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1424 11TH AVENUE

DESIGN REVIEW

RECOMMENDATION PACKET

March 11, 2013

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11th AND E PIKE

PROJECT DESCRIPTION

The proposal is for a five-story mixed-use structure with two mezzanine levels. The project includes 5,000 sq. ft. of street level retail, a 2,700 sq. ft. retail mezzanine, 21,000 sq. ft. of office space at mid-levels, and 3 residential units at the top floor. Project includes below grade parking for 12 vehicles, with underground access to approximately 24 spaces in garages of adjacent buildings.

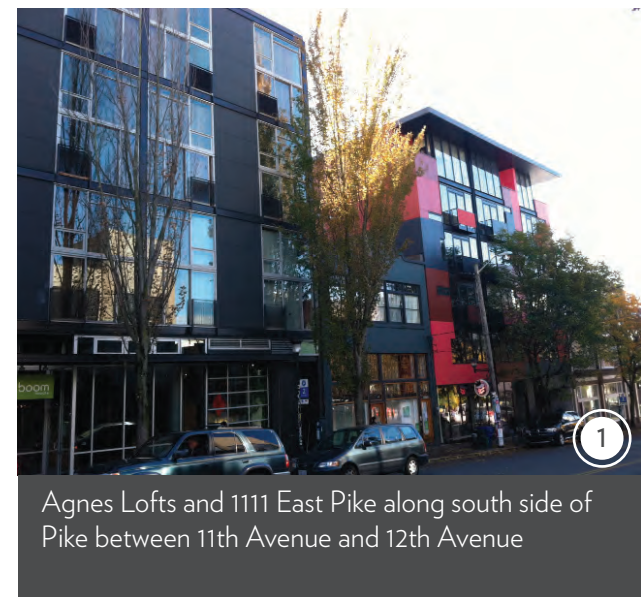
A pedestrian alley and enlarged mid-block courtyard are included in the project as the last piece of an urban design framework that integrates adjacent properties belonging to the owner and creates a mid-block connection from 11th Avenue to 12th Avenue. Incorporation of portions of an existing character structure, commonly known as the “Chophouse”, are proposed.

Project height of 75 feet is proposed, with upper level setbacks that allow for several large decks overlooking 11th Avenue.

Grading of approximately 900 cubic yards is proposed, primarily to remove the existing parking ramp on the south side of the site.

IMAGE AT LEFT

View at mews carved out of character structure, looking east toward mid-block courtyard and Piston & Ring Building



1 Agnes Lofts and 1111 East Pike along south side of Pike between 11th Avenue and 12th Avenue



2 Pacific Supply Co. to Agnes lofts along 12th Avenue. All four buildings are owned by Dunn & Hobbes and connect to one mid-block courtyard.



3 Baker Linen building on corner of 11th and East Pike



4 The Trace Lofts at the corner of 12th and Madison with one story Ferrari building in foreground

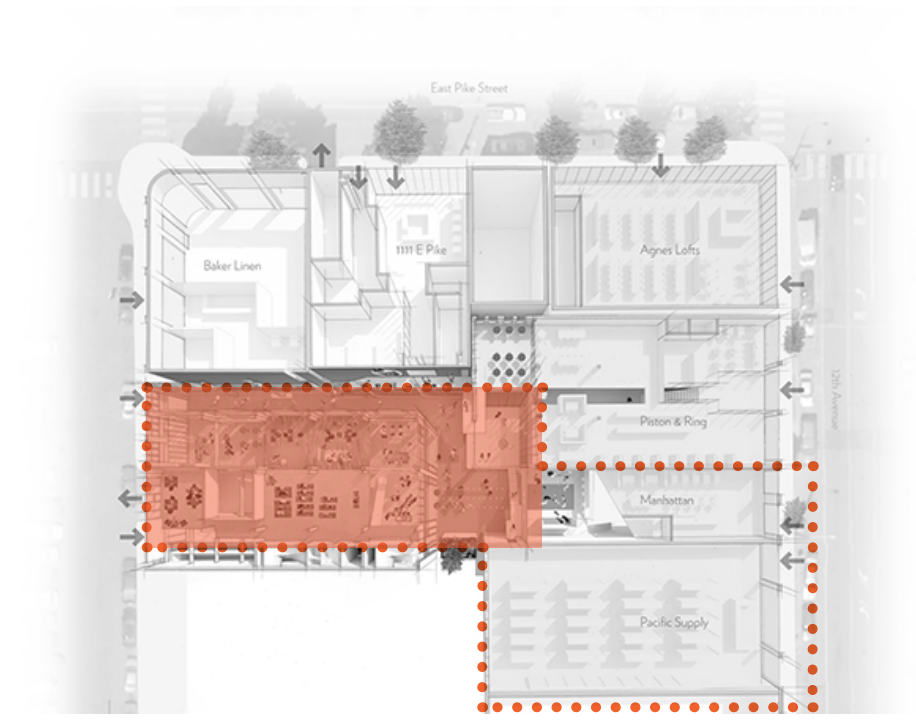


5 The existing site for the proposed project remains as an unfriendly "missing tooth" in the fabric of the block, and on an avenue that has been identified as an important pedestrian connection and a Green Street in the neighborhood plan.

PIKE/PINE URBAN
CENTER VILLAGE
NC3P-65
PIKE/PINE CONSERVATION CORE
PIKE/PINE CONSERVATION OVERLAY



- KEY
- A - Project Site: 1424 11th Avenue
 - B - Agnes Lofts
 - C - Piston & Ring Building
 - D - Manhattan Building
 - E - Pacific Supply Co.
 - F - Ferrari
 - G - Union Arts Coop
 - H - Baker Linen
 - I - 1111 East Pike
 - J - Trace Lofts



EARLY DESIGN GUIDANCE

Master Plan:
a. In a prior presentation, the developer mentioned the development site is part of a larger integrated half block Master Plan that has been designed comprehensively to functionally connect existing and proposed uses. In order to better understand the specific proposal as it relates to the expanded development site, with its proposed pedestrian connection between 11th and 12th Avenue, through a multi layered plaza level with access to several buildings, the Board directed the architect to present The Master Plan for the expanded development site at the Recommendation meeting with the following guidance (A-1, C-2, and C-3).

NEIGHBORHOOD CONTEXT



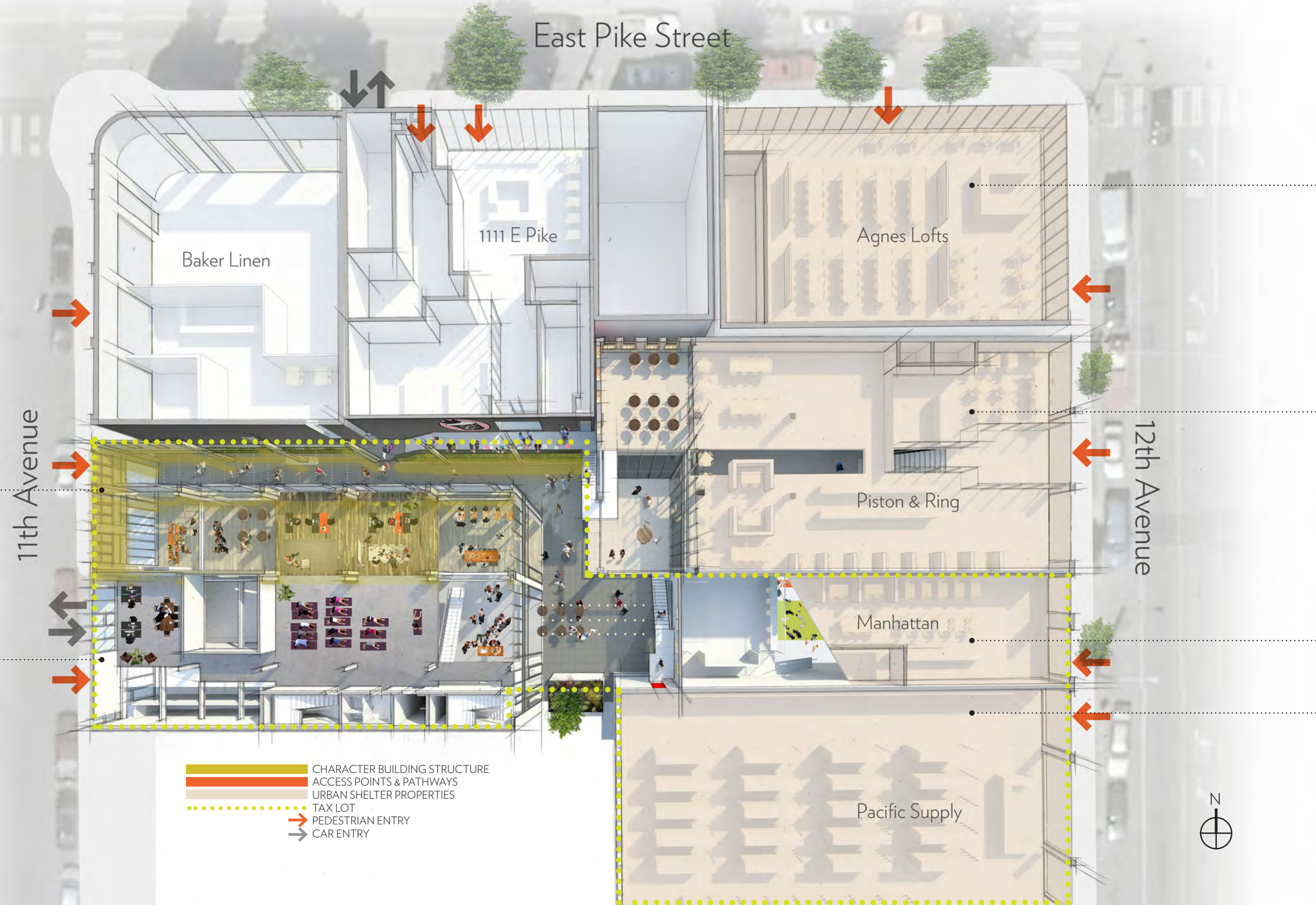
The Mews

The Mews is envisioned as an open air connector between 11th Avenue and the Courtyard. Fronted by retail and restaurant storefronts, it is intended to feel like a classic pedestrian alley, a respite from the busy streets of Capitol Hill. Its secondary function is to allow space for light and air to neighboring buildings. In a previous version of the Master Plan, the Chophouse building was to be demolished in order to construct the Mews. In the current Master Plan, the Chophouse is retained, and the Mews lives within its eroded structural frame. Second floor joists are re-purposed into a trellis, and the concrete frame is left as a ruin that forms table tops, planters, lighting mounts, etc. This matches the eroded structural frame at the existing Piston & Ring plaza. Fortunately, the bay spacing of the old building aligns perfectly with the Mews width.



1424 11th Avenue

The current proposal represents the last major piece of the master plan. It includes retail and restaurant uses at street level, with offices and 3-4 apartments above. An earlier version of the Master Plan called for about 60 apartments above, but given the recent high level of apartment construction in the neighborhood, offices were included in order to maintain a balance of uses and day & night activity for Pike/Pine.



URBAN SHELTER, LLC PROPERTIES



Agnes Lofts
year | 2006
designer | weinstein au
restaurants/office/residential

Includes Boom Noodle restaurant at street level, Agnes Underground shared work space in the basement, and 24 loft style apartments above. It is connected to, and is intended to contrast with, the older Piston and Ring building to the south.



Piston & Ring Building
year | 1920, reopened 2006
designer | weinstein au
restaurant/office

Includes La Spiga and Plum restaurant at street level, with offices at the lower level that face onto the mid-block courtyard. A stair and hallway cut through the middle of the building allowing direct access from 12th Avenue to the courtyard.



Garlick Building / Manhattan
year | 1920, renovated 2005
restaurant

Includes Manhattan restaurant at street level, with plans for a "dog bar" at lower levels, which will face onto the mid-block courtyard. The dog bar will include a bar mezzanine for humans, overlooking a turf play/day care area for the dogs at the sub-basement below.



Pacific Supply Co. Building
year | 1920, renovated 2002-2004
retail/industrial

Includes Pacific Supply Hardware at street level, with a fabrication shop below. Both business have stairs that connect to the mid-block courtyard, one from above, and one from below.

MASTER PLAN

VISION

The proposed project at 1422-1424 11th Avenue is the final phase of a larger master plan that Urban Shelter, LLC has envisioned for the collection of contiguous properties that it purchased in 1999 within the block bounded by 12th Avenue, East Pike Street, 11th Avenue and East Union Streets. The vision for the properties – first presented to the Design Review Board in 2005 as context for the Piston & Ring/ Agnes Lofts project at 12th & Pike – is to create a connected public pedestrian corridor between 11th and 12th Avenues through the center of the block. The centerpiece of this corridor is an open public courtyard that is surrounded by an eclectic mix of historic and new urban architecture. The first pieces of this public space were completed in 2006 in conjunction with the renovation of the Piston & Ring building.

A key objective of the master plan is to create a truly mixed "mixed-use" project, integrating a diverse, mutually supportive combination of urban uses that include apartments, creative office and co-working facilities, local/micro-retail, restaurants, services and seating into one contiguous public realm: a "village within a village" to be used throughout all times of day and evening. A further objective has been to maximize the usable street frontage for the entire collection of properties; such that all six original parcels (representing more than 360 feet of street frontage) are now served by one parking entry. In the process of removing more than 150 linear feet of curb cuts that once served these properties, eight on-street parking spots have been created on 12th, East Pike and 11th Avenue.

A unique characteristic of the overall site is the drop in elevation of 11 feet between 12th and 11th Avenues, which provides the opportunity to give daylight and fresh air to the lower levels of the 12th Avenue buildings and to create a level pedestrian connection from these same tenant spaces through to 11th Avenue. This was the impetus for creating the central courtyard that serves the interior faces of all the surrounding buildings, including neighboring structures along Pike Street, which are owned by others.

This new connection will be primarily open-air and lined with retail and restaurant uses, including back-door connections to existing businesses like Cupcake Royale and Petti Rosso. The 12,000 square foot public courtyard will serve as the main entry to the office and residential levels of the new building, activating the courtyard with people throughout the day. Greenery, signature trees, outdoor seating and a catwalk connection will ring the space, tying together the old and new architecture. Retailers will be a mix of restaurants, cafes, shops and services, possibly including a new "Dog Bar" concept for the lower level of Manhattan which will allow for patrons to have a drink while their friends get their exercise in a separate doggy-daycare center below.

SITE HISTORY

The Urban Shelter, LLC properties are being managed and redeveloped by affiliate company Dunn & Hobbes, LLC, a Seattle-based development and property management company. The properties were purchased in 1999 and have been undergoing incremental redevelopment since then, in accordance with the master plan described above.

The first project was the **Pacific Supply Building** (1415 12th Avenue) which underwent a voluntary seismic upgrade and facade restoration between 2002 and 2004, providing an upgraded home for the re-vamped Pacific Supply hardware store. 12th Avenue Iron, a custom architectural metal fabricator, occupies the lower daylight level, which will be connected to the courtyard via a public stair in the currently proposed project. This building is approximately 17,000 square feet and was first constructed in 1920.

The **Garlick Building** (1417 12th Avenue), now occupied by Manhattan, was first constructed in 1955 and renovated in 2005 for Retrofit Home. CrossFit gym currently occupies the basement level. Together, these two tenants occupy 5,280 square feet.

The **Piston & Ring Building** (1425 12th Avenue) was originally constructed in 1926 and renovated in 2006 with the help of local design firm Weinstein AU. It is now home to two restaurants (Plum Bistro and La Spiga) as well as a lower level of offices in which the owner keeps her office alongside two architecture firms and the Preservation Green Lab of the National Trust for Historic Preservation. The central lobby, stair and lower corridor of the Piston & Ring building will provide public access to the central courtyard and through to 11th Avenue with the currently proposed project. Both the restaurants and the offices from this building spill out onto this public space, activating it at all times of day. Piston & Ring totals of approximately 19,000 square feet.

The most recently completed element of the master plan is **Agnes Lofts** at the corner of 12th & Pike which was also designed by Weinstein AU and completed in 2007. Agnes houses 24 double-height residential rental units over Boom Noodle, a 4,500 square foot restaurant, and Agnes Underground, a 4,500 square foot co-working facility that brings together entrepreneurs and small companies to share affordable office space, as well as ideas and resources.

The currently proposed project at 1422-1424 11th Avenue will add approximately 35,000 square feet of above-ground space to this "village within a village" through new construction next to and on top of the existing structure fondly referred to as the Chophouse. The Chophouse, used for the last three decades as affordable band practice space, will be opened-up and renovated to allow for the through-block connection, completing the link from 12th Avenue through Piston & Ring to 11th Avenue.

In total, when all phases are complete, the property will contain almost 30,000 SF of retail with 375 feet of frontage on Pike, 12th and 11th Avenue and almost 200 feet of transparent frontage along the interior-block public pedestrian plaza and mews.

CIRCULATION

The mid-block courtyard can be accessed from 7 different buildings, including two buildings owned by others. The roughly dozen paths to reach the courtyard are varied, and multi-leveled, for example, one could walk through Cupcake Royale from E. Pike, out the back door of the Pacific Supply hardware store, or take the "main path" along the Mews which connects to 12th Avenue via a corridor and stairway through the Piston & Ring Building. ADA access from 11th to 12th Avenue is provided by the elevators in the Agnes Lofts building.

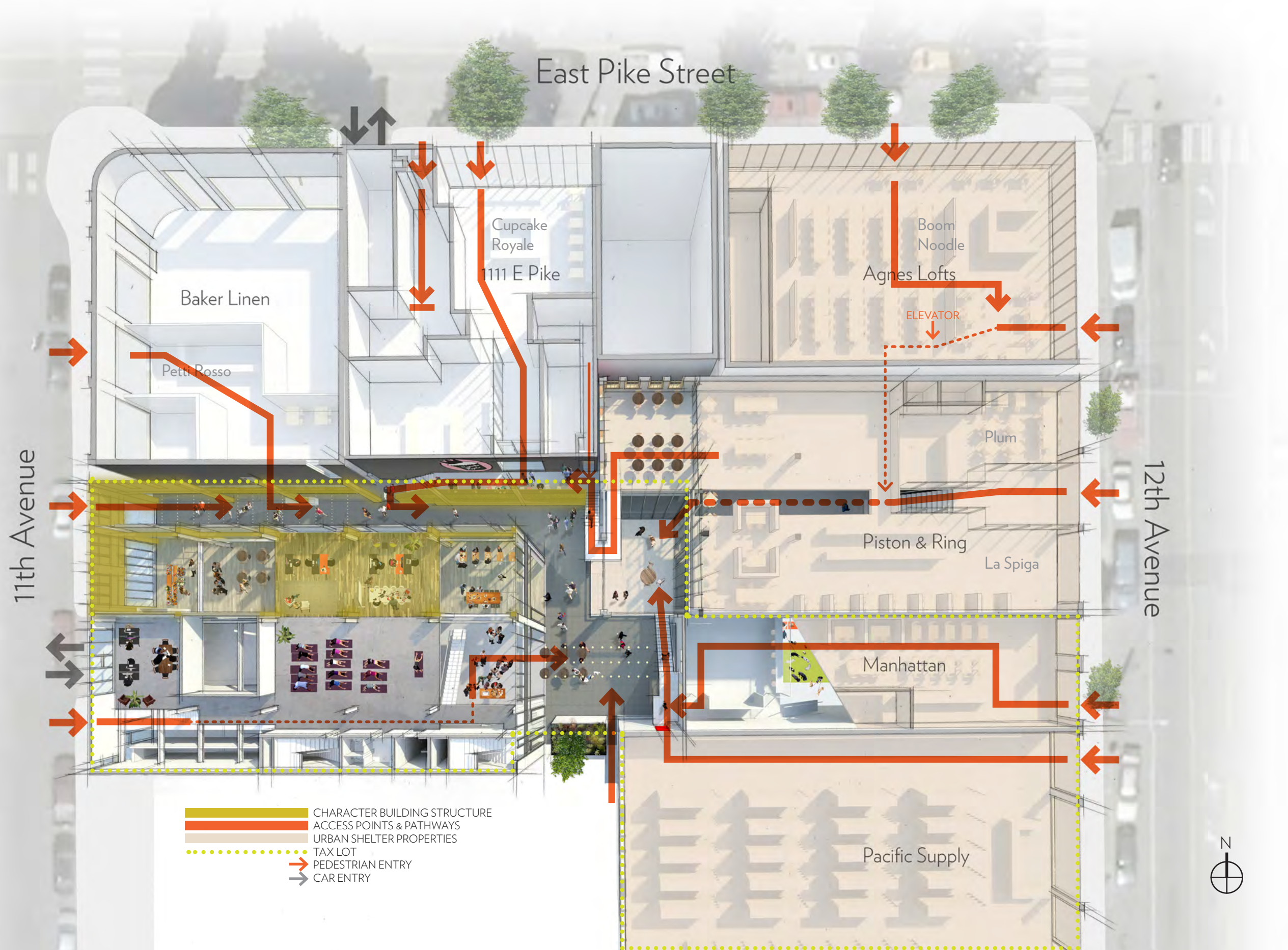
The courtyard and Mews, along with a contiguous easement just to the north, serve as the secondary exiting system for all seven buildings.

CURB CUT & TRAFFIC

Automobile and service entrances for Agnes Lofts, Piston & Ring, Manhattan, and the current project have been consolidated to a single 18' wide curb cut on 11th Avenue.

WHY CENTER CURB CUT?

At the Early Design Guidance meeting, this question was posed, and the answer from a building planning standpoint has to do with the location of our core. Placing the new structural/stair core within the retained character structure on the north half of the site did not make sense because it impacted the character structure and the open-ness of the nearby mews. This leaves the south half of the site, and the best place on the south side is along the south party wall, in order to allow for a functional garage layout. From an urban design standpoint, locating the micro-retail space to the south of the garage helps extend the retail frontage further south on 11th Avenue, in order to lessen the "gap" formed by the vacant lot next door, and connect with future development that might occur on that lot in the future.



AA SECTION CUT THROUGH MEWS FACING NORTH

These drawings show how the 11' drop from 12th Avenue to 11th Avenue is accomplished via stairs in the Piston & Ring Building leading to the mid-block courtyard.



BB EXISTING EASEMENT SECTION FACING SOUTH

PLAZA

This page shows the proposed layout of the mid-block courtyard and mews.

The mews are framed by the eroded structural frame of the Chophouse building, highlighted in yellow. At the north face of the mews, connections to Cupcake Royale and Petti Rosso restaurant are highlighted. The south face of the mews is faced with retail storefronts.

Double height spaces occupy the four corners of the building, and open onto the mews, the courtyard, and 11th Avenue. The courtyard itself is ringed by shops, offices, restaurants, and the main entry to 1124 building.

The mews and courtyard will be closed overnight with a steel and wood gate with card key access. No trash/recycle/compost will be stored or transported through the mews/courtyard.



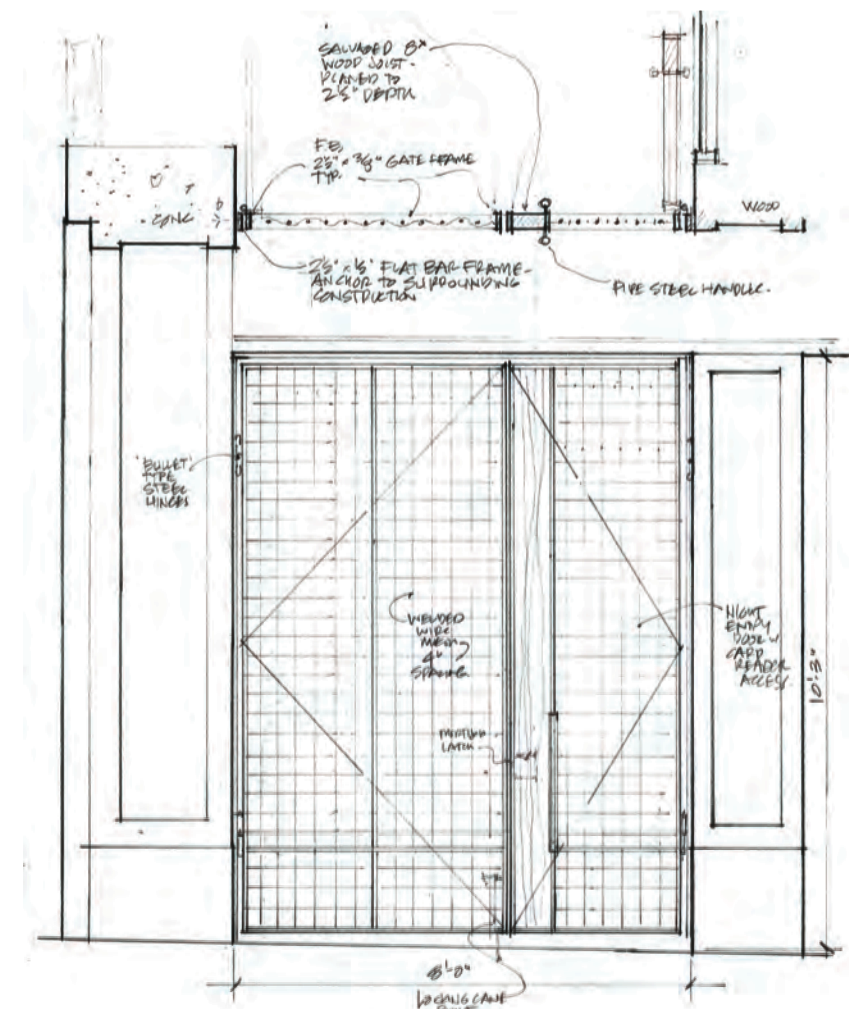
EARLY DESIGN GUIDANCE

Plaza (public/private):
 a. Design and integrate the courtyard plaza levels to address privacy issues for existing and proposed commercial and residential uses while reinforcing opportunities for light, air and ventilation (B-5, C-3, D-1, & E-2).

THE "MEWS"

The Mews is defined by the eroded structural frame of the Chop-house building: existing roof joists form a trellis above, supported by the existing concrete frame on the north.

The south wall is comprised of transparent storefront combined with panels made of wood salvaged from the Chophouse.



Entry gate to the Mews - using steel flat bars and wire mesh with reclaimed wood from the Chophouse



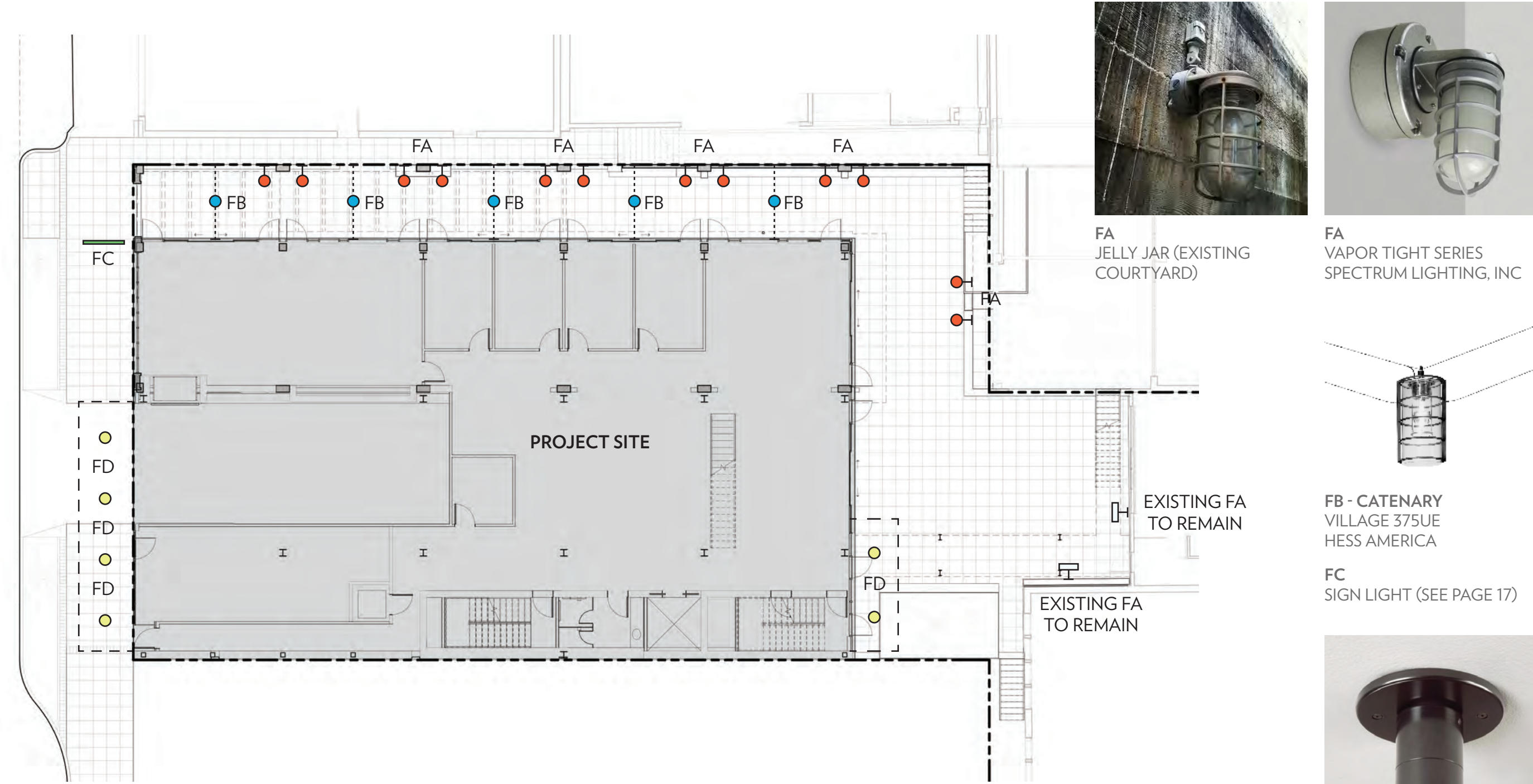
VIEW AT MEWS LOOKING EAST TOWARDS PISTON & RING BUILDING

THE COURTYARD

This is the internal courtyard view, which looks at the east facade of the new project through the existing eroded structural frame of the Piston & Ring building.



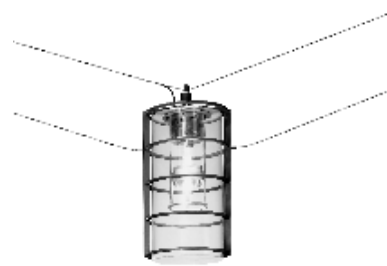
VIEW OF COURTYARD LOOKING WEST THROUGH FRAME OF PISTON & RING BUILDING



FA
JELLY JAR (EXISTING
COURTYARD)



FA
VAPOR TIGHT SERIES
SPECTRUM LIGHTING, INC



FB - CATENARY
VILLAGE 375UE
HESS AMERICA

FC
SIGN LIGHT (SEE PAGE 17)



FD - NEW CANOPY
PEPIN
WINONA SOLUTIONS + LIGHT

LIGHTING

- The lighting plan uses jelly jar fixtures mounted to existing concrete character structure walls, with modern canopy downlights at new structure entries.
- Catenary lights, one per bay, are installed in mews, similar to a classic alley setting.

LIGHTING DESIGN



SAMPLE OF SIGNAGE DESIGN - DESIGNED BY GRAHAM BABA ARCHITECTS THAT MEET THE SIGNAGE STANDARDS OF THIS BUILDING

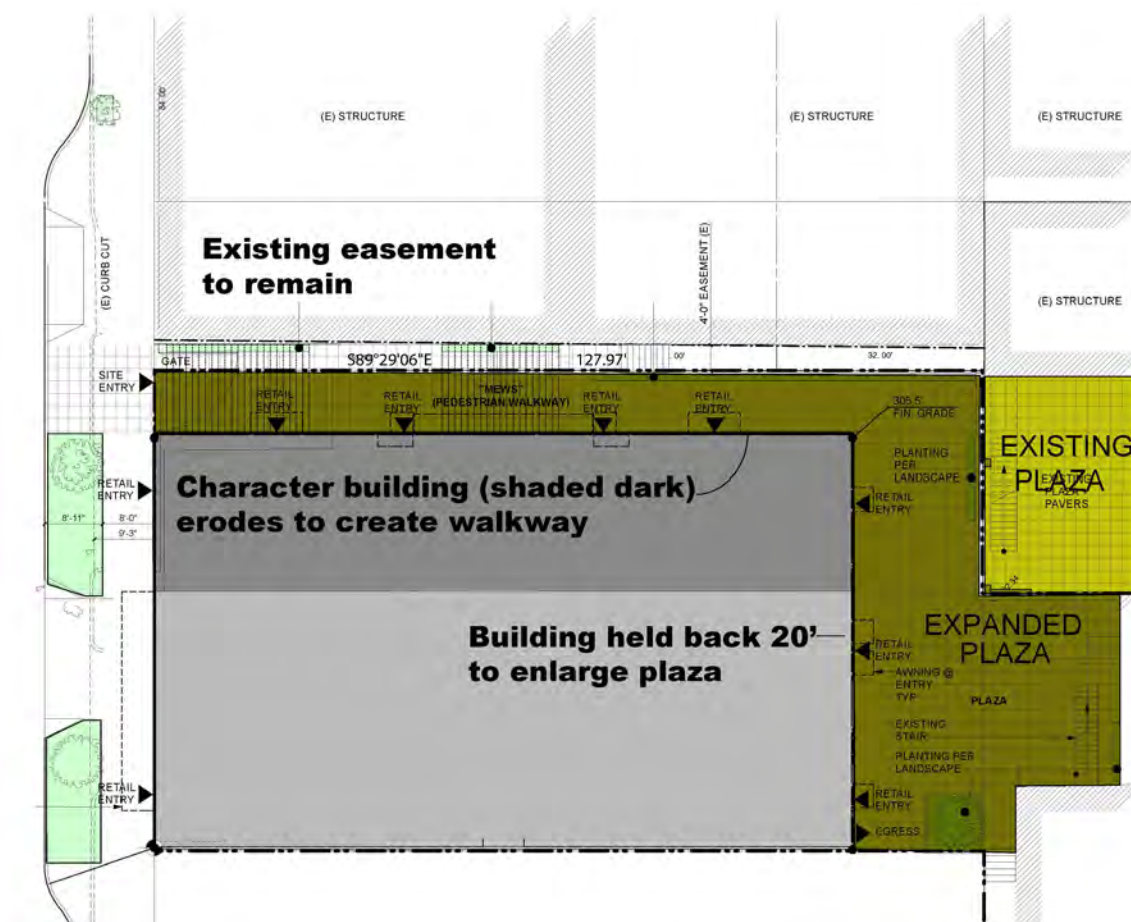
EARLY DESIGN GUIDANCE

Massing:
 a. (Preferred) Alternative 3 visually reduces the massing from a street perspective while also emphasizing the pedestrian circulation pathway interior to the development. The design responds well to the adjacent (north) structure's mass. The Board directed the architect to develop the preferred option for the recommendation meeting with the following guidance (B-1).

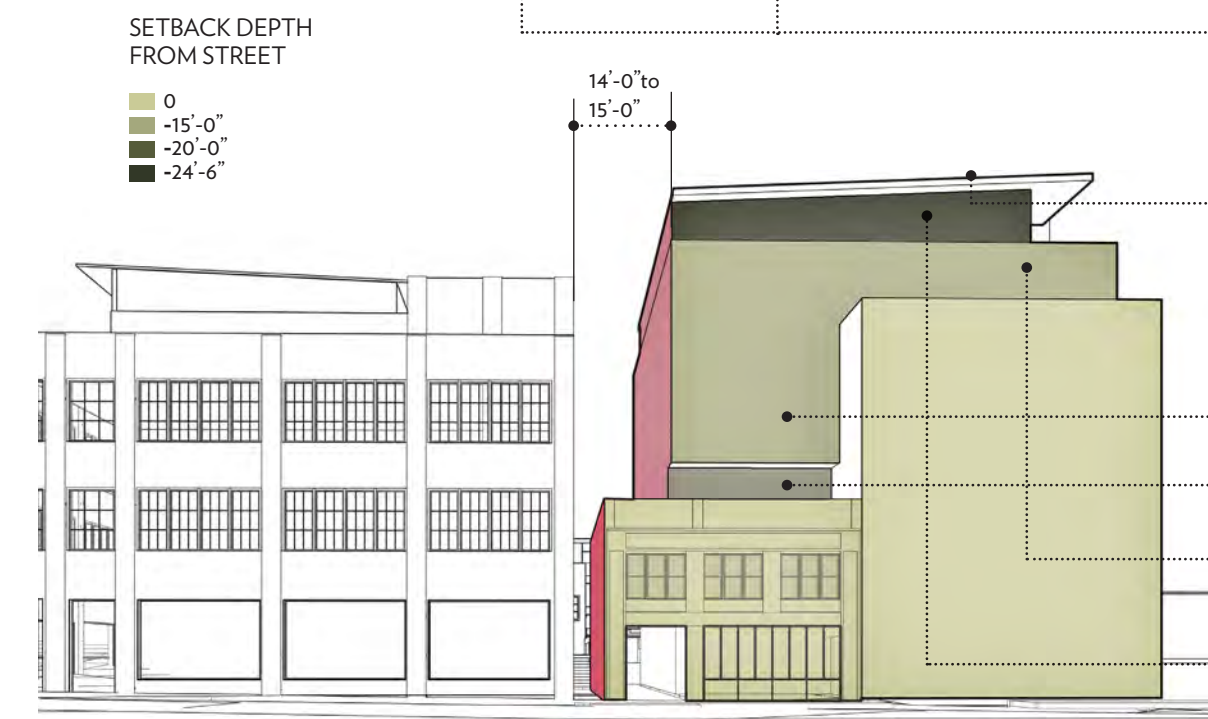
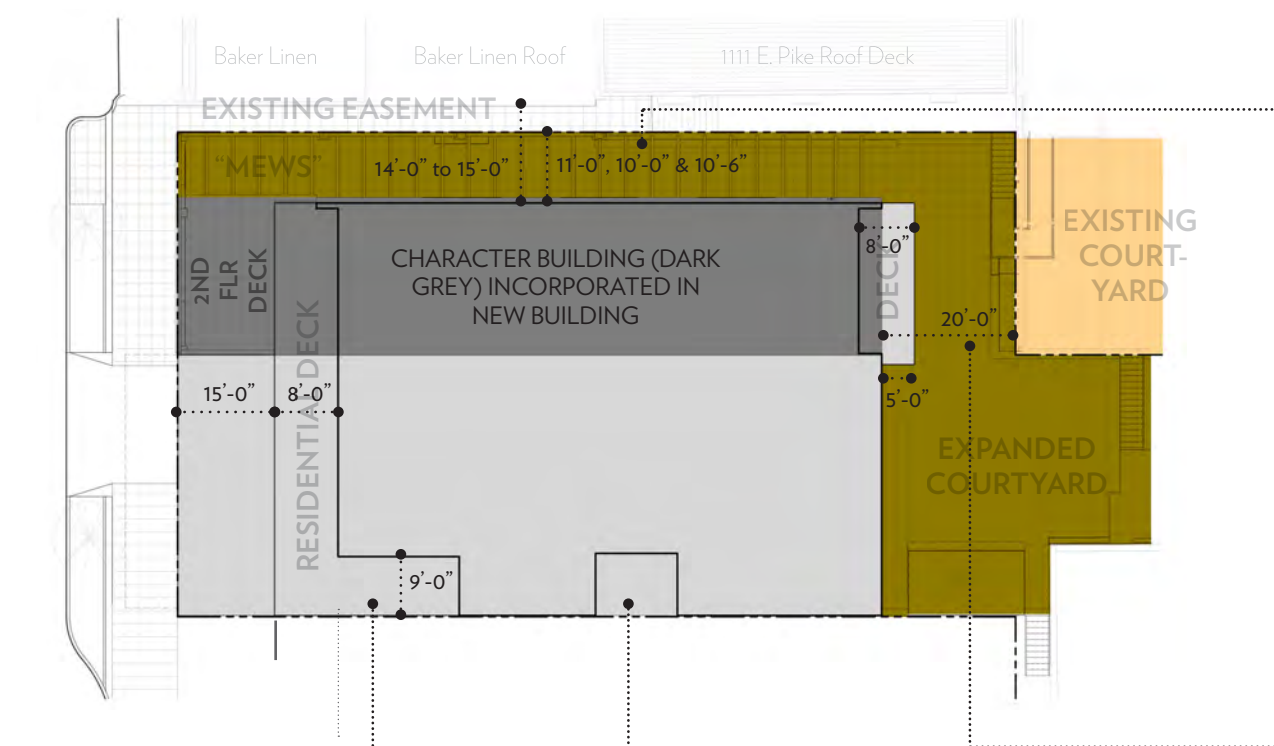
- Small scale development- this unique development site is only 74' wide, 6,000 sf footprint B-2a Pike/Pine Neighborhood Scale and Proportion
- Setbacks at 2nd floor, 4th floor and 5th floor to reduce mass B-2a Pike/Pine Neighborhood Scale and Proportion
- 4th floor setback aligns with scale of adjacent Baker Linen Building B-2b Pike/Pine Neighborhood Scale and Proportion (relate to exist)
- Residential floor is set back further from street B-2c Pike/Pine Neighborhood Scale and Proportion (upper story ht.)
- Roof angled downward from south to north to respect neighboring building A-5 Respect for adjacent sites
- Decks are included at all west-facing setbacks A-4 Human Activity
- Building is set back 10' from north property line, forming a 14 to 15' mews between buildings A-5 Respect for adjacent sites, A-4 Human Activity

EDG PREFERRED OPTION - ALTERNATIVE #3

At EDG, the board directed the architect to pursue alternative #3, which reduces mass from the street, sets back from adjacent buildings to the north, and creates an open air pedestrian walkway connecting 11th Avenue with the mid-block courtyard, as was envisioned in the master plan.



CURRENT PROPOSAL



CURRENT PROPOSAL

The building is designed to step back as it gets taller, at specific points that relate to neighborhood scale and to building program. A summary of setbacks is listed below on the left, by facade, with reasoning for the setback, along with indication of which are required, and which are not required but provided. Taken in their entirety, the non-required setbacks result in several thousand square feet of development potential purposely left unutilized in order to respond to the Design Review Guidelines listed on the facing page.

SETBACKS

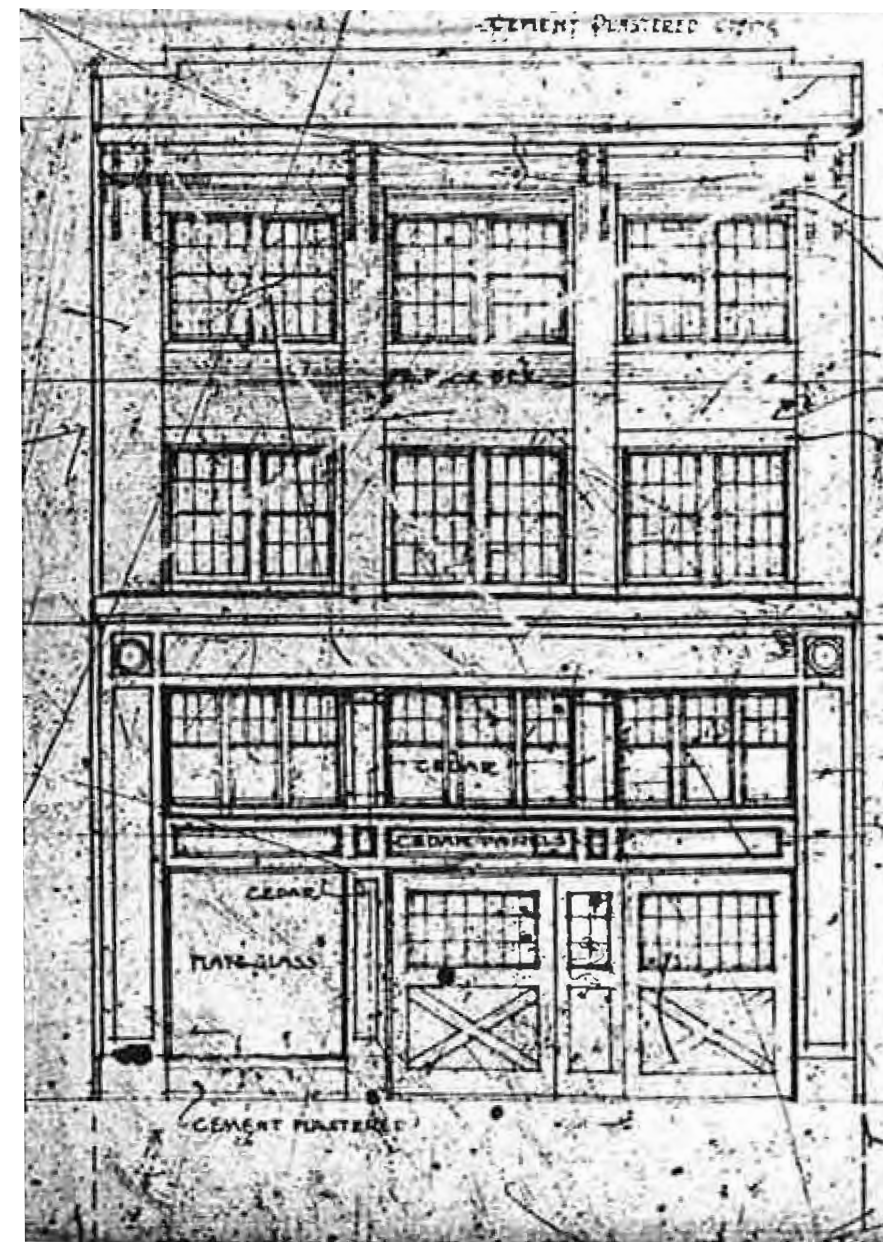
- NORTH FAÇADE SETBACKS:**
- *Not required:* Setback to form Mews and allow light and air to neighbors (11' at 1, 1M, 10' at 2-4, 10'-6" at floor 5 residential).
- EAST FAÇADE SETBACKS:**
- *Not required:* Setback 20' from property line to form large mid-block courtyard (15' setback at bay)
- SOUTH FAÇADE SETBACKS:**
- *Not required:* Setback 9' at SW and mid-building residential decks in order to break up mass and allow south light into units.
- ROOF MASS REDUCTION:**
- *Not required:* Roof is sloped downward to the north, with no parapet wall, in order to allow better daylight to neighboring buildings to north.
- 11TH AVENUE WEST FAÇADE SETBACKS:**
- *Required:* 15' setback above character structure provided to respect character structure.
 - *Not required:* Additional 5' setback above character structure at 2nd Floor to create large roof deck/bay.
 - *Not required:* 15' setback at 4th floor (south portion), to reflect scale of adjacent Baker Linen Building, and to create a large deck overlooking 11th Avenue.
 - *Not required:* Additional 8'-0" setback (23'-0" total) at 5th floor to create residential decks and reduce mass.

EARLY DESIGN GUIDANCE

Character Structures:
 a. The Board requested clarification on how the development standards are being met to achieve additional height for maintaining the Character Structure. The Board does not want to set a precedent of allowing a design without proper documentation of presentation of the Character Structure per SMC 23.041.

PRESERVATION OF CHARACTER STRUCTURE

- Character Structure B-3 Integration of Character Structures in New Development
- Clear differentiation of new vs. historic architecture B-3a Develop a Design Concept
- Floor heights of new structure align with existing B-3e (B-7c) Align Features
- Remove T-111, restore existing upper windows B-3d Emphasize the Streetscape
- Gateway entry to mews- aligns with minor bay of existing building B-3d Emphasize the Streetscape
- New operable windows added at retail frontage B-3d Emphasize the Streetscape, Human Activity
- Overhead canopy provided at new portion of building B-3f Anchor New Structure to Streetscape
- New structure is set back above character structure B-3-b Do not overpower the character structure
- Chop House is opened up to Mews, with two story expressed volume spaces at E and W ends B-3-b Do not overpower the character structure
- Building is set back 10' from north property line, forming a 14 to 15' mews between buildings A-5 Respect for adjacent sites, A-4 Human Activity
- Flooring materials changes from concrete new to wood old B-3c Express relationship of new to old
- Salvaged wood from demolished portions of existing building is used as finish at mews B-3c Express relationship of new to old
- Existing concrete frame is eroded and planted with landscape along mews B-7a Maintain Architectural integrity of character structure
- Wood columns, car decking, and concrete frame is maintained full length of existing building B-7a Maintain Architectural integrity of character structure
- New structure and seismic bracing is woven through existing structure B-7a Maintain Architectural integrity of character structure



Early drawings by architect E.R. Sonnichsen around 1920 indicate that the building was originally intended as a four story structure. This gives us the opportunity to maintain the existing roof structure and use it as the second floor in the new project.



An image of the building from the 1930's, housing an Auto Parts store. The storefront had already been significantly altered from the original plan. The center medallion is painted on. Note the trim highlights and the projecting sign at the location of the



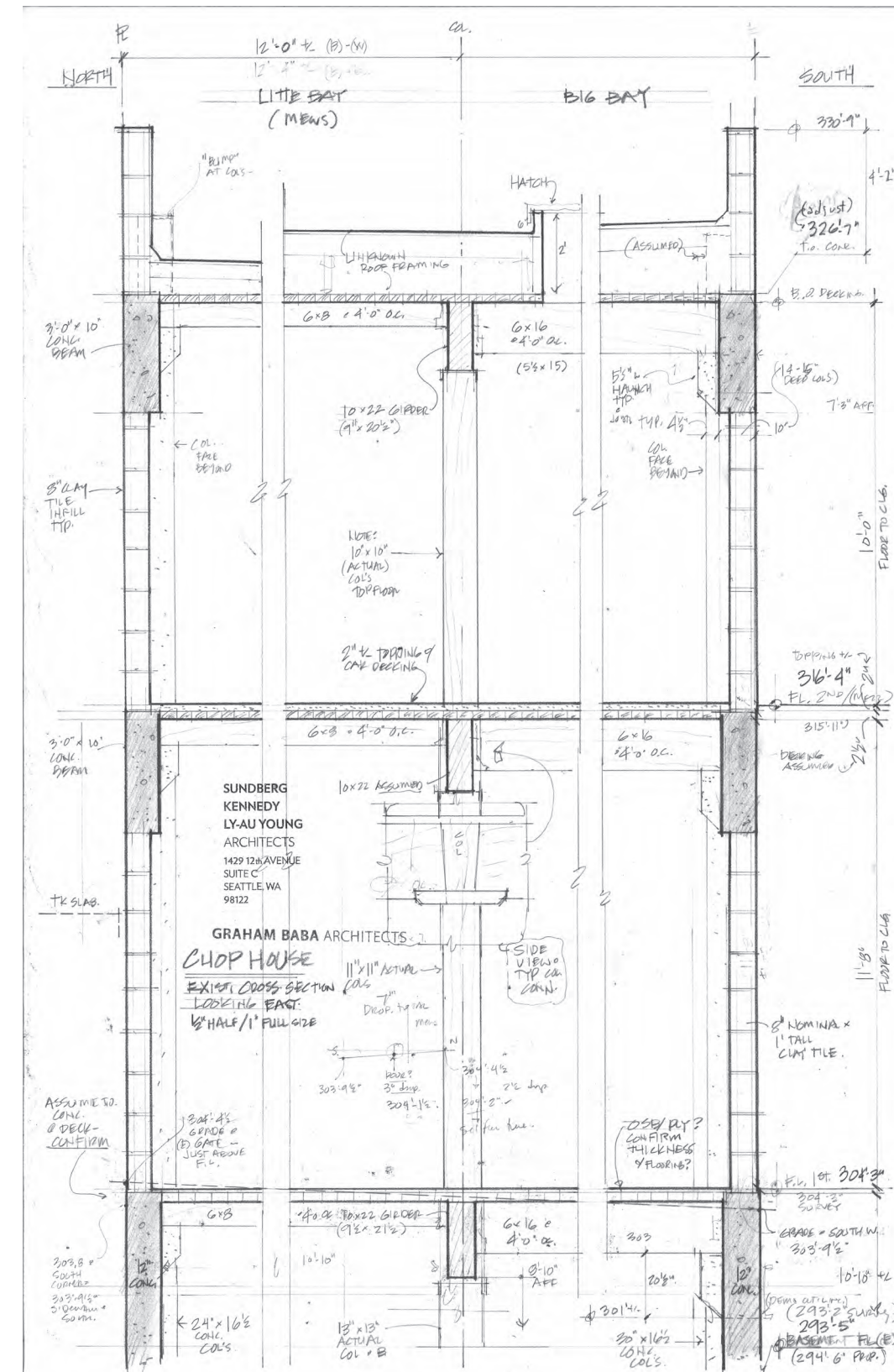
The building in its current condition has been overlaid with T-111 siding at the parapet and spandrel.



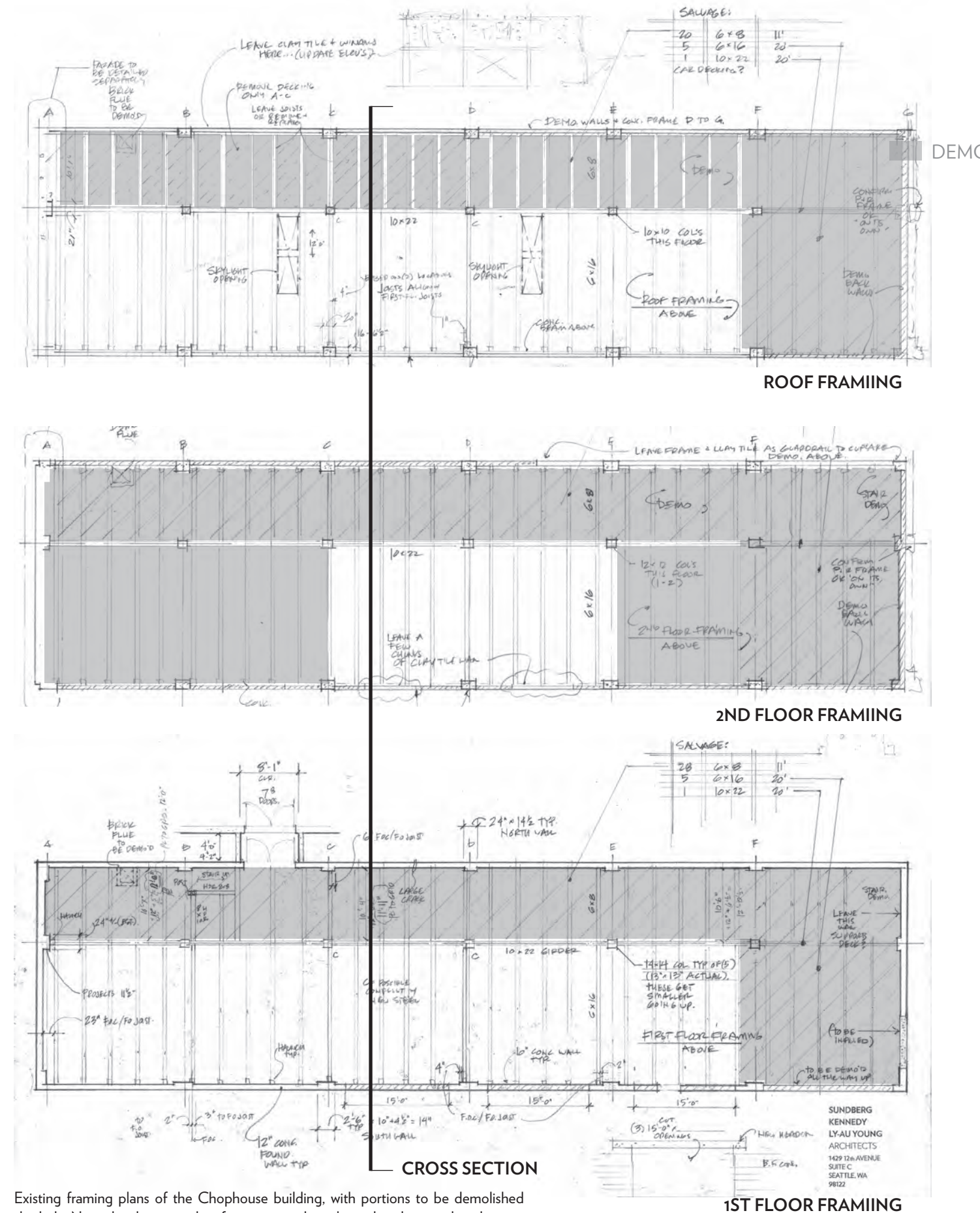
Proposed renovation includes removing the T-111 panels, replacing or repairing existing upper level double-hung windows, and re-glazing the storefront areas. At the entrance to the Mews, a heavy steel welded wire fabric gate will be installed. The gate will be pinned open from 8am to 1am, and will include a card key access door for late night entry for residents and office workers. A large projecting sign at the same location as the Auto Parts Store sign will indicate the Mews entrance to passersby on 11th and Pike.

PRESERVATION OF CHARACTER STRUCTURE

PRESERVATION OF CHARACTER STRUCTURE



Cross section through the existing building showing concrete frame, clay tile infill, and heavy timber structure.



Existing framing plans of the Chophouse building, with portions to be demolished shaded. Note that heavy timber framing is to be salvaged and re-used in the new project, most notably on exterior wall surfaces inside the Mews.

PERSPECTIVE RENDERING SHOWING HOW THE "CHOPHOUSE" WILL BE INCORPORATED IN THE DESIGN



This diagram shows the proposed erosion of the Character Structure in order to incorporate the Mews. The concrete frame of the existing north wall remains, and supports roof joists that are transformed into a trellis and roof deck. New, delicate, modern storefront is then inserted at the south face of the Mews, with views directly to the existing heavy timber central bearing line of the Character Structure.

LIST OF THE CHOPHOUSE ELEMENTS TO BE RETAINED:

- FACADE & RESTORED PARAPET
- UPPER STORY WINDOWS
- CONCRETE FRAME AT NORTH WALL
- CLAY TILE INFILL AND EXISTING WINDOWS AT FIRST BAY
- ROOF FRAMING TO BE TRANSFORMED INTO A TRELLIS ABOVE THE MEWS
- BASEMENT - FOUNDATION WALLS AND WOOD COLUMNS
- FIRST FLOOR STRUCTURE - RETAINED AT SOUTH 2/3, REPLACED WITH CONCRETE PAVERS AT THE MEWS (NORTH 1/3)
- SECOND FLOOR STRUCTURE - CENTER PORTION RETAINED. EAST AND WEST ENDS REMOVED FOR DOUBLE HEIGHT SPACE
- ROOF STRUCTURE - RETAINED AS NEW SECOND FLOOR AND SECOND FLOOR ROOF DECK
- EAST BAY REMOVED TO CREATE COURTYARD
- REMNANTS OF OLD WALL SERVES AS RAILING BEHIND 1111 E PIKE
- NORTHERN BAY OF CHARACTER STRUCTURE CONTAINS AN OUTDOOR PEDESTRIAN MEWS WITH ACCESS TO RETAIL SPACES. IT ALSO SERVES AS A CONNECTION BETWEEN 11TH AND 12TH AVENUE
- SALVAGED WOOD FROM THE CHOPHOUSE AS SIDING MATERIAL

NEW STOREFRONT AT 11TH AVENUE & IN THE MEWS

INCORPORATING A CHARACTER STRUCTURE INTO THE BLOCK PLAN

EARLY DESIGN GUIDANCE

Street Level Façade:

a. The Board would like to see clarification on the location and readability of pedestrian entries; "mews", entry into building and parking access along street-level street facing façade (A-4, C-3, & D-1).

b. Detailed documentation resolving pedestrian circulation and vehicular access is required at the next Board meeting. Pedestrian access to retail and lobby should be emphasized while simultaneously minimizing vehicular access (C-3, C-4, & D-11).

c. The opening to the mews is a gateway through the development site and should be designed to create a safe defensible space for pedestrians accessing 11th and 12th avenues through the mid-block connection (B-5, D-1, & D-7).

Interior Lot Façade:

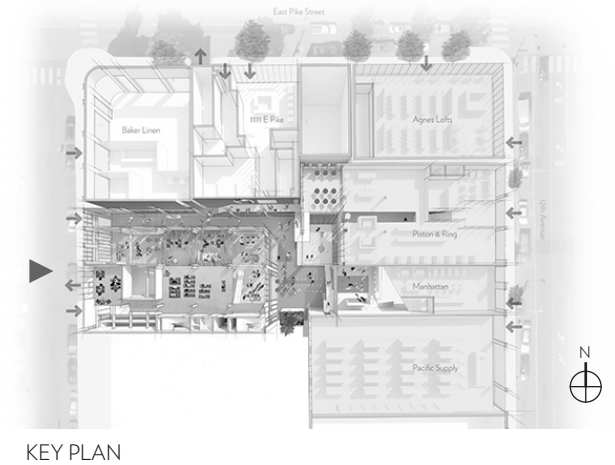
a. Provide more detail on location and design of the adjacent residential structure to the north. Clarify upper level setbacks depths, location of roof top decks of the abutting structures to the north (A-5, B-2).

b. Design north façade to maximize privacy for existing residents by providing sufficient setback and locating windows to minimize direct line of site between existing and proposed residential units (A-5).

c. Use materials to create a dynamic façade treatment, 3-D element if possible, to minimize the appearance of a blank wall facing an adjacent surface parking lot (A-5, D-2).

PANORAMA OF 11TH AVE WITH PROPOSED PROJECT





WEST FACADE

The west façade is broken down into four distinct zones:

1. Character Structure. See previous section for a description of the Character Structure façade.
2. Street Face. The new street face of the building is faced with "Swiss Pearl" integrally colored panels, and is intended to read as a solid block, scaled to match the adjacent building to the north. A large glazed opening, vertically proportioned, is the centerpiece. At the street level, a simple steel canopy overhangs the sidewalk, with downlights. The garage door is a simple, painted, roll-up door, in character with the straightforward, industrial history of the neighborhood, and to be consistent with other service doors on the block in new and existing buildings (1111 E. Pike and the Baker Linen Building, pictured below). A glazed micro-retail storefront sits at the south end of the street front, underneath the canopy.
3. Backdrop (15' setback): The "backdrop" to the Street Face and the Character structure is a simple gridded metal panel façade, with large sliding doors at 4th floor deck.
4. Residential (5th) Floor: The residential face is set back another 8' to create decks and reduce building mass. The roof of the residential units is sloped down from south to north to allow better daylight to neighboring roof decks.

NORTH FACADE

The north façade has a clear separation at the roof line of the Character Structure. Below this line, a combination of storefront and reclaimed wood siding faces onto the Mews. Above this line, the façade is organized into a regular composition of aluminum clad wood windows and painted panels. The window spacing is purposely set in an opposing pattern to the neighboring 1111 E. Pike building, in order to maintain better privacy between the buildings (see diagram on page 29.)

WEST ELEVATION



PAINTED HARDI PANEL TYP.

METAL SPANDREL BAND TYP.

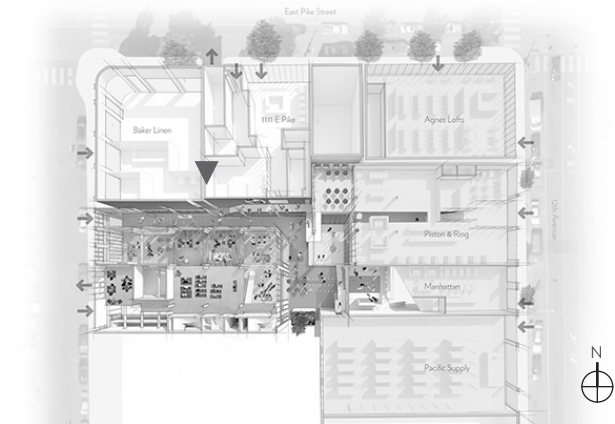
DARK WINDOW FRAME ALUMINUM/WOOD

PAINTED HARDI PANEL TYP.

CLEAR DOUBLE PANE GLASS W/ LOW-E COATING TYP.

30'-0" HIGH VEGETATED WALL AT EXISTING WALL BEYOND

2'-0" DEEP STEEL PLANTER



SWISS PEARL INTEGRALLY COLORED SIDING

30'-0" HIGH VEGETATED WALL



RECLAIMED WOOD PANEL

STL CANOPY

OVERHEAD DOORS

ELEVATION FROM MEWS

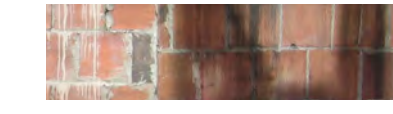


ELEVATION FROM NEIGHBORING PROPERTIES

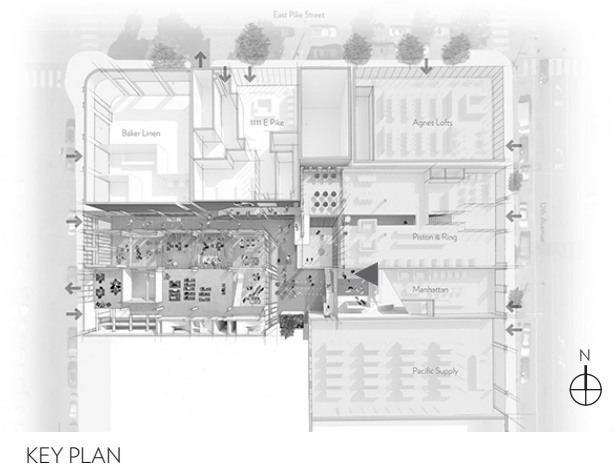
STRUCTURAL REINFORCING CHANNELS ADDED

(E) CHOPHOUSE CONCRETE FRAME TO REMAIN

(E) CHOPHOUSE CLAY TILE WALL TO REMAIN



NORTH ELEVATIONS



EAST FAÇADE

The east façade is intended as a reflection of the west, with a paneled backdrop accentuated by a projecting metal grid bay window. Double height storefront windows with garage doors and sliding doors faces onto the courtyard.

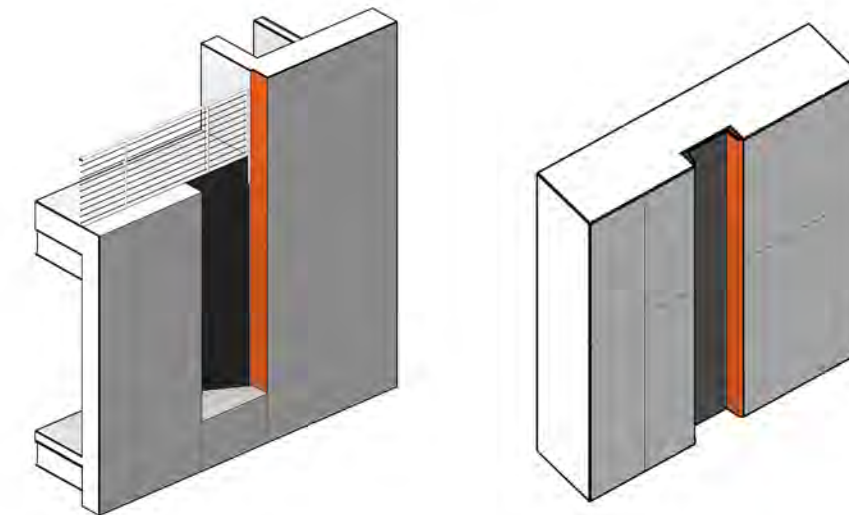
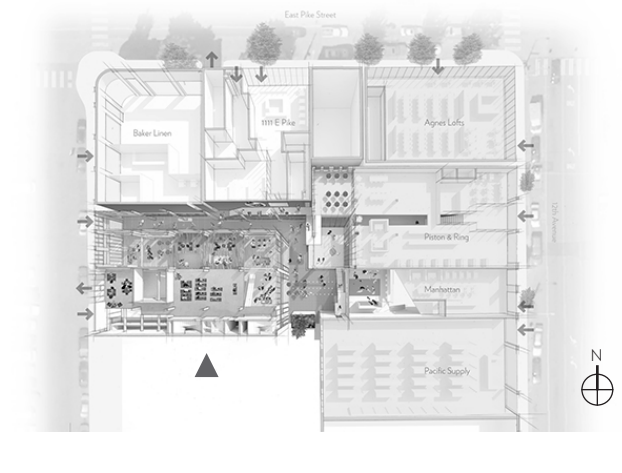
SOUTH FAÇADE

The south façade is a property line wall that is given 3-D relief by the insertion of vertical steel channels related to the roof scape, along with a recessed slot window at the 4th floor coffee bar. Decks at the residential level are set back to allow south light to the units and to break up the mass of the south façade. "Swiss Pearl" integrally colored panels are used at the return leg of the street front mass, then painted panels from there eastward.

ALUMINUM-CLAD WOOD WINDOWS, TYP.



EAST ELEVATION

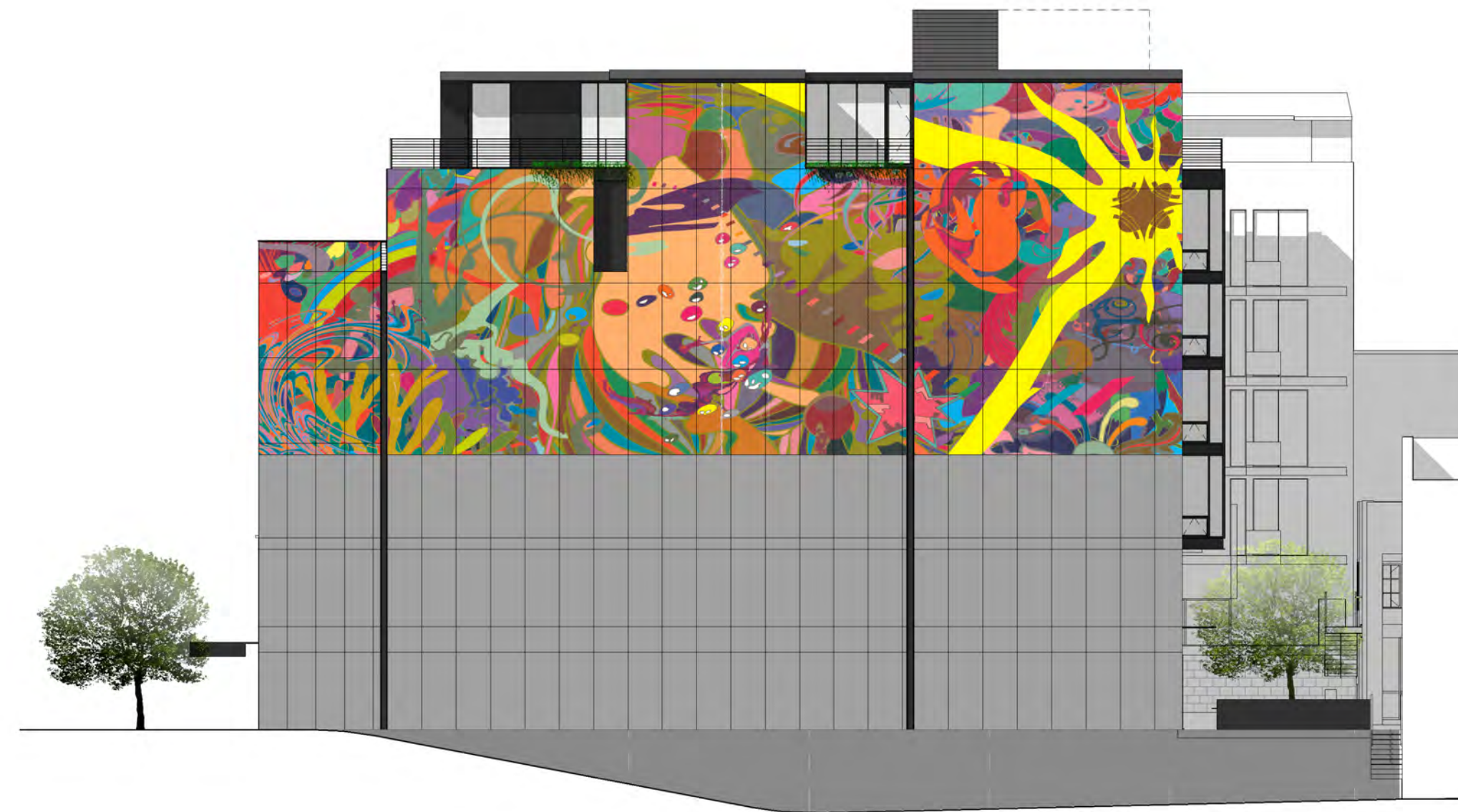


SOUTH WINDOW DETAIL

SOUTH CHANNEL DETAIL

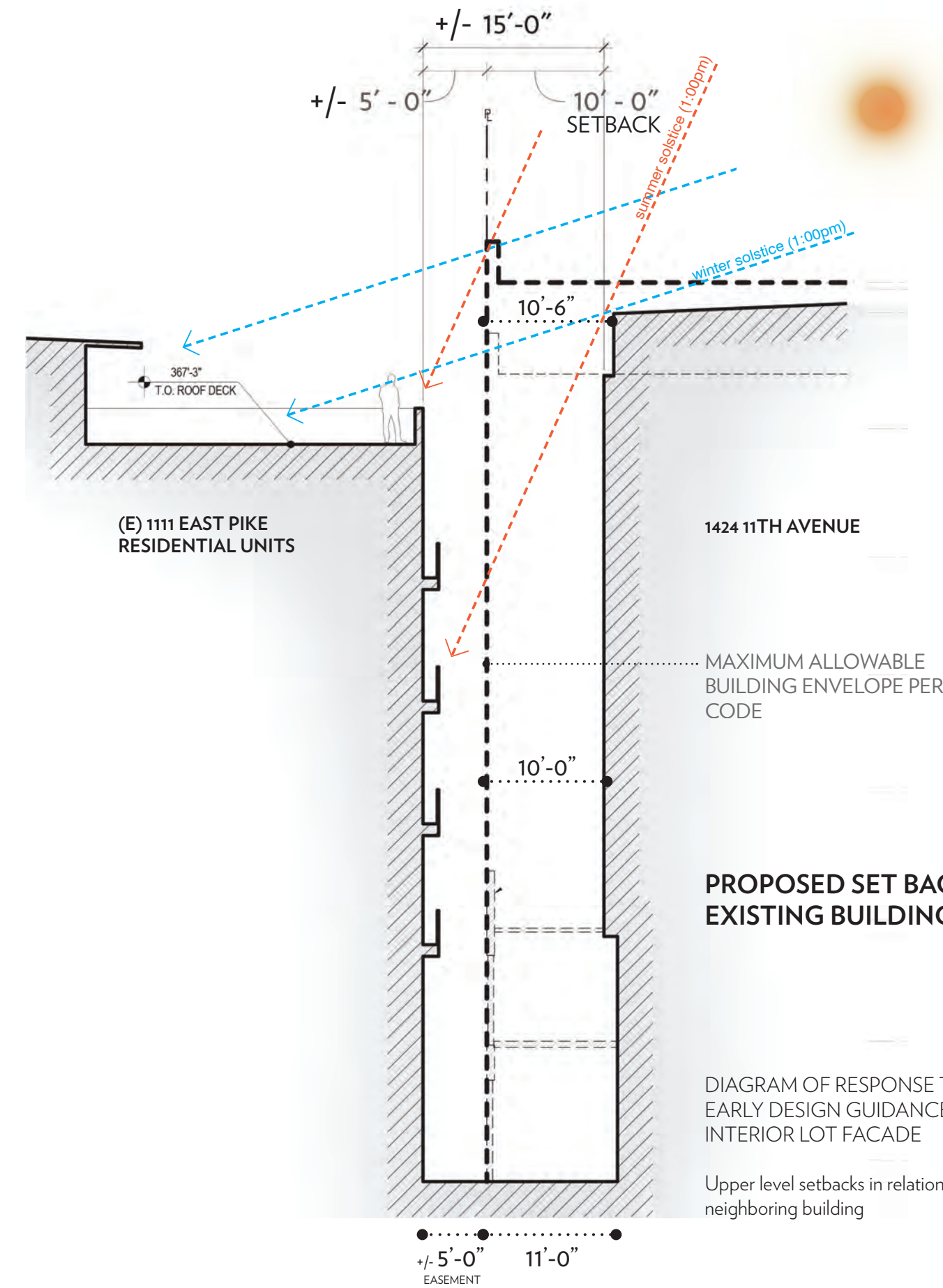


SOUTH ELEVATION



The artwork shown here is not currently funded in the project budget. It is included here for design review to confirm acceptability in case funding becomes available. See previous sheet for proposed south facade.

POTENTIAL ARTWORK AT SOUTH FACADE - NOT CURRENTLY FUNDED



PROPOSED SET BACKS AND EXISTING BUILDINGS

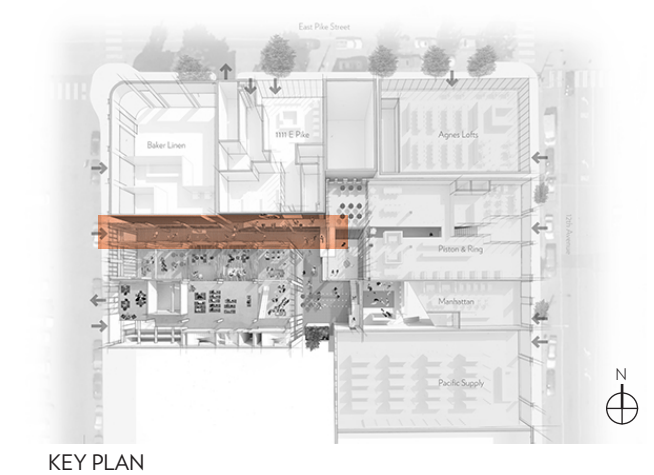
DIAGRAM OF RESPONSE TO EARLY DESIGN GUIDANCE, INTERIOR LOT FACADE

Upper level setbacks in relation to neighboring building

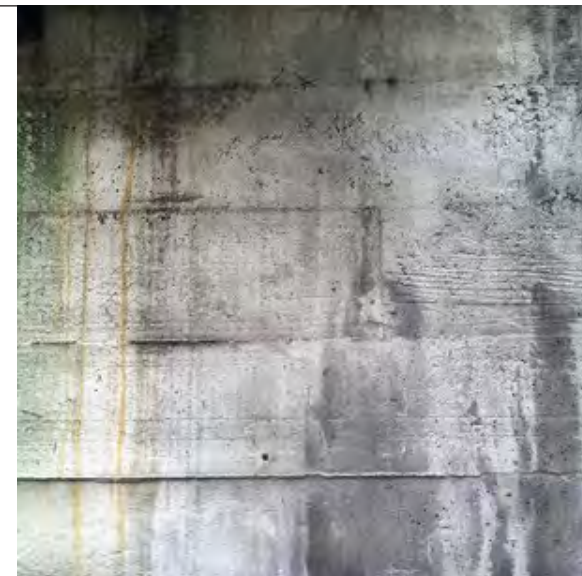


NORTH FAÇADE

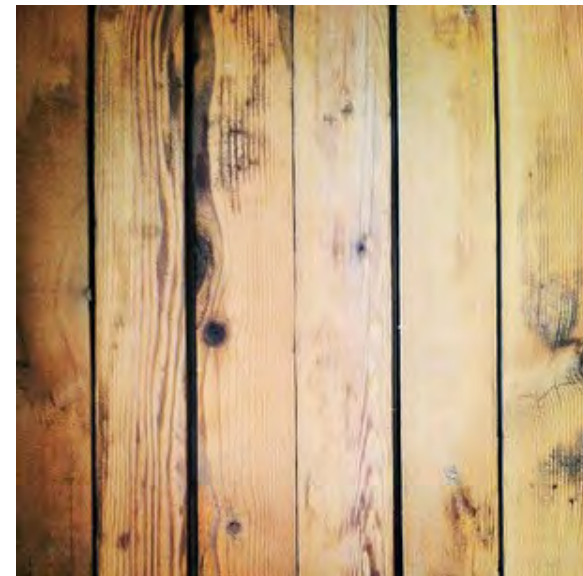
This diagram shows how the setbacks along the north side of the building are intended to create a Mews that allows light and air to neighboring buildings. When our 10' setback is combined with the neighbors' 4' to 5' setbacks, a width similar to a standard alleyway is created. The dashed line indicates the full development potential of the site.



NORTH FACADE - RESPONDING TO NEIGHBORING BUILDING



CONCRETE FRAME



RECLAIMED WOOD SIDING



ALUMINUM/FIBERGLASS STOREFRONT



METAL WALL PANELS



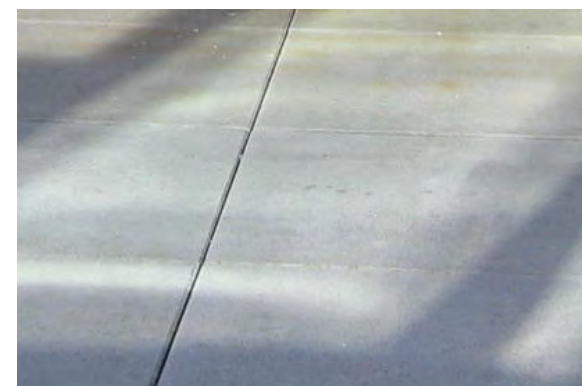
CLAY TILE INFILL



ALUMINUM-CLAD WOOD WINDOWS



SWISS PEARL CARAT SL "SAPPHIRE" INTEGRALLY COLORED SIDING



PRE-CAST CONCRETE PAVERS



PAINT COLORS

HARDI

ACCENT

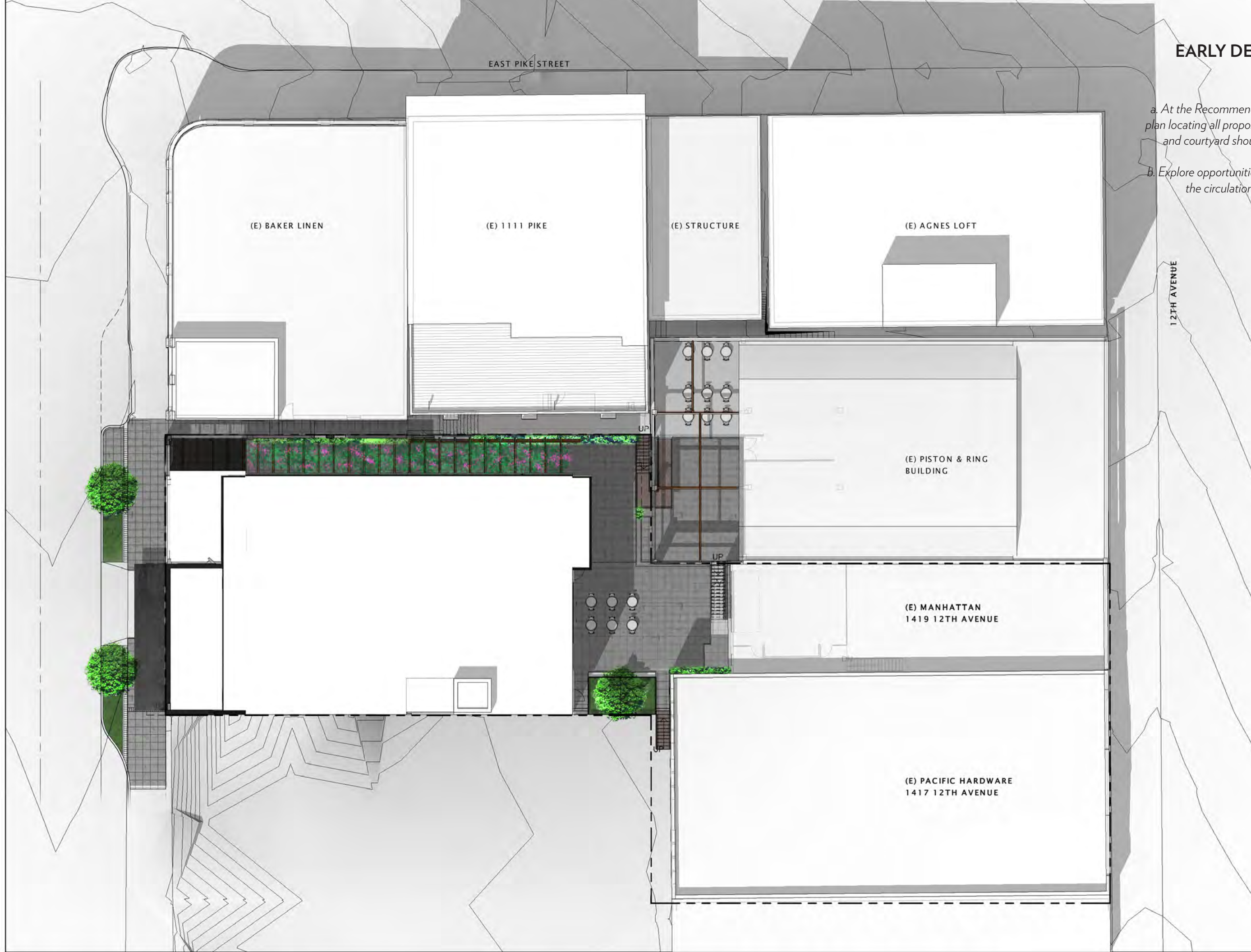
TRIM

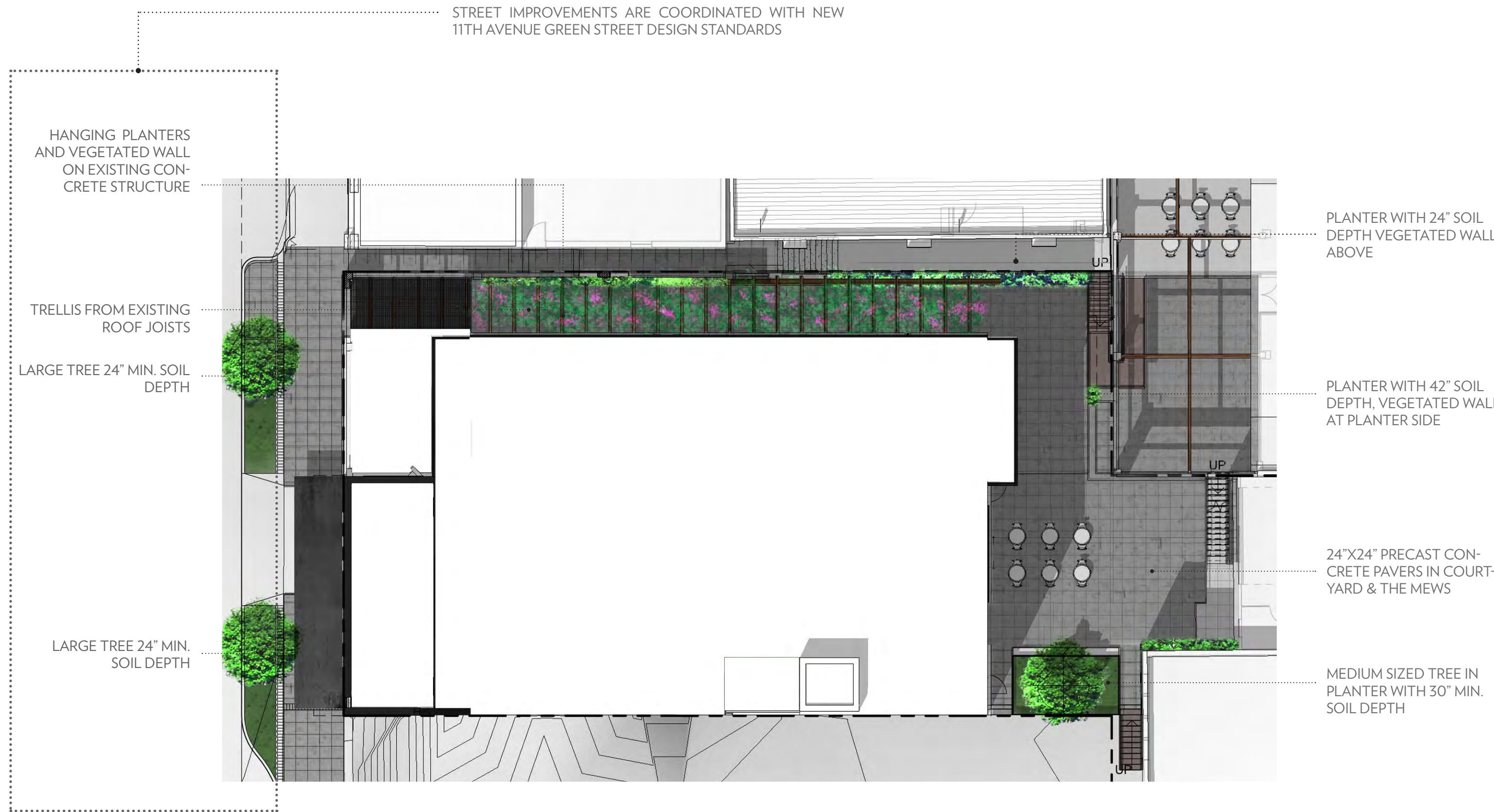
METAL

EARLY DESIGN GUIDANCE

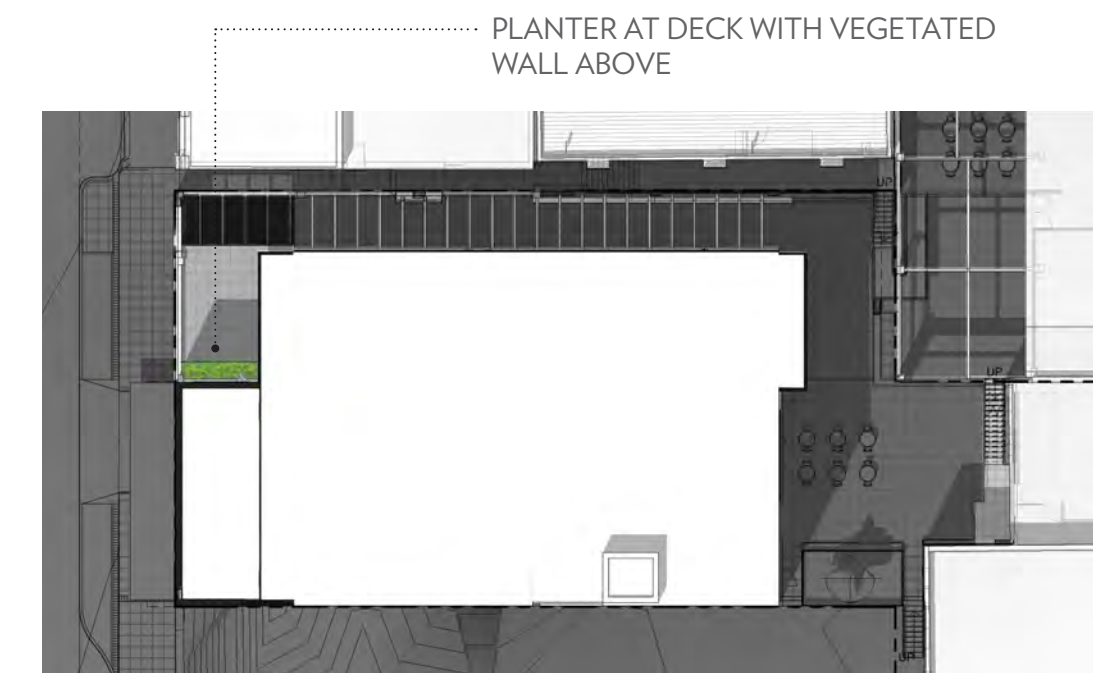
Landscaping:

- a. At the Recommendation meeting a landscape plan locating all proposed landscaping in setbacks and courtyard should be presented (D-1, E-2).
- b. Explore opportunities to provide landscaping in the circulation areas and plaza (A-7, E-2).

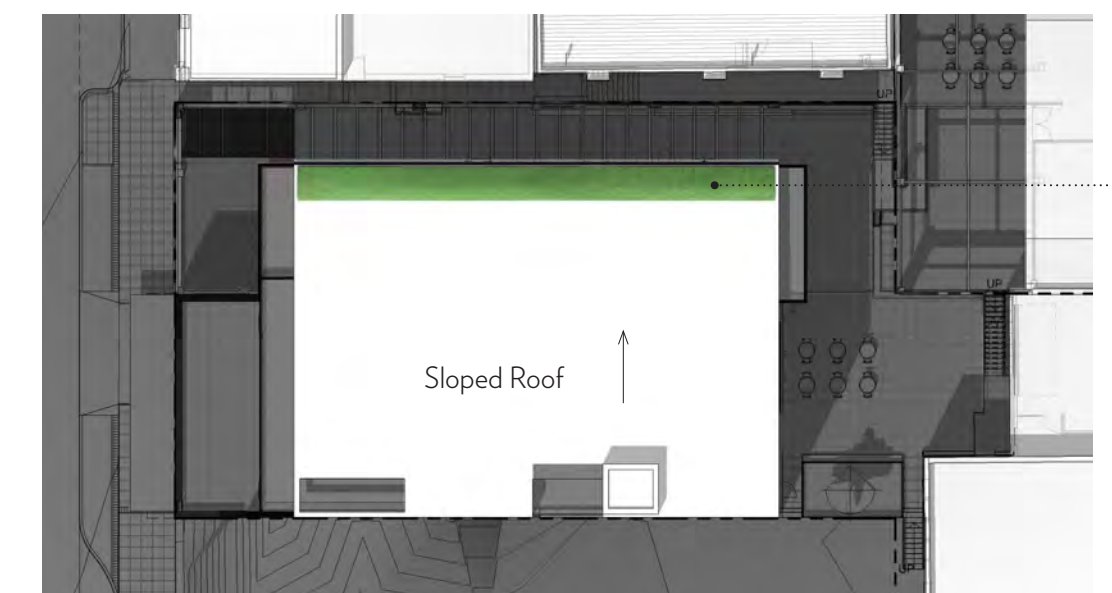




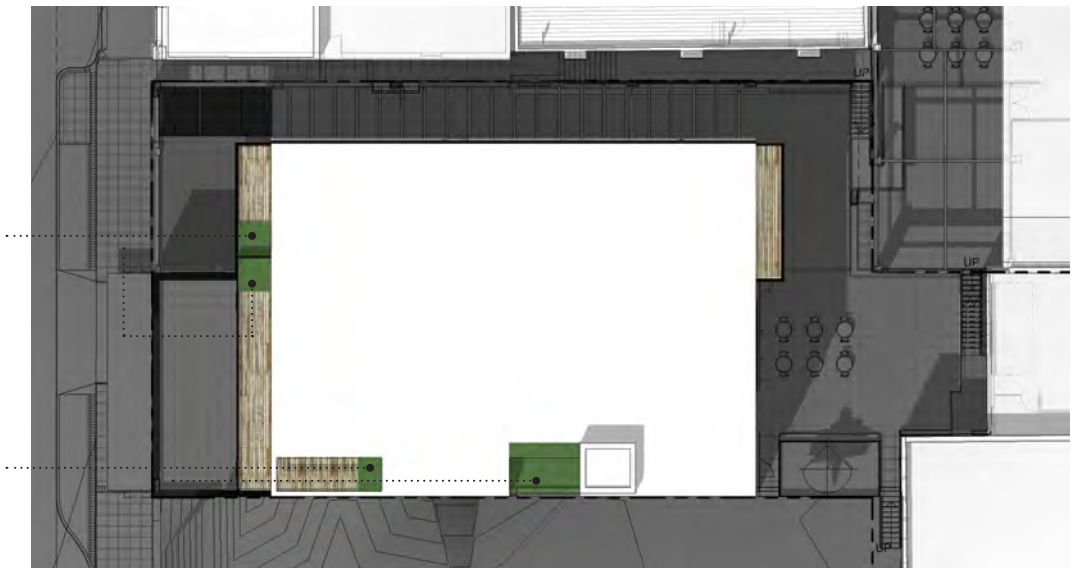
GROUND LEVEL



2ND LEVEL



ROOF



5TH FLOOR

LANDSCAPE PLANS

EARLY DESIGN GUIDANCE

Solid Waste Recyclable Materials Storage and Access

a. At the Recommendation meeting the Board would like to the applicant present materials to demonstrate how the solid waste materials will be managed; location of storage, pick-up days, etc. for the proposed development and for the entire development site (D-6).

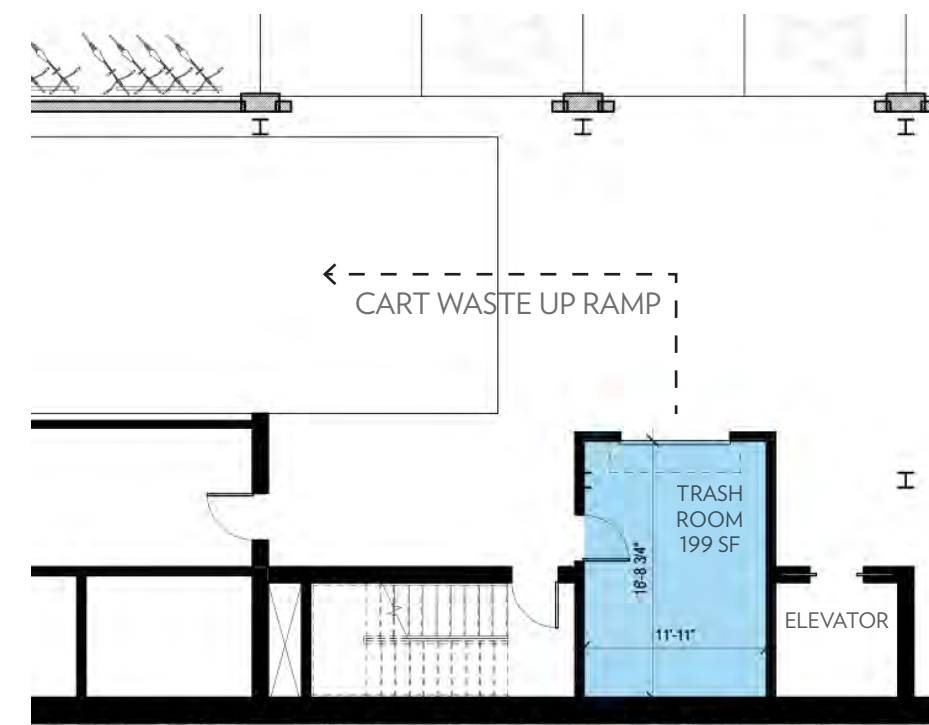
SOLID WASTE

Solid waste for offices and residences of the new project, Agnes Lofts, and the Piston and Ring Building will be consolidated in a trash room located in the garage. Trash, recycle, and compost will then be carted up the ramp in 2 yard containers and/or totes to a curb pick-up area at the top of the ramp, just inside the garage door. Pick up schedules will be arranged to alternate daily between trash and recycle.

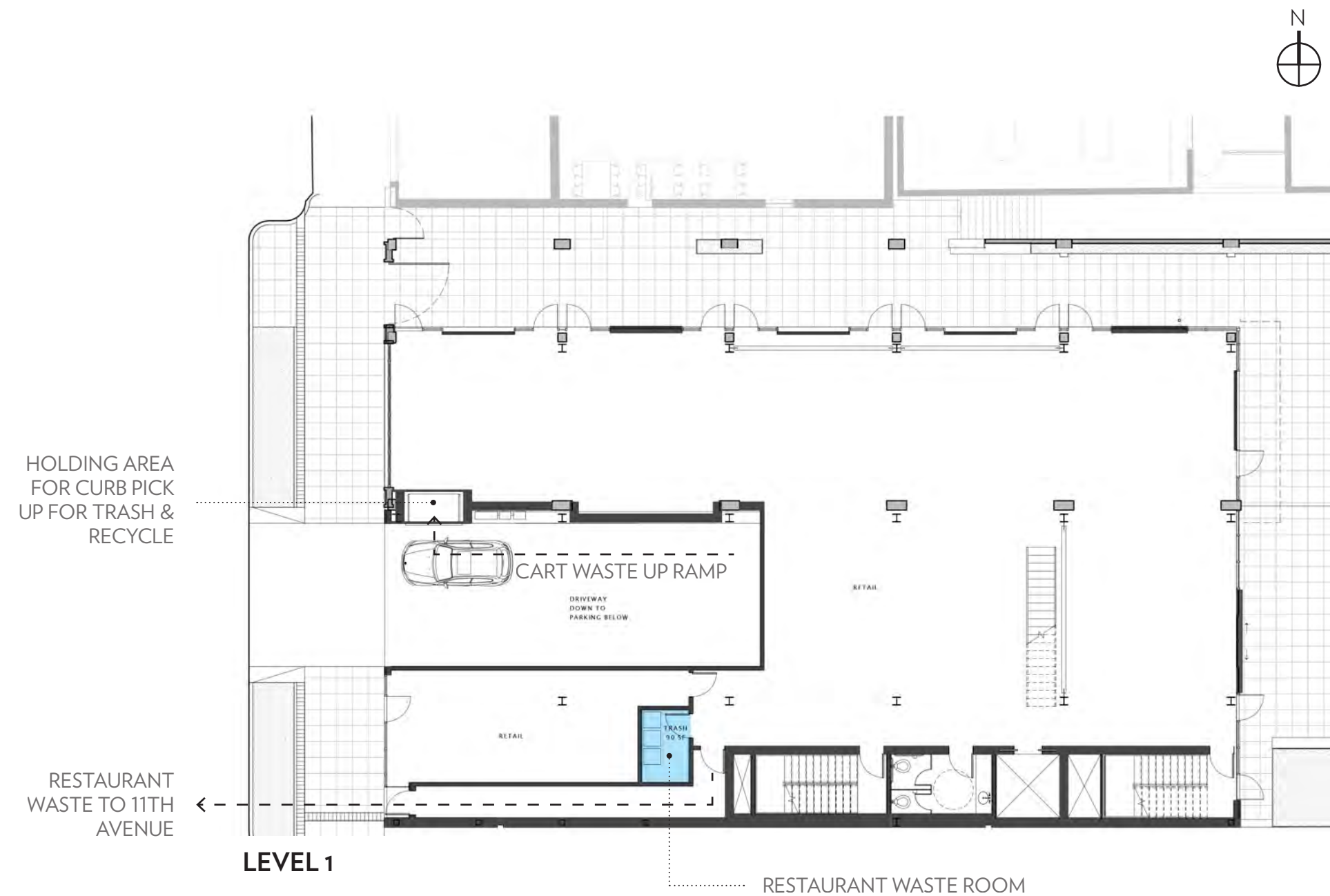
Restaurant waste from the new project will be gathered in totes in a small room on the first floor, then picked up from 11th Avenue via the corridor at the south-west corner of the building.

Restaurant waste for the existing restaurants on 12th Avenue and Pike Streets (Boom Noodle, Plum, La Spiga, and Manhattan) will continue to be picked up curbside at 12th Avenue.

No waste from Dunn and Hobbes' projects will be stored or carted through the Mews, although the existing trash cans located in the plaza will remain to manage waste generated directly by public use of the plaza.



BASEMENT LEVEL (SEE FULL PLAN IN APPENDIX)



HOLDING AREA FOR CURB PICK UP FOR TRASH & RECYCLE

RESTAURANT WASTE TO 11TH AVENUE

LEVEL 1

RESTAURANT WASTE ROOM

DESIGN DEPARTURE REQUEST #1

1. Sight Triangle (SMC 23.54030.G.518):

STANDARD

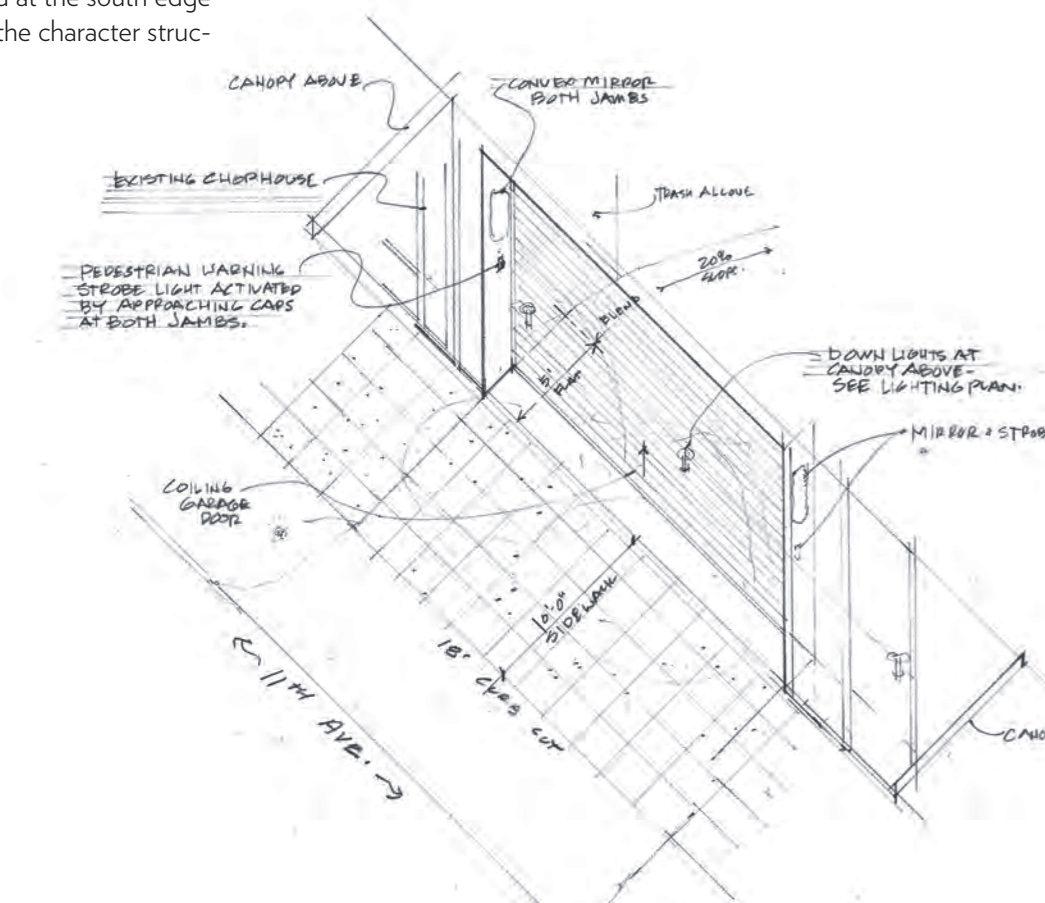
The Code requires a sight triangle on both sides of a two-way driveway with a width 22 feet or less. The sight triangle shall be kept clear of any obstructions for a distance of 10 feet from the intersection of the driveway with the intersection of the sidewalk.

DEPARTURE

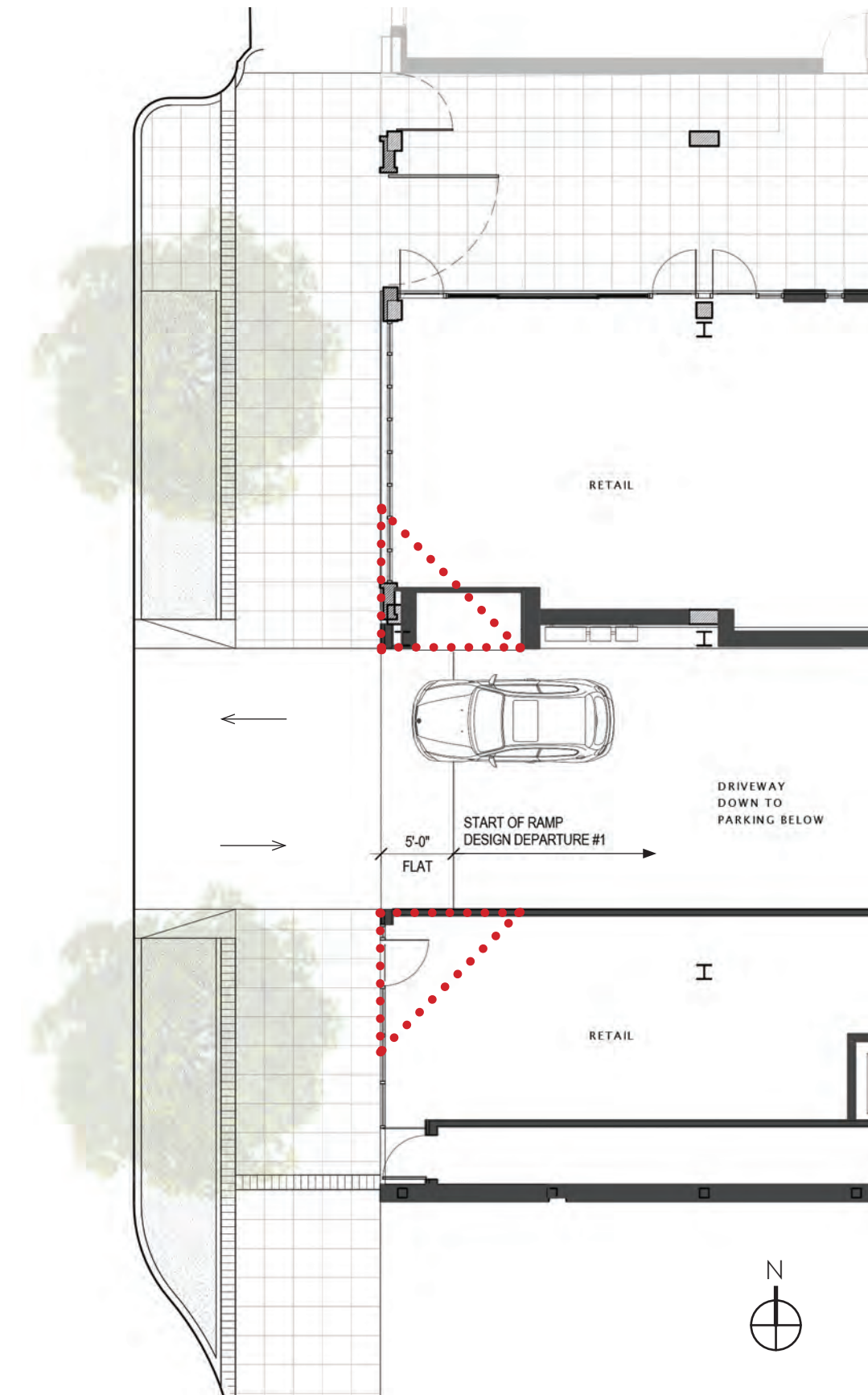
The applicant proposes minimal sight triangles in order to maintain a consistent retail street edge and because of the location of the existing Chop House. It is proposed that visual pedestrian safety devices be included at the property line and that the start of the ramp slope be set in 5' from the property line to allow a flat portion where the driveway meets the sidewalk.

WHY THIS DEPARTURE BETTER MEETS THE INTENT OF THE DESIGN GUIDELINES

Removing the site triangle limits the impact of the garage door opening on the streetscape, thus improving the pedestrian experience. It also allows a viable micro-retail space to be located at the south edge of the building, and retains the masonry corner of the character structure intact.



--- Indicates code required 10'-0" sight triangle



DESIGN DEPARTURE REQUEST #2

SMC 23.73.014B2a/c RETENTION OF FACADE AND FLOOR LEVEL OF CHARACTER STRUCTURE

STANDARD

B. Height exception for lots that include a character structure. In zones with a 65-foot mapped height limit, or with a 40-foot mapped height limit with provisions allowing for additional height up to 65 feet according to subsection 23.47A.012.A, the Director may permit the height of a structure to exceed the height limit of the zone by 10 feet, subject to the following:

1. The lot includes a character structure.
2. If a project incorporates a character structure on the lot, the project meets the following conditions:
 - 2a. All street-facing facades of the character structure shall be retained;
 - 2c. The original floor-to-ceiling height of the ground story shall be maintained.

DEPARTURE

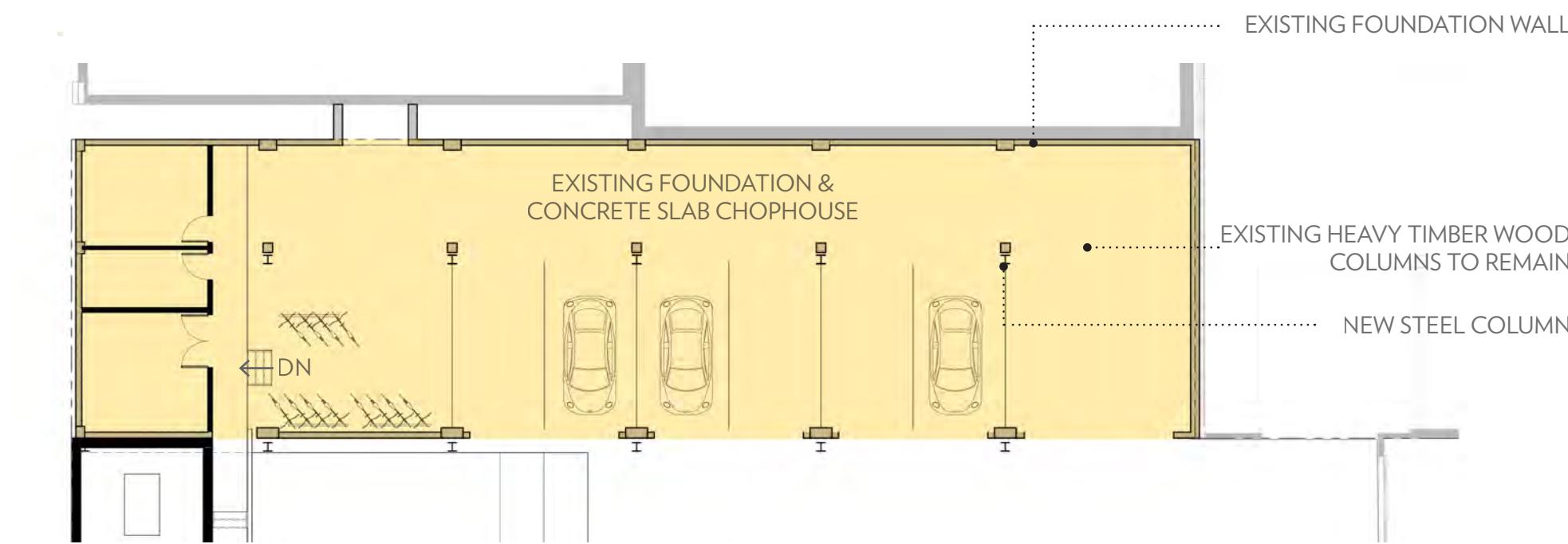
Per 2a, our proposal is to maintain the street-facing facade of the character structure. However, the north third will not have interior floor space behind it. Instead, it will serve as a gateway to the mews.

Per 2c, the original floor to ceiling height of the ground story will be maintained, except that the second floor will be removed at the east and west ends of the building to create double height spaces facing 4th Avenue and the courtyard.

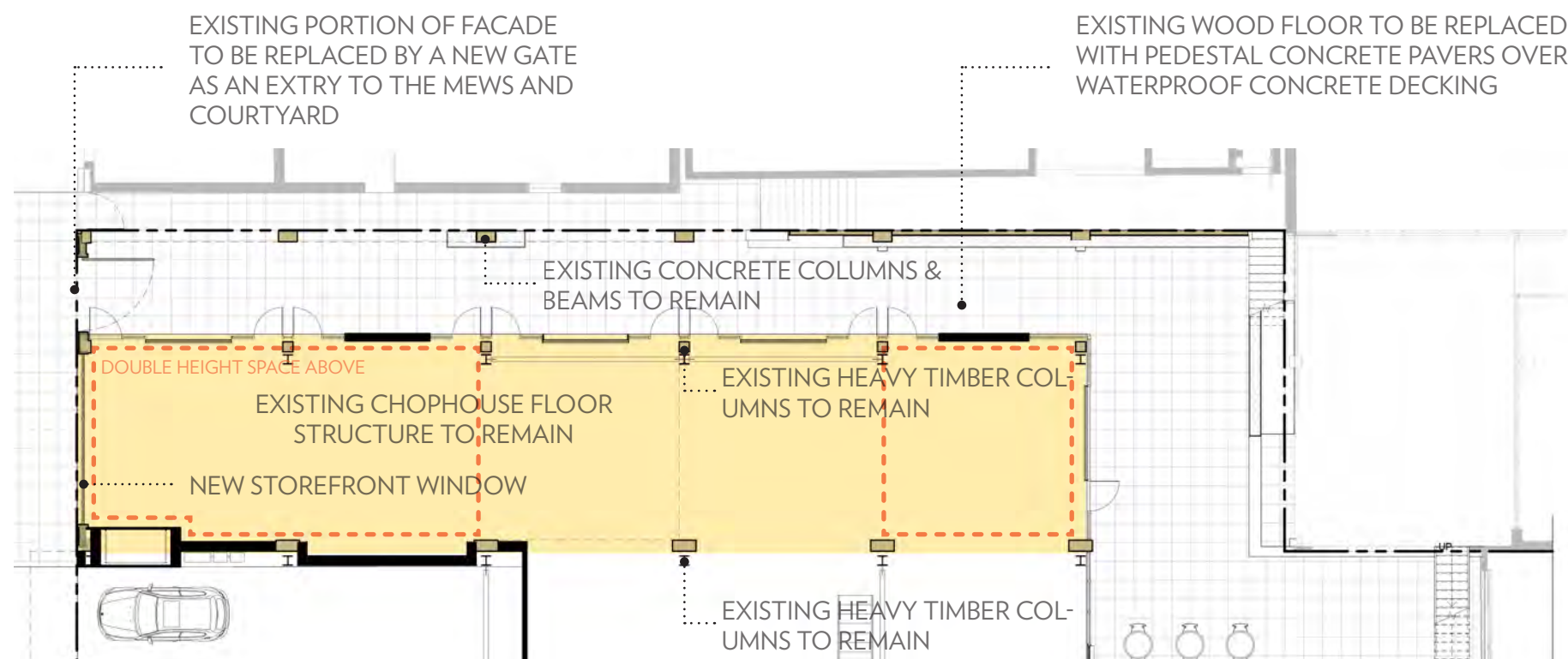
WHY THIS DEPARTURE BETTER MEETS THE INTENT OF THE DESIGN GUIDELINES

(2a) Allowing the open-air mews to overlap with the north third of the character structure creates an outdoor mid-block connection to the plaza. This connection, occurring within the eroded structural frame of the building, will be a unique and attractive pedestrian amenity for the Pike/Pine neighborhood.

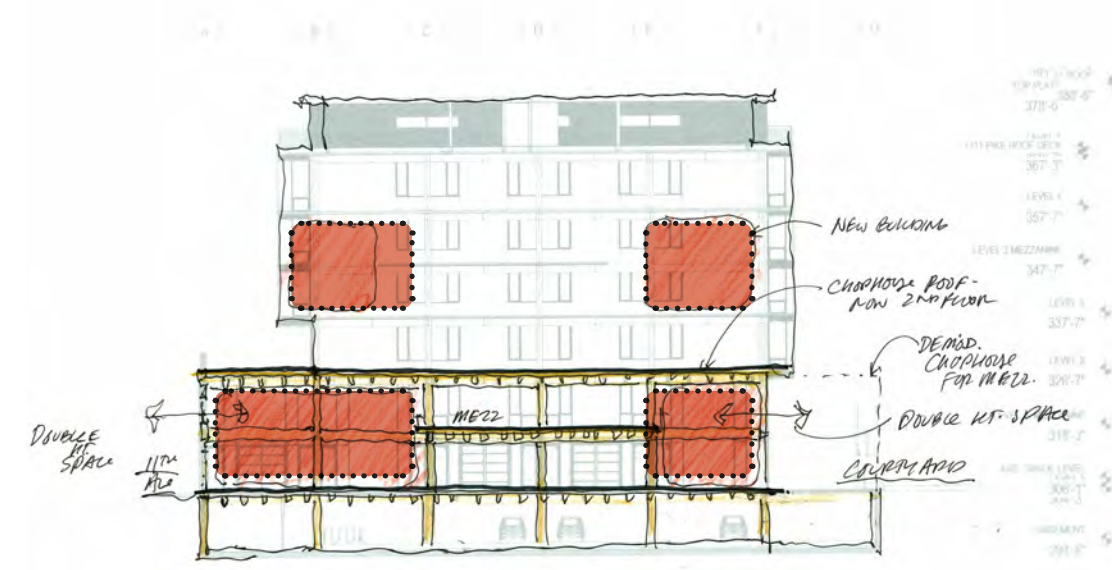
(2c) Removal of portions of the existing second floor at the east and west ends of the character structure will result in grand double height spaces facing 11th Avenue and the Mid-Block courtyard. What was before a somewhat non-descript wood frame structure now takes on the unique urban characteristics afforded by double height retail/restaurant space with open mezzanines above. This corresponds with the intent of the Pike Pine Design guidelines, which promotes tall street level storefront retail spaces.



BASEMENT



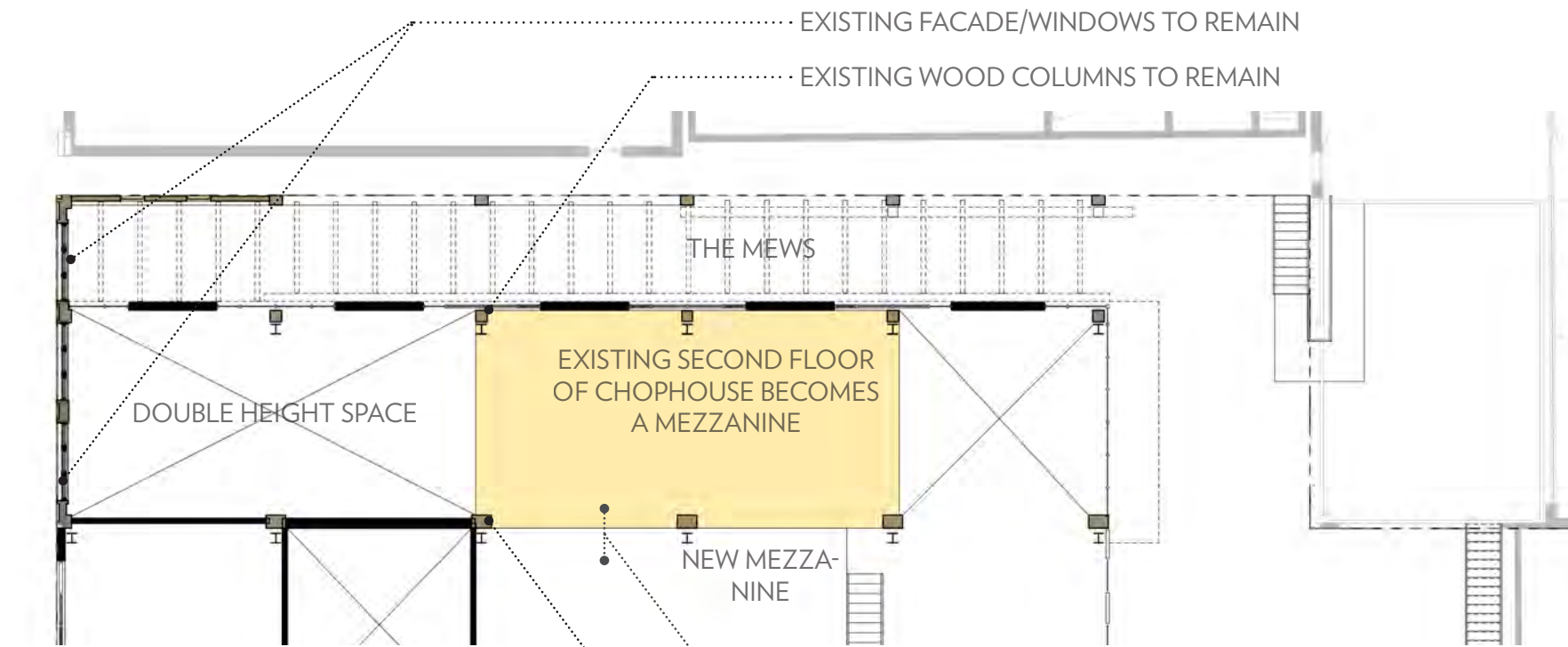
STREET LEVEL



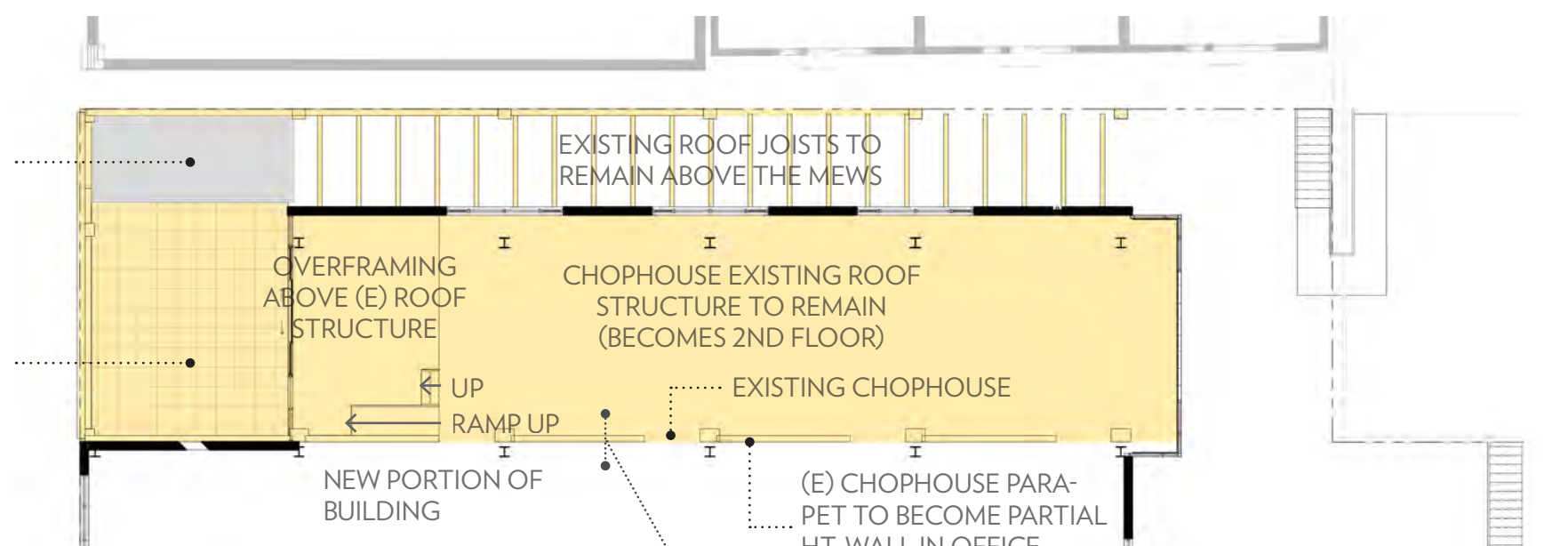
SKETCH SHOWING DESIGN CONCEPT FOR DOUBLE HEIGHT SPACES FRONTING 11TH AVENUE & COURTYARD. DOUBLE HEIGHT SPACES ARE INTENDED TO CREATE VISUAL INTEREST AT STREET LEVEL AND BRING MORE DAYLIGHT INTO THE BUILDING

OPEN METAL GRATING OVER EXISTING ROOF JOISTS (REQUIRED PER CODE IN EXIT PASSAGEWAY)

PRECAST CONC. PAVERS OVER EXISTING CHOPHOUSE ROOF STRUCTURE



LEVEL 1 MEZZANINE



LEVEL 2

DESIGN DEPARTURE REQUEST #2

DESIGN DEPARTURE REQUEST #3

SMC 23.47A2b/c STREET LEVEL DEVELOPMENT STANDARDS

STANDARD

60% of the street facing façade between 2 and 8 feet above the sidewalk shall be transparent.

DEPARTURE

53 % of the street facing façade between 2 and 8 feet above the sidewalk is to be transparent.

WHY THIS DEPARTURE BETTER MEETS THE INTENT OF THE DESIGN GUIDELINES

This is a narrow façade on a small scale project that incorporates a character structure, a garage door that is necessary to serve the building and others on the block, and a required exit passage door. Everything else is glazed retail/restaurant storefront, which meets the intent of the design guidelines.

GARAGE DOOR WIDTH MINIMIZED TO 18' WIDE. IT HAS BEEN CONSOLIDATED INTO ONE LOCATION TO SERVE FOUR BUILDINGS ON THE SAME LOT

REQUIRED EXIT DOOR

TOTAL AREA UNDER CONSIDERATION (RED DASHED LINE) = 443 SF
SOLID PORTIONS OF CHOPHOUSE TO REMAIN

TOTAL GLAZING AREA = 239SF (53.9% TRANSPARENCY)



DESIGN DEPARTURE REQUEST #3

1424 11th Avenue | Design Review | March 2013

EARLY DESIGN GUIDANCE

Priorities & Board Recommendations From Early Design Guidance Packet and Responses

1. Master Plan:

a. In a prior presentation, the developer mentioned the development site is part of a larger integrated half block Master Plan that has been designed comprehensively to functionally connect existing and proposed uses. In order to better understand the specific proposal as it relates to the expanded development site, with its proposed pedestrian connection between 11th and 12th Avenue, through a multi layered plaza level with access to several buildings, the Board directed the architect to present The Master Plan for the expanded development site at the Recommendation meeting with the following guidance (A-1, C-2, and C-3).

Response:
See Part 1 of this document.

2. Massing:

a. (Preferred) Alternative 3 visually reduces the massing from a street perspective while also emphasizing the pedestrian circulation pathway interior to the development. The design responds well to the adjacent (north) structure's mass. The Board directed the architect to develop the preferred option for the recommendation meeting with the following guidance (B-1).

Response:
See Part 2 of this document.

b. The adjacent structure to the north along 11th Avenue has a three-story street facing façade. The proposed structure will step back approximately 10 feet from the north property line at the roof height of the existing two-story Character Structure and from the west exterior wall. The Board directed the applicant to be respectful and develop a street façade incorporating the existing datum lines. (A-2).

Response:
Please refer to A-2 response above.

3. Character Structures:

a. The Board requested clarification on how the development standards are being met to achieve additional height for maintaining the Character Structure. The Board does not want to set a precedence of allowing a design without proper documentation of presentation of the Character Structure per SMC 23.041.

Response:
See Part 4 of this document.

4. Street Level Façade:

a. The Board would like to see clarification on the location and readability of pedestrian entries; "mews", entry into building and parking access along street-level street facing façade (A-4, C-3, & D-1).

Response:
See Part 5 of this document.

b. Detailed documentation resolving pedestrian circulation and vehicular access is required at the next Board meeting. Pedestrian access to retail and lobby should be emphasized while simultaneously minimizing vehicular access (C-3, C-4, & D-11).

Response:
See Part 5 of this document.

c. The opening to the mews is a gateway through the development site and should be designed to create a safe defensible space for pedestrians accessing 11th and 12th avenues through the mid-block connection (B-5, D-1, & D-7).

Response:
See Part 2 & 5 of this document.

5. Landscaping:

a. At the Recommendation meeting a landscape plan locating all proposed landscaping in setbacks and courtyard should be presented (D-1, E-2).

Response:
See Part 6 of this document.

b. Explore opportunities to provide landscaping in the circulation areas and plaza (A-7, E-2).

Response:
See Part 6 of this document.

6. Plaza (public/private):

a. Design and integrate the courtyard plaza levels to address privacy issues for existing and proposed commercial and residential uses while reinforcing opportunities for light, air and ventilation (B-5, C-3, D-1, & E-2).

Response:
See Part 2 of this document.

7. Interior Lot Façade:

a. Provide more detail on location and design of the adjacent residential structure to the north. Clarify upper level setbacks depths, location of roof top decks of the abutting structures to the north (A-5, B-2).

Response:
See Part 5 of this document.

b. Design north façade to maximize privacy for existing residents by providing sufficient setback and locating windows to minimize direct line of site between existing and proposed residential units (A-5).

Response:
See Part 5 of this document.

c. Use materials to create a dynamic façade treatment, 3-D element if possible, to minimize the appearance of a blank wall facing an adjacent surface parking lot (A-5, D-2).

Response:
See Part 5 of this document.

8. Solid Waste Recyclable Materials Storage and Access

a. At the Recommendation meeting the Board would like to the applicant present materials to demonstrate how the solid waste materials will be managed; location of storage, pick-up days, etc. for the proposed development and for the entire development site (D-6).

Response:
See Part 7 of this document.

EARLY DESIGN GUIDANCE

Design review Guidelines from Early Design Guidance Packet and Responses

Guideline	Response
<p>A. Site Planning</p> <p>A-2 Streetscape Compatibility <i>The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.</i></p>	<p>Along 11th Avenue, the building is organized into 4 distinct zones that are intended to reinforce the existing streetscape:</p> <p>Zone 1: Chop House: At the north half of the site, the existing Chop House façade will be renovated, with its northern 1/3 bay becoming the entrance to the through block pedestrian alley envisioned in the original long-term multi-site master plan. New portions of the building will be set back above the Chop House, allowing for a large second floor roof deck overlooking 11th Avenue.</p> <p>Zone 2: New Street Front: At the south half of the site, the street façade of the new building rises to about 55', similar in scale to the adjacent Baker Linen Building. Solid corners and parapets match the solid feel of adjacent buildings. The building sets back above Zone 2, allowing a second roof deck overlooking 11th Avenue at the fourth floor level.</p> <p>Zone 3: Back Drop: The L shaped "backdrop" portion of the building reads as a light glass and steel backdrop to Zones 1 and 2, set back 15 feet from the street lot line.</p> <p>Zone 4: Top Floor Residential: The top (fifth) floor is set back another 8' to distinguish the residential level and to allow for residential decks overlooking 11th Avenue.</p> <p>See Part 3 of this document for more details.</p>
<p>A-4 Human Activity <i>New development should be sited and designed to encourage human activity on the street.</i></p>	<p>Glazed street level retail and restaurants ring the building, with faces onto 11th Avenue, the pedestrian alley, and the courtyard. The through-block connection to 12th Avenue envisioned by the original urban design framework is completed by this building with a pedestrian alley and enlarged courtyard. The curb at 11th Avenue is bulbed out and landscaped as the first step in an improved urban streetscape along 11th Avenue between Pike St. and Union St.</p>

Guideline	Response
<p>A-5 Respect for Adjacent Sites <i>Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.</i></p>	<p>Particular care was taken in addressing the neighboring condominium building to the north, 1111 E. Pike St. No setback is required along the north property line, however, the new building is set back 10', which, when added to 1111's 5' setback, yields a 15' distance between buildings, similar to a standard alley width. No setback is required along the east property line, however, the new building is set back approximately 15' from the east lot line, allowing for better light and views, especially from the east third of the neighboring building. The solid/void pattern of the north façade is planned to correspond in reverse to 1111 E. Pike's south façade, so that windows do not look directly across the pedestrian alley at other windows, thus helping with privacy issues. The top floor residential units are set back at the NE and NW corners of the building to allow for better light and views to adjacent roof decks at 1111 E. Pike St. See Part 3 of this document for more details.</p>
<p>A-8 Parking and Vehicle Access <i>Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.</i></p>	<p>Given the goal of incorporating the Chop House on the north half of the site, vehicle access, drive aisles, and new building cores are all located on the south half of the lot. A choice was made to locate the vehicle entry at mid-block, next to the Chop House, rather than at the south edge of the site. This was the most effective planning strategy in order to allow for a functional parking arrangement (given the Chop House foundation line at mid-site), and allow for open, transparent office floors above by moving the circulation core to the south wall.</p> <p>Reduced driveway width and reduction of sight triangles is proposed via Design Departure in order to reduce the impact of the driveway on the pedestrian environment and increase retail street frontage. For pedestrian safety, we are proposing motion-activated warning lights in lieu of sight triangles. We are also proposing that the driveway runs flat for 5' as it enters the building, before beginning its descent, in order to allow a relatively flat approach to the sidewalk from inside the garage.</p>

EARLY DESIGN GUIDANCE

Design review Guidelines from Early Design Guidance Packet and Responses

Guideline	Response
<p>B. Height, Bulk and Scale</p> <p>B-1 Height, Bulk, and Scale Compatibility <i>Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.</i></p>	<p>See A-2 Comments above for discussion of scale and form related to surrounding structures.</p>
<p>B-2 Pike/Pine Neighborhood Scale and Proportion <i>a) Design the structure to be compatible in scale and form with surrounding structures.</i></p> <p><i>b) Relate the scale and proportions of architectural features and elements to existing structures on the block face to maintain block face rhythm and continuity.</i></p> <p><i>c) Address conditions of wide or long structures. For structures that exceed the prevailing height, reduce the appearance of bulk on upper stories to maintain the established block face rhythm.</i></p> <p><i>d) Design the first floor façade to encourage a small-scale, pedestrian-oriented character</i></p>	<p>See A-2 Comments above for discussion of scale and form related to surrounding structures.</p> <p>See A-2 Response above- note that top residential floor above 65' base height limit is set back an additional 8' from the 15' setback at the floor below.</p> <p>Small scale residential character is encouraged by use of operable windows, doors, and gates in the existing Chop House street front. A glazed Micro-Retail space is included at the south edge of the site.</p>

Guideline	Response
<p>B-3. Integration of Character Structures in New Development (Supplemental guidance especially for properties located within the Pike / Pine Conservation Overlay District) <i>a) Develop a design Concept</i></p>	<p>Design concept is to let the old materials do the work in the old structure, with very little new finishes, and to contrast the wood and concrete of the old structure against the steel frame of the new building. The other design strategy is to use the north third of the Chop House as the framework for the pedestrian alley. Although the previous urban design framework envisioned demolishing the Chop House, its 1/3-2/3 bay spacing aligns well with the pedestrian alley concept.</p>
<p><i>b) Do not overpower the character structure.</i></p>	<p>New building is set back 15' above the character structure, and new portion of building to south of Chop House sets back at about 55' above the street (see A-2 above).</p>
<p><i>c) Express the relationship between the character structure and new portions of the project.</i></p>	<p>Clear change in materials from concrete frame/wood beams and car decking to steel frame with metal decking.</p>
<p><i>d) Emphasize the streetscape.</i></p>	<p>Existing Chop House façade will be stripped of add-ons like T-111 plywood, with new windows.</p>
<p><i>e) Align features of the character structure with features of new portions of the project.</i></p>	<p>Floor lines of the new project will align with existing Chop House at first and mezzanine floors. Second floor of new structure will align with sub-roof of Chop House (early drawings imply that the sub-roof car-decking was planned as a sub-floor for a taller building).</p>
<p><i>f) Consider design treatments that anchor the new structure to the streetscape.</i></p>	<p>A canopy is proposed at new structure to integrate it with the streetscape.</p>

Guideline	Response
<p>B-5 Through-Block Development</p> <p>a) <i>Avoid monolithic development on through lots.</i></p> <p>b) <i>On blocks bounded by designated principal pedestrian streets, take advantage of opportunities to include through-block connections</i></p> <p>c) <i>Capitalize on opportunities to provide utility functions in through-block development.</i></p>	<p>Instead of a monolithic development, the new project is proposed only for the west half of the through lot- buildings on the east half are maintained, with a courtyard in between.</p> <p>The through-block connection envisioned in the original urban design framework for the block is realized with this project.</p> <p>Curb cuts, trash alcoves, etc., at connected buildings have been avoided by coordinated development, and connected garages to the new building.</p>
<p>B-7. Conservation of Character Structures (Supplemental guidance especially for properties located in the Pike/Pine Conservation Overlay District)</p> <p>a) <i>Maintain the architectural integrity of the character structure</i></p> <p>b) <i>Maintain Character-Defining Elements</i></p> <p>c) <i>Recognize the priority for maintaining the original floor-to-ceiling heights in character structures, especially for the ground floor and for features visible from the exterior.</i></p> <p>d) <i>Sensitively locate additions so they do not dominate the appearance of the character structure.</i></p>	<p>Existing Chop House façade will be stripped of add-ons like T-111 plywood, with new windows added. Wood structure will be carried back through building, with steel seismic bracing added.</p> <p>See a) above.</p> <p>Original floor to ceiling heights are maintained. Portions of the second floor are removed at the east and west ends of the building to allow for double height spaces within the building.</p> <p>See B-3b) above.</p>

Guideline	Response
<p>C. Architectural Elements and Materials</p> <p>C-1 Architectural Context</p> <p><i>The Pike/Pine “vernacular” architecture is characterized by the historic auto row and warehouse industrial buildings featuring high ground-floor ceilings, articulated ground-floor commercial space, display windows, detailed cornice and frieze work, and trim detailing.</i></p> <p>C-2 Architectural Concept and Consistency</p> <p><i>Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.</i></p> <p>C-3 Human Scale</p> <p><i>In order to achieve good human scale, the existing neighborhood context encourages building entrances in proportion with neighboring storefront developments. In addition to the Citywide Design Guidelines, developments should successfully contribute to the vitality of the street level and pedestrian scale relationships to the right-of-way. Thus, the design of the ground floor of new developments should include:</i></p> <ul style="list-style-type: none"> • <i>Pedestrian-oriented architectural elements.</i> 	<p>Extra high ground floor commercial space is created by setting the second floor of the new building at about 20' above street and courtyard level and re-classifying the second floor of the Chop House as a mezzanine. We have purposely chosen to design a modern, well proportioned building, without cornice and frieze work, as a contrast to the retained façade of the Chop House.</p> <p>See A-2 above for discussion of massing and materials strategy.</p> <p>Gates to pedestrian alley, a large mid-block plaza with seating, opening windows and garage doors to retail/restaurant establishments, planters, curb bulbs, alley trellis from old Chop House framing, are all pedestrian oriented architectural elements included in the project.</p>

Guideline	Response
<ul style="list-style-type: none"> • <i>A rhythm of building modulation comparable or complimentary to adjacent buildings.</i> • <i>Transparent, rather than reflective, windows facing the street.</i> <p><i>This is important throughout the neighborhood. It is preferred that ground floor development echoes the patterns established by adjacent buildings in this area, including high bays and glazing along the ground floor. To this regard, cues can be taken from the Odd fellows and Elliott Bay Bookstore buildings on 10th Avenue E. between Pike and Pine and from the buildings on the south side of Pike Street between Boylston and Harvard Avenues.</i></p> <p>C-4 Exterior Finish Materials</p> <p><i>New development should complement the neighborhood's light-industrial vernacular through type and arrangement of exterior building materials. Preferred materials and approaches include:</i></p> <ul style="list-style-type: none"> • <i>Brick, masonry, textured or patterned concrete, true stucco (Dryvit is discouraged), with wood and metal as secondary or accent materials.</i> • <i>Other high quality materials that work well with the historic materials and style of neighboring buildings.</i> • <i>Limited number of exterior finish materials per building</i> • <i>High quality glazing and trim as a vital component of exterior finish.</i> 	<p>See A-2 above for discussion of massing and modulation strategy</p> <p>Clear glass with Low-E coatings are proposed throughout.</p> <p>Window treatment at Chop House will be similar to Odd Fellows.</p> <p>Painted hardi-panel and metal panels are proposed as limited exterior finish palette, with some reclaimed wood siding (salvaged from Chop House) used at storefronts along the pedestrian alley. Windows are recessed a few inches from facade to give it depth.</p> <p>High quality windows and metal trims are proposed.</p>

Guideline	Response
<p>C-5 Structured Parking Entrances</p> <p><i>The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.</i></p> <p>D. Pedestrian Environment</p> <p>D-1 Pedestrian Open Spaces and Entrances</p> <p><i>Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.</i></p> <p>D-2 Blank Walls</p> <p><i>Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest.</i></p> <p>D-6 Screening of Dumpsters, Utilities, and Service Areas</p> <p><i>Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.</i></p>	<p>Garage entry width has been minimized, with sight triangles removed by design departure for better pedestrian experience.</p> <p>The pedestrian alley and expanded mid-block courtyard are the final piece in an urban design framework for the block that meets this goal. Lighting at the pedestrian alley, courtyard, Chop House façade, and new building canopy over the sidewalk, will be provided for security, but will be shielded, subtle, and in alignment with International Dark Sky Association guidelines (see Lighting Plan in this document).</p> <p>Large blank walls have been avoided on North, East, and West building faces. The south wall has c-channels added for relief (see part 5 of this document).</p> <p>Utilities are screened from street view. Trash dumpsters are not proposed in the pedestrian alley or plaza spaces.</p>

Guideline **Response**

D-7 Personal Safety and Security
Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Note that the pedestrian alley and plaza will be closed at night from 1AM to 7AM, accessible only by card key to building occupants. This will be accomplished by locking gates at the 11th Avenue entry passage.

Lighting installed for pedestrians should be hooded or directed to pathways leading towards buildings.
 a). Promote the pedestrian environment
 b). Reflect the special neighborhood character

See D-1 above for lighting discussion.

D-9 Commercial Signage
Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

See signage page in part 5 of this document for approved signage examples

D-10 Commercial Lighting
Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage

See D-1 above for lighting discussion

D-11 Commercial Transparency
Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

Project is ringed on three sides by transparent commercial storefronts.

Guideline **Response**

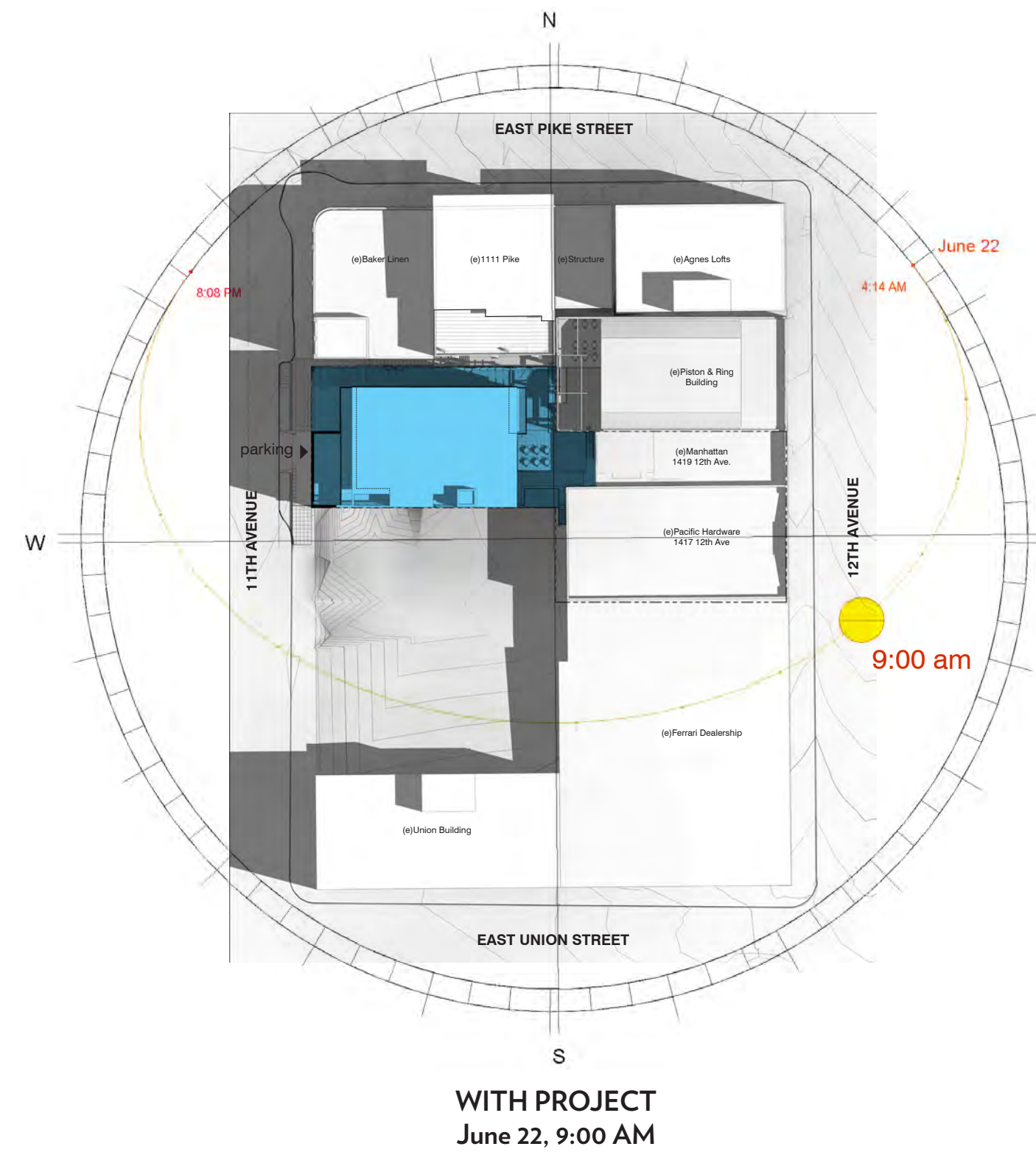
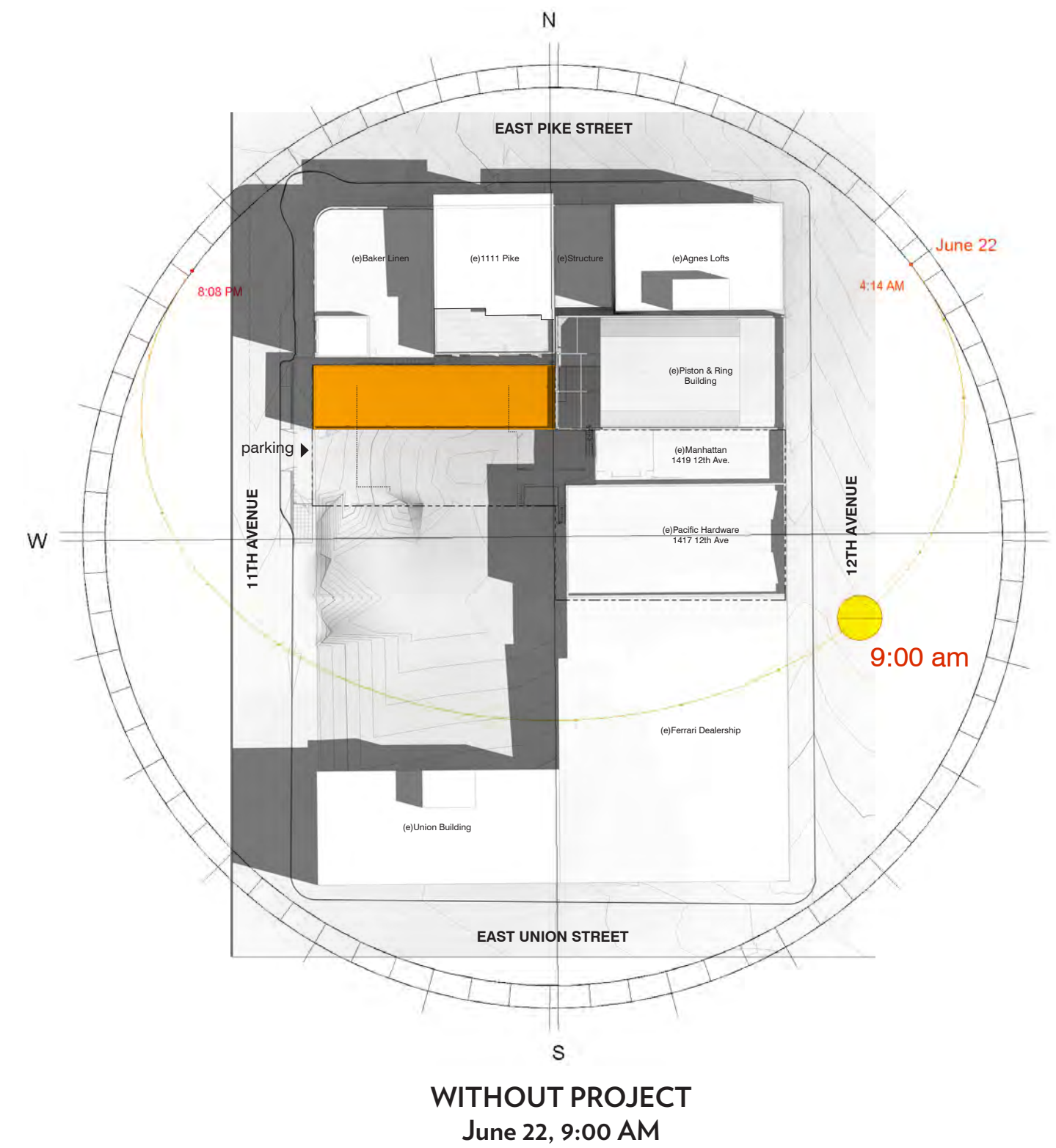
E. Landscaping
E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites
Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

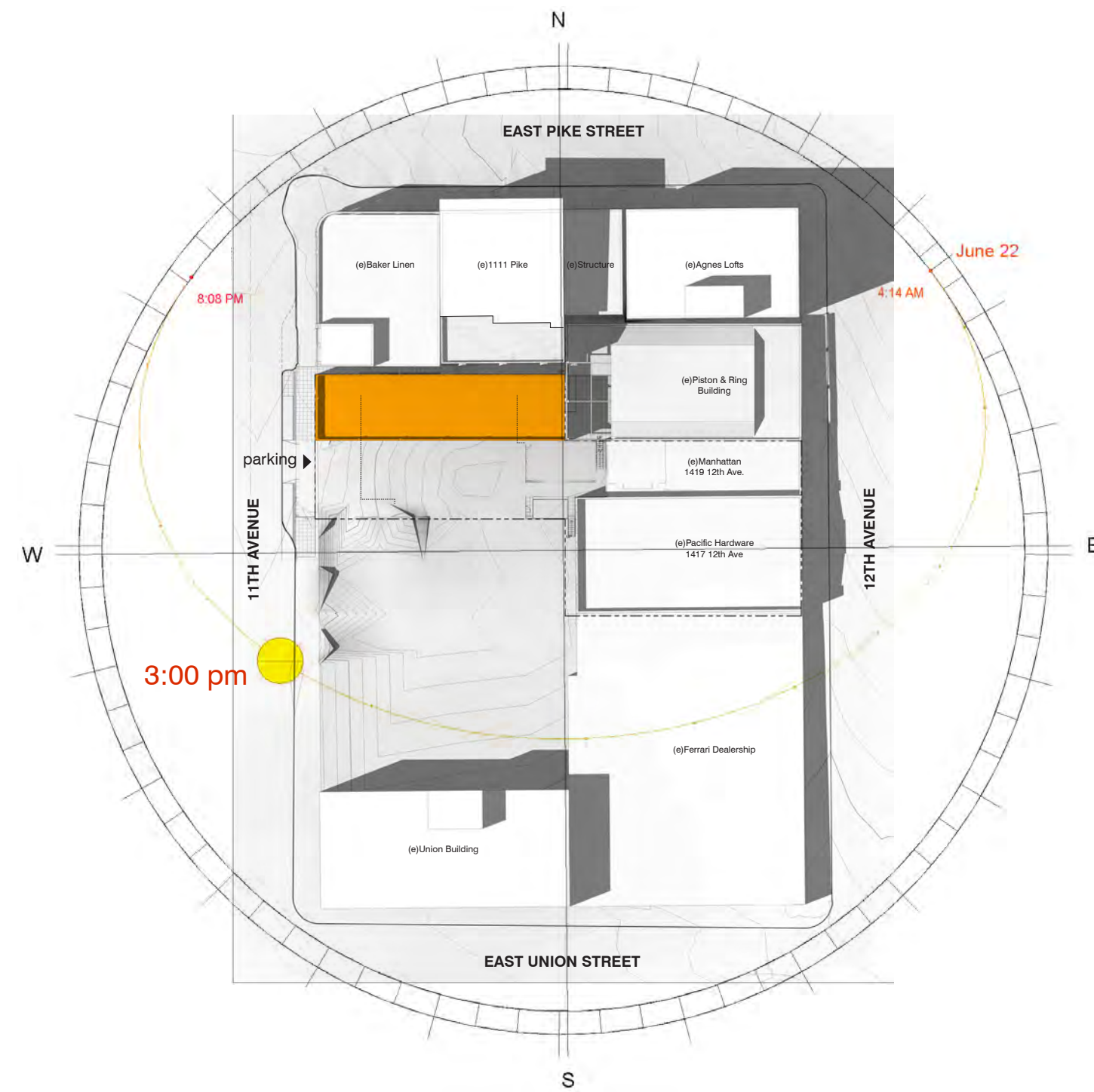
This project is the first new streetscape improvement on 11th Avenue between Pike and Union streets, and the owner has worked with SDOT to coordinate improvements with a longer term vision for a coherent urban streetscape on this block, with subsequent projects expected to follow the same pattern.

E-2 Landscaping to Enhance the Building and/or Site
The creation of small gardens and art within the street right-of-way is encouraged in the Pike/Pine neighborhood in order to enhance and energize the pedestrian experience. This is especially desirable for residential and mixed use developments as well as a means to distinguish commercial areas from institutional areas. Providing vertical landscaping, trellises or window boxes for plants is also desirable. Street greening is specifically recommended along the following streets:

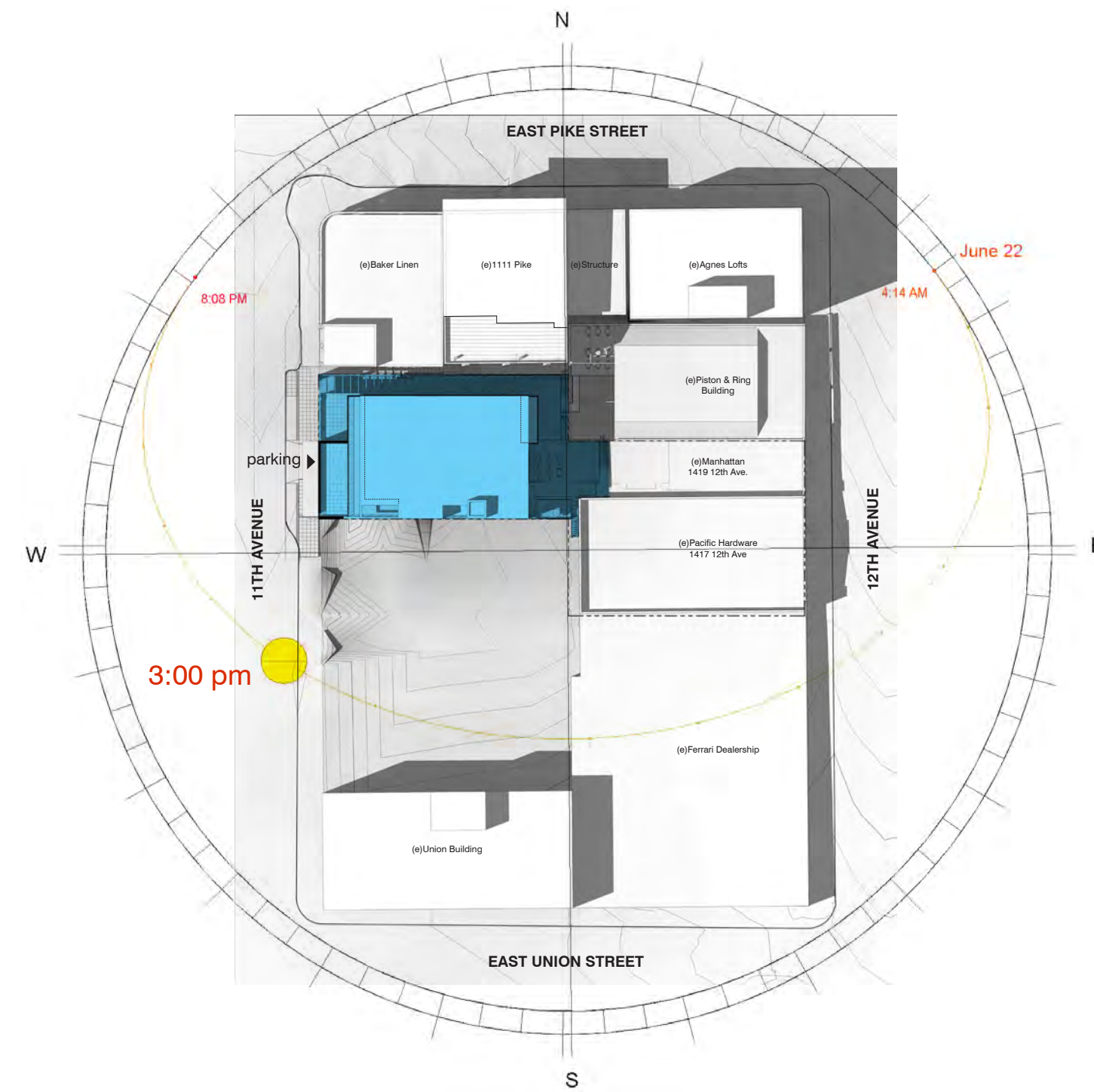
- Avenues between Union and Pike Streets, from Minor Avenue on the west to Harvard Avenue on the east;
- Along Bellevue, Summit, Belmont, and Boylston (except from Pike to Pine)
- Union Street from Boren to Broadway
- Avenues between Pike and Olive Streets from 11th Ave. on the east to 14th Ave. on the west including Pine from 14th and 15th and Olive from 11th to 15th (except along 14th Ave. from Pine to Pike).

Planters have been strategically placed at multiple levels in and around the pedestrian alley, plaza, and Chop House roof deck to enhance and energize the pedestrian experience. Please refer to the Landscape Plan.

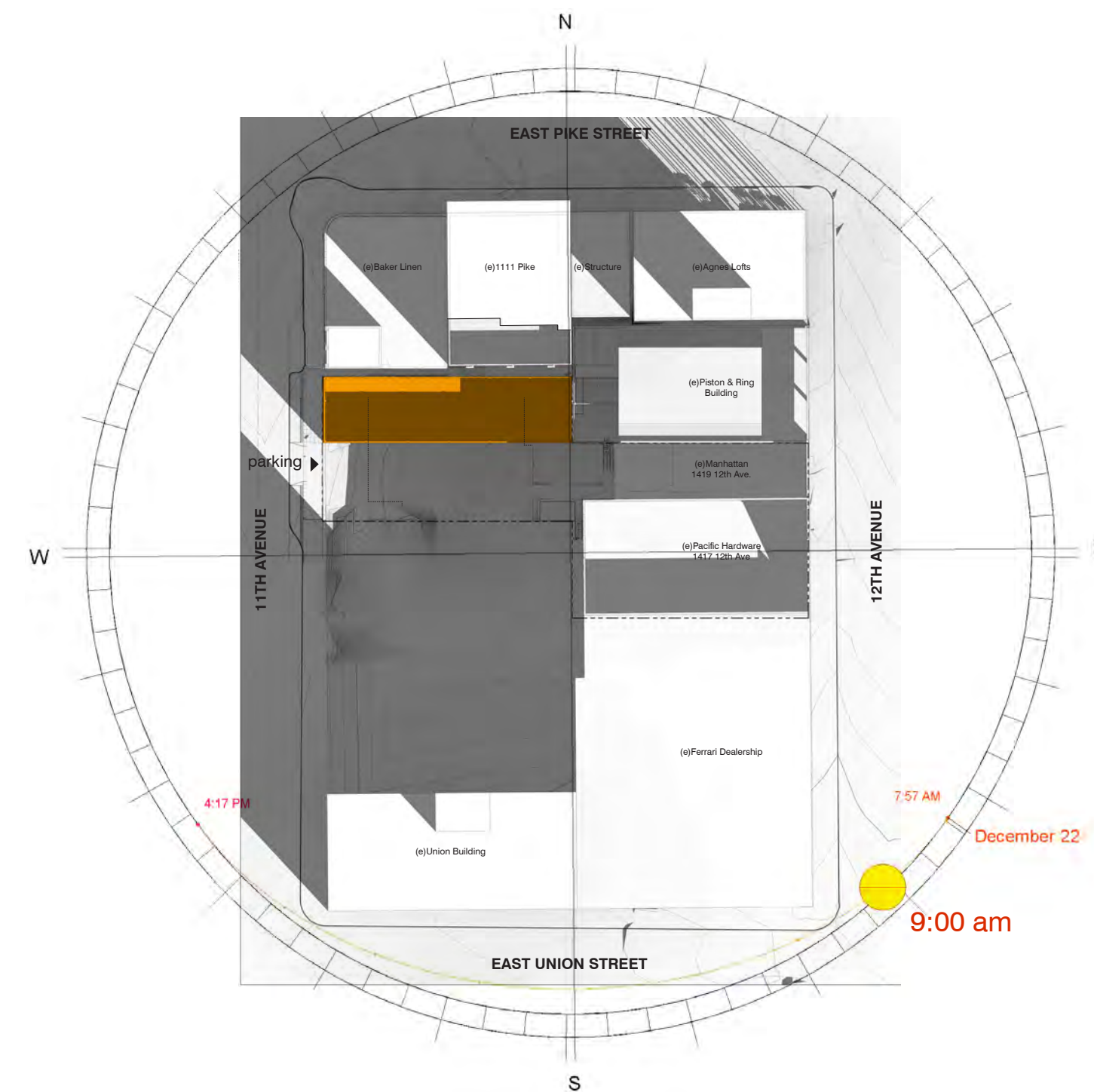




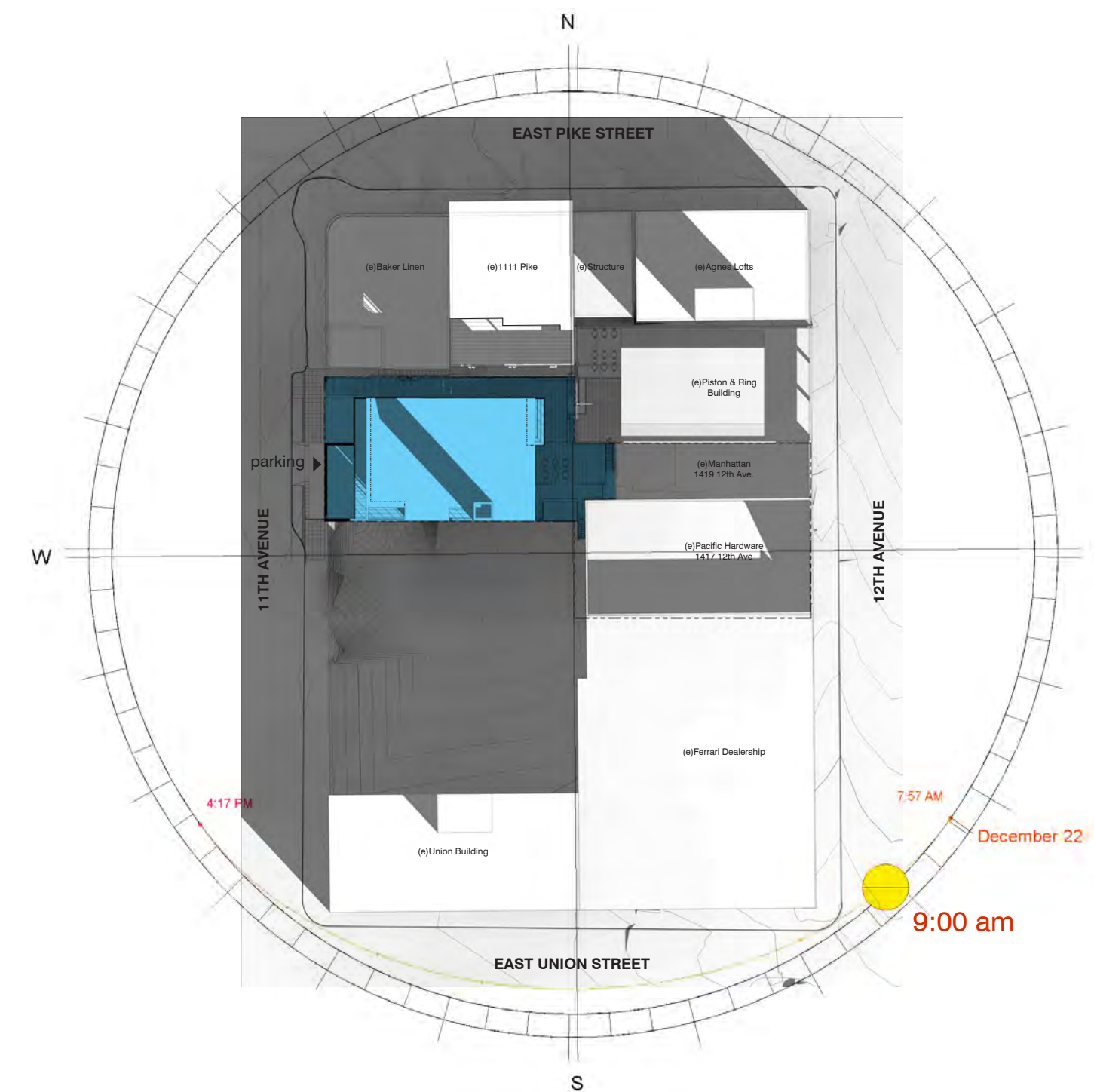
WITHOUT PROJECT
June 22, 3:00 PM



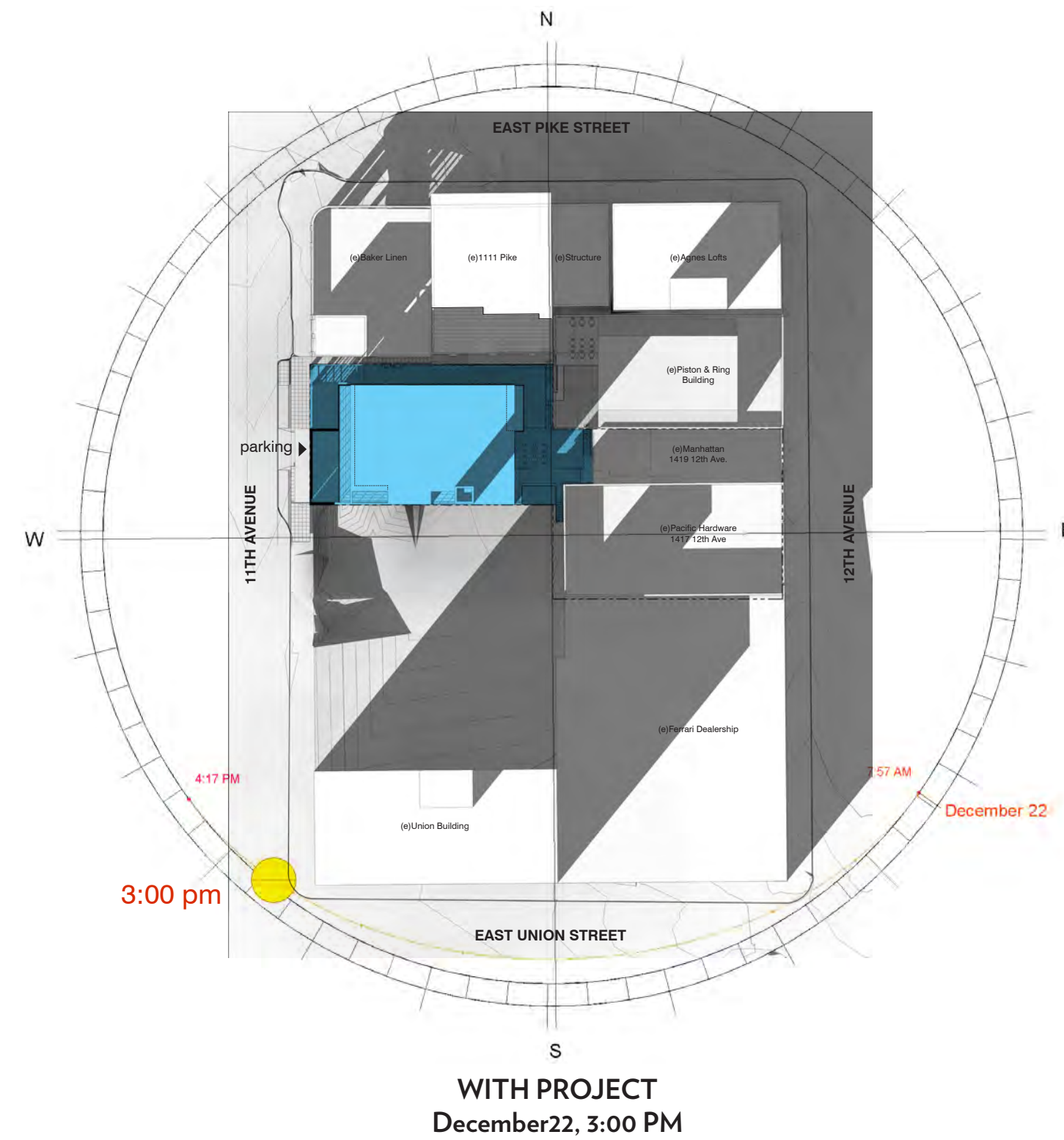
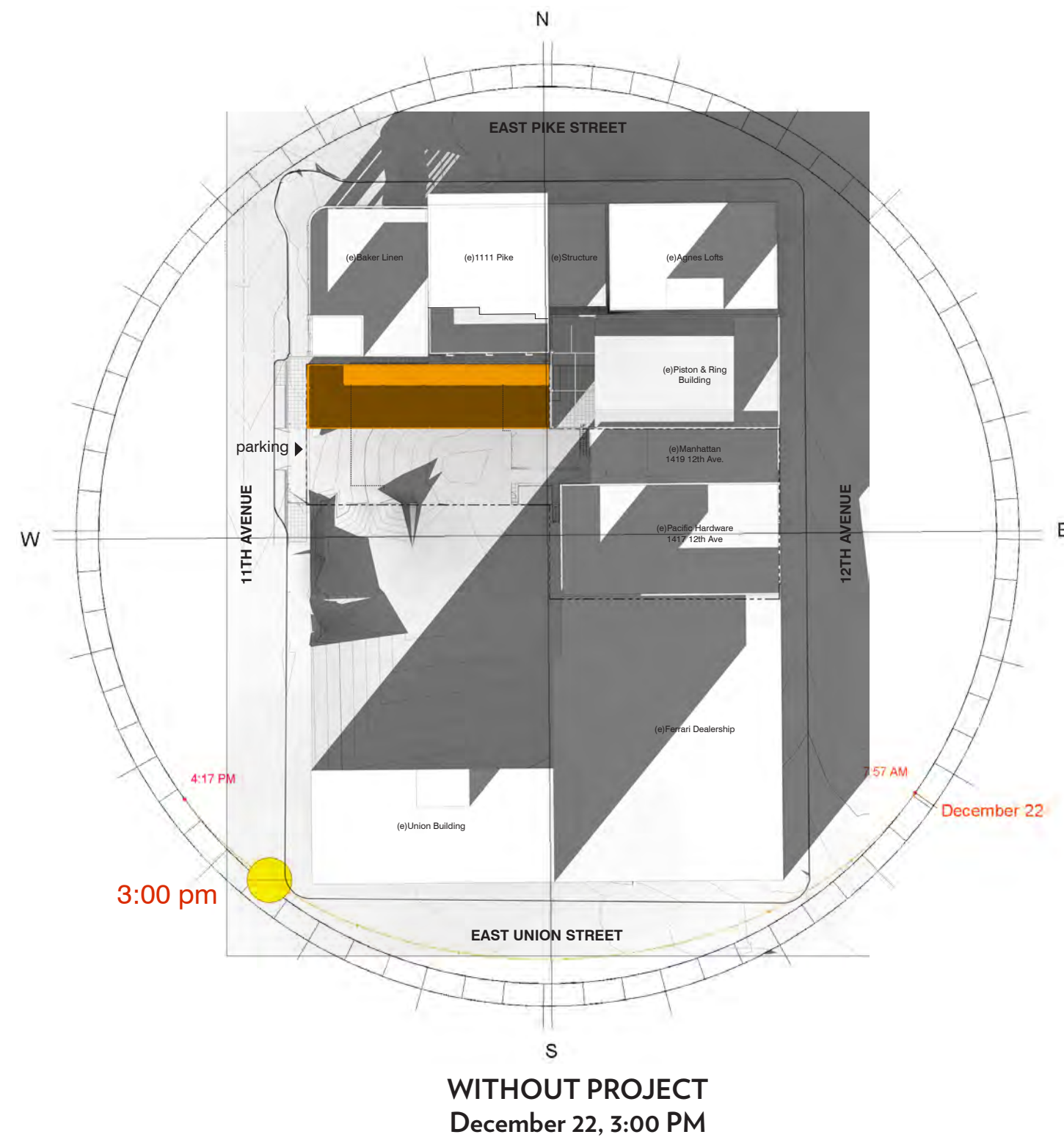
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WITHOUT PROJECT
December 22, 9:00 AM

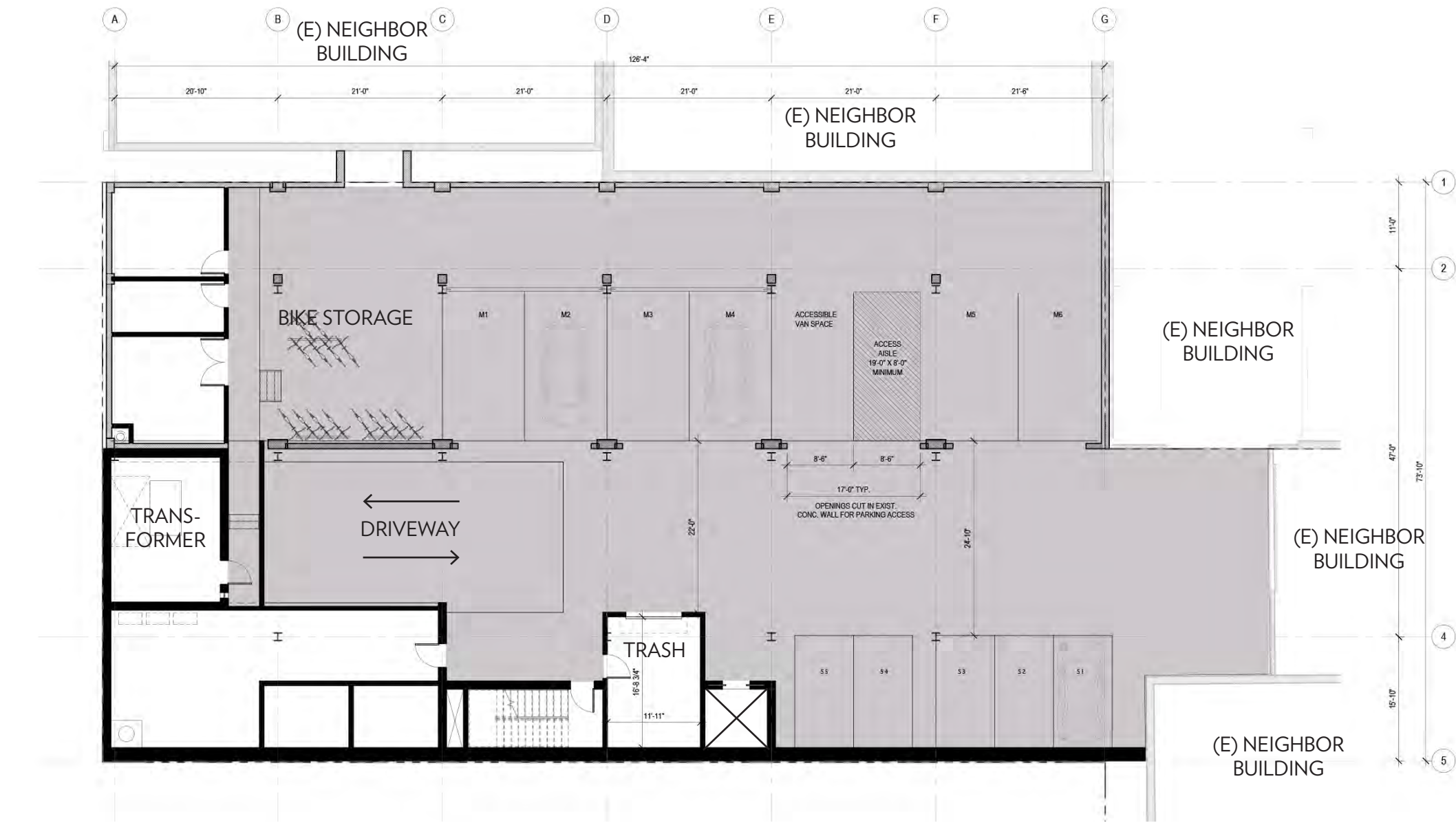


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VIEW SOUTH FROM 1111 E. PIKE ROOF DECK

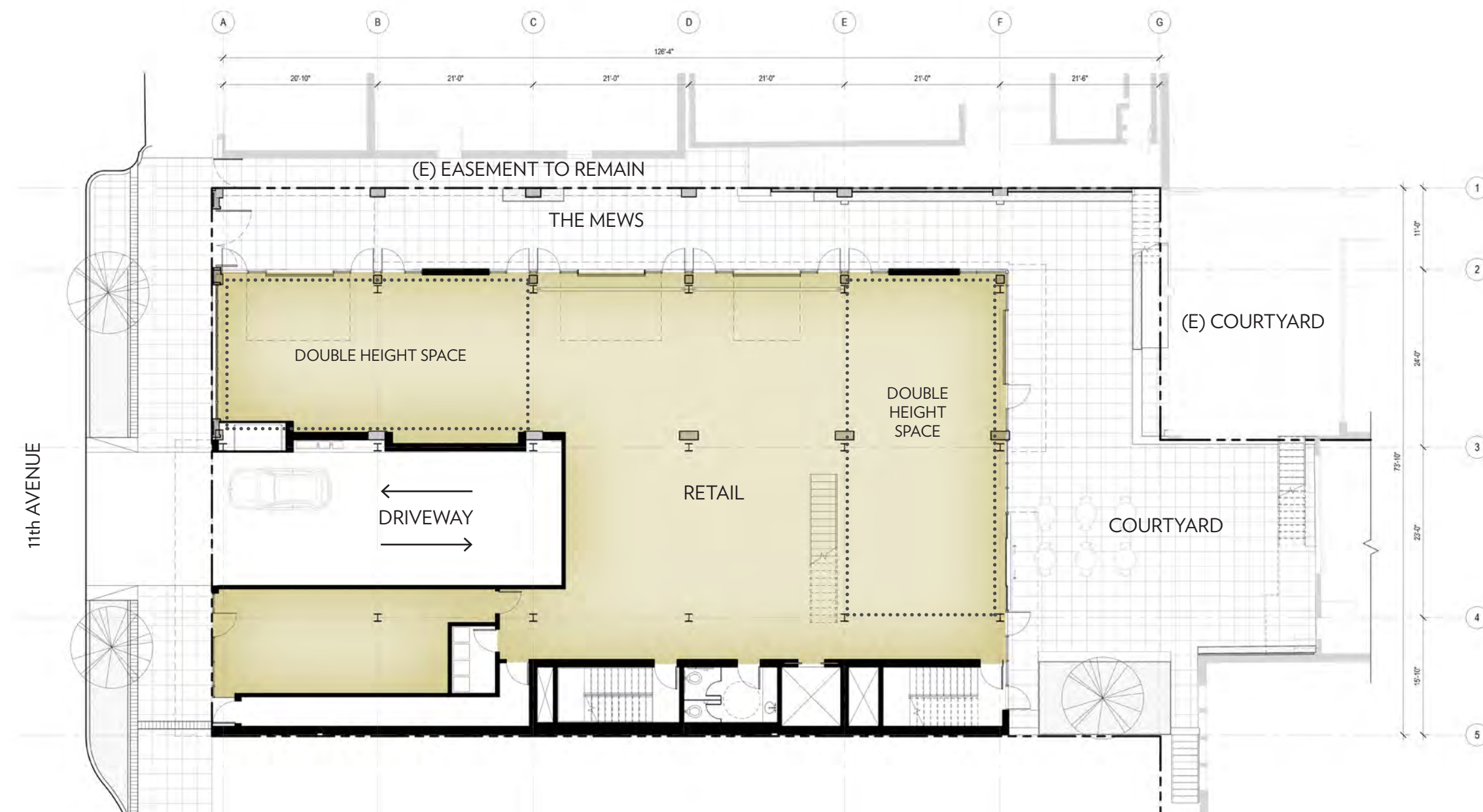


Parking for approximately 12 vehicles is provided at the lower level, accessed via a ramp from 11th Avenue. Note that the foundations of the existing character structure are retained across the length of the site. This has two planning consequences: First, an inefficient parking garage results, with large, reinforced holes cut into the concrete wall to accommodate the north row of parking spaces. Second, the drive aisle naturally ends up in the middle/south of the building, with parking either side and the core located to the south.

The garage also serves as a passageway for cars to get to underground garages to the east at the Piston and Ring building and the Manhattan building, as was envisioned by the master plan as a way to reduce the number of parking garage entries on the block.

LOWER LEVEL PLAN



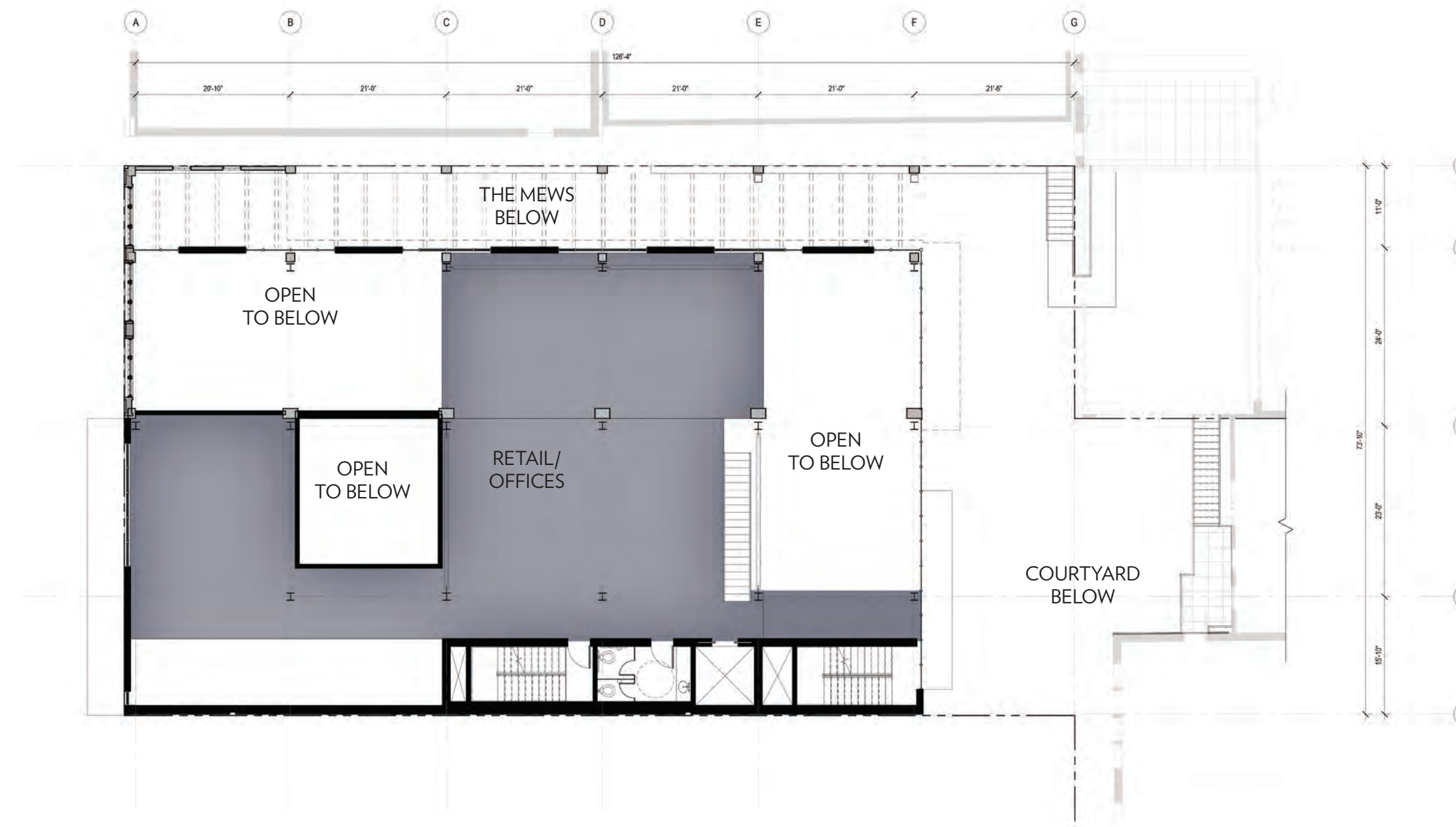


The first floor includes restaurant and retail space with storefront and garage doors that open onto the Mews, onto the mid-block Courtyard, and onto 11th Avenue. Double height spaces are located at the four corners of the building to create exceptional urban spaces linked to the Courtyard, Mews, and 11th Avenue (refer to retail mezzanine plan following). The garage entry is located on 11th Avenue near the middle of the building for reasons noted at the basement plan. This results in a "micro-retail" space at the south end of the building that is intended to extend the 11th Avenue urban retail streetfront southward as far as possible.

The main entry for the offices and residences is off of the courtyard at the SE corner of the building, identified by a canopy. This is purposeful, and intended to make the Courtyard into a forecourt similar to classic courtyard buildings in European cities (or like the Inn at the Market in Seattle).



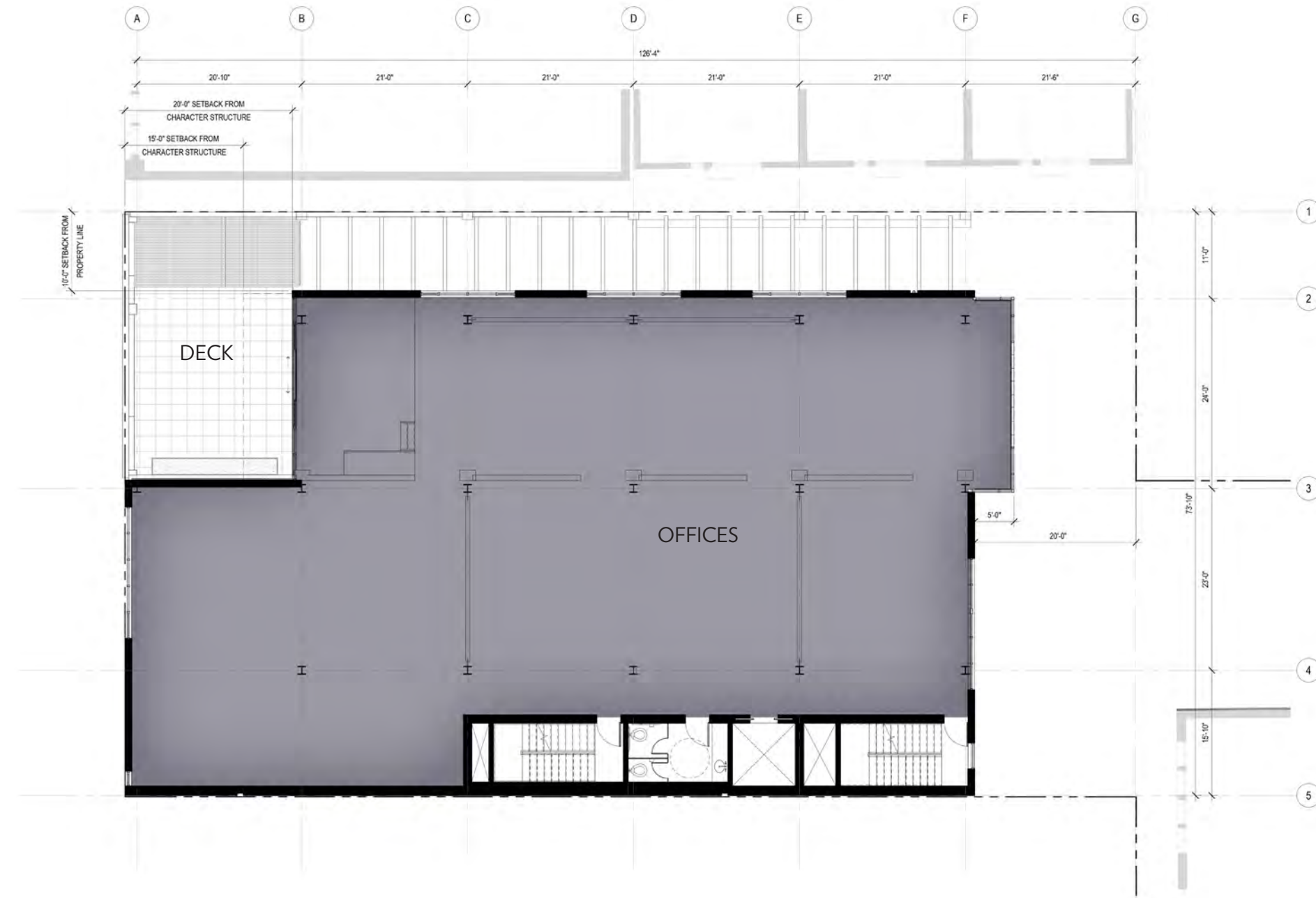
STREET LEVEL PLAN



The first floor mezzanine is located at what is currently the second floor of the character structure, with holes cut in the floor to create dramatic double height spaces at the four corners of the building. The mezzanine will be open to the retail floor below. A portion of the mezzanine is extended westward to create a small space overlooking 11th Avenue, with its corresponding code-required double height space located over the automobile ramp.

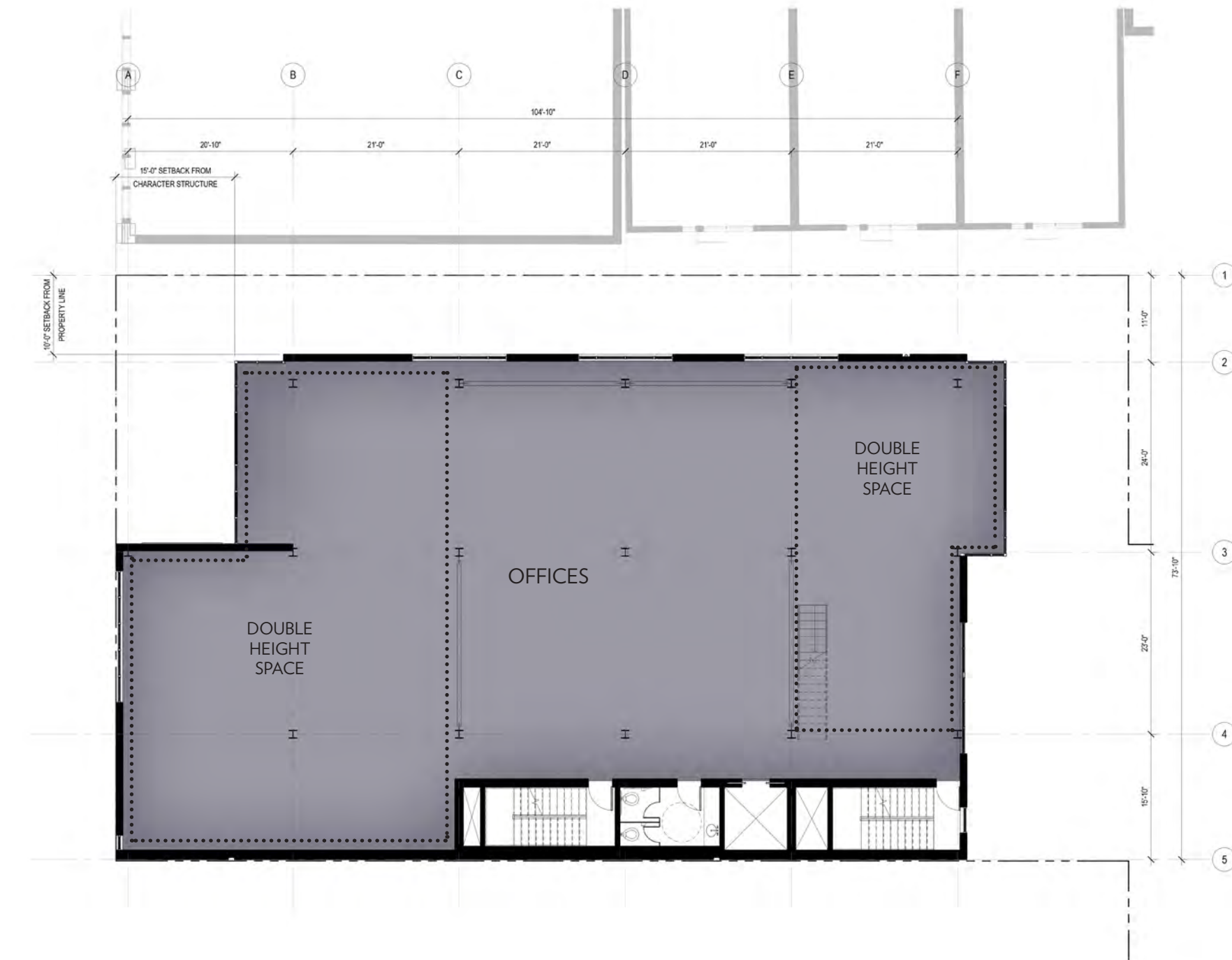


FIRST FLOOR MEZZANINE PLAN



The second floor contains office space, and is aligned with the existing roof structure of the Chophouse, which was designed for floor loading (see original drawing with additional floors in Character Structure section of this document). The second floor opens onto a roof deck which sits on top of the Chophouse, and overlooks 11th Avenue.

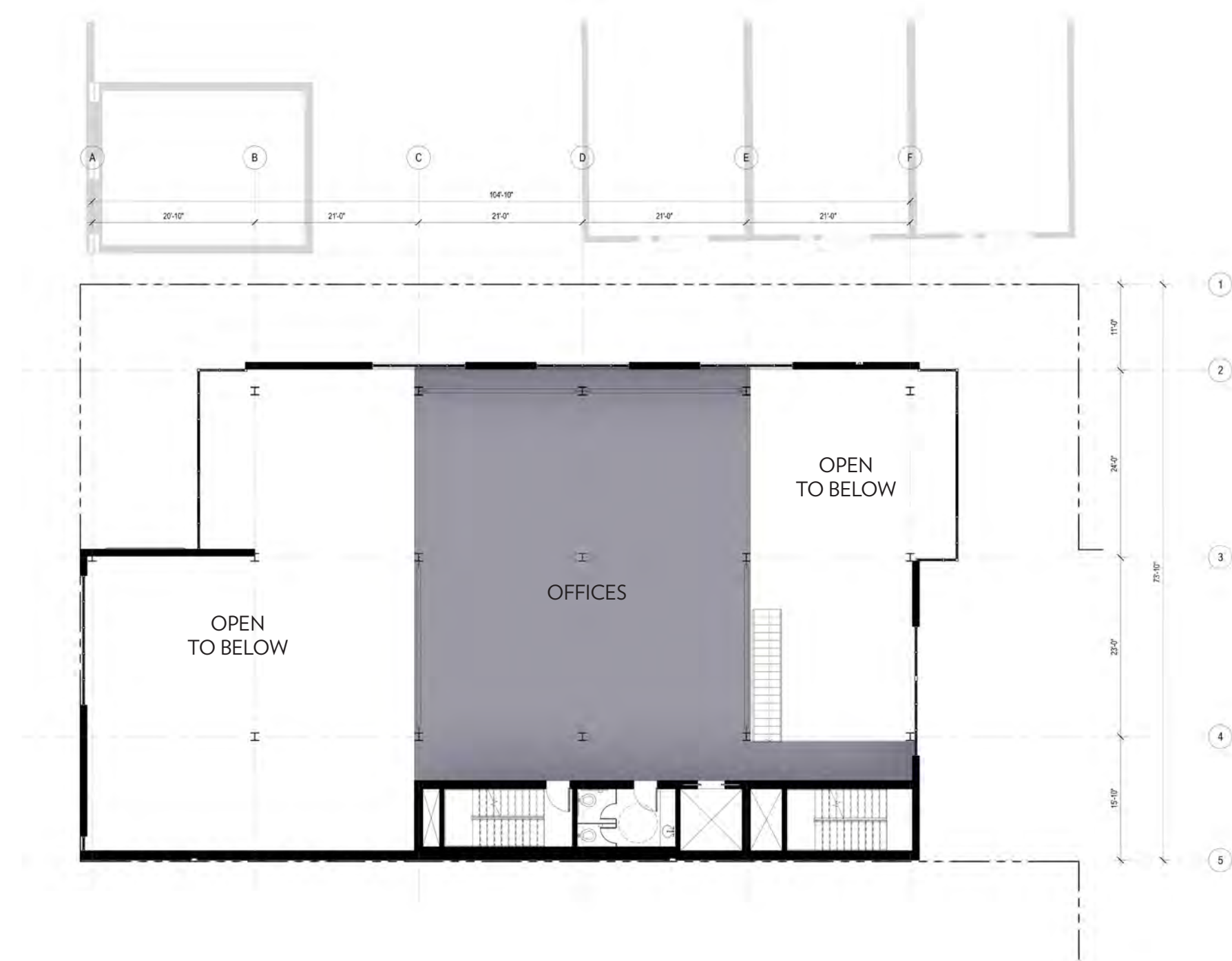
SECOND FLOOR PLAN



The third floor contains office space, with large double height spaces at its east and west ends (see 3M drawing following for extents).

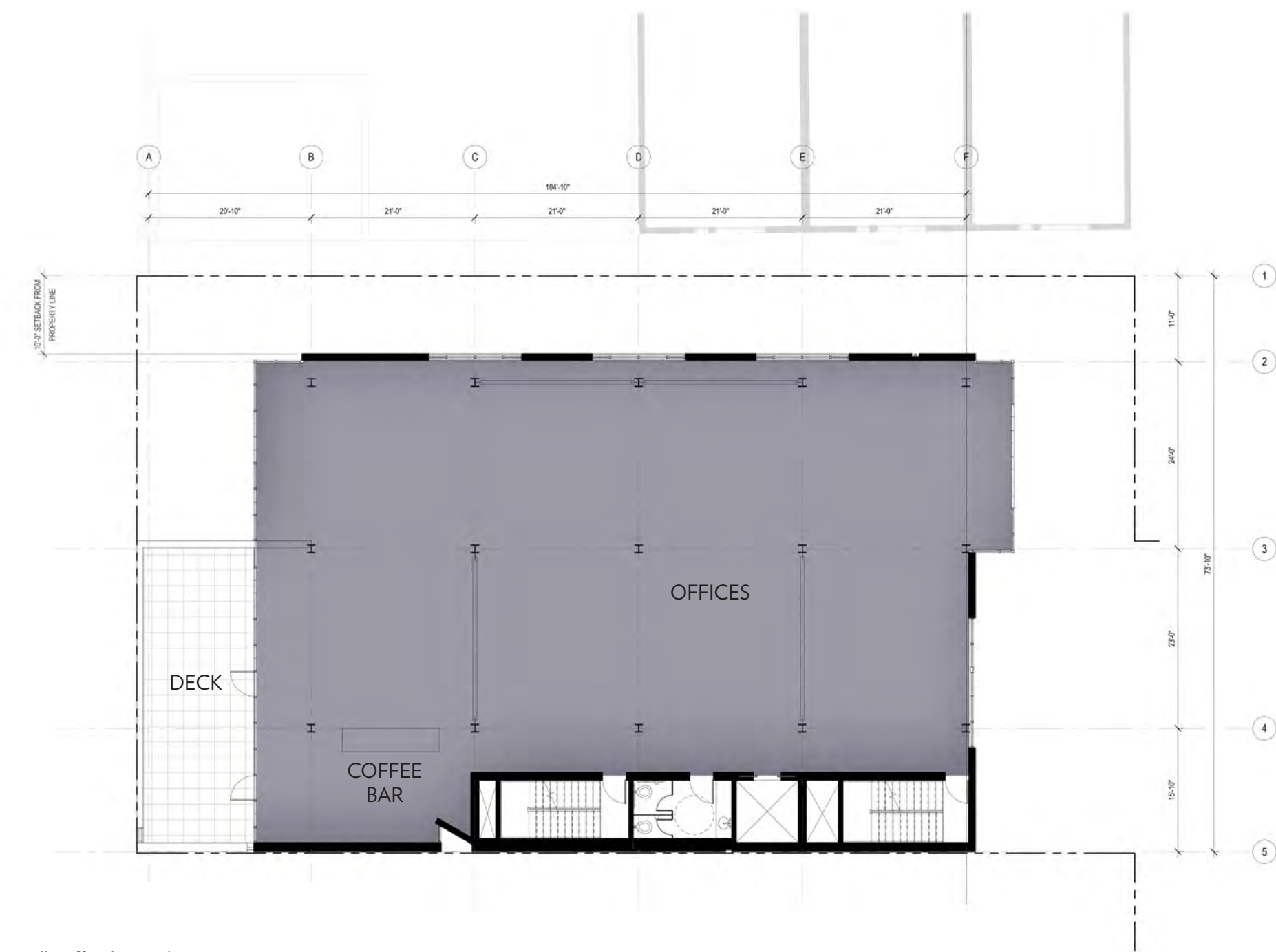
THIRD FLOOR PLAN





The third floor mezzanine contains office space, and has large double height spaces open to the third floor below (unshaded areas).

THIRD FLOOR MEZZANINE PLAN



The fourth floor contains office space, with a small coffee bar and lounge space for building tenants located at the west face. The coffee bar opens onto a west-facing terrace overlooking 11th Avenue, and also has a back of bar slot window aimed at Mt. Rainier (see south façade discussion).

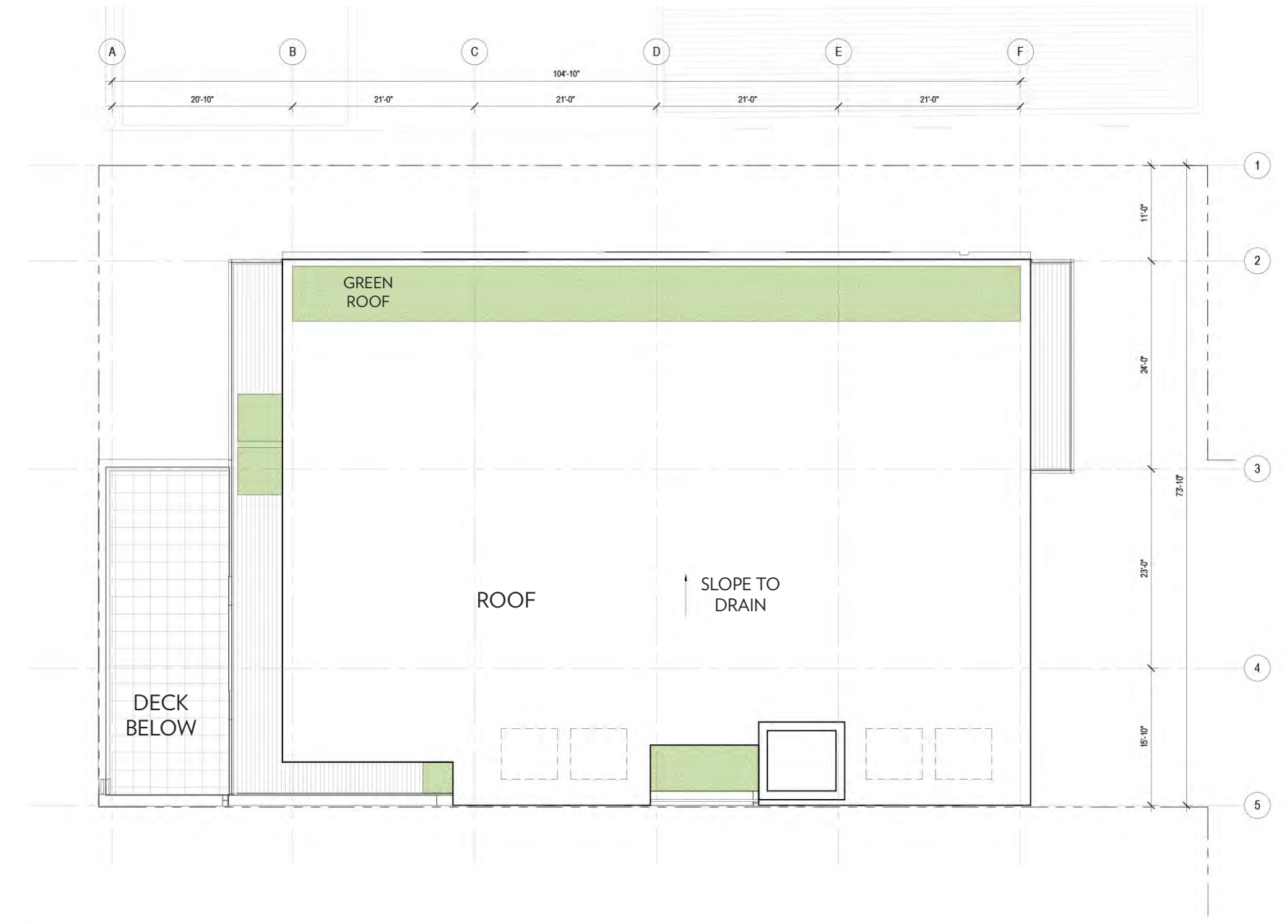
FOURTH FLOOR PLAN





The fifth floor contains three residential units, each one bedroom, and each with large decks. A small, common garden space is located on the south wall.

FIFTH FLOOR (RESIDENTIAL LEVEL) PLAN



The roof is a simple, sloped roof that drains to a large gutter on the north side of the building. A portion of the roof is planted with a green roof to increase green factor and to reduce stormwater runoff.

ROOF PLAN

