



Sheet Index

ARCHITECTURAL

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LANDSCAPE

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Project Team

FINDLAY STREET CHRISTIAN CHURCH

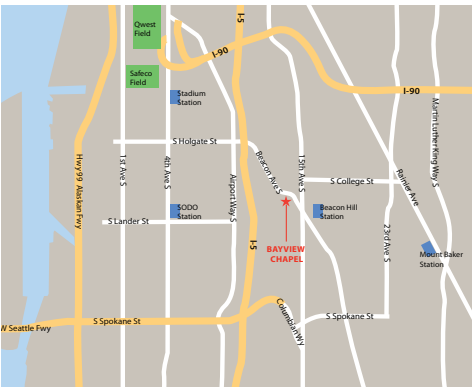
Jo Gustafson, President
Curt Williams, Vice President
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LANDSCAPE

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Vicinity Map

EDG RESPONSE

2421 14th Ave S, Seattle WA 98144

DPD # 3014313 (MUP Revision #3005359)
Tax Parcel # 912200-0245

Note to Reviewer: A Master Use Permit was issued for this project in 2011. Shortly after the MUP was issued the funding for the project fell through. This MUP revision is for a smaller project that the owner has been able to attain funding for. The description below incorporates the EDG Priorities as well as Design Review comments from the original MUP.

Development Objectives Construct a mixed-use facility with 3 units of affordable housing adjacent to a church.

PROJECT SITE OPPORTUNITIES & CONSTRAINTS

Topography: The site drops steadily along Bayview at about an 8% slope from the east end at 14th Ave to the west end at the alley for a total grade change of about 10'. The proposed building takes advantage of the slope by making use of a split-level configuration with the apartments located on the west end of the building and the Church on the east end of the building. Both have grade level entries; the apartments off of Bayview and the Church at the corner of Bayview and 14th.

Solar Access: The site is located on the north side of Bayview and has excellent solar access coupled with an extra wide planting strip along Bayview. The proposed design takes advantage of this in several ways: it will make use of future rooftop solar thermal collectors and PV panels to reduce building energy needs; the planting strip will be used for a small P-patch with planters in the Bayview planting strip; and there will be trees planted between the sidewalk and building to provide shading to the building to reduce cooling loads as well as provide interest from the street.

Street Uses: S Bayview St is primarily a residential street. The west side of 14th Ave S is currently residential but as it is developed will likely become more commercial. The proposed design respects this dichotomy by developing these two faces of the project differently. The 14th Ave side of the building will have a more transparent facade at ground level. The Bayview side of the building will be separated from the sidewalk by a landscape buffer that will be planted with trees and shrubs and the windows will be narrower in width to be more in keeping with the residential nature of the street.

Views: There are view opportunities to the Olympics and Elliot Bay from the west side of the site. The apartments have been situated on the west end of the building to take advantage of these views.

REQUESTED DEPARTURES

Blank Façade (SMC 23.47A.008.A.2.) @ S Bayview St: We are requesting a departure from the blank façade requirement for the façade facing S Bayview St. This is a residential street and commercial treatment is inappropriate. Mitigation will consist of landscaping in the planting strips as well as building façade treatments and detail.

Transparency (SMC 23.47A.008.B.3.b.) @ S Bayview St: We are requesting a departure from the transparency requirement for the façade facing S Bayview St. This is a residential street and commercial treatment is inappropriate. Mitigation will consist of landscaping in the planting strips as well as building façade treatments and detail.

RESPONSE TO EARLY DESIGN GUIDELINE PRIORITIES AND DESIGN REVIEW SUMMARY

A-3 Entrances Visible from the Street: The Church entrance is located at the corner facing toward Bayview and 14th Ave to the south. The entrance area consists of a small plaza, a bench, and a wisteria covered arbor that announces and frames the main entry doors. The signage for the church will be located on both faces of the SE corner of the building near the top of the stone base. The apartment entry is located on Bayview towards the west end of the building. It is set back from the sidewalk and protected from the weather with an overhead canopy.

A-4 Human Activity: The Church entry is located at the corner of Bayview and 14th Ave right on the sidewalk with good visibility into and out of the building. A small drop off area along 14th Ave in front of the building welcomes visitors. The entry to the apartments is set back from the sidewalk creating a transition area off the sidewalk. And there is bicycle parking and a residential patio area located next to the alley on the west side of the building. There will be a small P-patch in the Bayview planting strip as well as trees and shrubs between the sidewalk and building to provide a pleasant path to walk from the upper part of the hill to the lower by way of the stairs to the west.

A-5 Respect for Adjacent Sites: The NC2-40 zoning is a zero-lot line zone that enables a developer to build a blank wall on the north property. The small size of the proposed building which steps down on the north side mitigates this problem by breaking down the potential scale of the north wall of the building. The apartments are situated on the west end of the building where the residential uses across the alley are located.

A-7 Residential Open Space: The apartment entry on the south side of the building with access from Bayview is a small open space that creates a welcoming atmosphere for the residential use. Additionally there is a larger patio area with perimeter plantings on the west side of the building for the use of the residents.

B-1 Bulk, Height & Scale Compatibility: The zoning code permits a 4 story building with an FAR of 4.0 on this site or 24,000 SF of building above grade. The proposed building is just 3 stories with an area of just under 7,000 SF or considerably less than allowed. Because of this reduced size the building is able to have some three-dimensional modulation giving it some interest and character. The building is composed of three smaller building masses with different material treatments. The large assembly room of the Church is located on the southeast corner of the site in a slightly skewed rectangular block with a butterfly roof and a lower wall of a buff colored sandstone tile and an upper wall of light grey fiber cement panels all of which is perforated with many windows. To the north of this are the service rooms of the Church that are contained in a low concrete wall painted a warm grey color that will be covered with Virginia Creeper vines. And the third volume is the three apartments that are in a box clad in weathered steel panels which will be allowed to naturally patina over time and is accented with areas of black fiber cement horizontal siding. By breaking the building into these three smaller masses it enables the building to look and function as two smaller buildings along Bayview while adding interest and scale to the 14th Ave street-face.

C-2 Architectural Concept and Consistency: The architectural concept of this building is to express the key internal functional differences with different external treatments. The three functions: apartments, Church assembly space, and Church services areas are expressed as three separate boxes assembled into a larger building. These consist of a weather steel clad apartments, a sandstone tiled Church Sanctuary, and a vine covered concrete church support area. This simple arrangement that emphasizes different materials and massing for each function is further articulated by the color of window sash and trim elements. Additionally, the way each material's jointing and scoring is patterned further emphasizes their differences while reinforcing their cohesive whole with a horizontally dominant pattern across all.

C-3 Human Scale: The building's scale is humanized by the liberal use of landscape plantings around the building. Additionally the stone tiles, jointing and scoring of the various walls as well as the window mulling and proportions are intentional means to provide scale and a tactile quality to the building that is complimented by the modulation of the overall building.

C-4 Exterior Finish Materials: The palette for the exterior of the building is comprised largely of natural materials. These materials include a warm grey colored concrete foundation and wall along the north side of the building; weather steel panel siding left to naturally patina to a rust color; a buff colored sandstone tile walls and light grey integral colored fiber cement panels. All of this is complemented with black window sash and black fiber cement horizontal siding at the weathered steel clad apartments and white trim and white window sash at the sandstone tile clad Church.

D-1 Pedestrian Open Spaces and Entrances: A small drop off area in between the landscape plantings in front of the building on 14th Ave welcomes visitors at the side of the Church near the entry. The Church entry is located in a small plaza area with an arbor that accentuates and announces the entry while also providing a bench to rest after the climb up the hill along Bayview or as a place to sit and wait for a ride. The entry to the apartments is set back from the sidewalk on Bayview creating a small transition area through the landscaping buffer adjacent to the neighboring apartment house to the north.

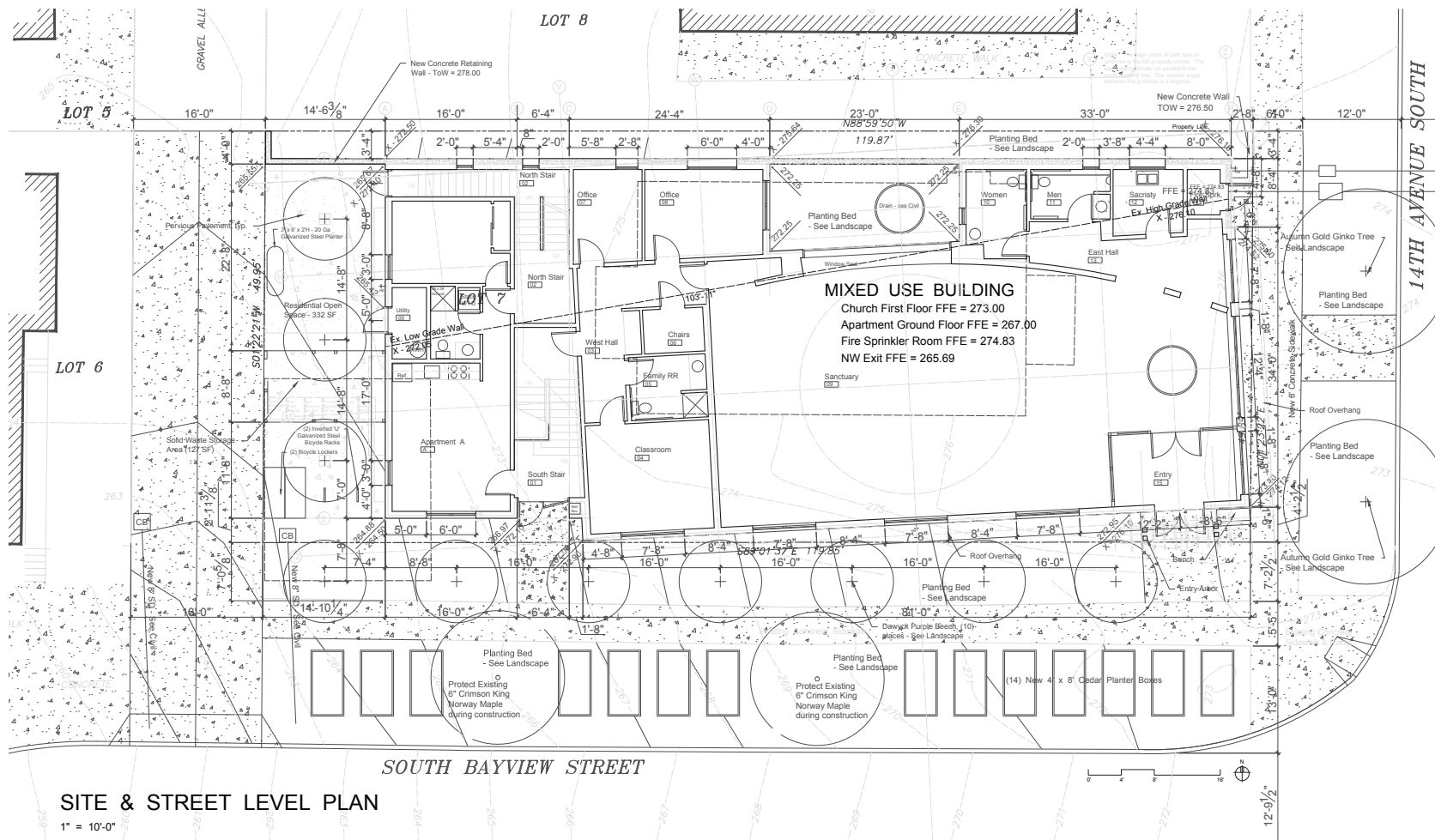
D-2 Blank Walls: The exposed concrete foundations and walls are to have a score pattern to give the walls some relief. In front of each of these areas of foundation and concrete walls there is an ample landscaping buffer. Additionally the concrete wall along the north side of the building is perforated with a variety of window openings and will be planted with Virginia Creeper vines to give it color and character.

D-7 Pedestrian Safety: Pedestrian safety is enhanced by several means. Having windows on all sides of the building along with P-patch area in the Bayview planting strip puts plenty of eyes on the street and promotes a general level of security. This is complimented by the entries at the corner, at the alley and along Bayview plus the provision of exterior lighting.

D-10 Commercial Lighting: The exterior lighting will include lights over each entrance door, sign lighting, as well as, lighting of the residential open space and bike parking areas. The exterior lighting will be activated by photocells with most of the lighting turned off later in the evening in order to minimize energy use and light pollution during the night. Additionally, the lights along the alley will be motion activated when pedestrians walk by so that the residential open space will be safely lit.

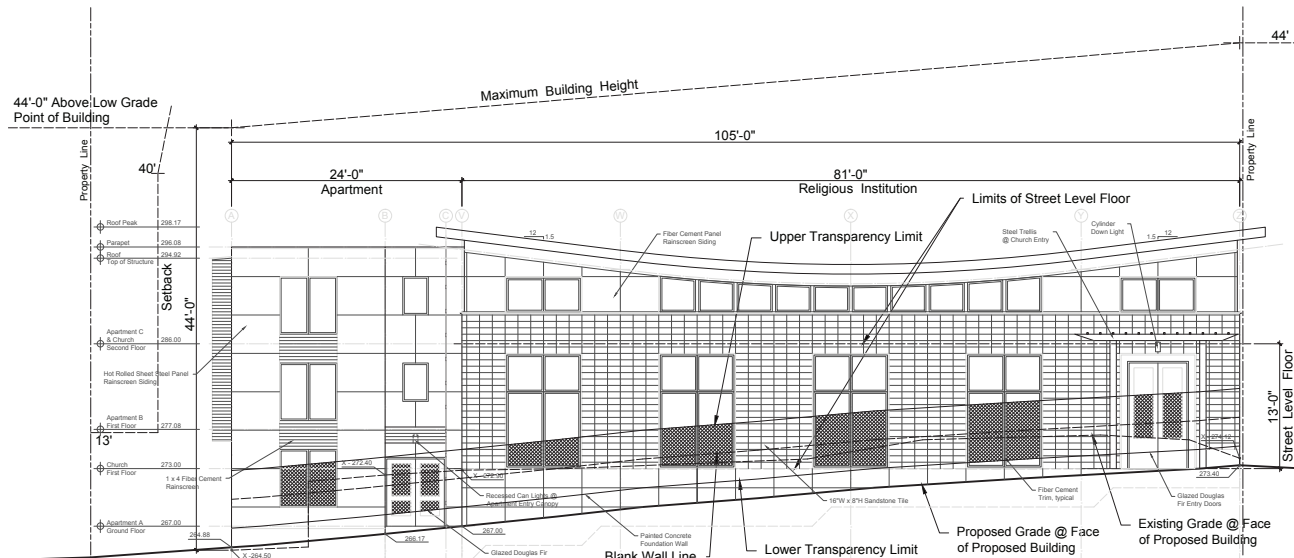
D-12 Residential Entries and Transitions: The apartment entry is located on the south side of the building set back from the sidewalk along Bayview creating a welcoming transition from the street to home for the apartment residents as the entry walk passes through a landscaped area.

E-2 Landscaping to Enhance the Building and/or Site: The landscaping proposed is more than what is needed to meet the Green Factor code requirement. The two existing 'Crimson King' Maples in the Bayview planting strip will be retained as street trees. The design proposal includes the addition of several Dawyck Purple Beech trees, a columnar cultivar along the Bayview side of the building. The proposed design includes the planting of two new Gingko street trees in the 14th Ave planting strip. The north wall of the building will be planted with Virginia Creeper which is a clinging vine that will grow to cover the concrete wall. Other plantings will be a mix of native, drought tolerant, and edible plants such as Rugosa roses, blueberries and huckleberries.



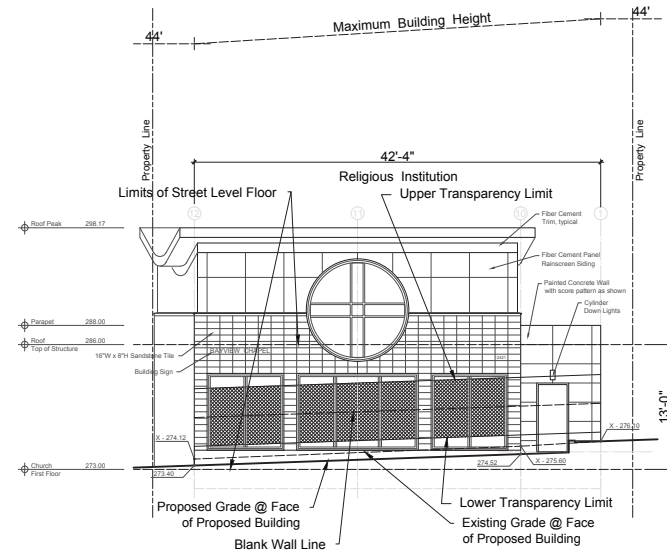
SITE & STREET LEVEL PLAN

1" = 10'-0"



S Bayview St - STREET FACE

1" = 10'-0"



14th Ave S - STREET FACE

1" = 10'-0"

ZONING & LAND USE NOTES

DPD MUP # 3014313 (Revision of #3005359)

APN # 912200-0245

Owner Findlay Street Christian Church
Site Address 2421 14th Ave S Seattle WA 98144
Legal Description Block 5 Lot 7 Walkers Addn, SE Qtr, Sec 8, Tsp 24, Rng 4
ECA None
SEPA Checklist Not Required when less than 30 units and less than 12,000 SF commercial use in NC2-40 Station Overlay
Master Use Permit Required
Design Review SMC 23.41.004 Table A Item d.
Design Review Board - not required when 4 or less dwelling units and less than 4000 Gross SF of Commercial use in NC2 zones - Administrative Design Review applies

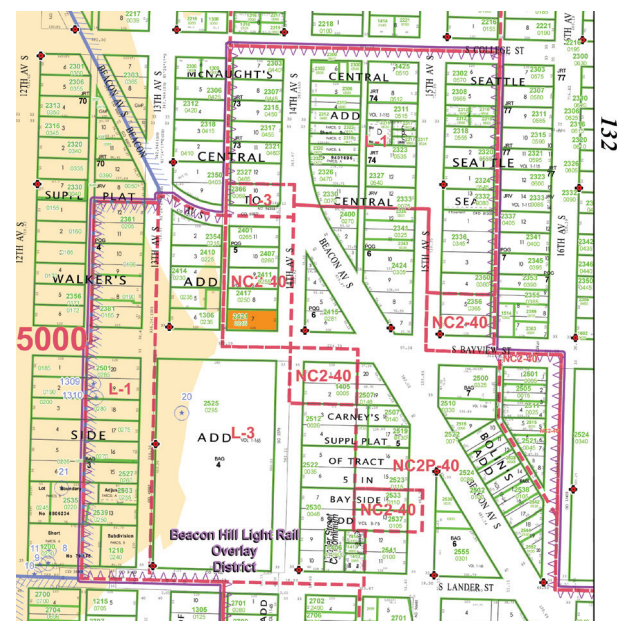
Zone NC2-40 No. Beacon Hill Resid. Urban Vill. & Stn. Overlay
Current Use Single Family Home w/ Attached Accessory Dwelling Unit
Proposed Use Mixed Use - Religious Institution & 3 Residential Units
Overhangs in ROW All structure overhangs extending into the Street ROW shall be approved by SDOT.

Lot Coverage	
Lot Area	6000 SF or 0.14 Acres
Proposed Building Footprint	4,355 SF
Proposed On-site Impervious	5,074 SF
Allowable FAR	4 x Site Area
Proposed Floor Area	4 x 6,000 = 24,000 SF
Ground Floor	1,033 SF
First Floor	4,370 SF
Second Floor	1,486 SF
Total Area	6,889 SF
Church Total	3,909 SF
Setbacks	Front & Side Zero Rear next to L-3 zone 0' setback @ grade, 15' setback from center of Alley @ 13' above grade & setback tapers @ 10/2 ratio @ 40' above grade
Maximum Height	See Diagrams on this sheet for additional information
Allowable Height	Base Height 40'-0" 13'+ 1st Floor Bonus 4'-0" Slope Bonus 0'-0" Total Allow. Height 44'-0" > 0.3 Green Factor See Landscape Plans
Landscaping	
Residential Open Space	5% of residential area or min. 250 SF required 332 SF of Residential Open Space provided
Exterior Lighting	direct lights away from adjacent uses & provide shielding per SMC 23.47A.022

Auto Parking	None Required	Urban Village / Station Overlay
Bicycle Parking		
Long Term	Religious Institution	1 / 12,000 SF
	Residential	1 / 4 Units
Short Term	Religious Institution	1 / 40 Seats
	Residential	None
Total Required & Provided	2 Long Term + 4 Short Term = 6 Total	
Solid Waste Storage	125 SF required	127 SF provided
Street Level	See Diagrams on this sheet for additional information	
Street Level Fir Ht	13'-0" Floor-to-floor Height @	Religious Institution
Street Level Frontage	14th Ave S	Religious Institution - 100%
	S Bayview St	Religious Institution - 81'-0" or 77% Residential - 24'-0" or 23%

Street Level Uses	
Apartments	1,059 SF
Church	3,339 SF
Non-Residential Use > 50% of Street Level Uses	
Blank Facade	width of windows & doors Measured @ 5' above sidewalk
14th Ave S	Building Width = 42'-4" or 508"
	Width of windows & doors
	96" + 152" + 96" + 40" = 384" or 76% of building width on 14th Ave S.
S Bayview St	Building Width = 105'-0" or 1,260"
	Width of windows & doors
	72" + 76" + 32" + (4) 96" = 564" or 45% of building width on S Bayview St.
	* Request Departure from SMC 23.47A.008.A.2.c. for S Bayview St. Facade.

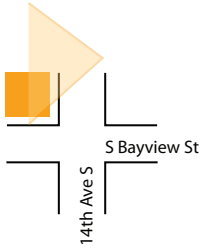
Transparency	glazed area measured between 2' & 8' above sidewalk
14th Ave S	Building Face Area @ 2' to 8' above walk = 6' x 42'-4" = 254 SF
	Area of glazed openings between 2' & 8'
	21 + 21 + 21 + 26 + 21 + 21 + 21 = 152 SF
	152 SF / 254 SF = 60% glazed area between 2' to 8' above sidewalk
S Bayview St	Building Face Area @ 2' to 8' above walk = 6' x 105'-0" = 630 SF
	Area of glazed openings between 2' & 8'
	11.1 + 11.8 + 6.7 + 2.6 + 6.7 + 2.0 + 8.2 + 9.6 + 13.8 + 14.9 + 18.5 + 19.6 + 21.0 + 21.0 + 9.0 + 9.4 = 185.9 SF
	185.9 SF / 630 SF = 29.5% glazed area between 2' to 8" above sidewalk
	* Request Departure from SMC 23.47A.008.B.2.a. for S Bayview St Facade.



Zoning Map

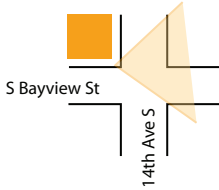


Along 14th Ave S Looking West

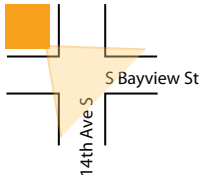


14th Ave S Looking North

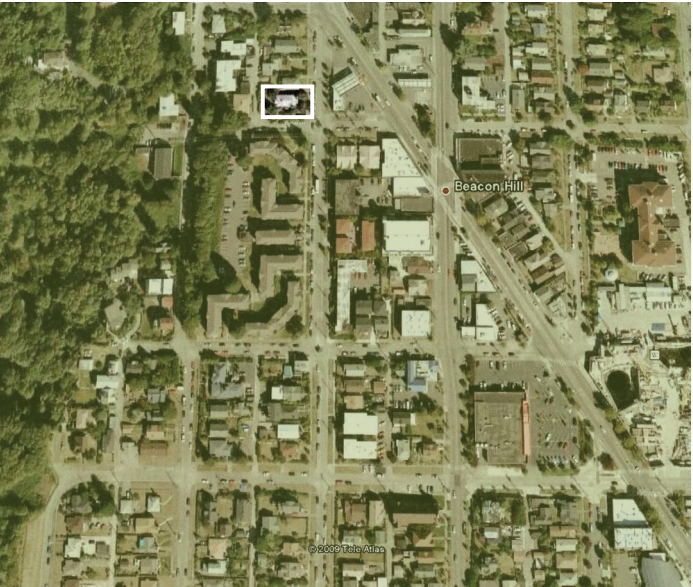
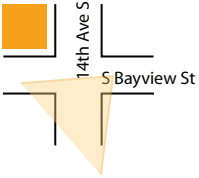
S Bayview St Looking East



14th Ave S Looking South

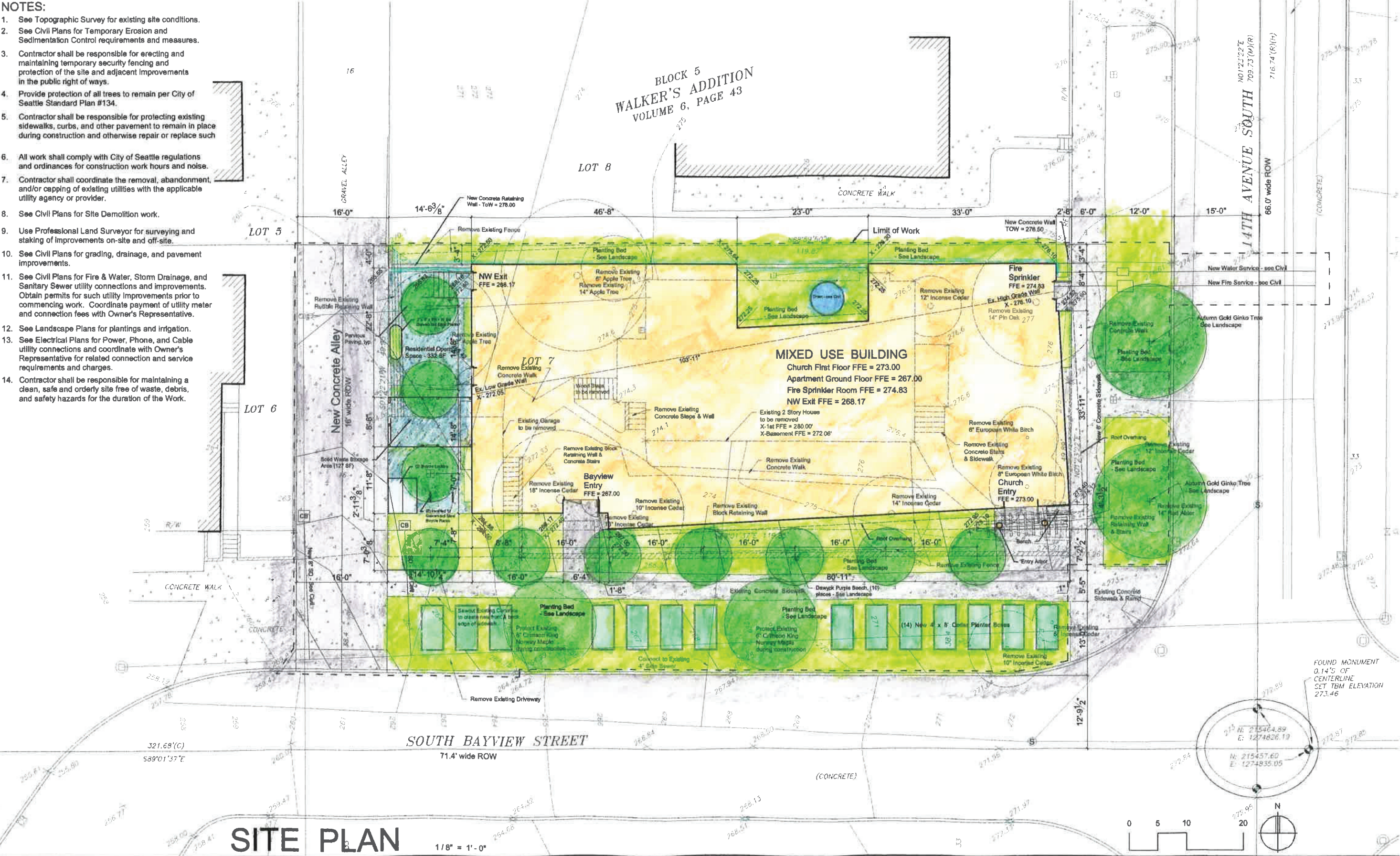


14th Ave S Looking West South of Site



Aerial Photo

- NOTES:
1. See Topographic Survey for existing site conditions.
 2. See Civil Plans for Temporary Erosion and Sedimentation Control requirements and measures.
 3. Contractor shall be responsible for erecting and maintaining temporary security fencing and protection of the site and adjacent improvements in the public right of ways.
 4. Provide protection of all trees to remain per City of Seattle Standard Plan #134.
 5. Contractor shall be responsible for protecting existing sidewalks, curbs, and other pavement to remain in place during construction and otherwise repair or replace such.
 6. All work shall comply with City of Seattle regulations and ordinances for construction work hours and noise.
 7. Contractor shall coordinate the removal, abandonment, and/or capping of existing utilities with the applicable utility agency or provider.
 8. See Civil Plans for Site Demolition work.
 9. Use Professional Land Surveyor for surveying and staking of improvements on-site and off-site.
 10. See Civil Plans for grading, drainage, and pavement improvements.
 11. See Civil Plans for Fire & Water, Storm Drainage, and Sanitary Sewer utility connections and improvements. Obtain permits for such utility improvements prior to commencing work. Coordinate payment of utility meter and connection fees with Owner's Representative.
 12. See Landscape Plans for plantings and irrigation.
 13. See Electrical Plans for Power, Phone, and Cable utility connections and coordinate with Owner's Representative for related connection and service requirements and charges.
 14. Contractor shall be responsible for maintaining a clean, safe and orderly site free of waste, debris, and safety hazards for the duration of the Work.



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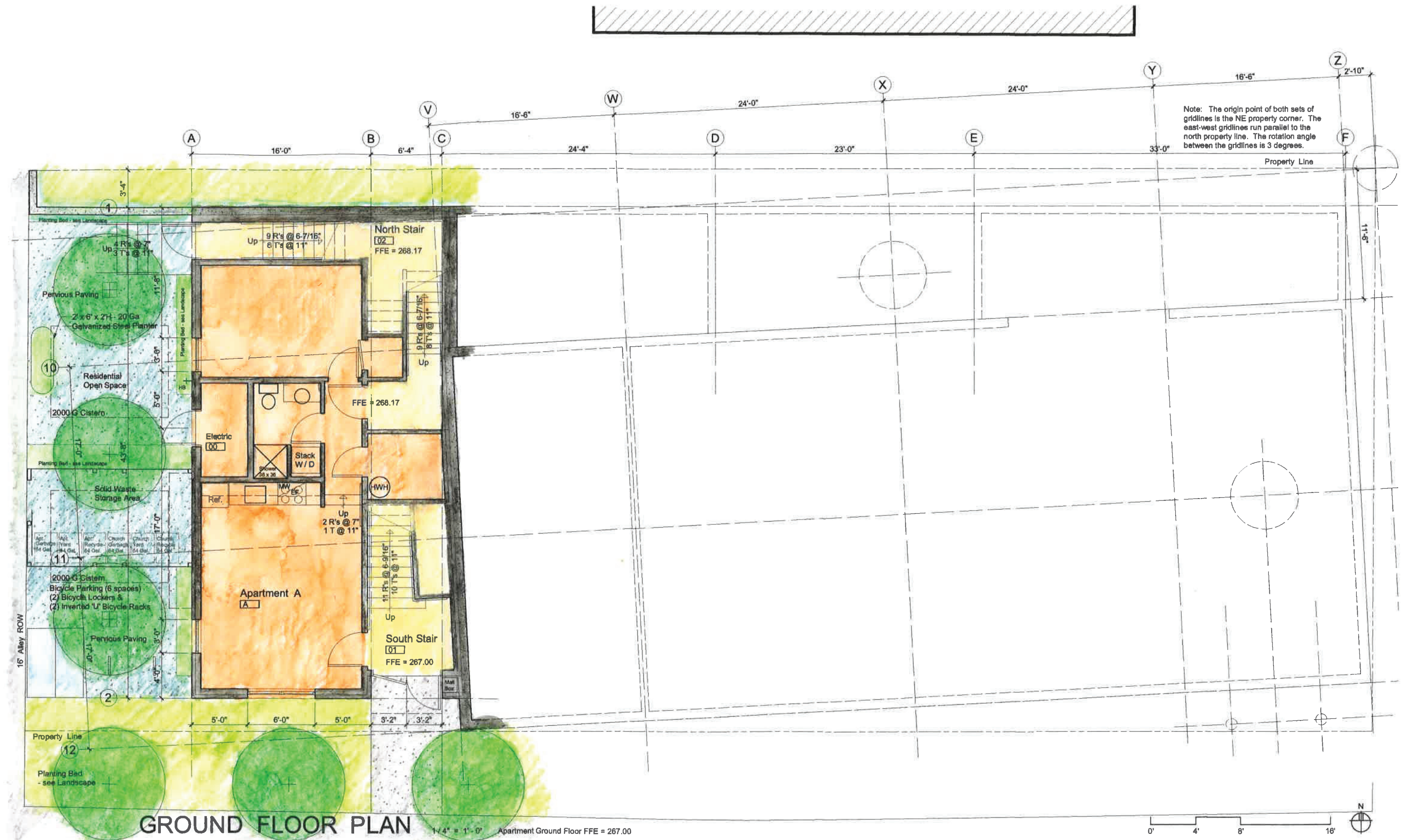
Owner:
Findlay Street Christian Church
3201 Hunter Blvd S, Seattle WA 98144
206.725.5067

Project:
BAYVIEW CHAPEL
2421 14th Ave S, Seattle WA 98144

Contents:
SITE PLAN

Date:
MUP 12/06/12

5
Admin. Design Review



al terry

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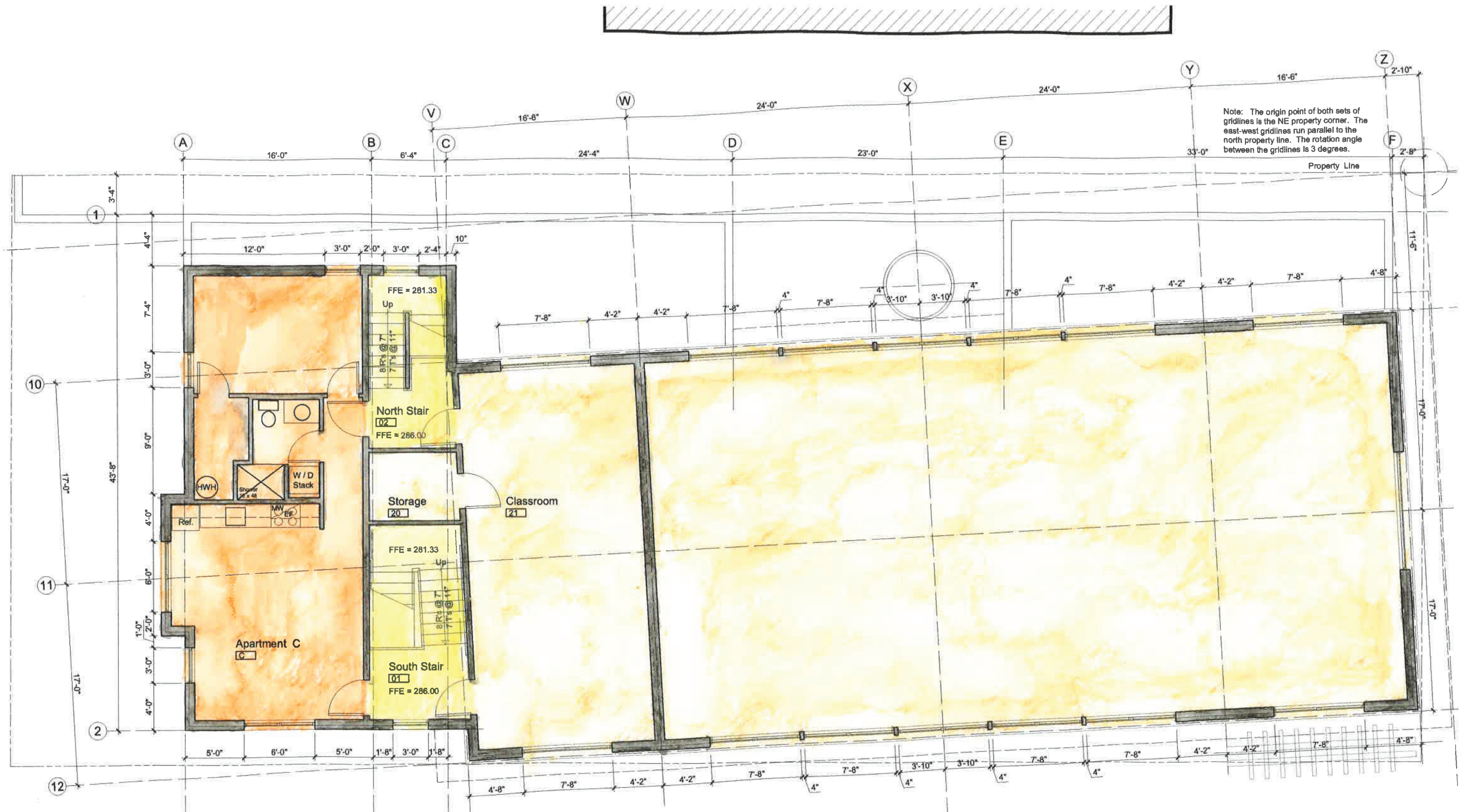
Contractor:

GROUND FLOOR PLAN

Date:

MJP 12/06/12

6



SECOND FLOOR PLAN

1/4" = 1'-0" Second Floor FFE = 286.00



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2421 14th Ave S, Seattle WA 98144

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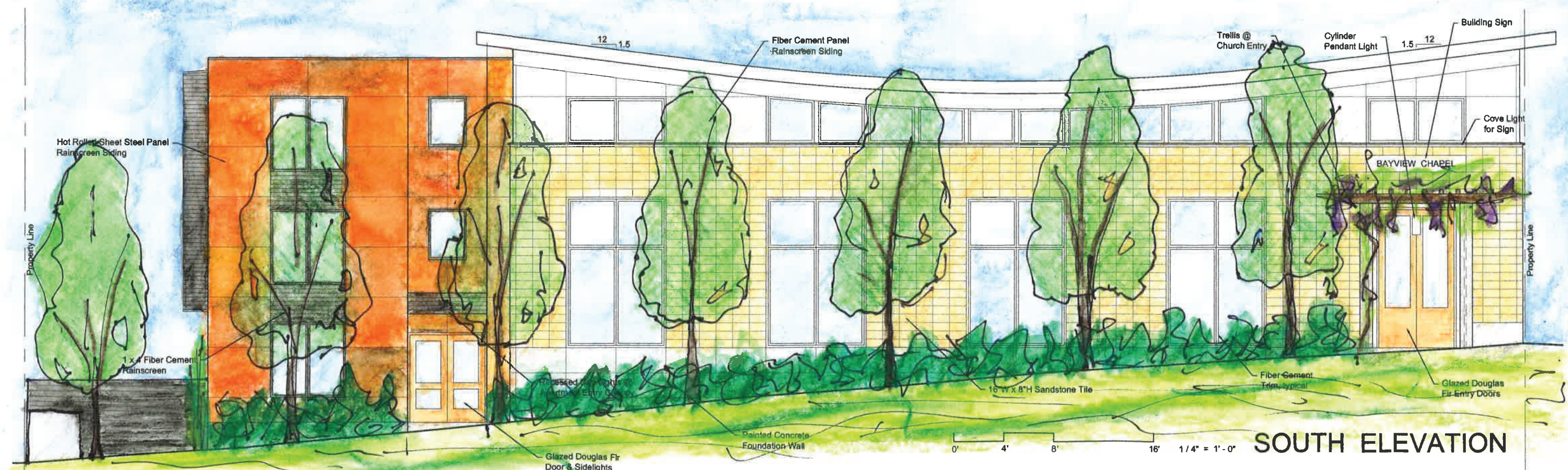
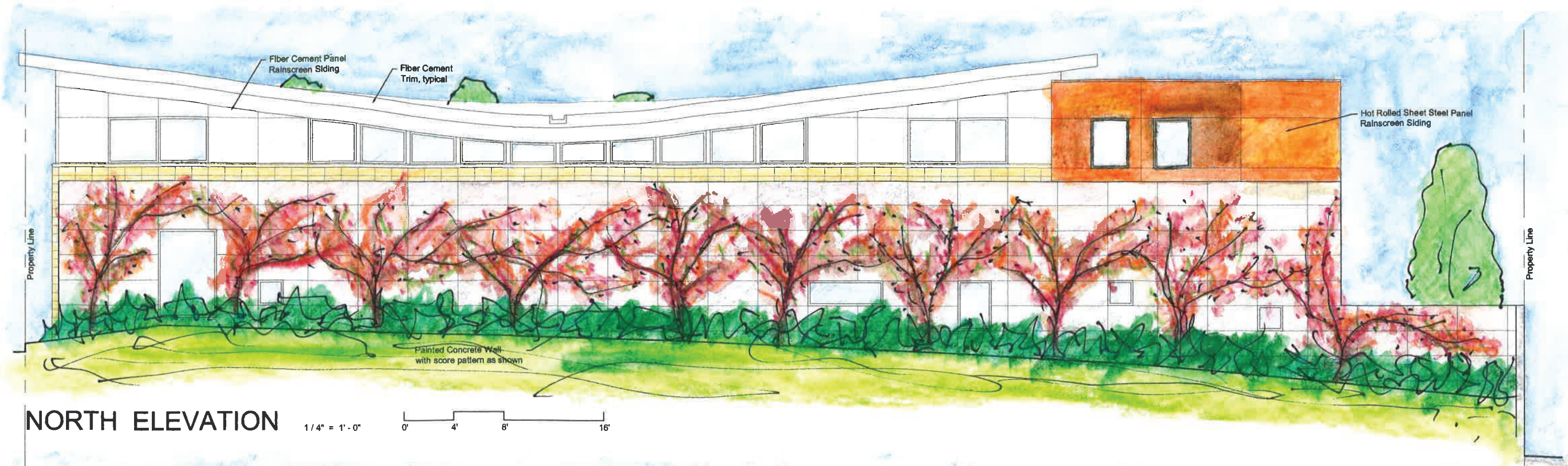
SECOND FLOOR PLAN

Date:

MUP 12/06/12

8

Admin. Design Review



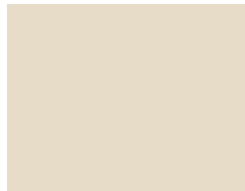
EXTERIOR COLOR SCHEDULE	
Description	Color
Concrete Walls	Tnemec Paints - "City Mouse"
Sandstone Tile	American Slate "Whisper Grass"
Integral Color Fiber Cement Panels	CBF Sil-Leed "Desert Treated"
Fiber Cement Trim	MetroPaint - "Mountain Snow (white)"
Hot Rolled Sheet Steel Panels	Weathered Steel - Rust Color
Fiber Cement Siding	MetroPaint - "Black"
Windows @ Church	Cascadia - "Rainware White"
Windows @ Apartments	Cascadia - "Black"



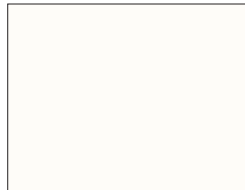
Concrete Walls



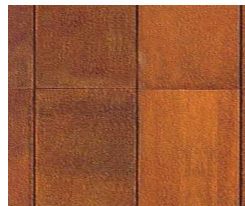
Sandstone Tiles



Integral Color Fiber Cement Panels



Fiber Cement Trim



Hot Rolled Sheet Steel Panels



Fiber Cement Siding



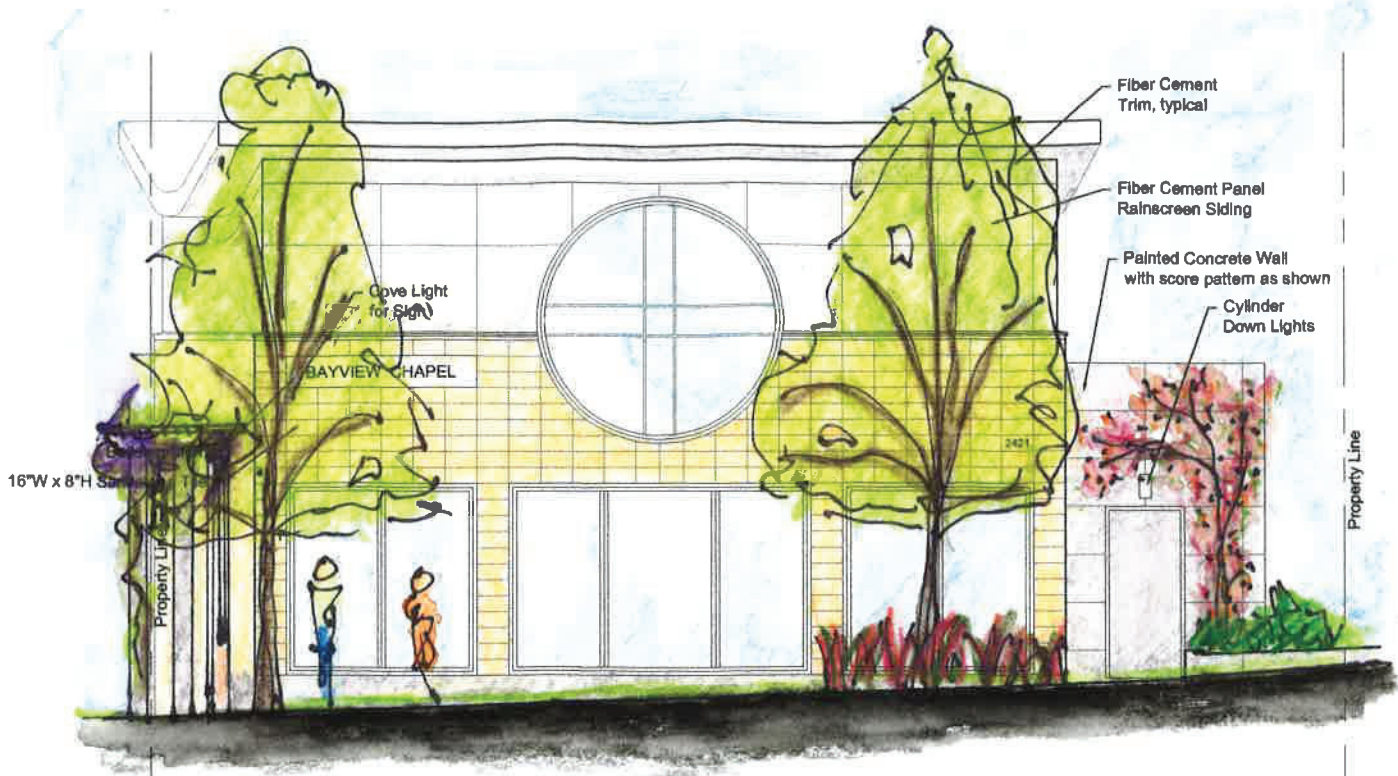
Windows @ Church



Windows @ Apartments



XWF2 - Wall Cylinder Down Light

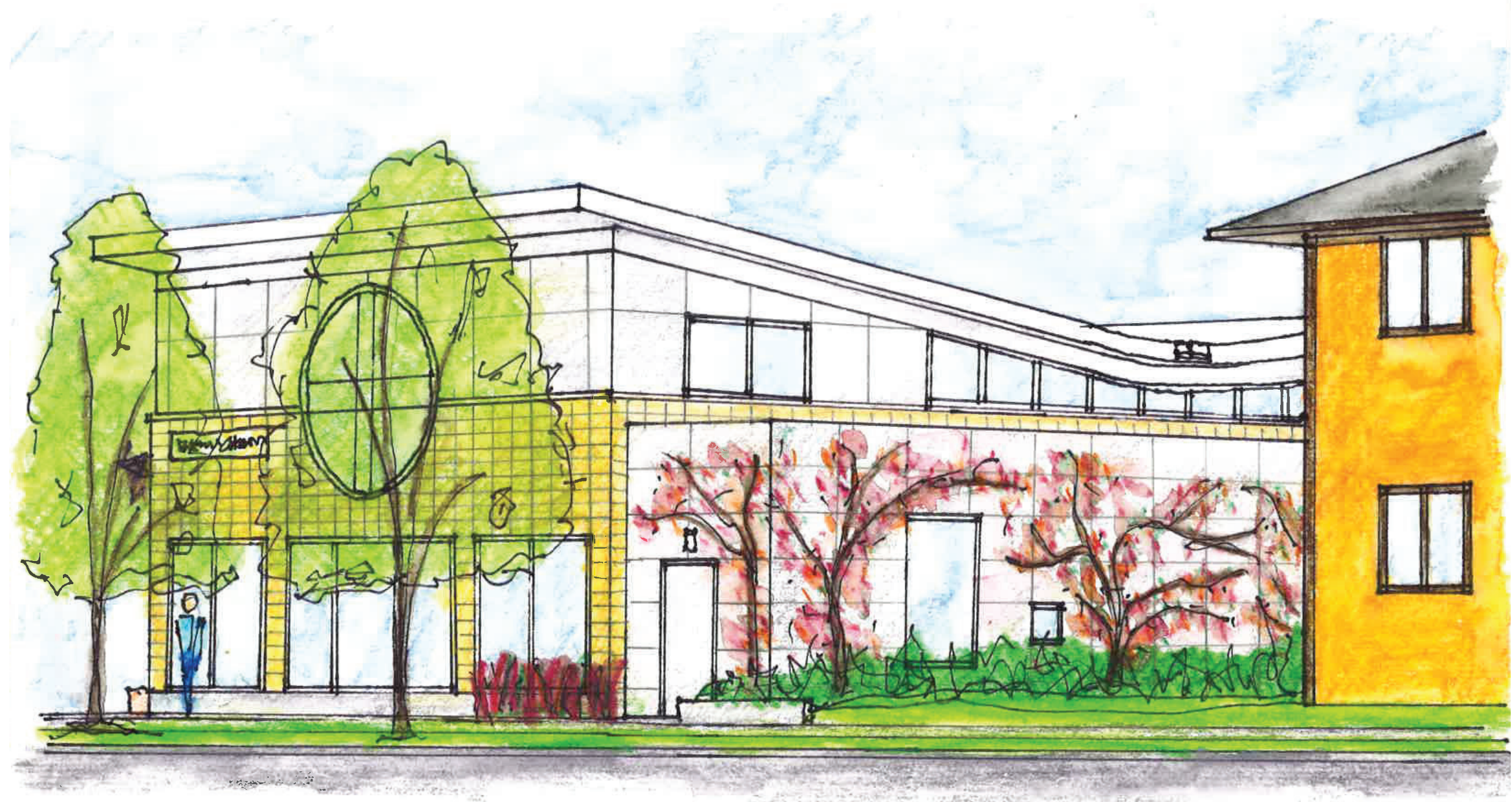


EAST ELEVATION



WEST ELEVATION

1 / 4" = 1' - 0"





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Project:

BAYVIEW CHAPEL

2421 14th Ave S, Seattle WA 98144

Contents:

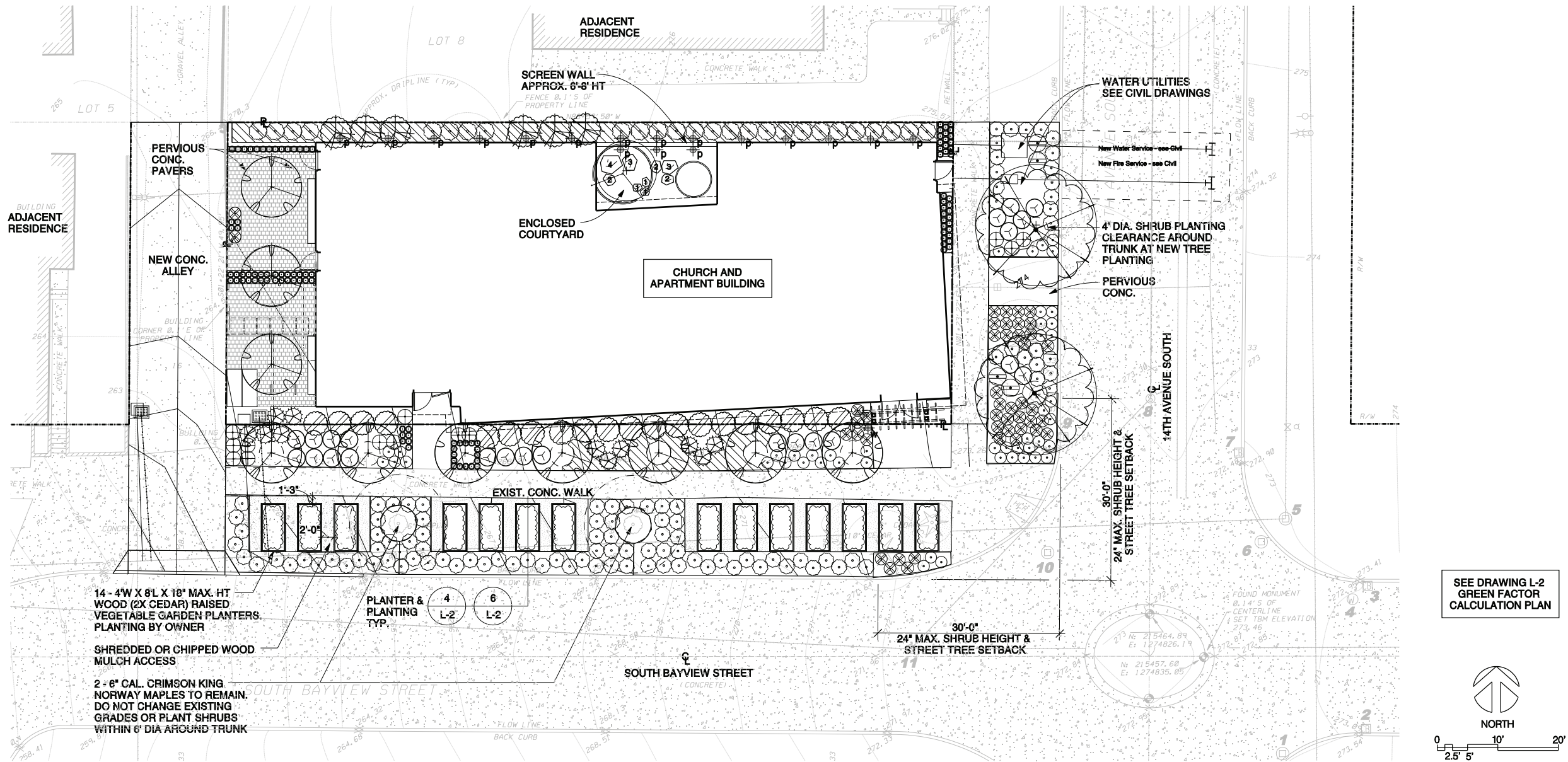
SKETCH FROM SW

Date:

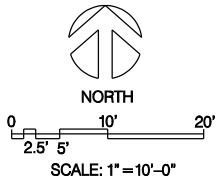
MUP 12/06/12

12

Admin. Design Review



SEE DRAWING L-2
GREEN FACTOR
CALCULATION PLAN



PLANT LEGEND

SBL.	NAME	SIZE & REMARKS	QTY.
	GINKGO biloba 'Autumn Gold' AUTUMN GOLD GINKGO TREE	B&B, 2-1/2" CAL, 12'-15' HT, 35" SPACING	02
	FAGUS sylvatica 'Dawyck Purple' DAWYCK PURPLE BEACH	B&B, 1-3/4" CAL., 10'-12' 12" SPACING	10
	ACER palmatum 'Sangokaku' CORAL BARK JAPANESE MAPLE	B&B, 2-1/2" CAL, 8'-10' HT	01
	ROSA rugosa 'Alba' WHITE FLOWERING RAGOSA ROSE	5 GAL, 24"-30" HT 48" SPACING	20
	VACCINIUM x 'Sunshine Blue' (Southern Highbush) SUNSHINE BLUE BLUEBERRY	5 GAL, 24"-30" HT 36" SPACING	12
	VACCINIUM ovatum EVERGREEN HUCKLEBERRY	5 GAL, 24"-30" HT 36" SPACING	26
	RIBES sanguineum 'King Edward VII' KING EDWARD VII FLOWERING CURRANT	B&B, 36"-42" HT 5" SPACING	06
	CORNUS sericea 'Kelsey' KELSEY REDTWIG DOGWOOD	2 GAL, 10"-12" HT 30" SPACING	98
	MAHONIA aquifolium 'Compacta' COMPACT OREGON GRAPE	2 GAL, 12"-15" HT 36" SPACING	16
	SPIREA japonica 'Magic Carpet' MAGIC CARPET JAPANESE SPIREA	2 GAL/12"-15" HT 36" SPACING	04
	BERBERIS autropurpurea 'Crimson Pigmy' / CRIMSON PIGMY BARBERRY	2 GAL/12"-15" HT 30" SPACING	13

SBL.	NAME	SIZE & REMARKS	QTY.
	LAVENDULA angustifolia 'Hidcote' HIDCOTE ENGLISH LAVENDER	2 GAL/24" SPACING 24" SPACING	41
	HEMEROCALLIS 'Stella de Oro' STELLA DE ORO DAY LILLY	1 GAL/24" SPACING 20" SPACING	42
	POLYSTICHUM munitum SWORD FERN	1 GAL, 12"-15" HT, MIN. 3 FRONDS, 2'-6" SPACING	06
	IMPERATA cylindrica 'Red Baron' RED BARON BLOOD GRASS	4" POT, MIN. 12" HT, 12" SPACING	106
	PHYLLOSTACHYS aurea GOLDEN BAMBOO	5 GAL, 4'-5" HT 24" SPACING, STAKED	09
	PARTHENOCISSUS quinquefolia VIRGINIA CREEPER	1 GAL, 36" RUNNERS, 30" SPACING, STAKED	17
	WISTERIA sinensis CHINESE WISTERIA	1 GAL, 36" RUNNERS, STAKED	01
	JASMINOUS officinale STAR JASMINE	1 GAL, 36" RUNNERS, STAKED	XX
	GAULTHERIA shallon SALAL	1 GAL, 24" SPACING	CONTR. VERIFY
	VEGETABLE GARDEN PLANTING	CONTAINER & SOIL BY CONTRACTOR, PLANTING BY OWNER	

BOULDER LEGEND

SYMBOL	NAME	SIZE / REMARKS / QTY.
	BOULDERS AND SEATING SLABS - HIGH CASCADE GRANITE	FIELD LAYOUT BY OWNER REPRESENTATIVE

BOULDER SCHEDULE

LOCATION	4 MAN ROCK	3 MAN ROCK	2 MAN ROCK	1 MAN ROCK
COURTYARD	1	2	3	3

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LANDSCAPE ARCHITECTURE
SITE PLANNING

BAYVIEW
CHAPEL

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Seattle, WA
DPD PROJECT # 3005359



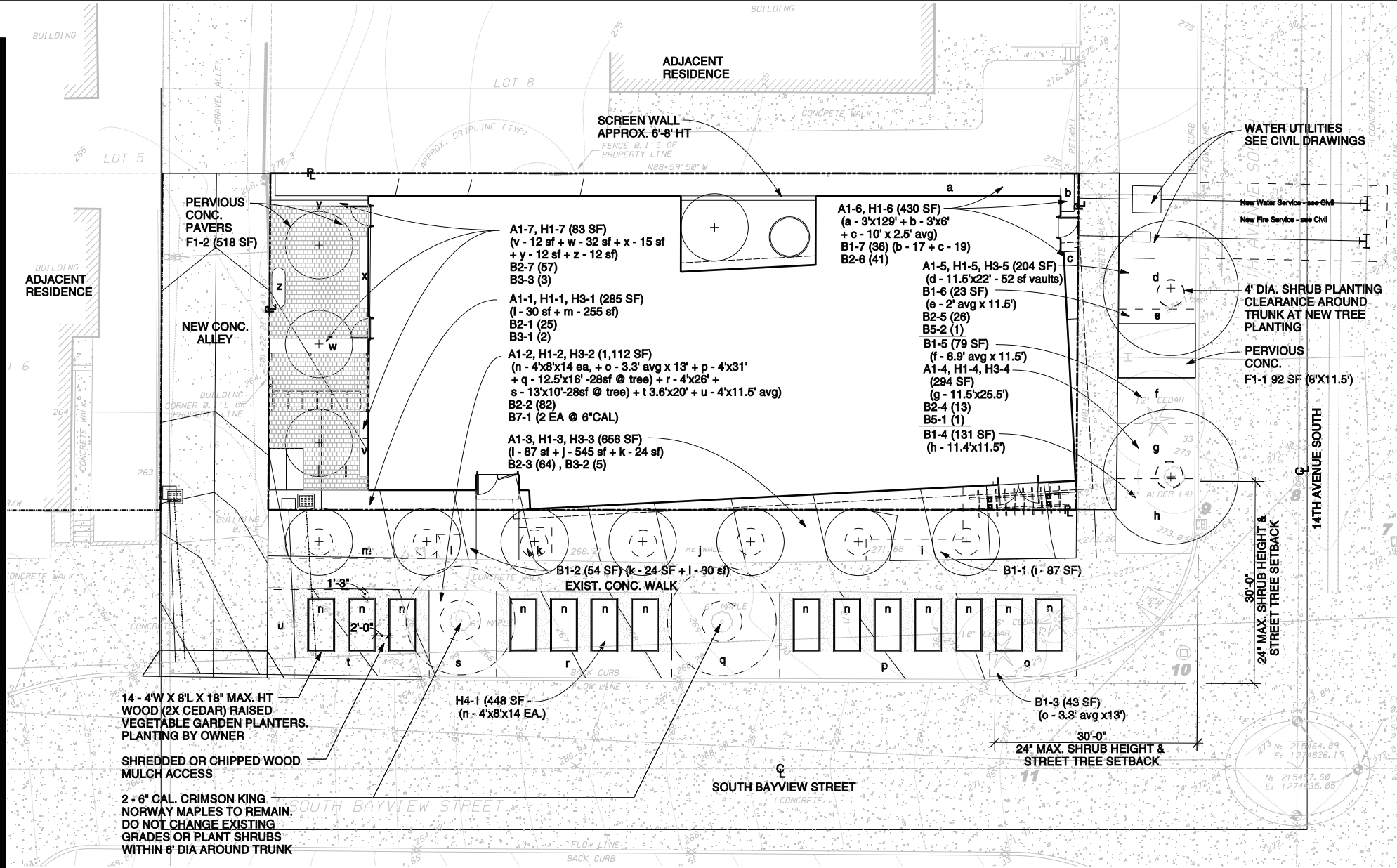
REVISIONS

NO.	DATE	BY	DESCRIPTION

TITLE

LANDSCAPE
PLAN

DESIGNED	JVDV
DRAWN	JVDV
CHECKED	
DATE	10-29-2012
CADD FILE	
JOB NUMBER	



SEE L-1 LANDSCAPE PLAN AND
DETAIL 1/L-2 GREEN ROOF
PLANTING PLAN

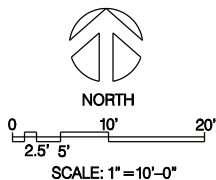
al terry
architecture
4609 South
Snoqualmie Street
Seattle, WA 98118
206 254-0700

VAN DE VANTER GROUP
LANDSCAPE ARCHITECTURE
SITE PLANNING
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Suite 104
Bellevue, WA 98005
(425) 451.8108
(425) 455.3374 Fax

BAYVIEW CHAPEL

2421 14th Avenue South
Seattle, WA

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REVISIONS

NO	DATE	BY	DESCRIPTION

TITLE

GREEN FACTOR CALCULATION PLAN

DESIGNED JVDV
DRAWN JVDV
CHECKED
DATE 10-29-2012
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L-3

Green Factor Score Sheet			
Project title:	enter sq ft of parcel	SCORE	MAX
Parcel size (enter this value first)	6,000	SCORE	8,241
Landscape Elements**		Totals from GF worksheet	Total
A. Landscaped areas (select one of the following for each area)			
1. Landscaped areas with a soil depth of less than 24"	enter sq ft	0.1	308
2. Landscaped areas with a soil depth of 24" or greater	enter sq ft	0.6	-
3. Bioretention facilities	enter sq ft	1.0	-
B. Plantings (credit for plants in landscaped areas from Section A)			
1. Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft	0.1	45
2. Shrubs or perennials 2" at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants	0.3	1,109
3. Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants	0.3	225
4. Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants	0.3	-
5. Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants	0.4	208.0
6. Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants	0.4	-
7. Tree canopy for preservation of large existing trees with trunks 6" in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH	0.8	32.0
C. Green roofs			
1. Over at least 2" and less than 4" of growth medium	enter sq ft	0.4	-
2. Over at least 4" of growth medium	enter sq ft	0.7	-
D. Vegetated walls			
1. Vegetated walls	enter sq ft	0.7	-
E. Approved water features			
F. Permeable paving			
1. Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft	0.2	122.0
2. Permeable paving over at least 24" of soil or gravel	enter sq ft	0.5	-
G. Structural soil systems			
1. Structural soil systems	enter sq ft	0.2	-
H. Bonuses			
1. Drought-tolerant or native plant species	enter sq ft	0.1	308.4
2. Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft	0.2	-
3. Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft	0.1	295
4. Landscaping in food cultivation	enter sq ft	0.1	45
Green Factor score =		2,345	

* Do not count public rights-of-way in parcel size calculation.

** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

Green Factor Worksheet*										
Planting Area										TOTAL**
Bayview Chapel										
A1	square feet	285	1112	656	294	204	430	83		3064
A2	square feet									0
A3	square feet									0
B1	square feet	87	54	43	131	79	23	36		453
B2	# of plants	25	82	64	13	26	41	57		308
B3	# of trees	2	5	3						10
B4	# of trees									0
B5	# of trees	1	1							2
B6	# of trees									0
B7	# of trees	2								2
C1	square feet									0
C2	square feet									0
D	square feet									0
E	square feet									0
F1	square feet	92	518							610
F2	square feet									0
G	square feet									0
H1	square feet	285	1112	656	294	204	430	83		3064
H2	square feet									0
H3	square feet	285	1112	656	294	204				2551
H4	square feet	448								448

* See Green Factor score sheet for category definitions

** Enter totals on the Green Factor score sheet