

# STONE WAY APARTMENTS

VOLUNTARY 2ND  
EARLY DESIGN GUIDANCE  
DPD #3014111

## Contact information

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## Site information

**Address:** 3801 Stone Way N  
Seattle, WA

**Site area:** 75,391 sf

**Zoning:** C1-40

**Neighborhood:** Fremont Neighborhood Plan Area

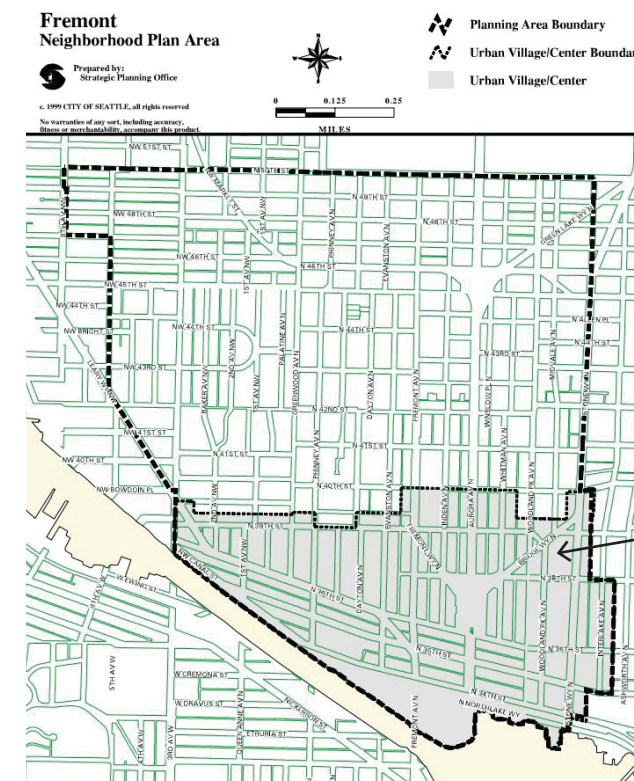
**Building code:** 2009 IBC

**Proposed use:** Mixed-Use (Residential/commercial)

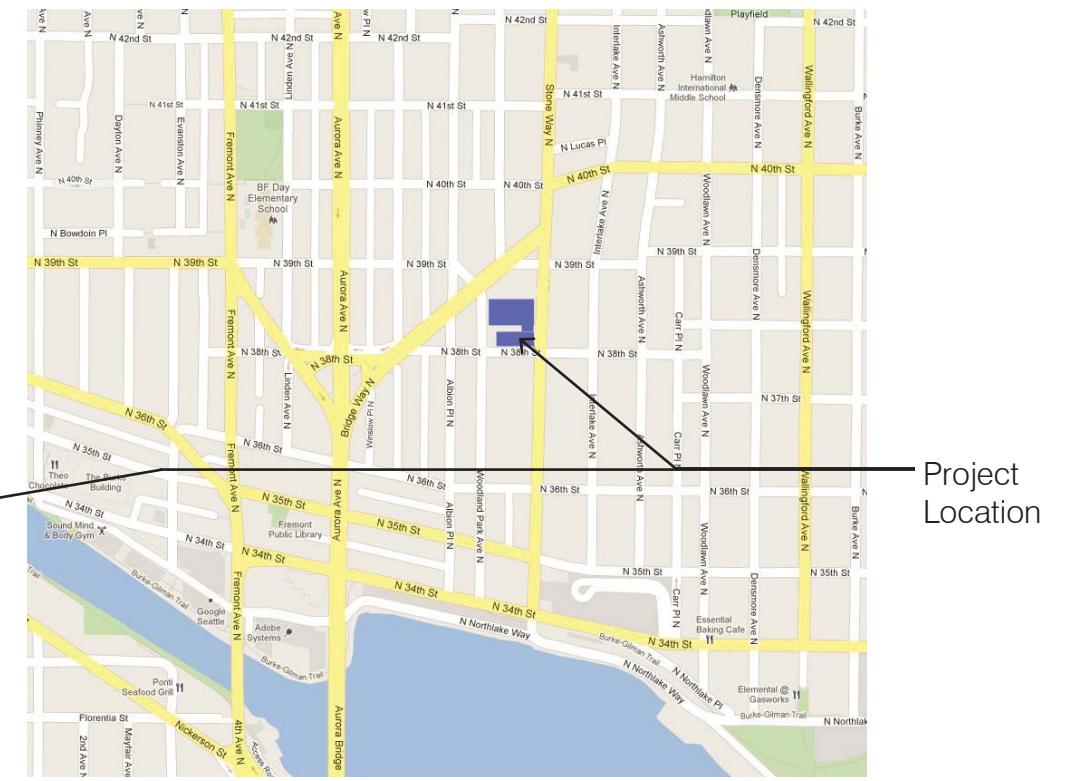
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## Fremont Neighborhood Plan Area Map



## Vicinity Map



## Stone Way Apartments

3801 Stone Way N  
Seattle, WA  
DPD # 3014111  
Early Design Guidance

### Summary:

The proposed project is to construct a new Mixed Use Apartment building with 280 units 274 parking stalls; 3-4 stories of type VA wood frame construction over type IA ground floor and below grade floor. Three options for the proposed development are provided in this EDG packet. Each proposal is similarly sized and at an FAR of 3.25.

### Project Program:

Site area:	75,391 s.f. (per survey)
Site topography:	Sloping from North West to South
Building height:	Approximate 44' with three to four above grade stories w/ basement
Number of dwelling Units:	Approximately 280
Proposed Parking Stalls:	Approximately 274
Gross floor area:	Approximately 245,000 gsf, above grade

### Legal Description:

[8033700065](#), [8033700070](#), [8033700075](#), [8033700080](#), [8033700085](#), [2261500086](#): Lots 9, 10 and 11, Block 2, C.P. Stone's Home Addition to the City of Seattle and portion of Lot(s) 8, Block 2 Edgemont Addition to the City of Seattle.

[2261500060](#) Portion of Lots 5 and 6, Block 2, Edgemont addition to the City of Seattle

[2261500045](#), [2261500055](#) & [2261500065](#): Lots 3 and 4 and portion of Lot 5, Block 2, Edgemont addition to the City of Seattle

### Existing Site:

The site is composed of 10 tax parcels located. The site currently contains small commercial buildings. There is surface parking interspersed throughout the site.

### Zoning and Overlay Designation:

The parcel is zoned C1-40', as are adjacent lots on the same block. C1-40 is also the zoning across the street, on all three sides, from the site.

### Site and Vicinity Description:

The proposed site is bounded by Stone Way N. on the East, 38th St. on the South, and Woodland Park Ave. N. on the West. There's an approximately 10'-15' slope from the NW to the SE corners of the site. Existing uses on the site include retail, office, warehouse and single family residences.

The mixed-use development of Stone Way N. started at 45th St. and has been moving South. Currently, there are several mixed-use projects under construction to the North of 40th St. The project at Stone Way and 40th st. was recently completed and is being rented out. Our project will add to the vitality and activity of this well situated corridor of development. Green Lake is to the North and Lake Union and the Burke Gilman Trail are to the South. The Wallingford and Fremont Neighborhood centers are nearby. There's easy access to transit, arterial roads, and the freeway. The University of Washington is a bike ride away, as is South Lake Union and Downtown.

The project seeks to capitalize on it's attractive location with a building that provides market rate housing and pedestrian scaled commercial spaces. Attractive exterior and interior amenity spaces will be provided for residents. The project will engage and activate at street level.

Not only will the design fit into the neighborhood, but also be responsible to the City's environment. Bicycling and transit use will be encouraged and facilitated. The project will, also, be designed to meet LEED standards.

The project is located in the NE corner of the 'Fremont Neighborhood Plan Area' as identified on 12/01/99 map. The project is intended to be in keeping with 'Fremont's Neighborhood Plan', 05/1999.

### Voluntary 2nd EDG Goals:

At the 1st EDG Meeting on 17 December 2012, the Design Review Board "recommended the project should move towards it's MUP Application in response to the guidance provided..."

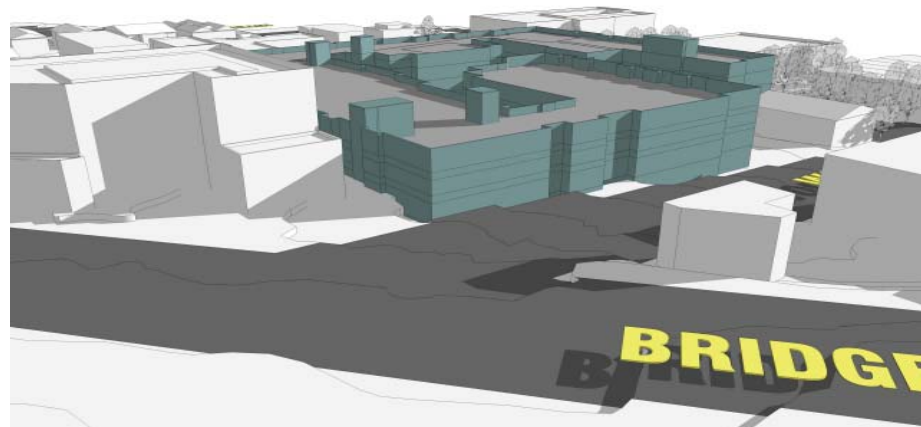
We have elected, voluntarily, while the design moves forward, to present the work-in-progress, to the Design Review Board in this 2nd EDG..

Our purpose is to ,show the design revisions made in response to their EDG recommendations and to get additional feedback with regard to those recommendations.

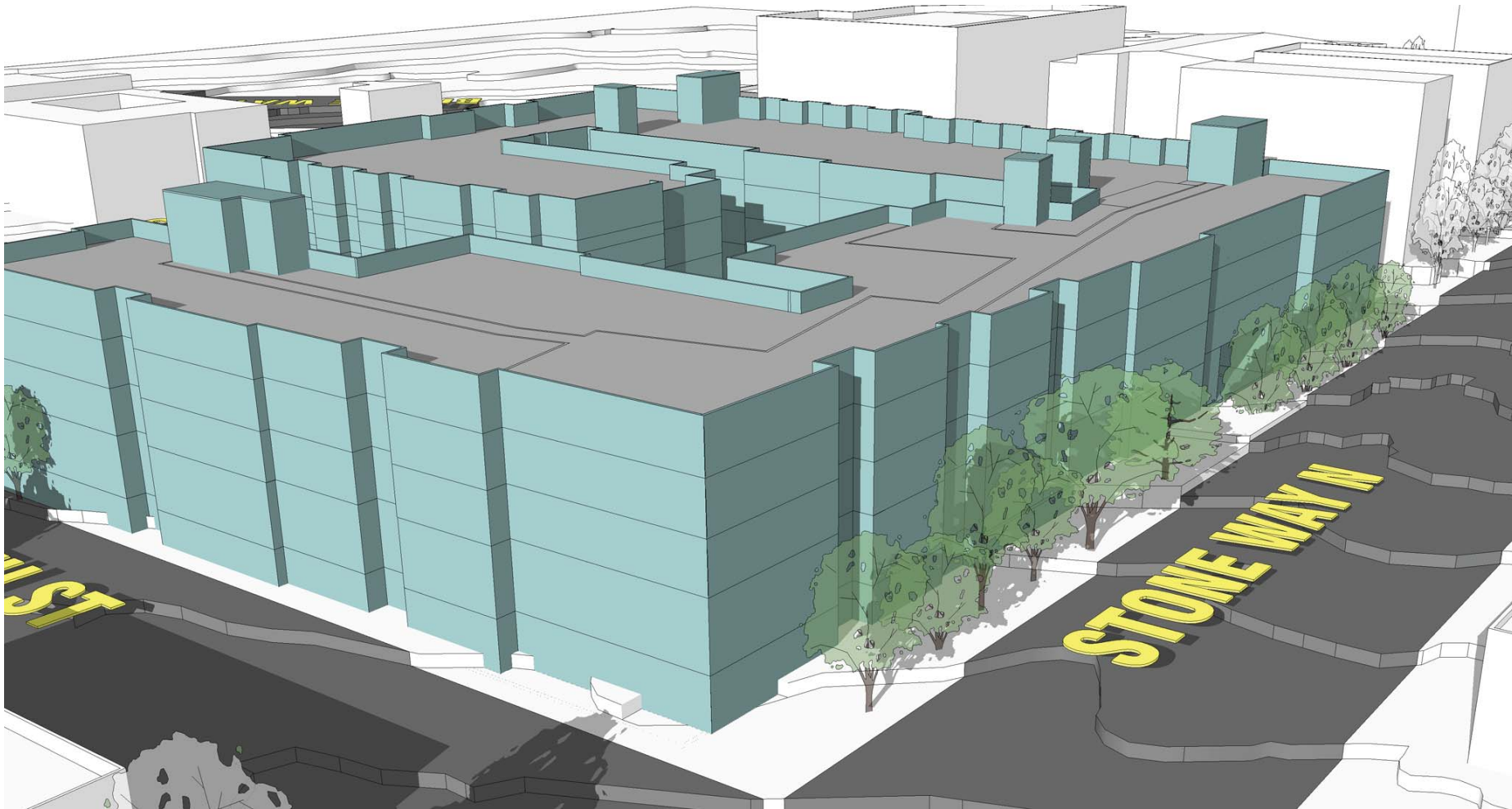




NORTHEAST AERIAL



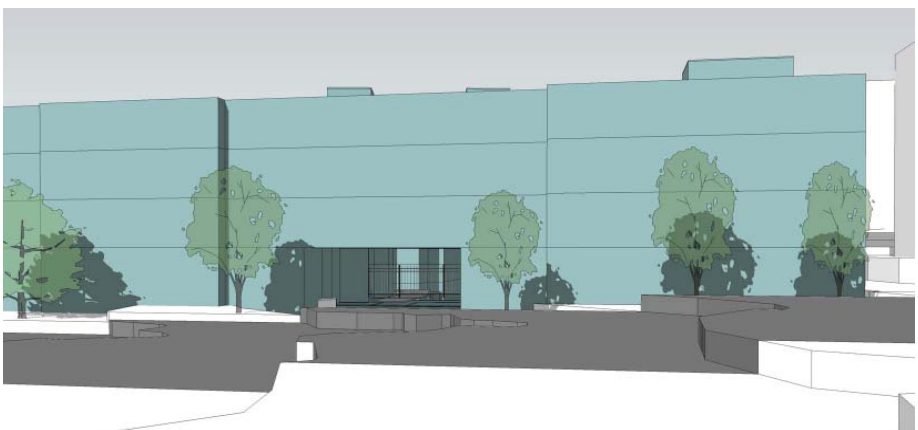
NORTHWEST AERIAL



SOUTHEAST AERIAL



SOUTHEAST AERIAL



STONE WAY AVE



SOUTHWEST AERIAL



226 Pkg Stalls  
173 Tenant Storage Lockers



# DESIGN CONCEPT Level 1

58 Pkg Stalls  
 67 Tenant Storage Lockers  
 22 Residential Units



# DESIGN CONCEPT Level 2

54 Residential Units



6'-10' setback @ North w/patios @ L2

Wodland Park Ave. Nth

Stone Way Nth

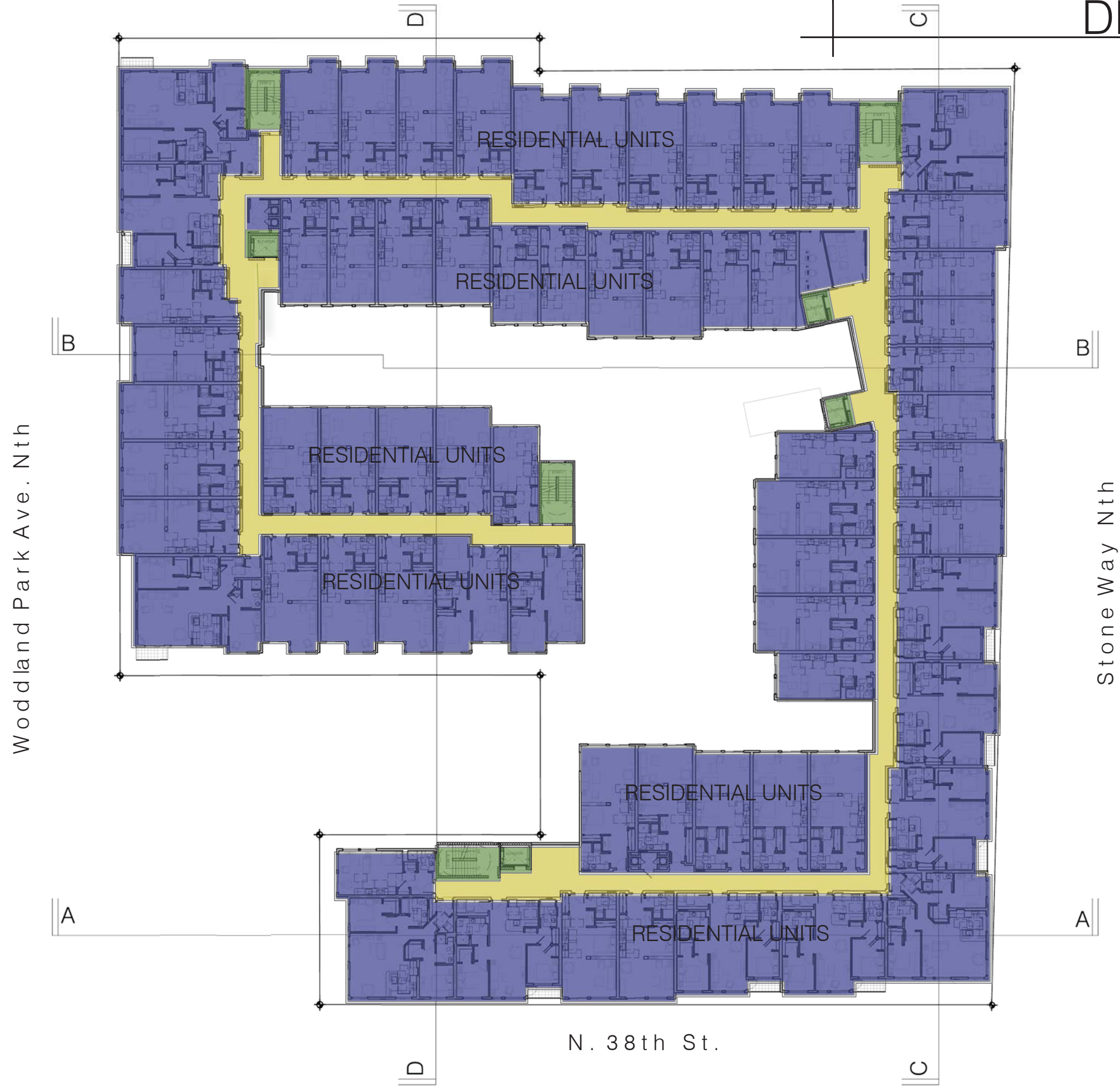
N. 38th St.

8.5' x 43.5' setback @ coner



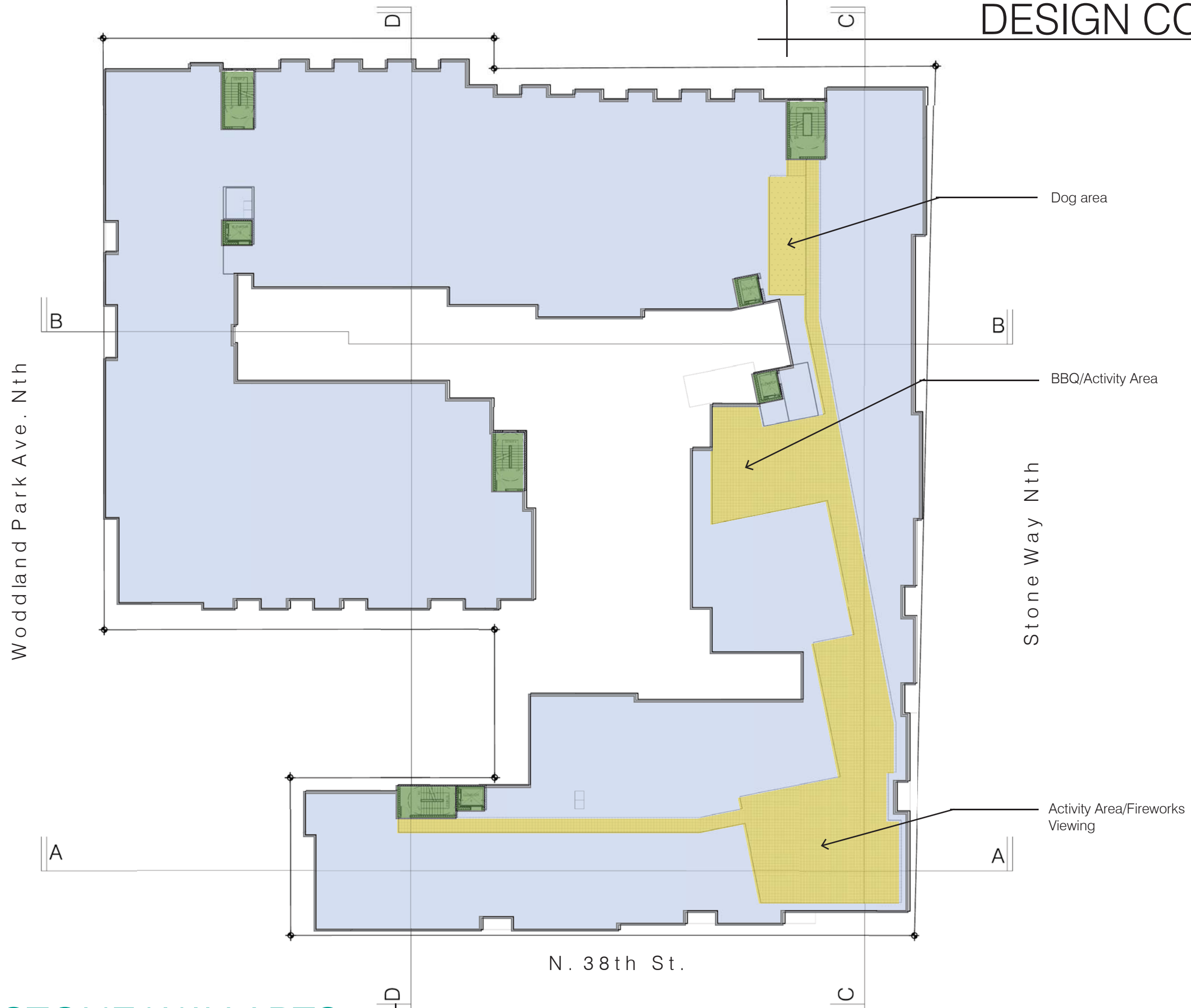
# DESIGN CONCEPT Levels 3-5

67 Residential Units per Level





# DESIGN CONCEPT Roof Level



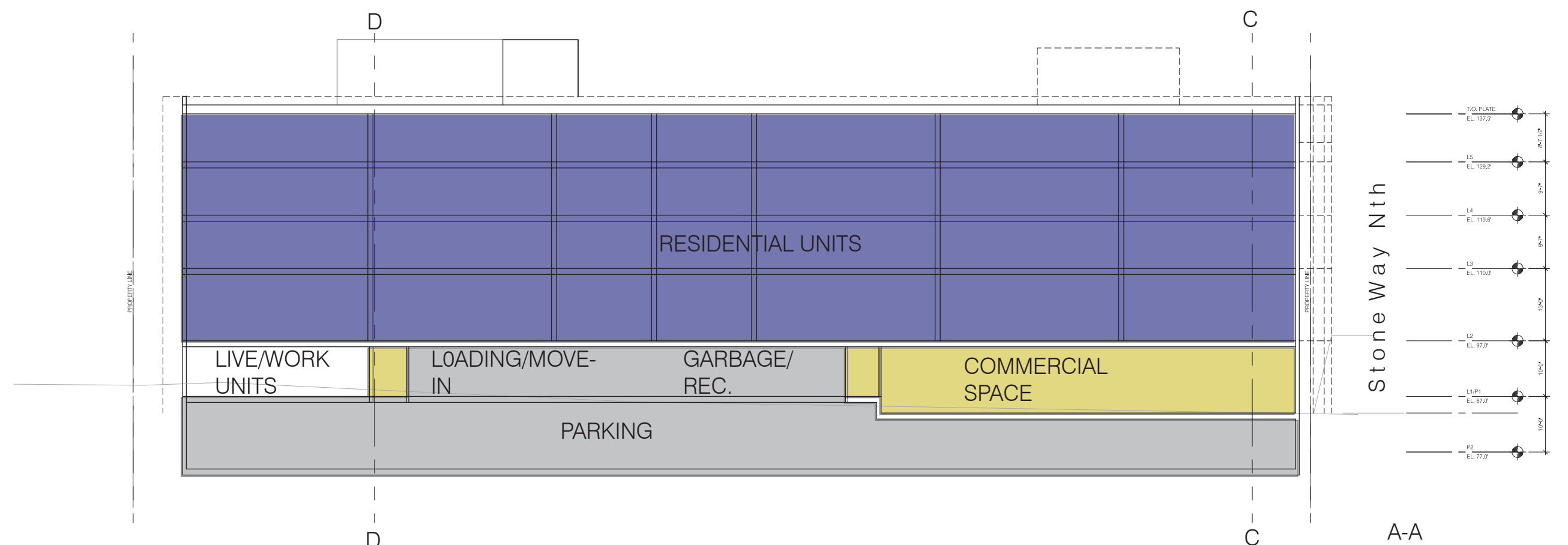




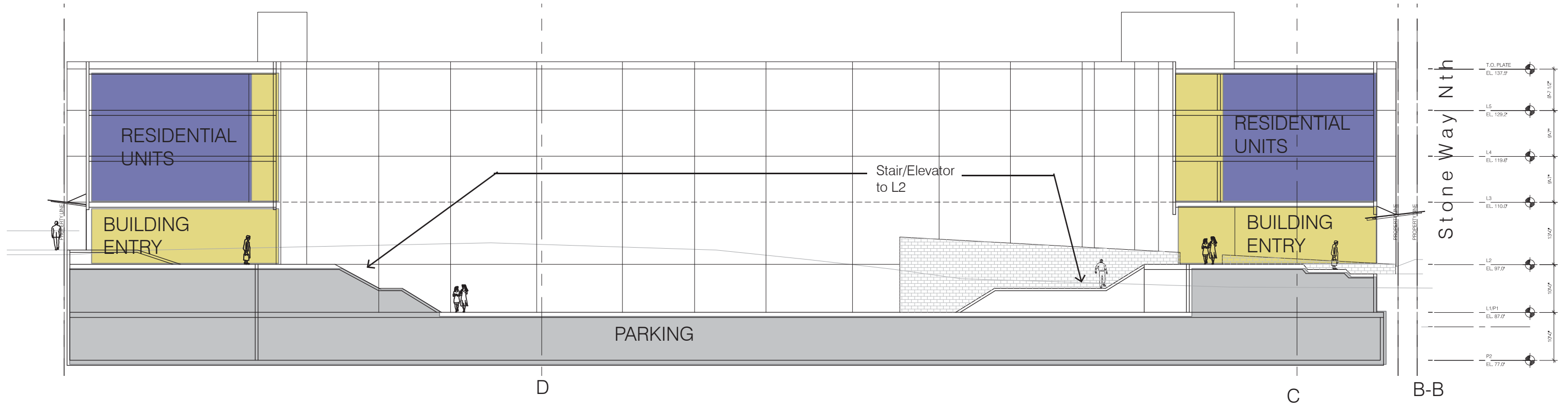
# DESIGN CONCEPT Elevations



# DESIGN CONCEPT Sections

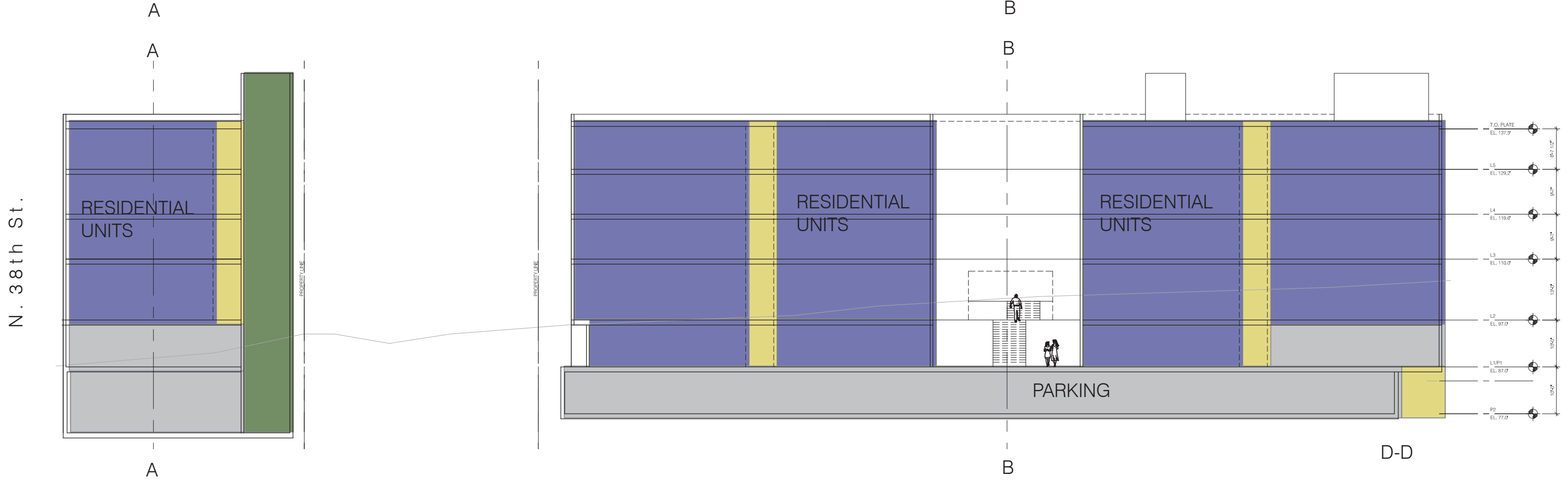
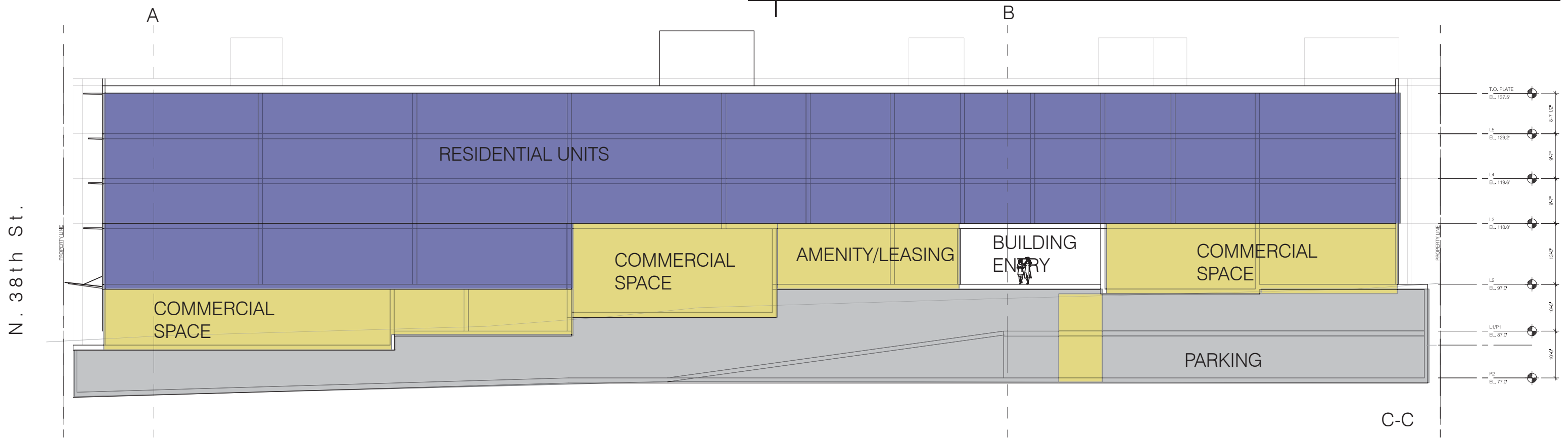


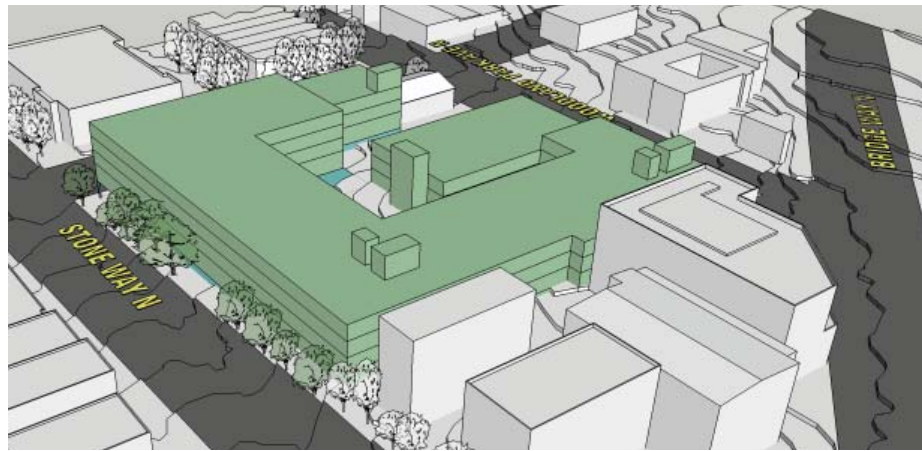
Woddlan Park Ave. Nth



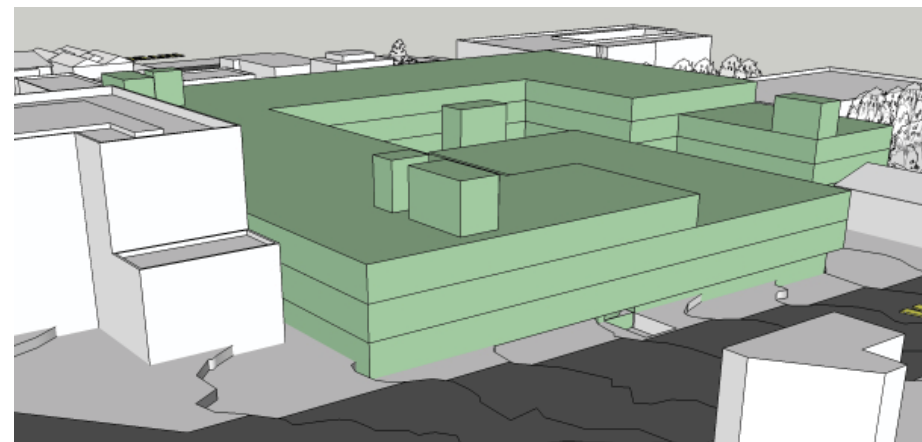


# DESIGN CONCEPT Sections

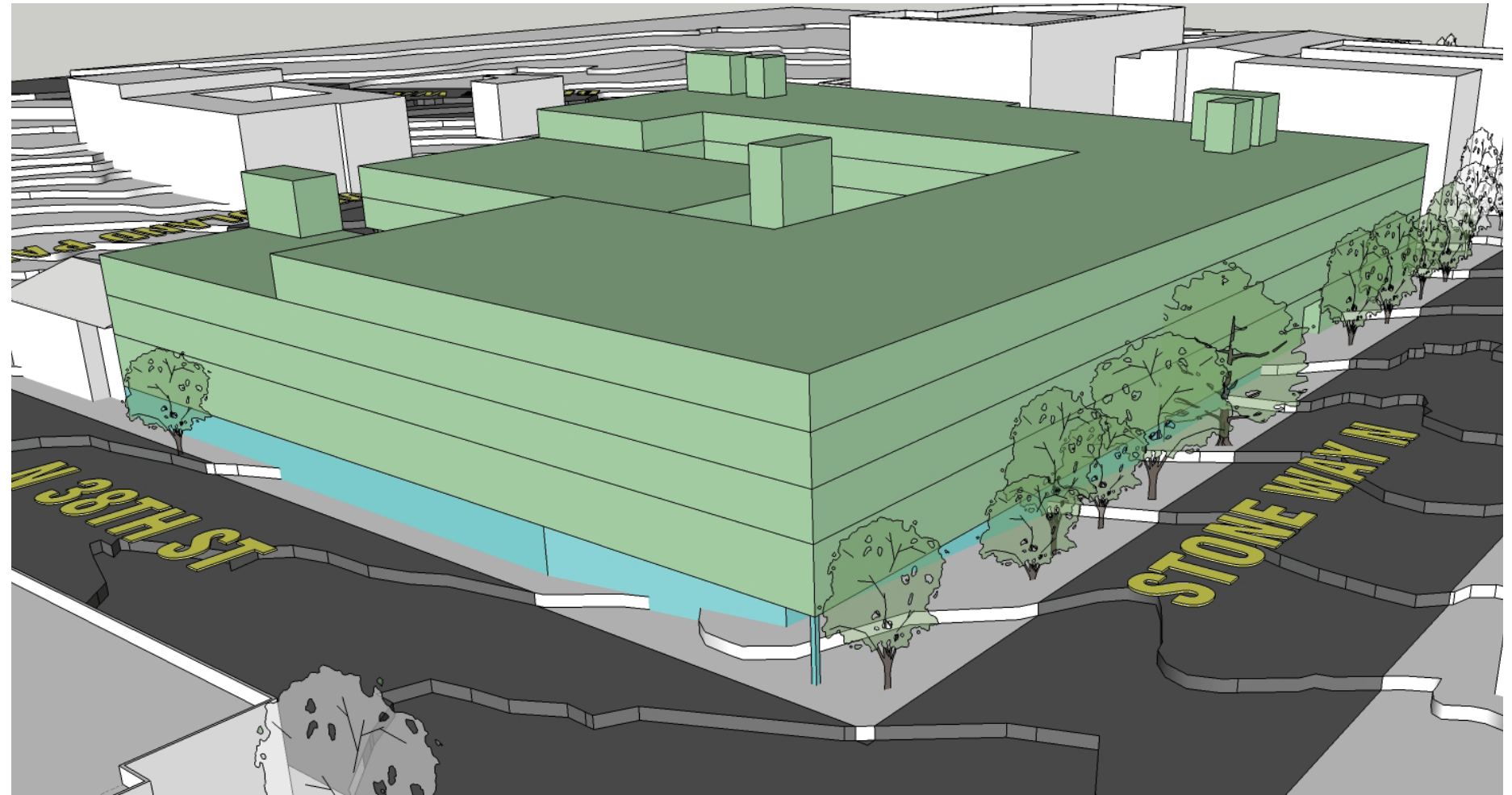




NORTH EAST AERIAL



NORTH WEST AERIAL



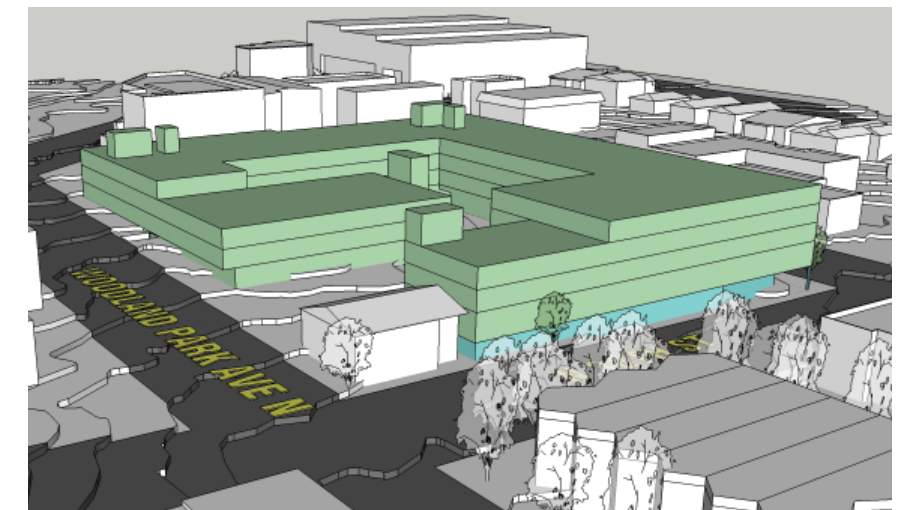
SOUTH EAST AERIAL



WOODLAND PARK AVE

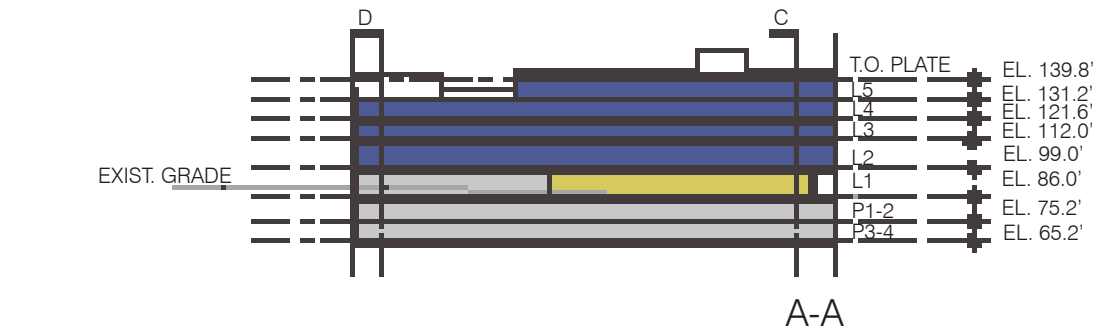


STONE WAY AVE

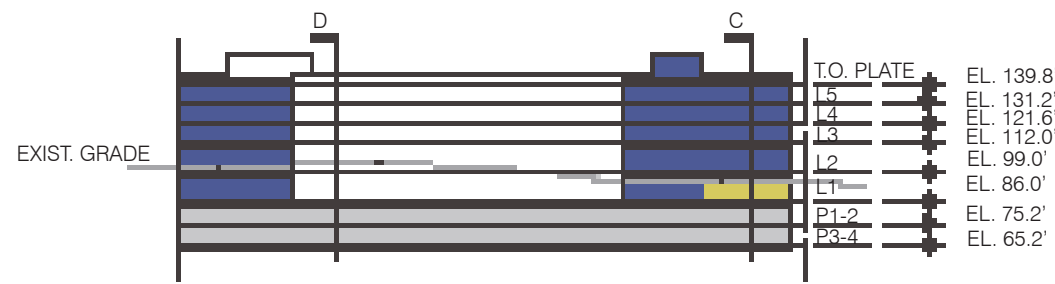


SOUTH WEST AERIAL

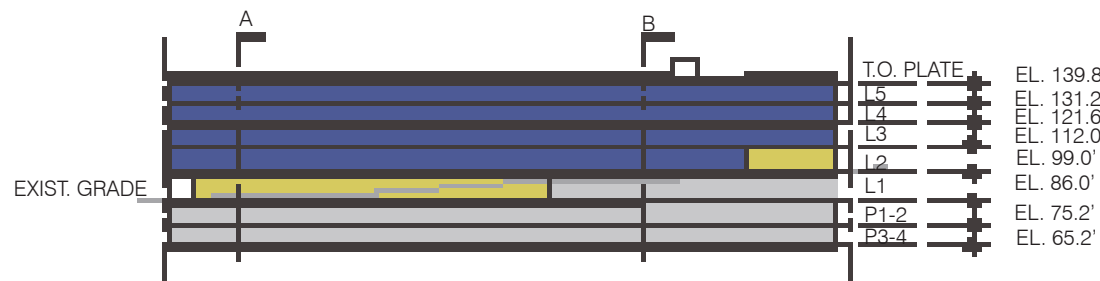




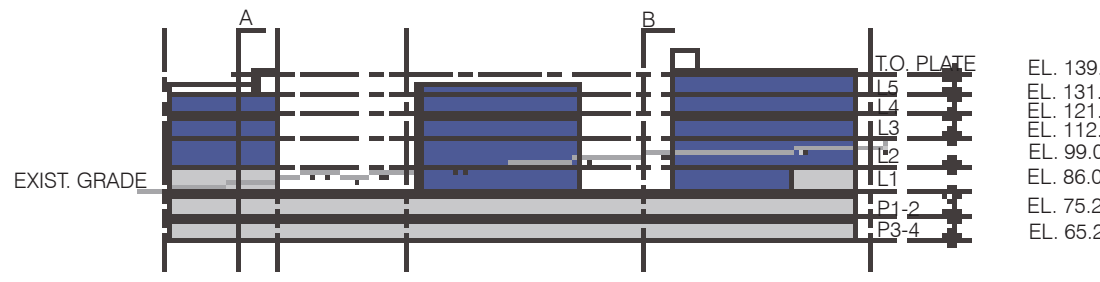
A-A



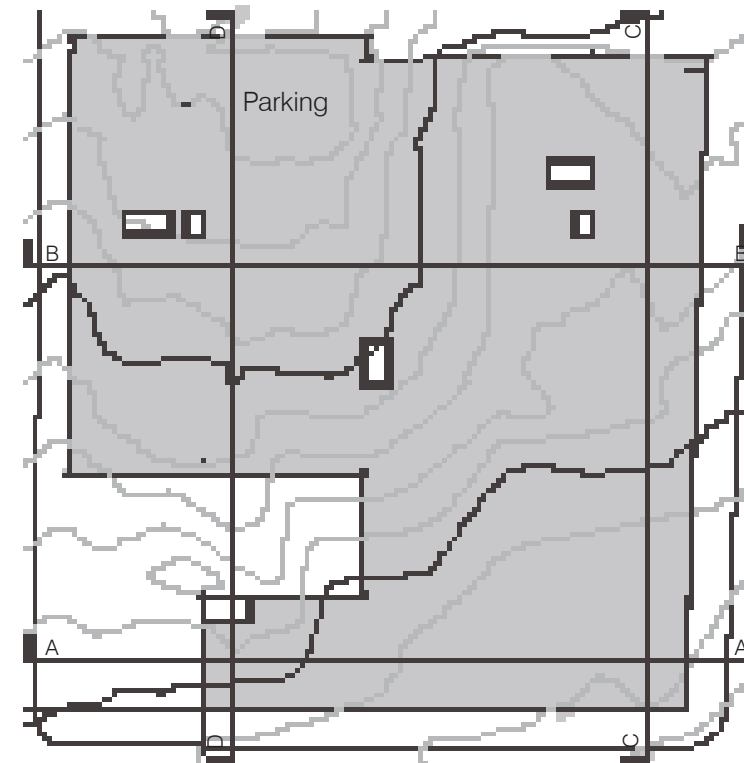
B-B



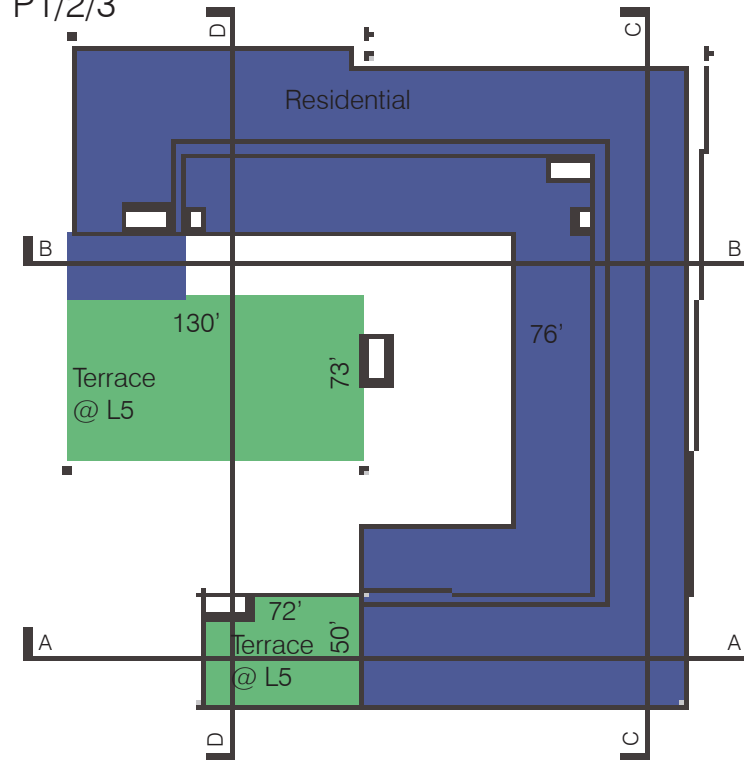
C-C



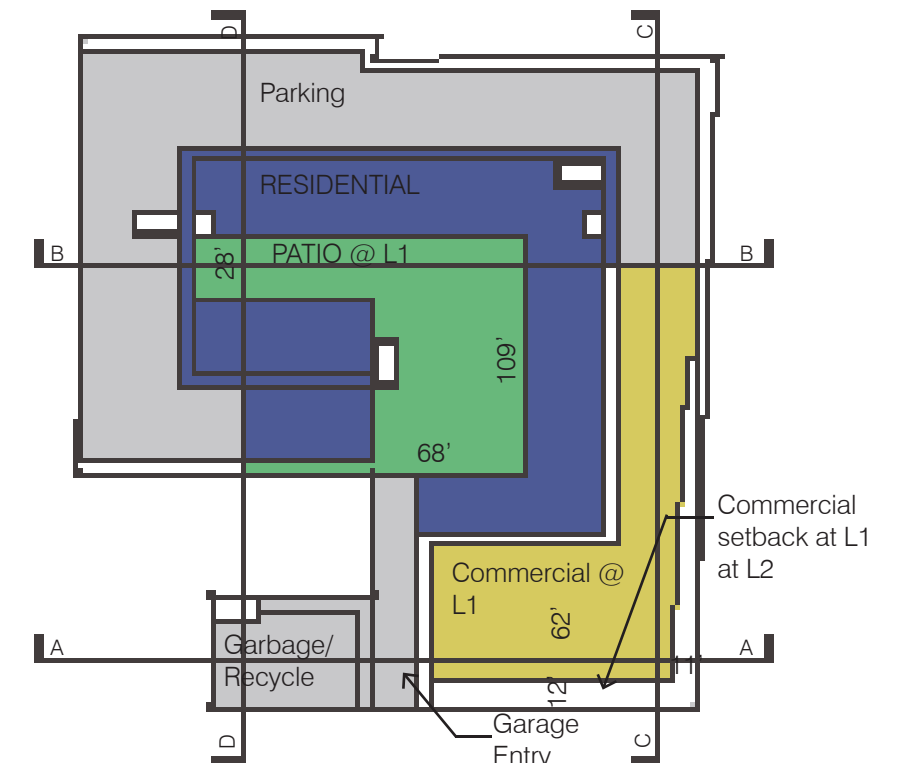
D-D



Level P1/2/3



Level 5/ Roof

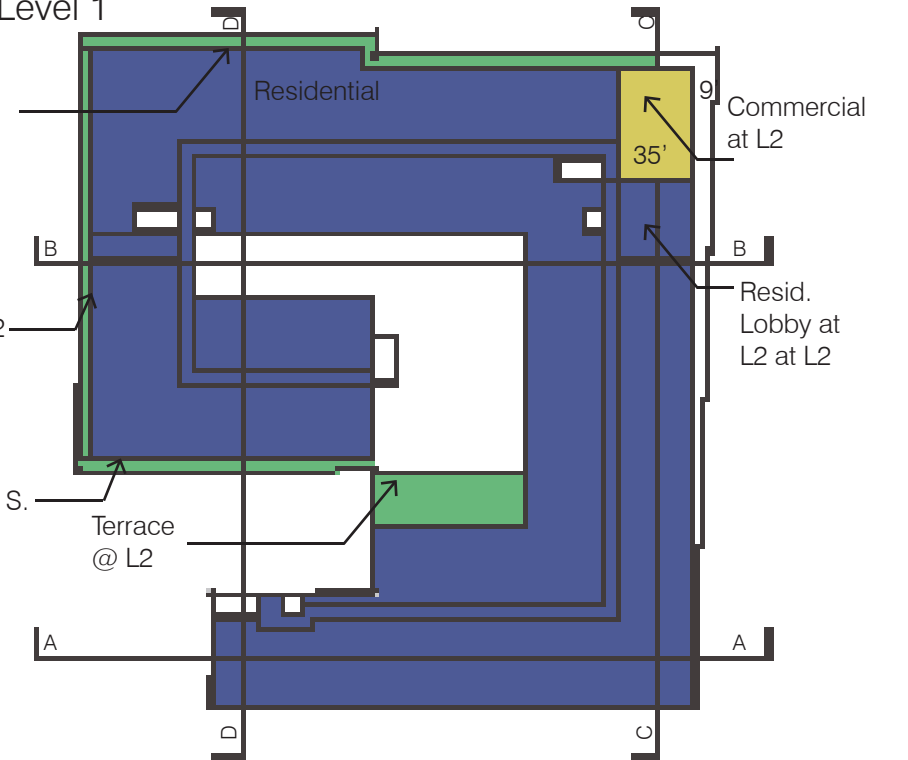


Level 1

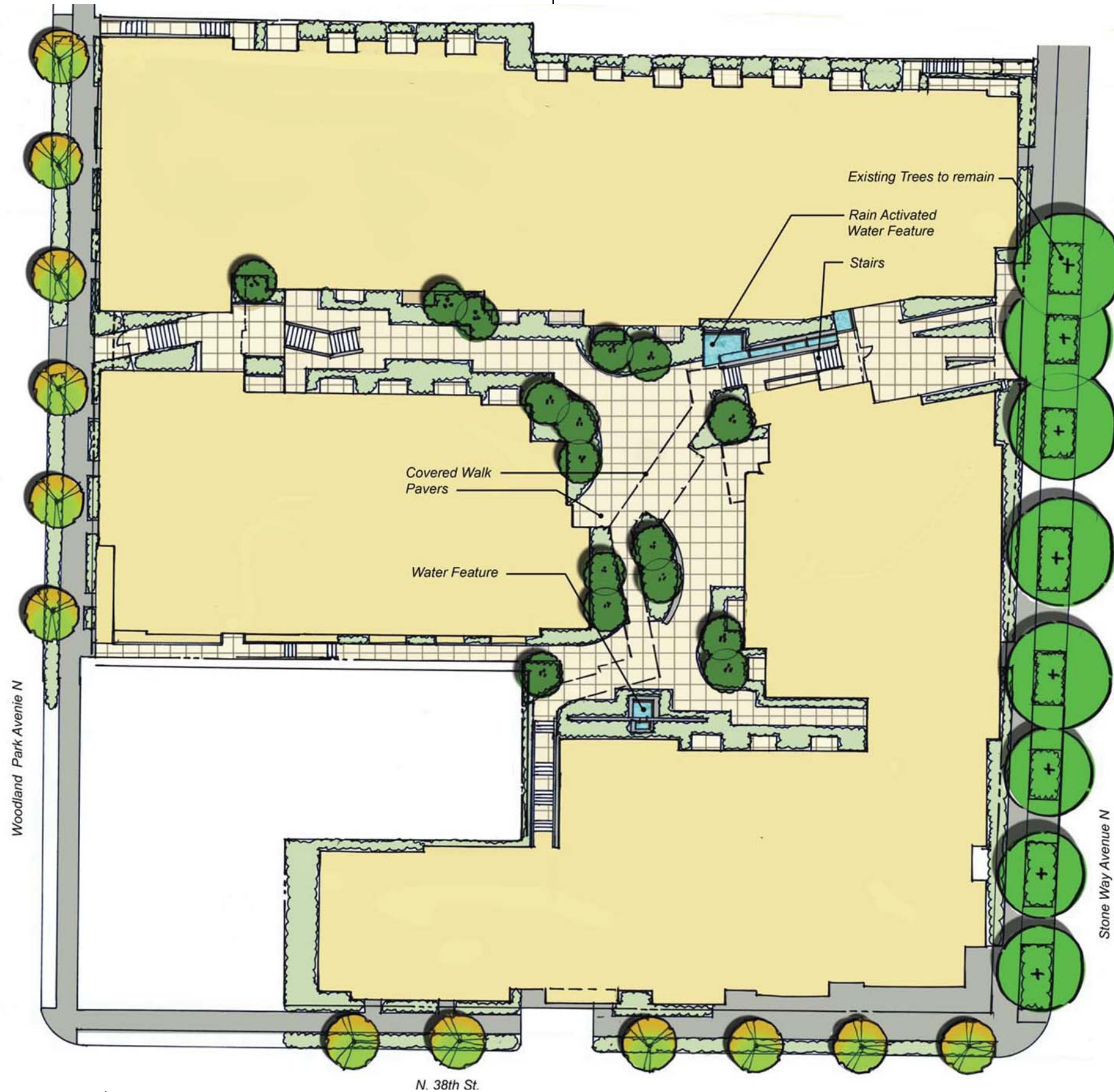
6' setback at North

6' setback L2 for L/W Units

6' setback at S. int. prop. line



Level 2-4



# LANDSCAPE DESIGN CONCEPTS







*Dog Run on Rooftop*



*Water Features*



*Roof Deck and Green Roof*



*Privacy Screens*



*Rooftop Seating Areas*







*Giant Allium*



*Vine Maple*



*Japanese Snowbell*



*Low Oregon Grape*



*Magic Carpet Spirea*



*Clematis*



*Little Bluestem*



*Liriope*



*Sedum*



*Japanese Maple*



*Black Eyed Susan*



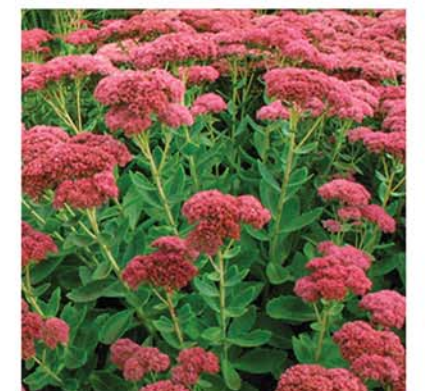
*Lavender*



*Viburnum*



*Japanese Forest Grass*



*Sedum Autumn Joy*