to the east to code compliant side setbacks. The eave and gutter projection are maintained and project 7" into the required 3-foot setback for such projections. This condition is common throughout the neighborhood. In response, it height is lowered by 1 foot in this new position on the property.</p>



E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites:

There will be a generous amount of landscaping provided at all street facing areas. Individual, smaller planters will also be provided within the courtyard adjacent to the entries of each of the units.

E-2 Landscaping to Enhance the Building and/or Site:

A landscaping plan has been provided with the MUP submittal and will be further developed for the Recommendation meeting. In addition to siting the proposal around the existing Ginkgo tree the proposal also provides generous planters and landscaping area along the edges of the site.



Botanical Name	Common Name
<i>Acer circinatum 'Pacific Fire'</i>	Pacific Fire Vine Maple
<i>Acer griseum</i>	Paperbark Maple
<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Serviceberry
<i>Chamaecyparis obtusa</i>	Hinoki False Cypress
<i>Cornus alternifolia</i>	Pagoda Dogwood

OVER AND VINES

Botanical Name	Common Name	Spacing
<i>Abelia x 'Rose Creek'</i>	Rose Creek Abelia	36" O.C.
<i>Akebia quinata</i>	5-leaf Akebia	24" O.C.
<i>Arctostaphylos uva-ursi 'Wood's Compact'</i>	Woods Kinnikinnick	24" O.C.
<i>Athyrium filix-femina</i>	Lady Fern	24" O.C.
<i>Begonia grandis ssp. evansiana</i>	Hardy Begonia	24" O.C.
<i>Buxus sempervirens 'Suffruticosa'</i>	Edging Boxwood	24" O.C.
<i>Dicentra formosa 'Baccharal'</i>	Bleeding Heart	18" O.C.
<i>Euonymus japonicus 'Microphyllus'</i>	Boxleaf Euonymus	18" O.C.
<i>Fragaria chiloensis 'Lipstick'</i>	Lipstick Wild Strawberry	24" O.C.
<i>Hosta 'August Moon'</i>	Hosta	24" O.C.
<i>Juncus patens 'Elk Blue'</i>	California Gray Rush	18" O.C.
<i>Pachysandra terminalis 'Silveredge'</i>	Silver Edge Spurge	24" O.C.
<i>Polystichum minutum</i>	Western Sword Fern	18" O.C.
<i>Rosemary officinalis 'Salem'</i>	Salem Rosemary	24" O.C.
<i>Sarcococca ruscifolia</i>	Sweet Box	30" O.C.
<i>Symphoricarpos orbiculatus 'Spun Sugar'</i>	Spun Sugar Snowberry	36" O.C.
<i>Taxus baccata 'Repandens'</i>	Spreading Yew	48" O.C.



juncus patens "Elk Blue"



abella x "Rose Creek"



1 | RENDERED LANDSCAPE PLAN

SCALE: N.T.S.



dicentra formosa "Bleeding Heart"



arctostaphylos uva-ursi "Woods Compact"



begonia grandis ssp. *evansiana*



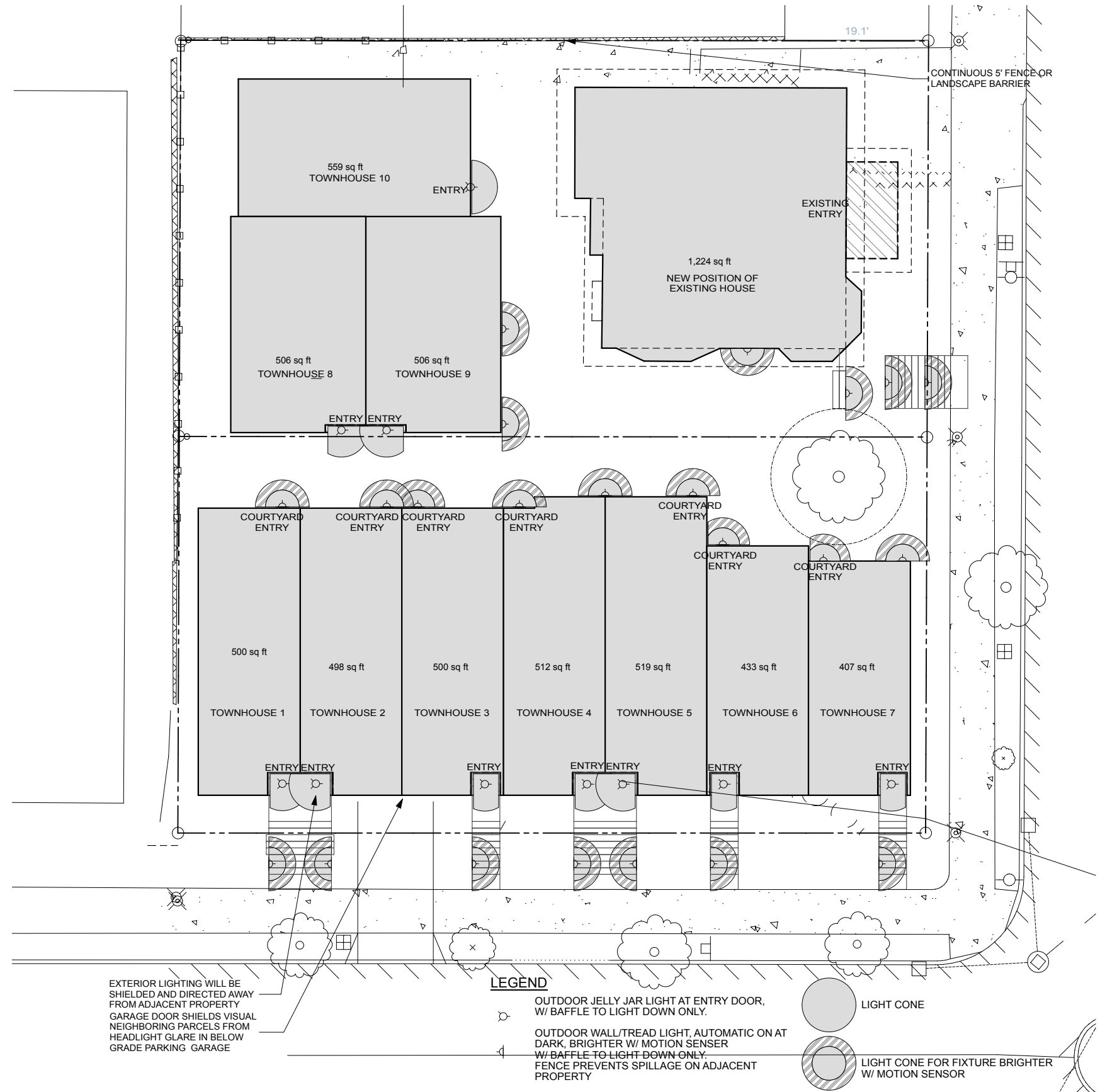
buxus sempervirens "Suffruticosa"



hosta "August Moon"



pachysandra terminalis "Silveredge"





15 view from the northwest

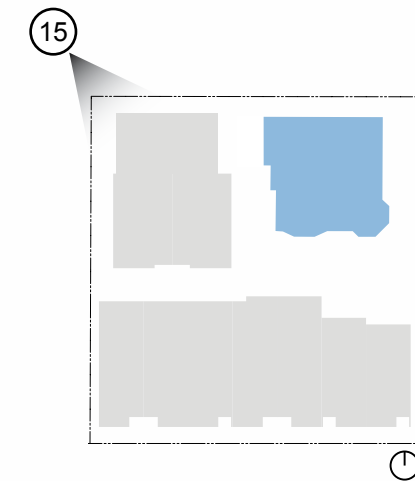
Response to Early Design Guidance

A-5 Respect for Adjacent Sites:

The rear setback at both structures has been increased. The rear triplex is now code compliant along its rear setback. In addition modulation on the rear wall and north wall of the triplex has also been increased at the third floor. The seven unit townhouse structure was narrowed and shifted to the east to respect its neighbor to the west, providing a nearly 10-foot setback to the adjacent structure. The seven unit structure also steps further back at the third floor and provides a full height green wall on its west façade.

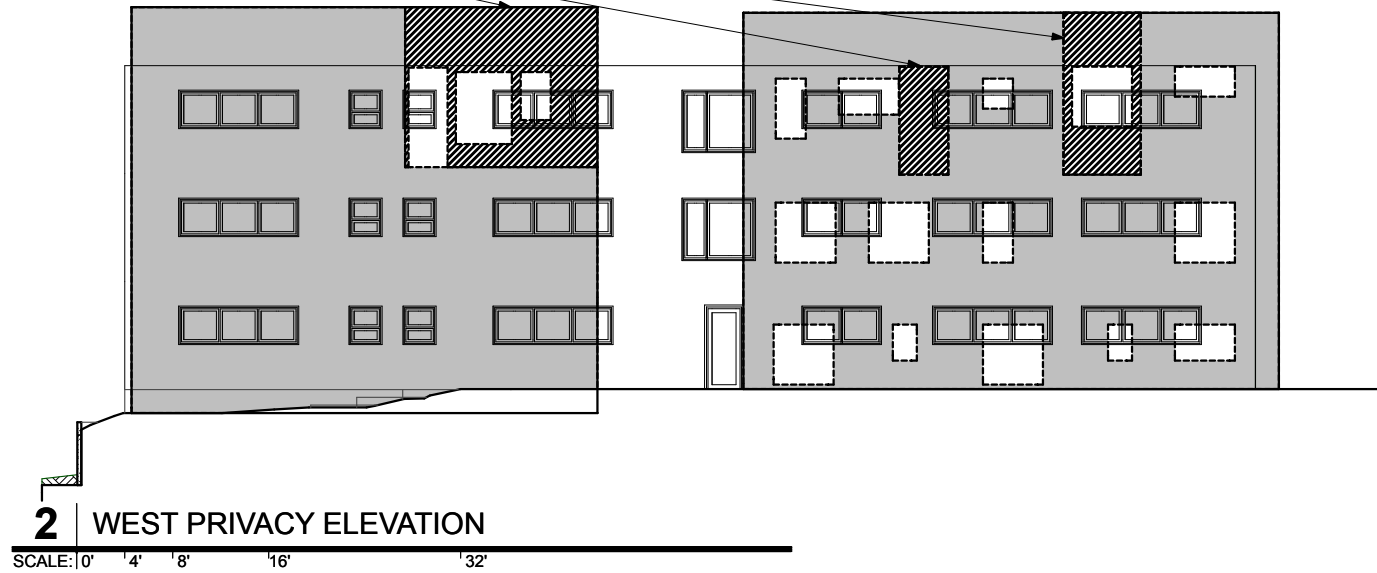
A-7 Residential Open Space:

The rear side setback has been increased and private amenity areas are being provided for the triplex structure along the west and northern edges. The largest open space is still being provided at the center of the proposal with privately accessible roof decks for each of the new units. The stair access to the common garage, access points to each home, private decks at lower floors, proposed landscaping, the existing ginko tree and the common stair connecting to Malden all activate the central courtyard.



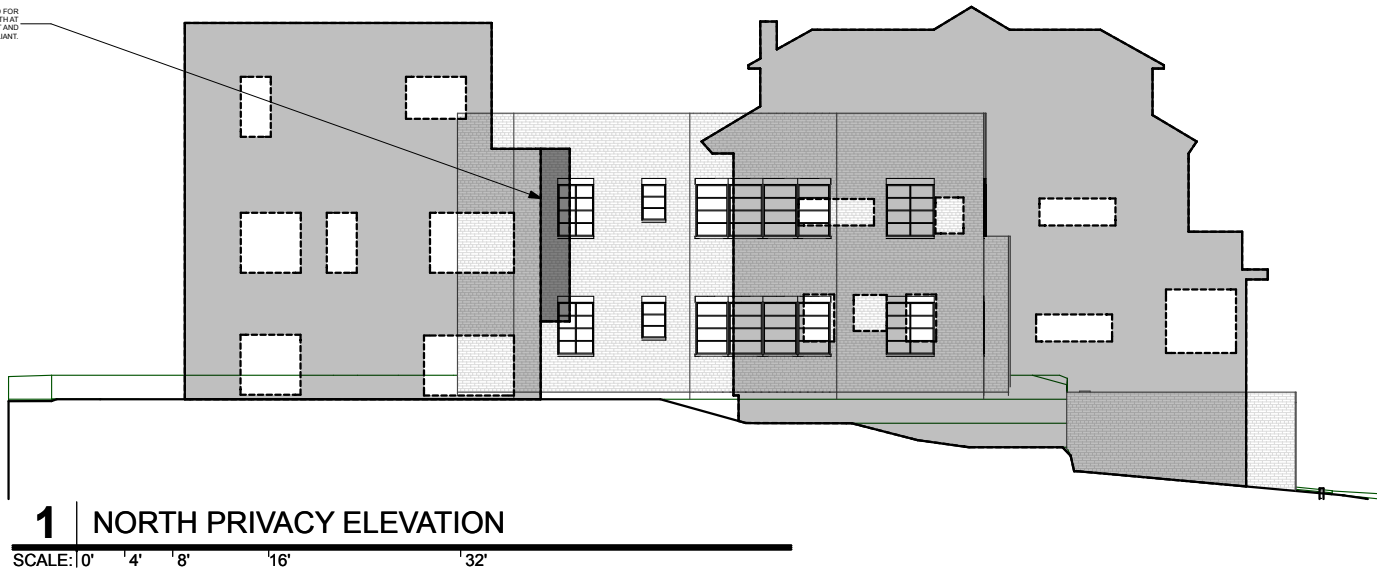
NOTE: PRIVACY ELEVATIONS INCLUDE FACADES WITHIN 15 FEET OF PROPERTY LINE.

WALLS HAVE BEEN SETBACK FROM WEST PROPERTY LINE TO REDUCE HEIGHT, BULK AND SCALE AND RESPECT ADJACENT SITES.



NOTE: PRIVACY ELEVATIONS INCLUDE FACADES WITHIN 15 FEET OF PROPERTY LINE.

DEPARTURE REQUESTED FOR NORTH FACADE LENGTH AS SECOND FLOOR, FIRST AND THIRD FLOORS ARE COMPLIANT.



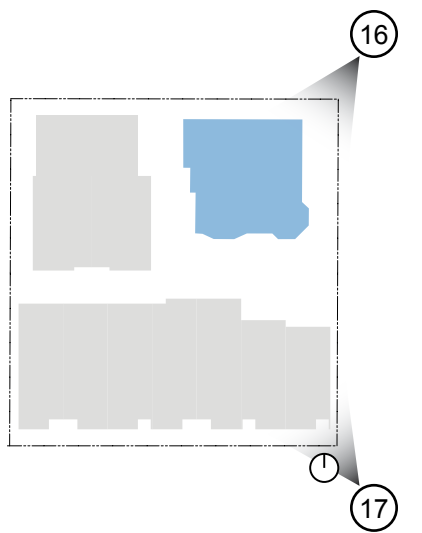
night rendering



16 view from the southeast



17 view from the northeast





1 RENDERED EAST ELEVATION
 SCALE: 0' 2' 4' 8' 16'



1 | SOUTH RENDERED ELEVATION
 SCALE: 0' 2' 4' 8' 16'





Response to Early Design Guidance

A-5 Respect for Adjacent Sites:

The rear townhouse structure was modulated to reduce the impact along its north and west lot lines. In addition the rear structure's height is several feet lower than allowed by code and much of the wall above the roof will be detailed as an open railing to reduce the massing further. Along the north property line there is a reduction in wall area and massing at the third floor closest to the existing structures. The façade length departure has been greatly reduced along the north property line. The north wall has been designed to be smallest at the third floor where it would have the largest impact. The façade length as currently proposed requires a departure only at the second floor. The ground floor is designed to comply at 65%, the second floor is at 67.4% and the third floor is at 60.9% for an average of 64.5%. The small departure sought for the second floor actually creates a wall that is less than what code requires.

PROVIDE 1 X 6 VERTICAL CEDAR SIDING STAINED EBONY

PROVIDE STEEL AWNING TO CALL OUT ENTRIES IN COURTYARD

PROVIDE 1'-4" X 8' HORIZONTAL PANEL PAINTED LIGHT GREY

EL. 489'-10 5/8"
HEIGHT LIMIT
PER SMC 23.45.514.J4

EL. 487'-4 1/4" T.O. PARAPET

EL. 483'-10 5/8"
HEIGHT LIMIT
PER SMC 23.45.514.J2

EL. 480'-10 5/8"
HEIGHT LIMIT PER SMC 23.45.514.H
EL. 479'-10 5/8"
HEIGHT LIMIT
PER SMC 23.45.514.A

PROVIDE WHITE VINYL WINDOW, TYP.

PANEL PAINTED WHITE ENAMEL

PROVIDE STEEL ANGLE POWDER COATED WHITE

31'-4 3/8"

EL. 450'-0"
EXIST./FIN. GRADE

EL. 487'-8 7/8"
HEIGHT LIMIT
PER SMC 23.45.514.D3

EL. 482'-8 7/16"
T.O. ROOF

EL. 477'-8 7/8"
HEIGHT LIMIT
PER SMC 23.45.514.A

36'-4 1/16"

EL. 446'-4 3/8"
EXIST./FIN. GRADE
AT PORCH



1 RENDERED NORTH COURTYARD ELEVATION

SCALE | 0' 2' 4' 8' 16'



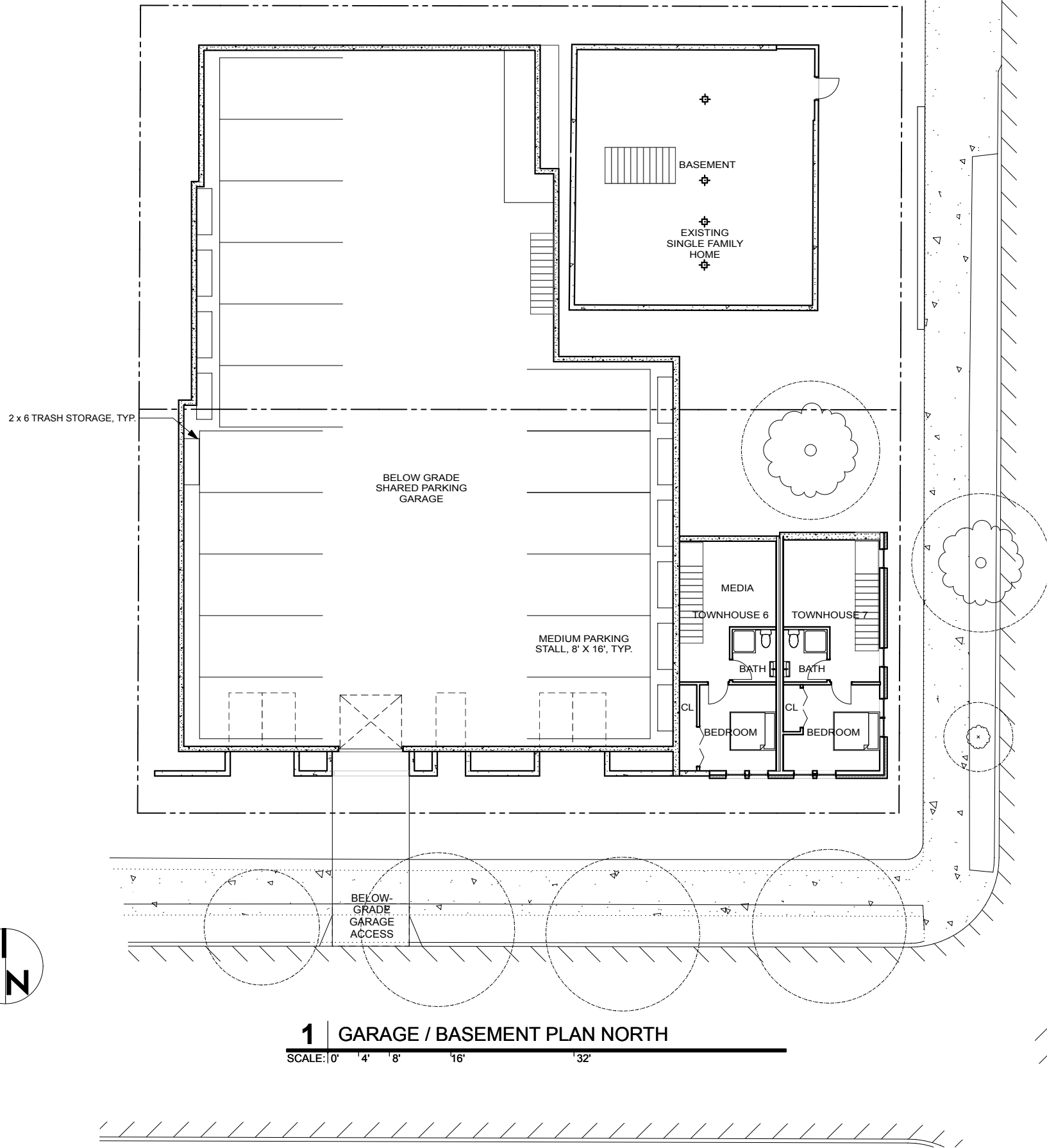
1 RENDERED SOUTH COURTYARD ELEVATION

SCALE | 0' 2' 4' 8' 16'

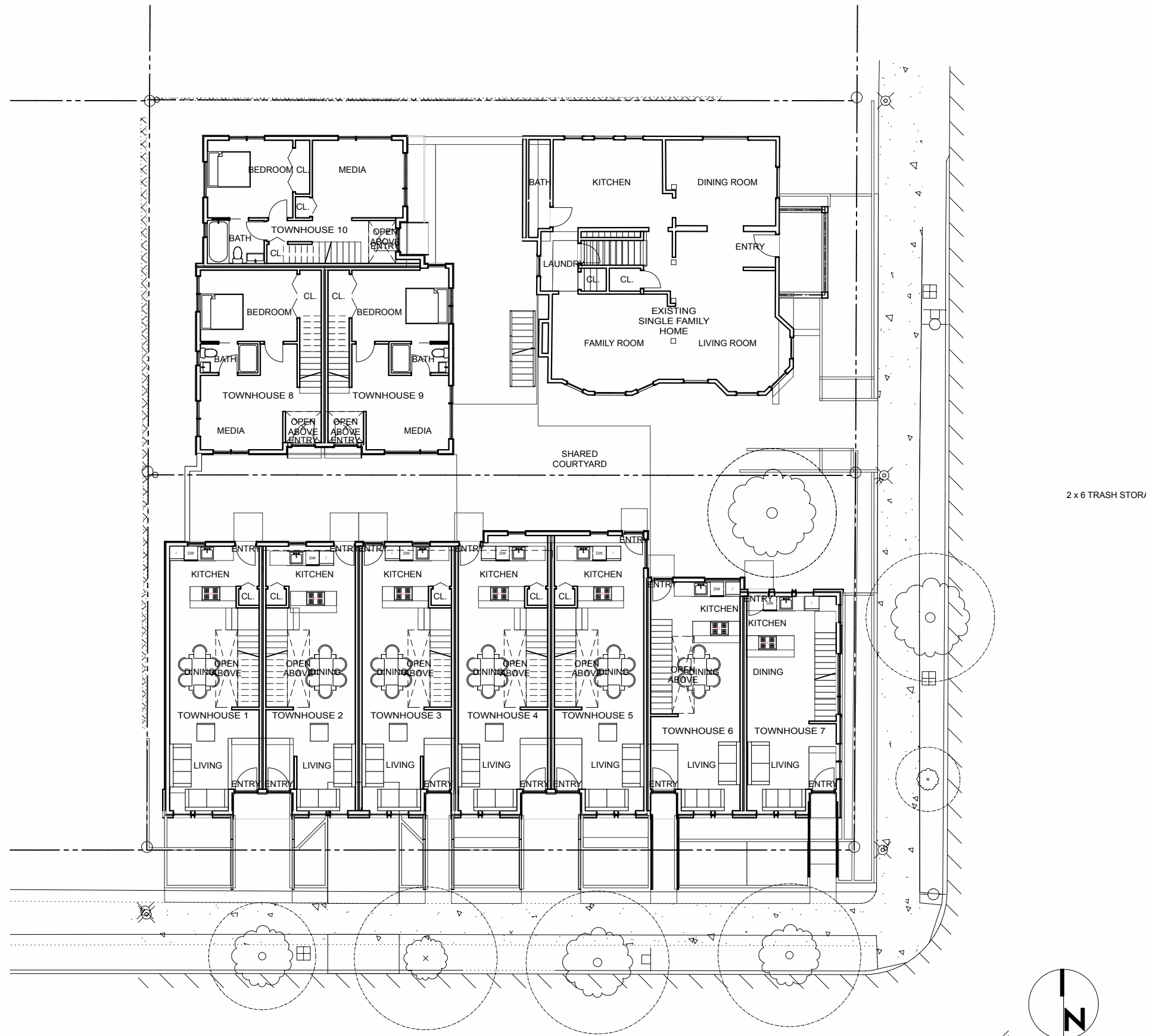


1 | TRIPLEX RENDERED COURTYARD ELEVATION

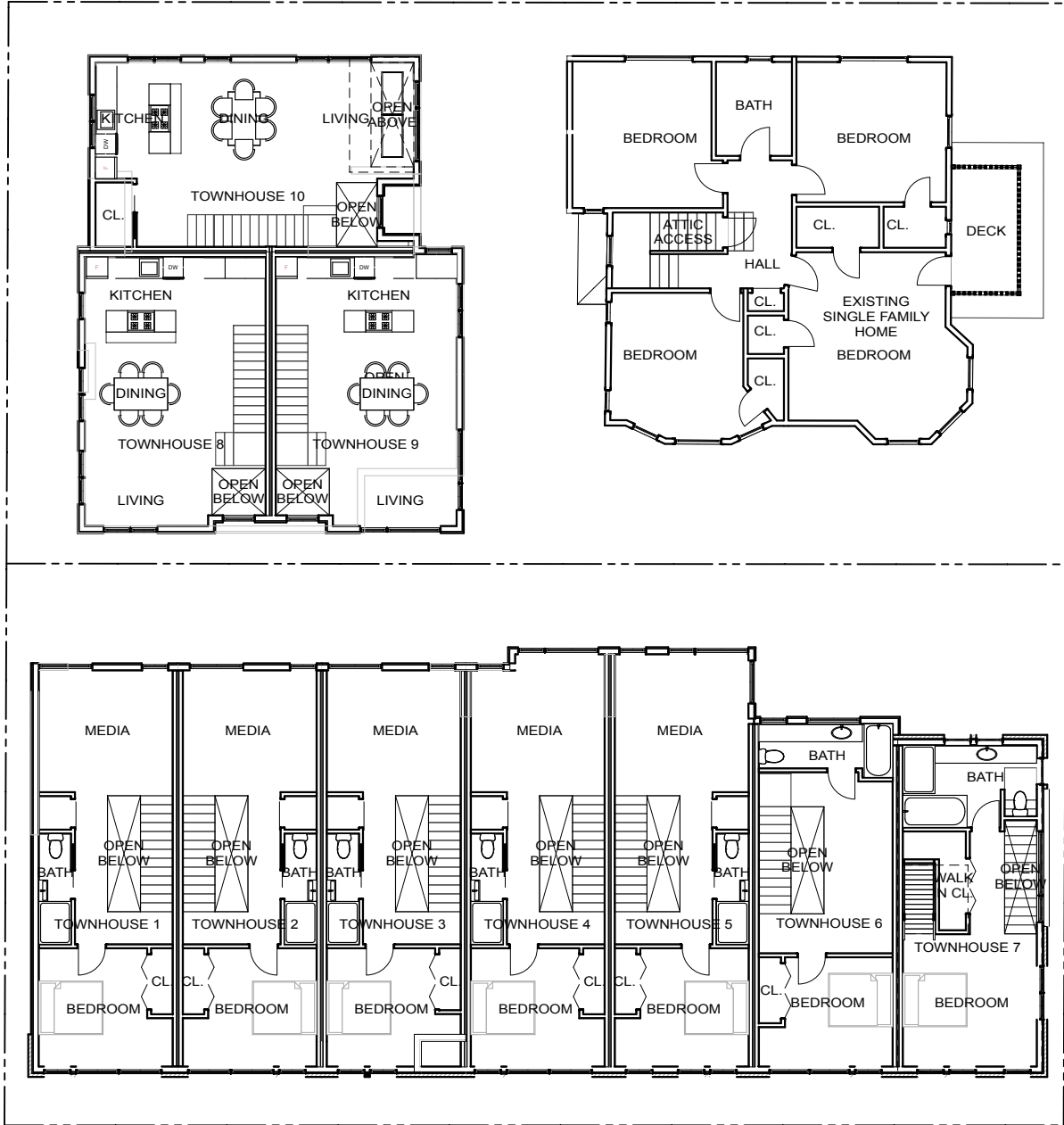
SCALE: 0' 2' 4' 8' 16'



1 GARAGE / BASEMENT PLAN NORTH
 SCALE: 0' 4' 8' 16' 32'

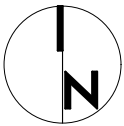


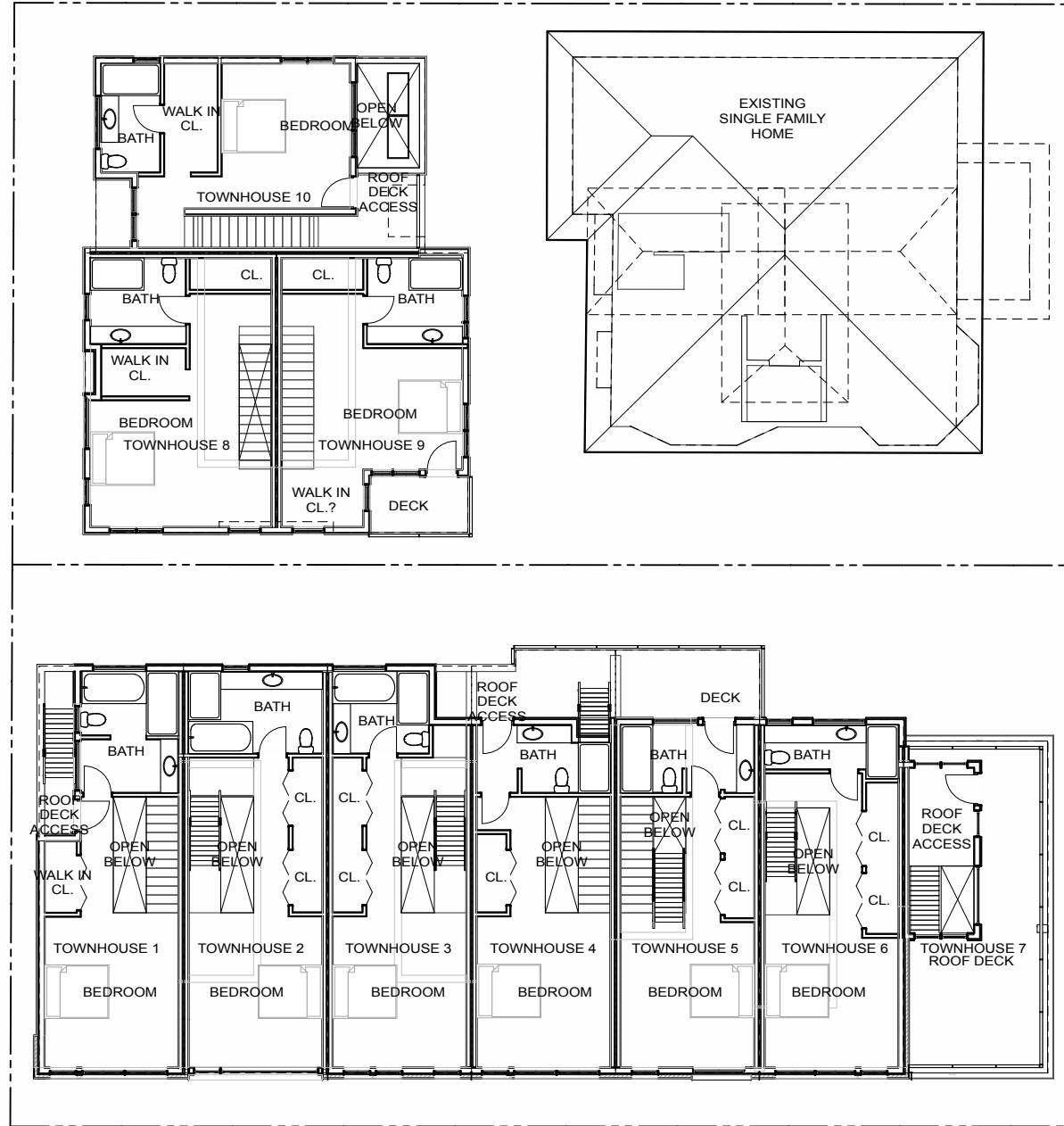
1 | FIRST FLOOR PLAN
SCALE: 0' 4' 8' 16' 32'



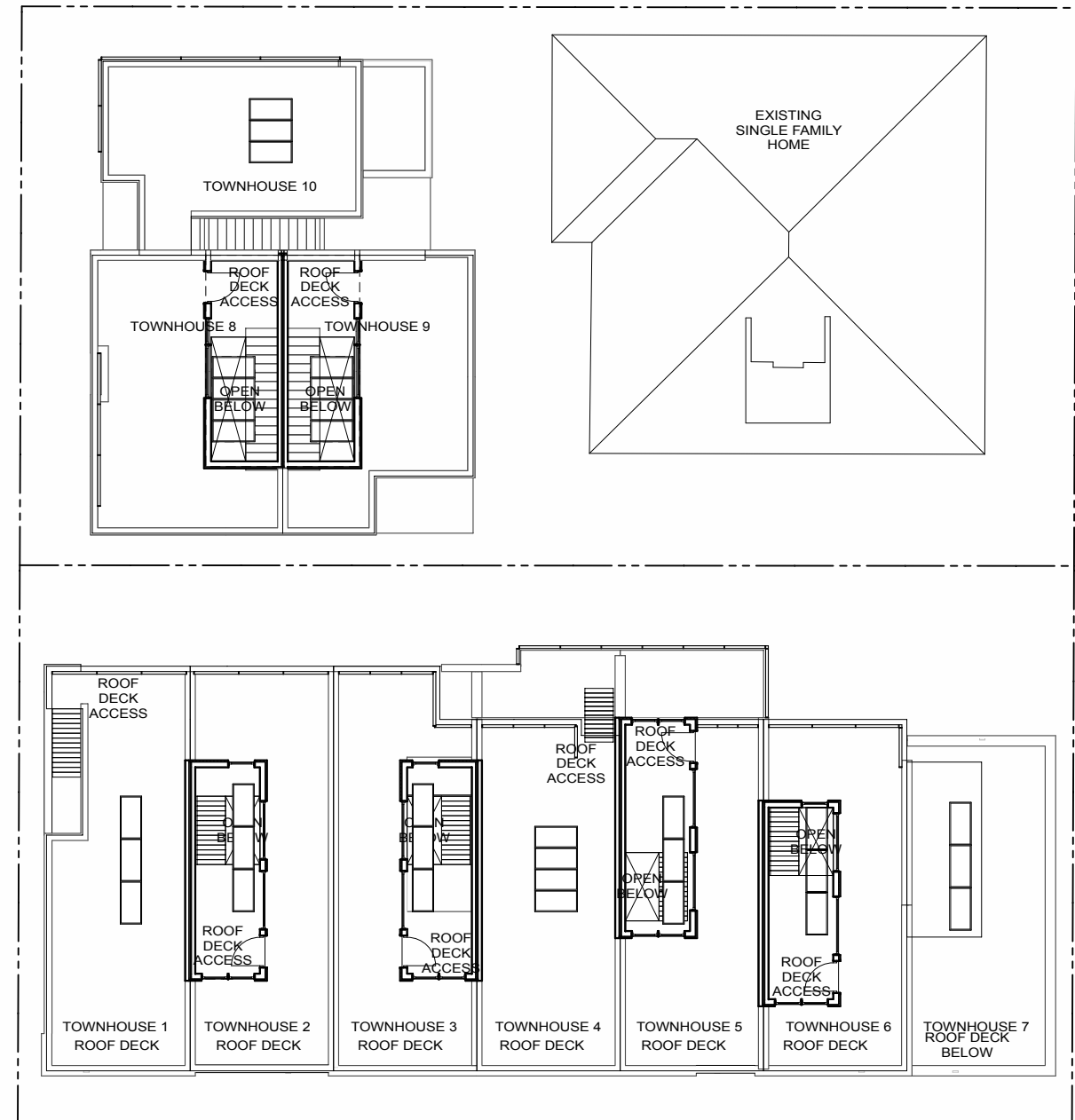
1 | SECOND FLOOR PLAN

SCALE: 0' 4' 8' 16' 32'

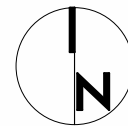




1 | THIRD FLOOR/HOUSE ROOF PLAN
SCALE: 0' 4' 8' 16' 32'



1 | PENHOUSE / ROOF PLAN
SCALE: 0' 4' 8' 16' 32'





① 208 18th Ave. E. exterior view from street



② 1504 19th Avenue Duplex behind SF House



③ 1411 E. Fir St. exterior view from street



④ 1911 E. Pine St. courtyard view from a deck



⑤ 1911 E Pine St. view at interior of canyon



⑥ 1411 E. Fir St. interior boardwalk view



⑦ 1818 E Yesler Way. view of a woonerf



⑧ 1911 E. Pine St. view from street