

STONE WAY APARTMENTS

EARLY DESIGN GUIDANCE
DPD #3014111

Contact information

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Site information

Address: 3801 Stone Way N
Seattle, WA 90105

Site area: 278,000 sf

Zoning: C1-40

Neighborhood: Fremont Neighborhood Plan Area

Building code: 2009 IBC

Proposed use: Mixed-Use (Residential/commercial)

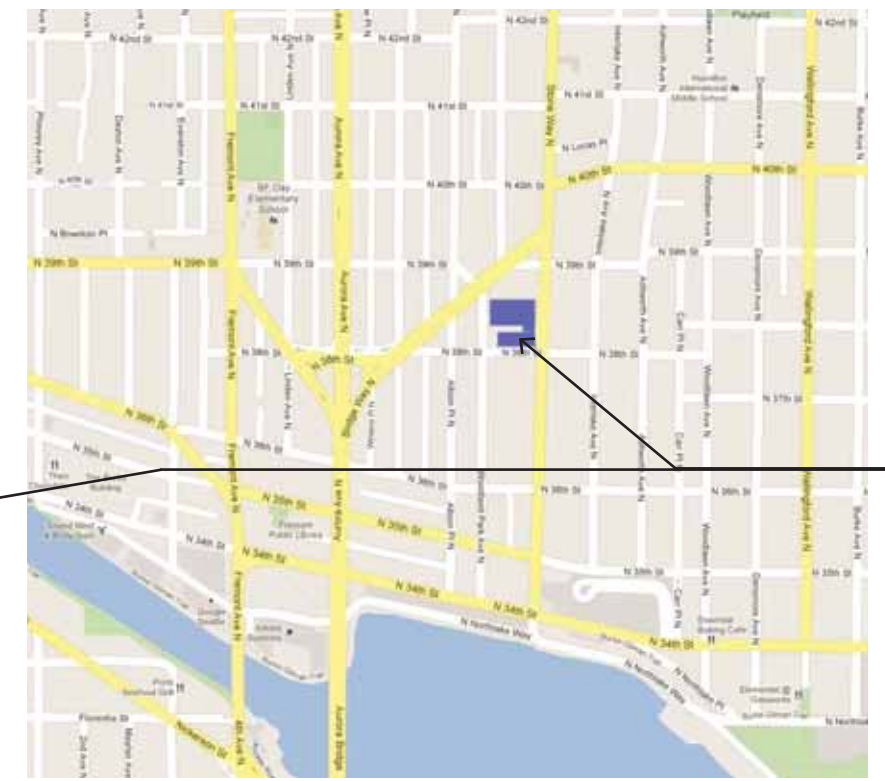
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Fremont Neighborhood Plan Area Map



Vicinity Map



Project
Location

Stone Way Apartments

3801 Stone Way N
Seattle, WA
DPD # 3014111
Early Design Guidance

Summary:

The proposed project is to construct a new Mixed Use Apartment building with 280 units 274 parking stalls; 3-4 stories of type VA wood frame construction over type IA ground floor and below grade floor. Three options for the proposed development are provided in this EDG packet. Each proposal is similarly sized and at an FAR of 3.25.

Project Program:

Site area:	75,391 s.f. (per survey)
Site topography:	Sloping from North West to South
Building height:	Approximate 44' with three to four above grade stories w/ basement
Number of dwelling Units:	Approximately 280
Proposed Parking Stalls:	Approximately 274
Gross floor area:	Approximately 245,000 gsf, above grade

Legal Description:

- 8033700065, 8033700070, 8033700075, 8033700080, 8033700085, 2261500086: Lots 9, 10 and 11, Block 2, C.P. Stone's Home Addition to the City of Seattle and portion of Lot(s) 8, Block 2 Edgemont Addition to the City of Seattle.
- 2261500060 Portion of Lots 5 and 6, Block 2, Edgemont addition to the City of Seattle
- 2261500045, 2261500055 & 2261500065: Lots 3 and 4 and portion of Lot 5, Block 2, Edgemont addition to the City of Seattle

Existing Site:

The site is composed of 10 tax parcels located. The site currently contains small commercial buildings. There is surface parking interspersed throughout the site.

Zoning and Overlay Designation:

The parcel is zoned C1-40', as are adjacent lots on the same block. C1-40 is also the zoning across the street, on all three sides, from the site.

Site and Vicinity Description:

The proposed site is bounded by Stone Way N. on the East, 38th St. on the South, and Woodlland Park Ave. N. on the West. There's an approximately 10'-15' slope from the NW to the SE corners of the site. Existing uses on the site include retail, office, warehouse and single family residences.

The mixed-use development of Stone Way N. started at 45th St. and has been moving South. Currently, there are several mixed-use projects under construction to the North of 40th St. The project at Stone Way and 40th st. was recently completed and is being rented out. Our project will add to the vitality and activity of this well situated corridor of development. Green Lake is to the North and Lake Union and the Burke Gilman Trail are to the South. The Wallingford and Fremont Neighborhood centers are nearby. There's easy access to transit, arterial roads, and the freeway. The University of Washington is a bike ride away, as is South Lake Union and Downtown.

The project seeks to capitalize on it's attractive location with a building that provides market rate housing and pedestrian scaled commercial spaces. Attractive exterior and interior amenity spaces will be provided for residents. The project will engage and activate at street level.

Not only will the design fit into the neighborhood, but also be responsible to the City's environment. Bicycling and transit use will be encouraged and facilitated. The project will, also, be designed to meet LEED standards.

The project is located in the NE corner of the 'Fremont Neighborhood Plan Area' as identified on 12/01/99 map. The project is intended to be in keeping with 'Fremont's Neighborhood Plan', 05/1999.

Seattle Municipal Code, Land Use Regulations:

Chapter 23.41 Early Project Implementation

012.B Development Standard Departures

- Departures may be granted from any Land Use Code standard or requirement, except for the following: resid. density limits, Floor Area Ratios, max. size of use, structure height, storage of solid waste containers, noise and odor stds., reqs. For streets, alleys, and easements per Chapt. 23.53, definitions, and measurements.

Chapter 23.47A Commercial

004 Permitted and Prohibited Uses

- Residential uses in mixed use development permitted outright
- Live work units are permitted outright,
 - Except where expressly treated as residential use, live-work units shall be deemed a non-residential use

005 Street Level Uses

- Residential Uses may not occupy more than 20% of the street-level street facing facades when facing an arterial

008 Street-Level Development Standards

- Applies to structures that contain residential uses in C zones
- 60% of the street facing façade between 2' & 8' shall be transparent ; view into space, or in live work units into 30" deep display windows
- The total blank façade segments may not exceed 40% of the width of the façade of the structure along the street
- Street-level facing facades must be located within 10' of the property line, unless as otherwise approved
- Blank segments of the street-facing façade between 2' & 8' above the sidewalk may not exceed 20' wide
- Nonresidential uses must extend an average of at least 30' and a minimum of 15' except if the depth requirements would result in a space greater than 50% of the structures footprint.

- Street level non residential uses shall have a floor to floor height of at least 13'
- When a residential use is located on a street level façade
 - limited to 20% of street level façade
 - a visually prominent pedestrian entry must be provided
 - first floor must be 4' above grade, or set back 10'
- Live work Unit at street level comply with 008.A (blank facades) and 008.B (transparency)

012 Structure Height:

- The maximum height is 40'-0"
- Ht. may be increased by 4', if:
 - 13' ht for residential use provided at street level, or, a grade separated pedestrian entry is provided for residential uses at street levels
 - The additional height will not permit another story that could not be built under the base ht.
- Pitched roof, other then shed or butterfly roof, may extend 5' beyond base ht. (min. 3:12 pitch)
- Rooftop features including elevator and stair penthouses & mechanical equipment may not exceed 25% of the roof area. Greenhouses, clearstories open railings and parapets may extend up to 4'-0" above the maximum height.
- Solar collectors may extend up to 4' above the height limit w/ unlimited coverage; 15' if less then 25% of roof area
- Rooftop features must be 10' from N. edge of roof, unless shadow equal to base ht. at 21 Jan., noon.

013 Floor Area Ratio

- All gross floor area below existing or finish grade, whichever is lower, is exempt from FAR calculations
- Above grade parking within or covered by a structure must be included in FAR calculations.
- Maximum FAR:
 - Mixed-use residential and non-residential structures: 3.25

014 Setbacks:

- landscaped setback per 23.47.016, Screening and Landscaping Standards

016 Landscaping and Screening Standards

- Landscaping must achieve a Green Factor of .30 for any new structure over 4 units
- Street trees are required per SDOT, existing trees count toward the requirement
- Street tree requirements may be waived if they obscure the visibility of retail uses or obstruct pedestrian access to retail uses
- Screen and Landscaping per Table D, 23.47A.016.
 - parking garage 8', or more, above grade – 3.5' screening along perimeter

020 Odor Standards:

- Venting of odors, vapors, smoke, etc. shall be 10'-0" above the finished sidewalk grade, and shall be directed away to the extent possible from residential uses within 50'-0".

022 Light and Glare Standards:

- Exterior lighting shall be shielded from adjacent uses.
- Interior lighting in parking garages shall be shielded.

024 Amenity Areas

- Residential amenity areas of 5% of the total gross residential floor area
 - including, but not limited to, decks, balconies, terraces, roof gardens, plazas, courtyards, play areas, or sports courts
- All residents must have access to at least one amenity space
- Amenity spaces may not be enclosed
- Pedestrian Access to building entries do not count as amenity areas
- Common amenity areas must have a minimum horizontal dimension of 10' and be a minimum of 250 sq. ft.
- Private balconies must have a minimum horizontal dimension of 6' and be a minimum of 60 sq. ft.

030 Required Parking and Loading

- Parking required per 23.54.015
- Loading berths may be required per 23.54.035

032 Parking Location and Access

- If lot does not abut an improved alley and abuts two or more streets access to parking from the street that is not the principal pedestrian street
- When a lot fronts on two, or more, street, DPD may direct which street is used for access
- Parking shall be screened per 23.47A.016
- curb cuts per 23.54.030.F.2.a.1

033 Transportation Concurrency

- All uses shall meet the transportation concurrency level-of-service per chapter 23.52

Chapter 23.53 Requirements for Streets, Alleys, and Easements

015 Improvement Requirements for Existing Streets in Residential and Commercial Zones

- Street improvements required per SDOT standards

035 Structural Building Overhangs

- 8' vertical from sidewalk min.
- 1' horiz, 2'-6" ht., projection for architectural, or decorative features – eaves, etc.
- window bays/balconies – 8' above sidewalk, max. 3' horiz. Projection, 50% open area, 15' max. length, 2' separation (see additional specific requirements)

Chapter 23.54 Quantity and Design Standards for Off Street Parking

015 Required Parking

- Min. parking per SLUC 23.54.015, except as modified in this section
- Bicycle parking required at 1 stall per 4 units for multi-family structures'
- In all commercial zones, other than Pedestrian zones, – no parking required for first 1,500 sf of each 'business establishment'
- Chart A, PARKING FOR NONRESIDENTIAL USES:
 - General Sales and Services – 1 stall/500 sf
 - Eating and Drinking Establishments – 1 stall/250 sf
- Chart B, PARKING FOR RESIDENTIAL USES:
 - Residential use in Commercial zones within Urban Village : – No minimum requirement
- Chart E, PARKING FOR BICYCLES:
 - General Sales and Services and Eating and Drinking Establishments – 1/12,000 sf long term, 1 /4,000 sf short term
 - Multi-family – 1 /4 units

030 Parking Space Standards

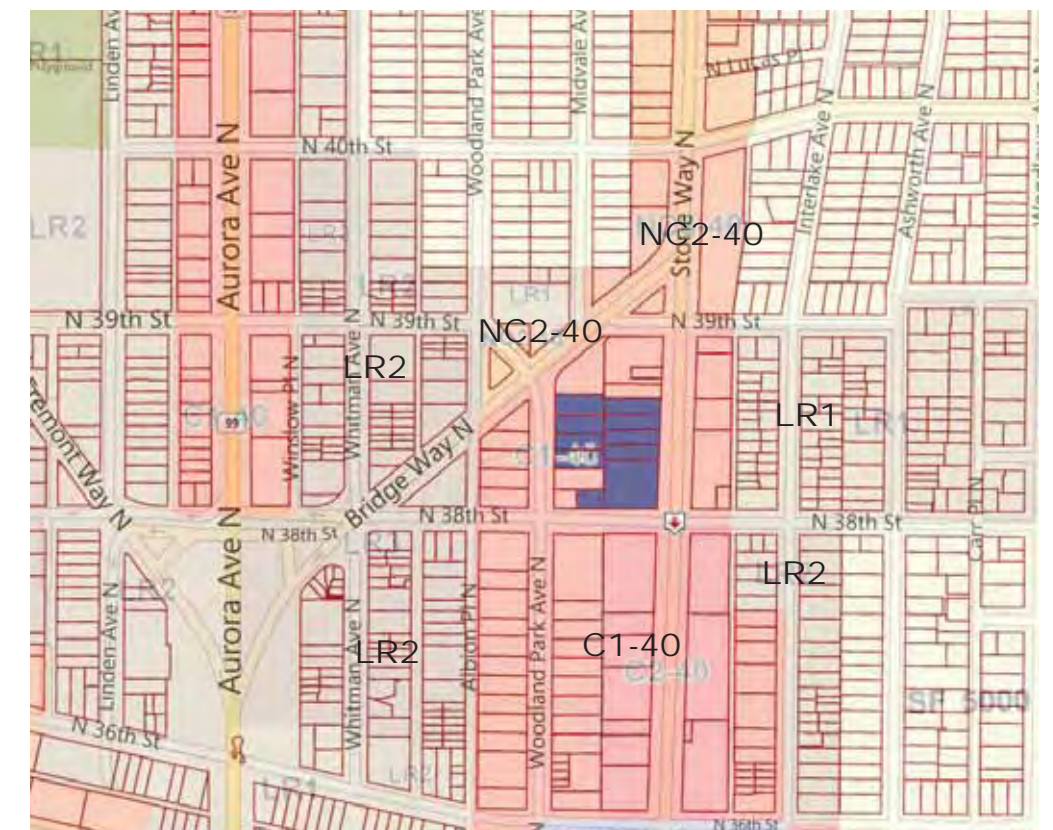
- Number of curb cuts allowed on streets that are not principal arterials; 0'-80'=1, 81'-160'=2, 161'-240'=3, 241'-320'=4
- Curb cut widths; for two-way traffic 22' min, 25' max.
- all garage entries shall be a minimum 6'-9" high
- When an unused curb cut is no longer needed the curb cut must be replaced.

Director's Rules

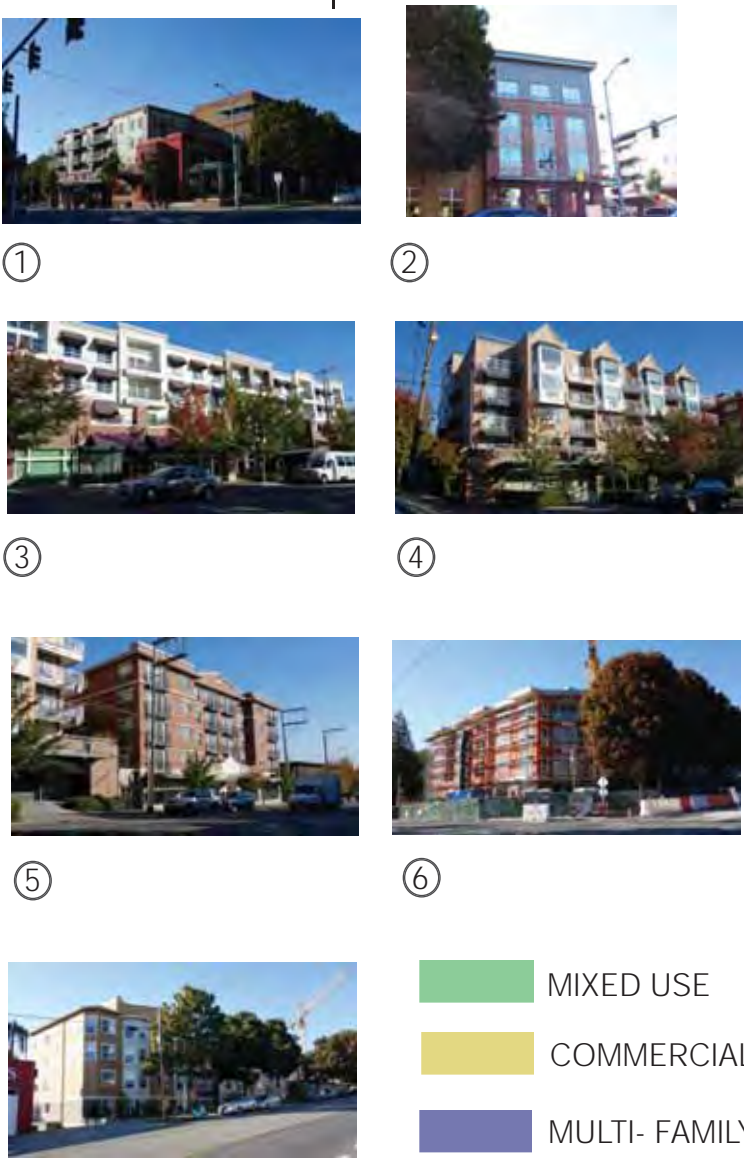
- DR 17-2008, Environmental Review (SEPA)
- Required when construction of more than 4 units in C1 outside an Urban Center.

Design Review Guidelines for Multifamily and Commercial Buildings
Effective October 1993, updated November 1998; also includes the January 2007 revised Section D: Pedestrian Environment.

[Fremont Neighborhood Plan, adopted](#)



DPD Zoning Map



- MIXED USE
- COMMERCIAL
- MULTI- FAMILY RESIDENTIAL

Opportunities and Constraints

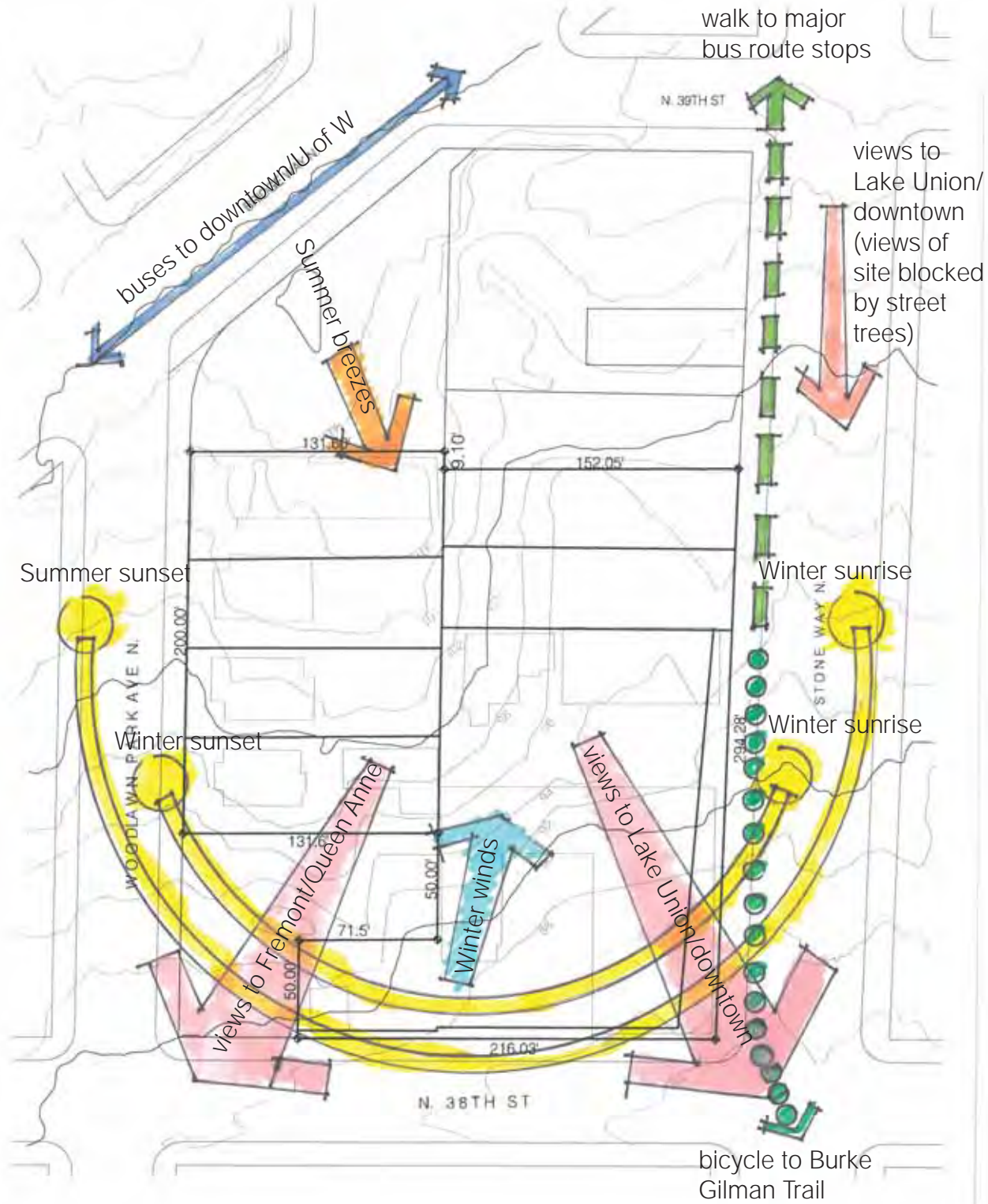
The site is located in the C1 zone in the Wallingford neighborhood. The development is a mixture of commercial, mixed use, and single family residences.

The site is located within walking distance of as well as numerous commercial districts, parks and family oriented neighborhoods.

The site is largely bound by major arterials. Major streets include Aurora Ave N five blocks to the west and NE 45th Street to the north. Aurora Ave N is one of the main north-south transportation corridor through Seattle and NE 45th Street provides direct access to both Interstate 5 and downtown.

Views can be seen from southwest of project site.





PROJECT SITE



STONE WAY N LOOKING WEST



WOODLAND PARK AVE N LOOKING EAST



PROJECT SITE



N 38TH ST LOOKING NORTH



variations in rooflines



window bays



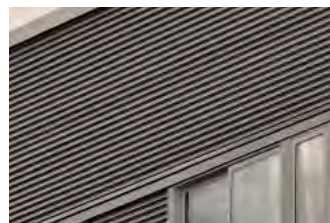
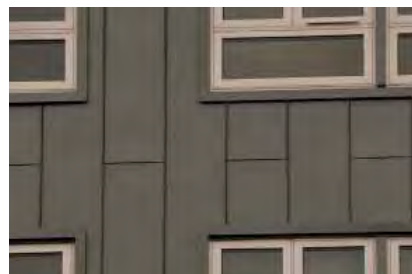
street connections and residential open space



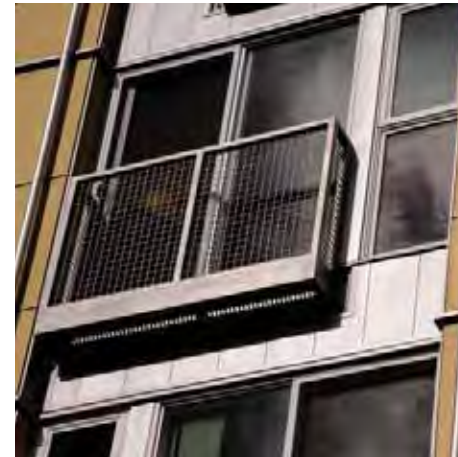
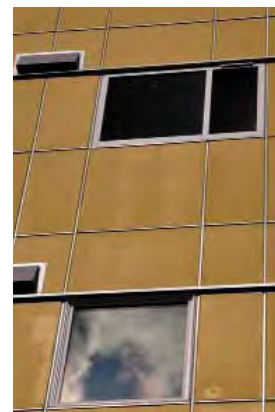
transitions in materials/facade broken up into sections/changes in rooflines



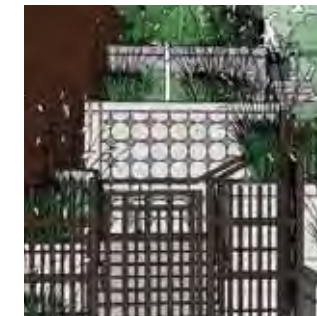
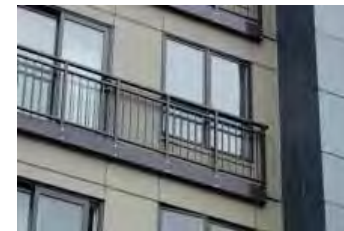
transitions in materials



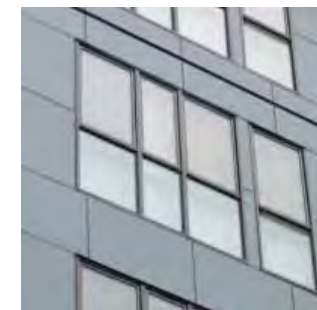
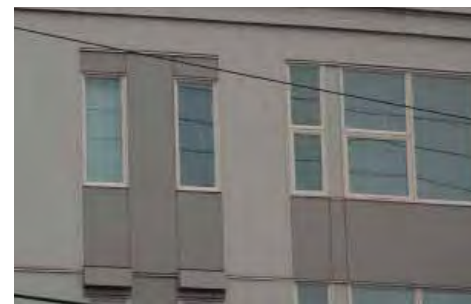
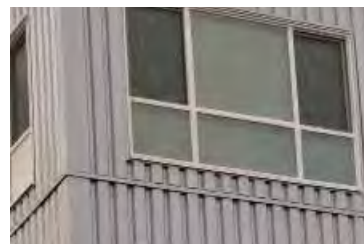
variation in materials



integrated decklets



residential and L/W connections to street



Design Option 1

Description

3-4 stories of residential over ground floor commercial; underground parking; residential courtyard at L1; roof terraces at the SW of site at L5; Live-work units on Woodlawn Park Ave. N.

Advantages

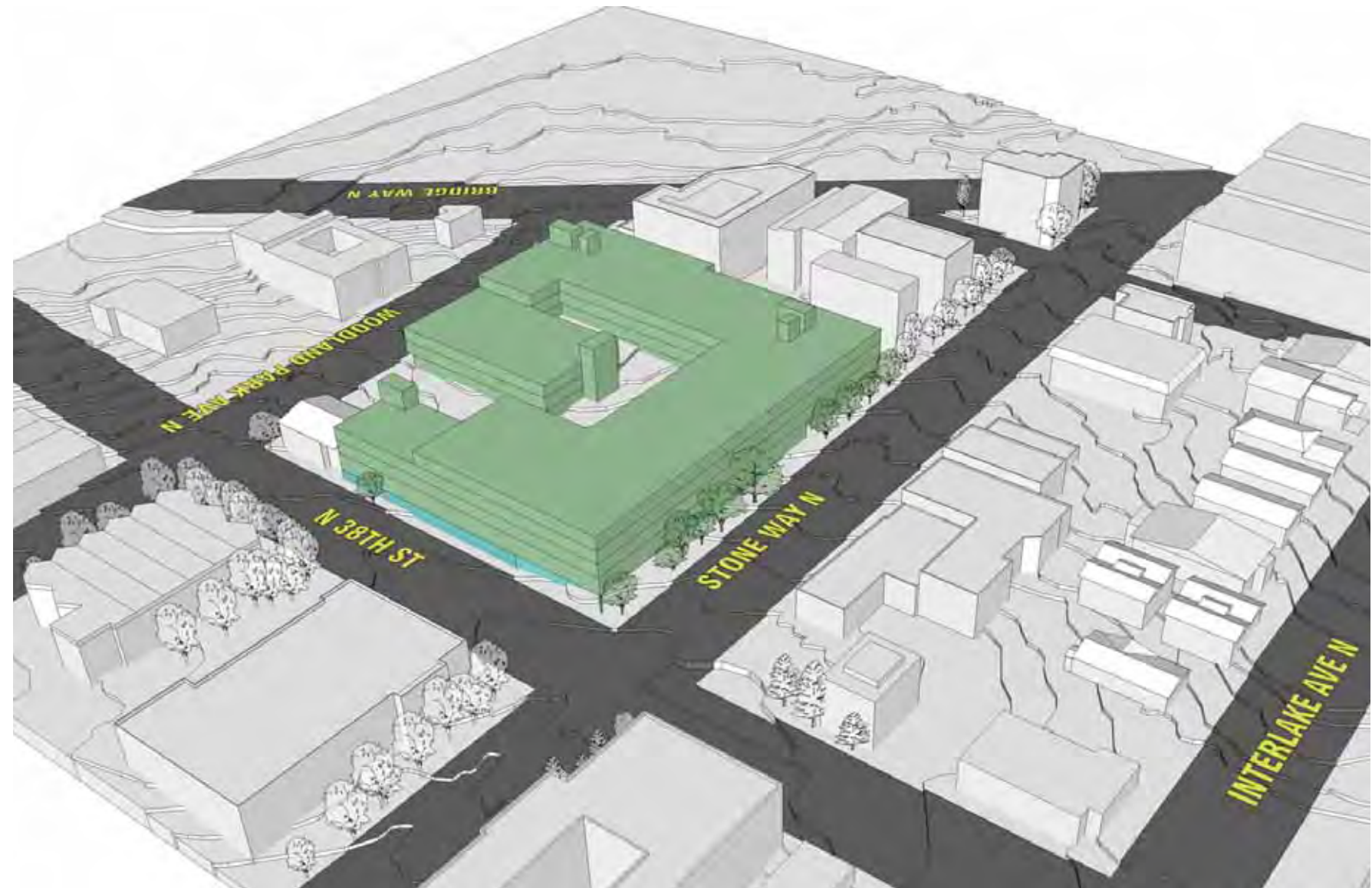
- A-4/C-3 maximizes human activity along Stone Way; retail steps in towards S
- A-8/C-5 garage located on 38th, away from retail and Stone Way
- A-5 courtyard at N locates units away from adjacent site
- D-1 residential lobby enters at L2, towards the NE corner of the site, closer to transit, and between residential floors
- A-6 Live-work on Woodlawn Park Ave. N. setback from sidewalk
- A-7 residential courtyard at L1; roof terraces at the SW of site at L5
- D-6 Garbage/Recycle screened

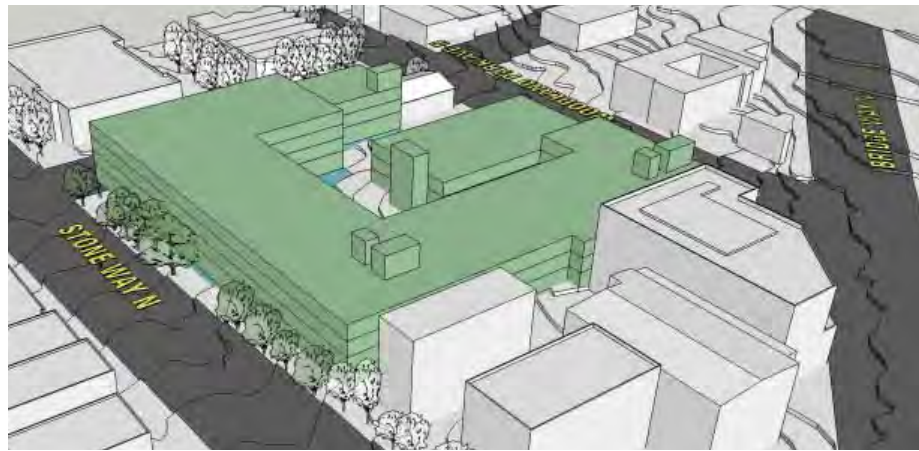
Drawbacks

- A-1 project doesn't step with sloping site
- D-2/D-5 Blank wall at garbage/recycle and garage concentrated on 38th

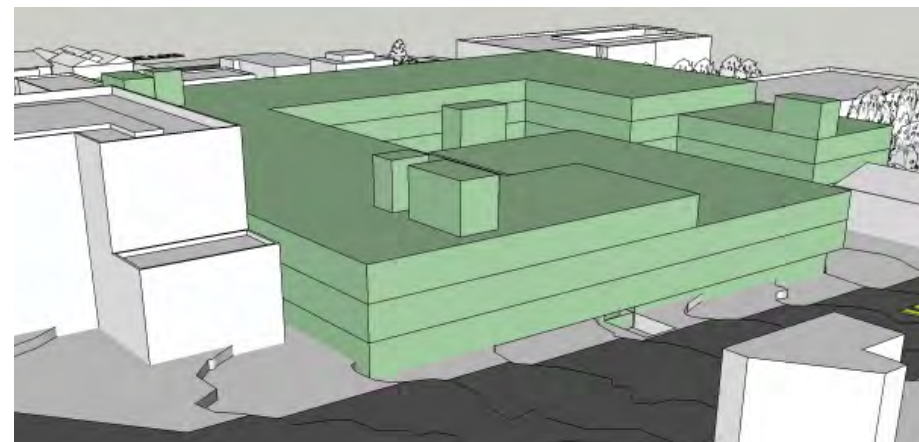
Departures

1. SMC 23.47A.08.B.2.a - 60% of street level facade between 2-8 feet above the sidewalk shall be transparent. Reduced transparency on Woodlawn Park Ave. N.
2. SMC 23.47A.008.D.3 - floor of unit 4' above, or 4' below sidewalk grade, or set back 10' from the sidewalk. Units on Woodlawn Park Ave. N. may be closer.

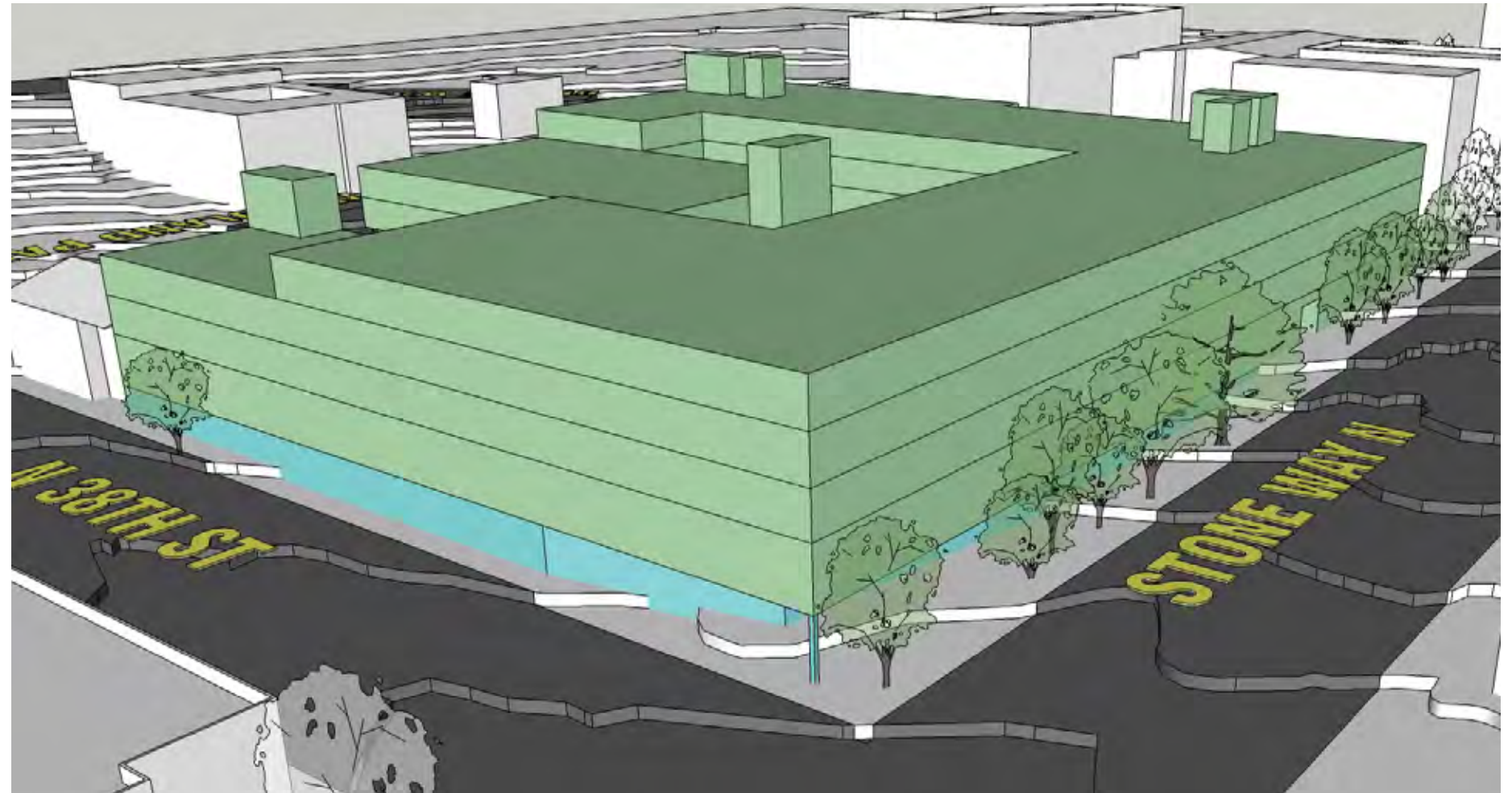




NORTH EAST AERIAL



NORTH WEST AERIAL



SOUTH EAST AERIAL



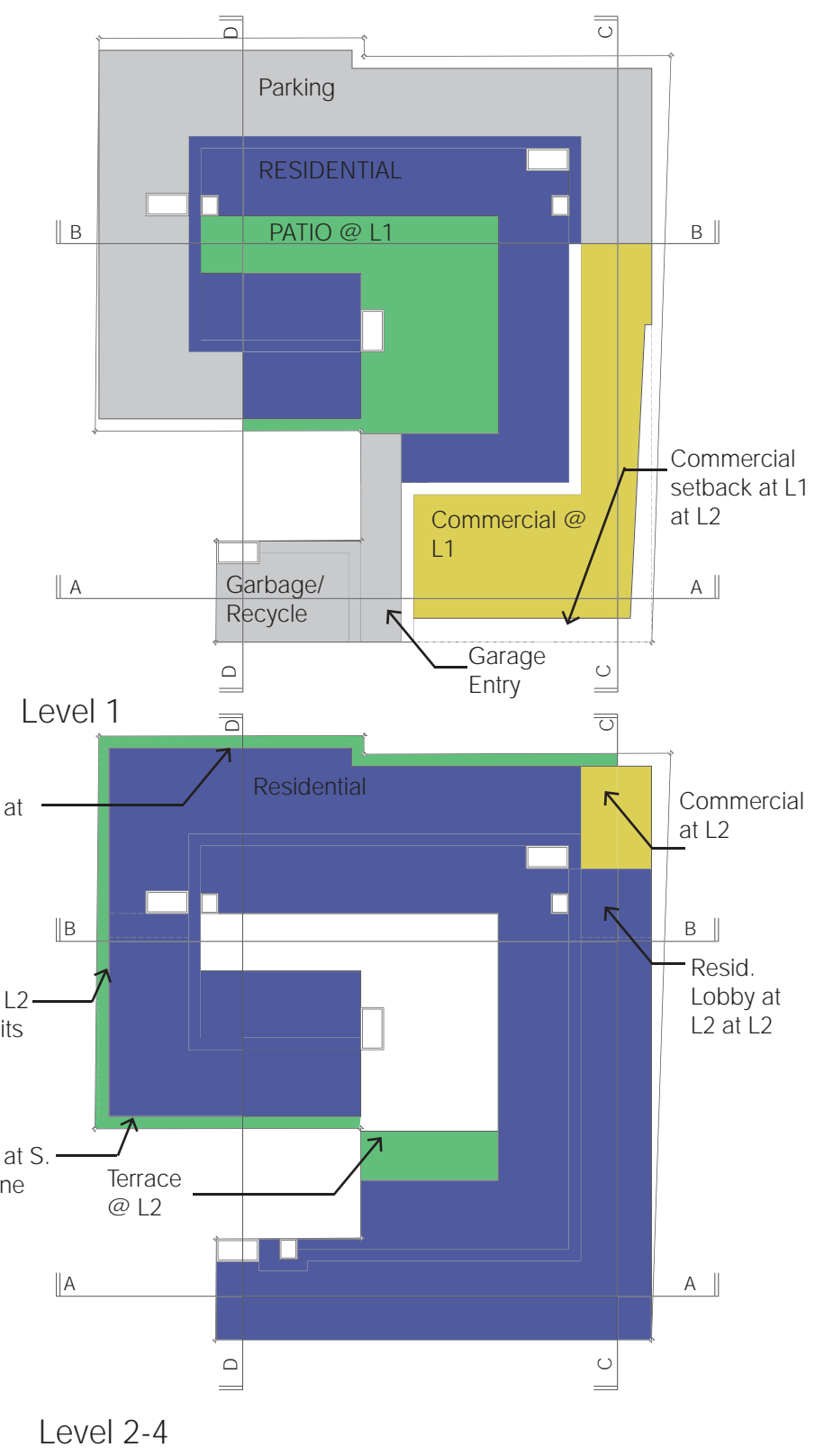
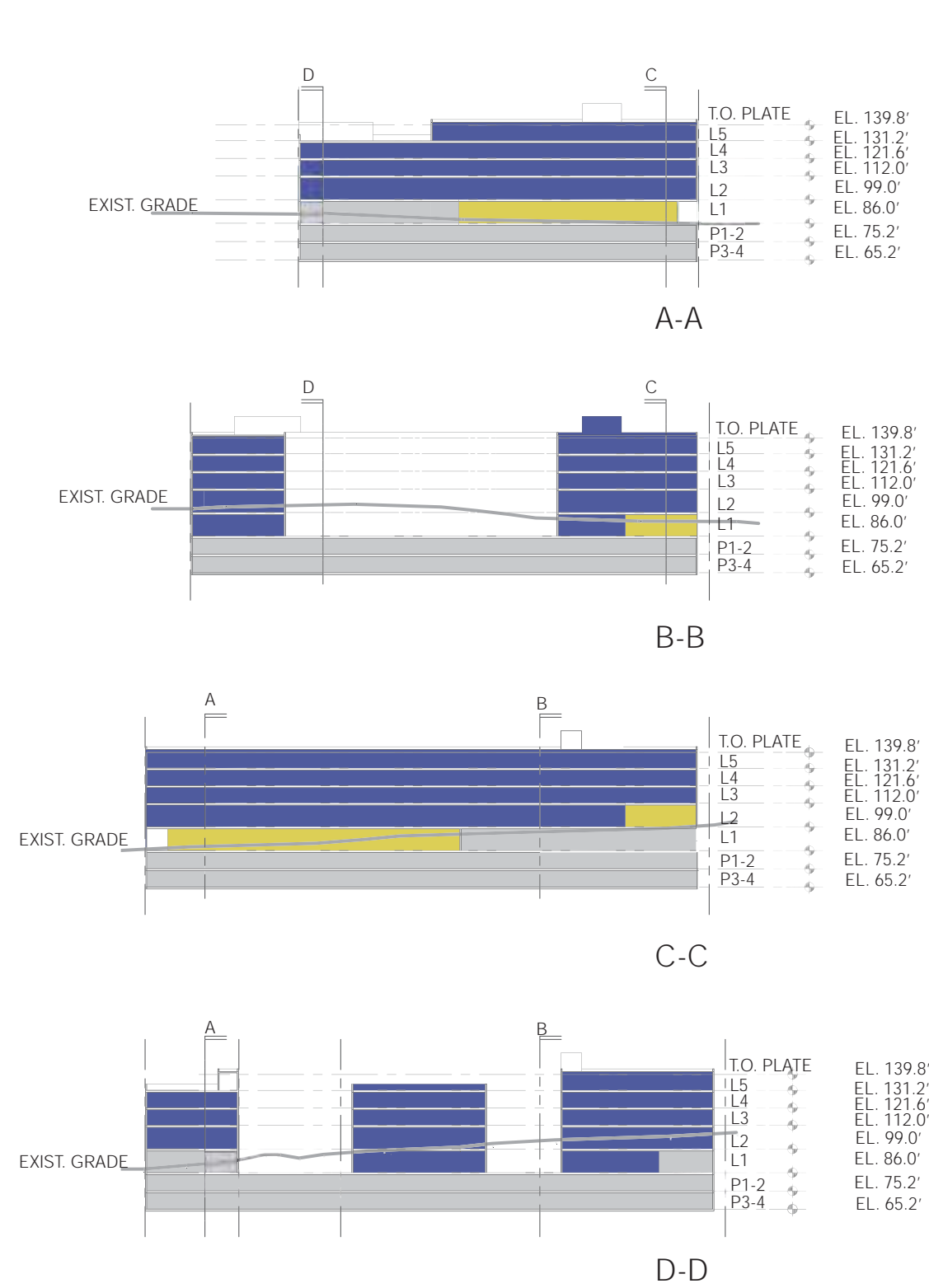
WOODLAND PARK AVE



STONE WAY AVE



SOUTH WEST AERIAL



Design Option 2

Description

3-4 stories of residential over ground floor commercial; underground parking; residential courtyard at L1; roof terraces at center of site at L5; Live-work units on Woodlawn Park Ave. N.

Advantages:

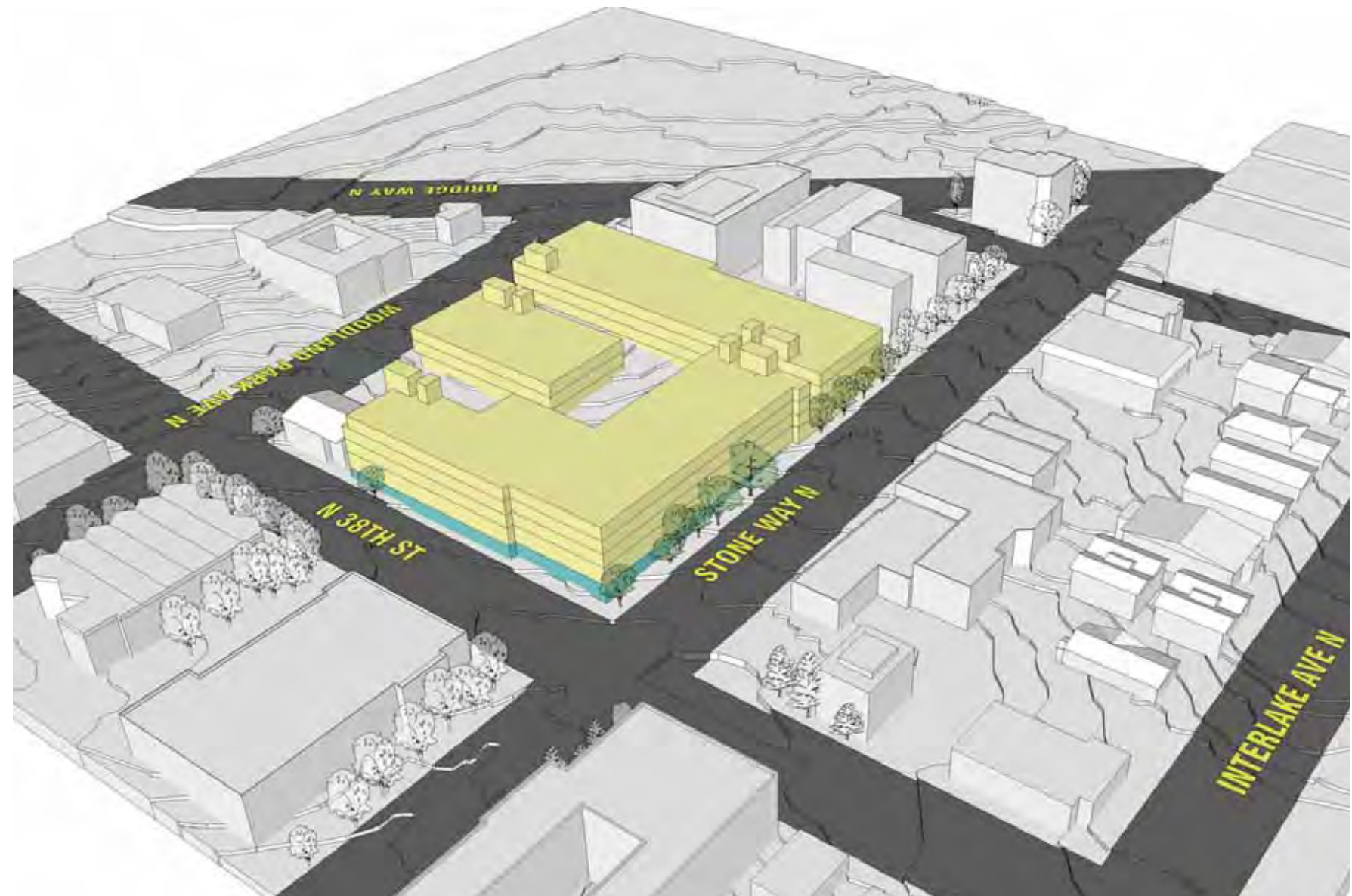
- A-4/C-3 maximizes human activity along Stone Way; retail steps in
- A-8/C-5 garage located on 38th, away from retail and Stone Way
- D-1 residential lobby enters at L2, towards the NE corner of the site, closer to transit, and between residential floors
- A-7 residential courtyard at L1; roof terraces at L5 on center building
- D-6 Garbage/Recycle screened
- E-2 landscaped interior courtyard visible from street

Drawbacks:

- A-1 project doesn't step with sloping site
- D-2/D-5 Blank wall at garbage/recycle and garage concentrated on 38th

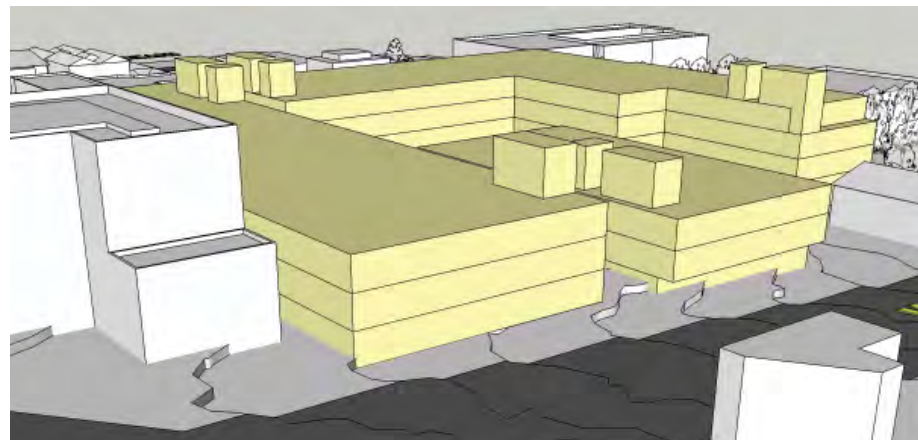
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2. SMC 23.47A.008.D.3 - floor of unit 4' above, or 4' below sidewalk grade, or set back 10' from the sidewalk. Units on Woodlawn Park Ave. N. may be closer.





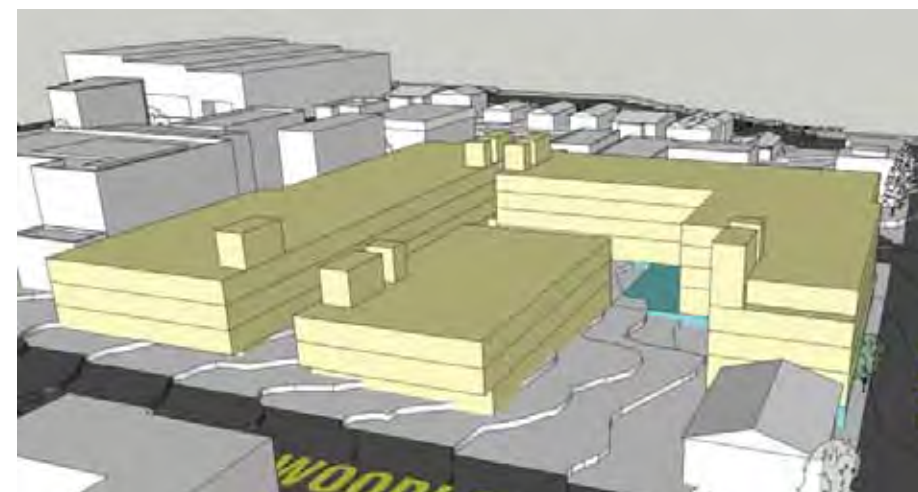
NORTH EAST AERIAL



NORTH WEST AERIAL



SOUTH EAST AERIAL



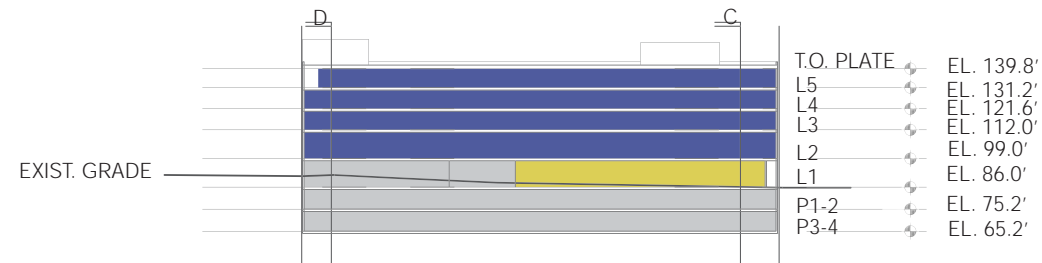
WOODLAND PARK AVE



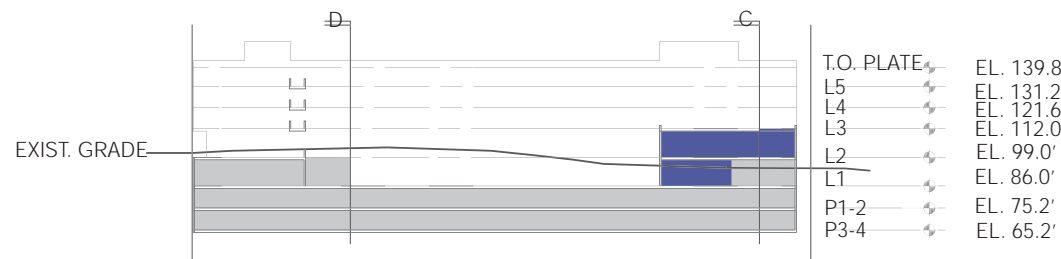
STONE WAY AVE



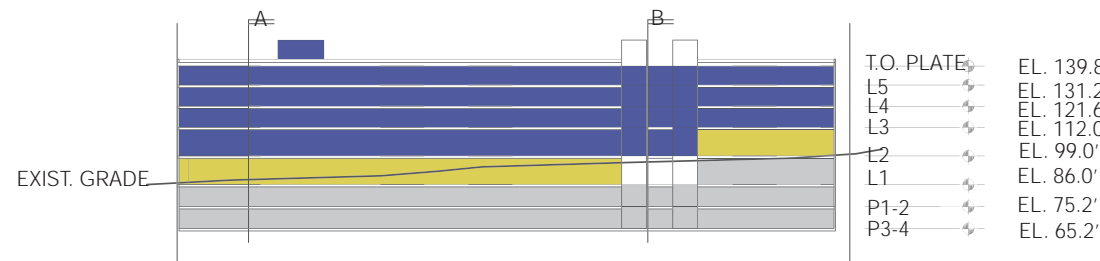
SOUTH WEST AERIAL



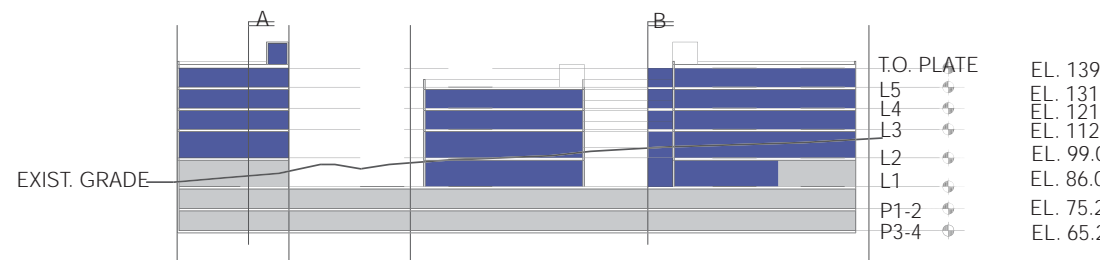
A-A



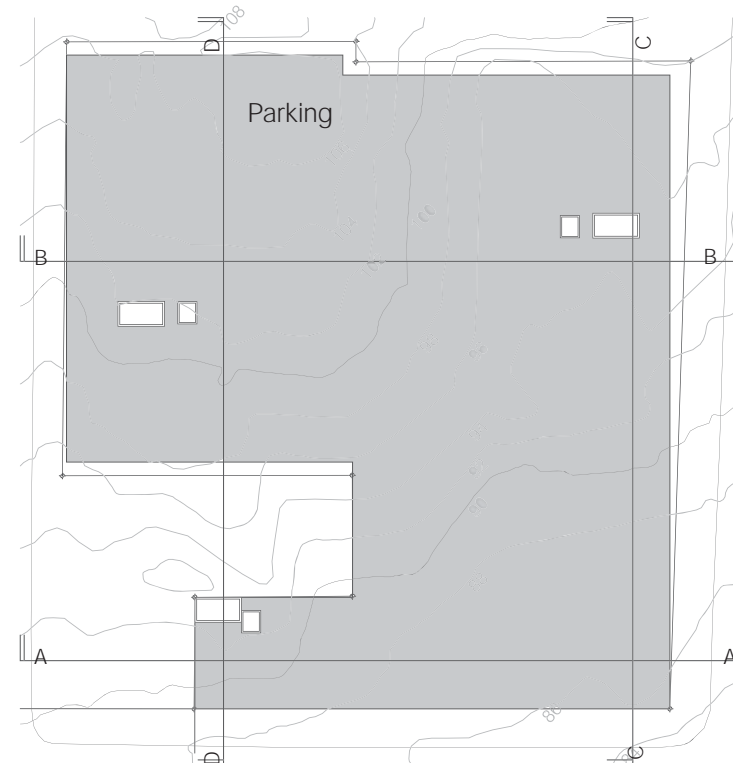
B-B



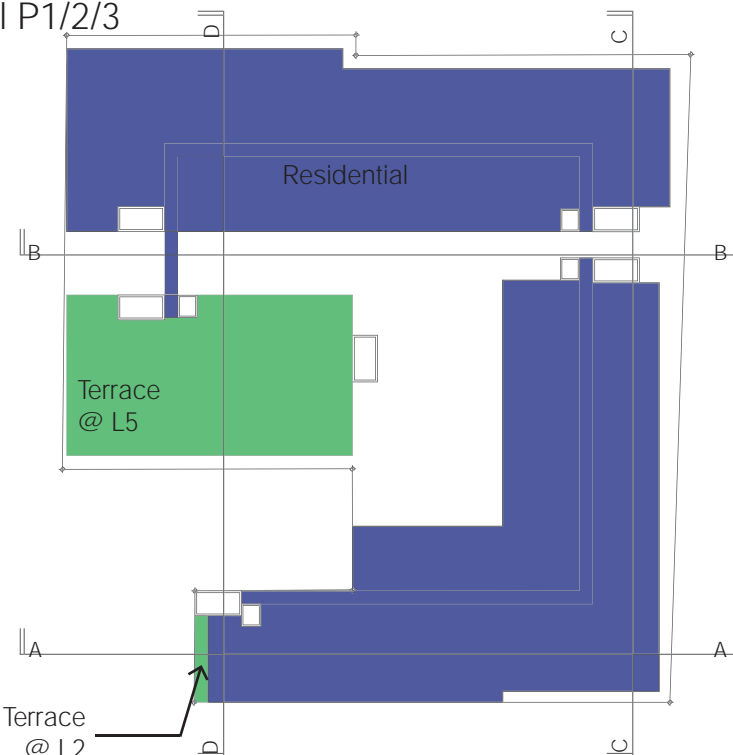
C-C



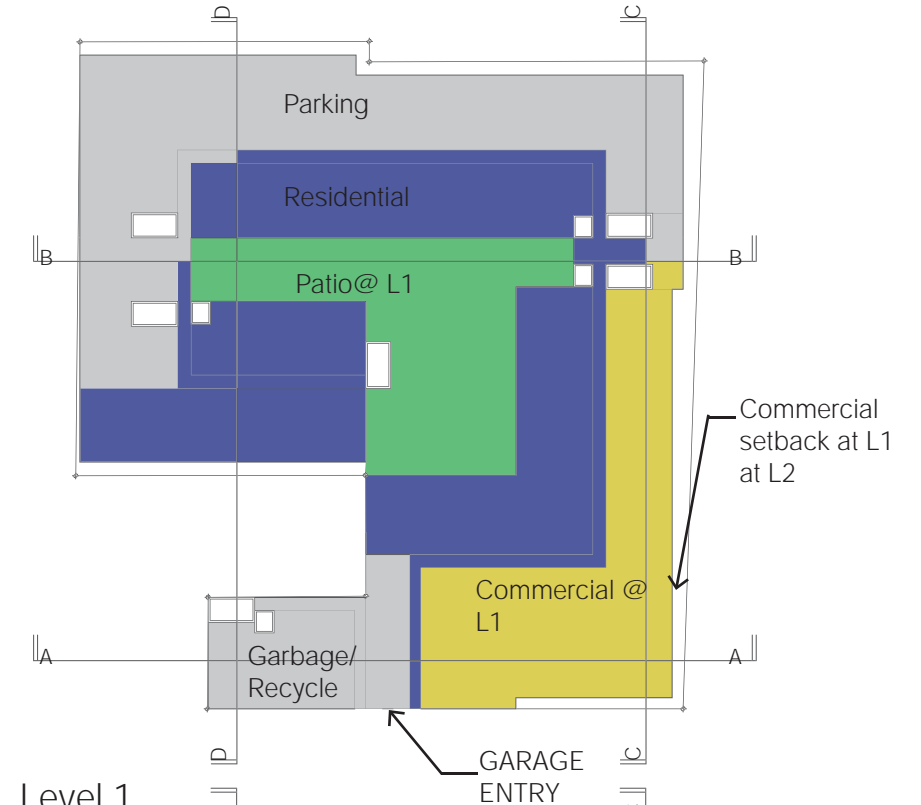
D-D



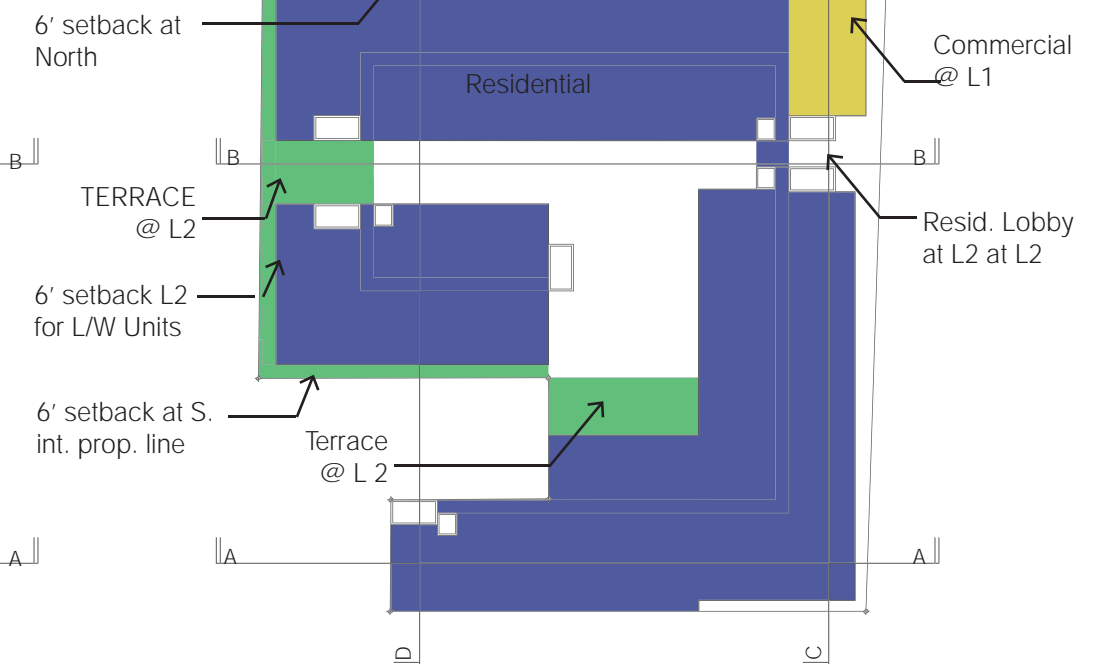
Level P1/2/3



Level 5/ Roof



Level 1



Level 2-4

Design Option 3

Description

3-4 stories of residential over ground floor commercial; underground parking; two residential courtyards at L1; roof terrace at South of site on L5; Live-work units on Woodlawn Park Ave. N.

Advantages:

- A-1 project steps with sloping site
- A-4/C-3 maximizes human activity along Stone Way
- A-8/C-5 garage located on 38th, away from retail and Stone Way
- A-3/D-1 open residential court entry at L2, at NE corner of the site, closer to transit, and between residential floors
- A-6 Live-work on Woodlawn Park Ave. N. setback from sidewalk
- A-7 residential courtyards at L1; roof terraces at South of site on L5
- D-6 Garbage/Recycle screened
- E-2 landscaped interior courtyard visible from street at residential entry

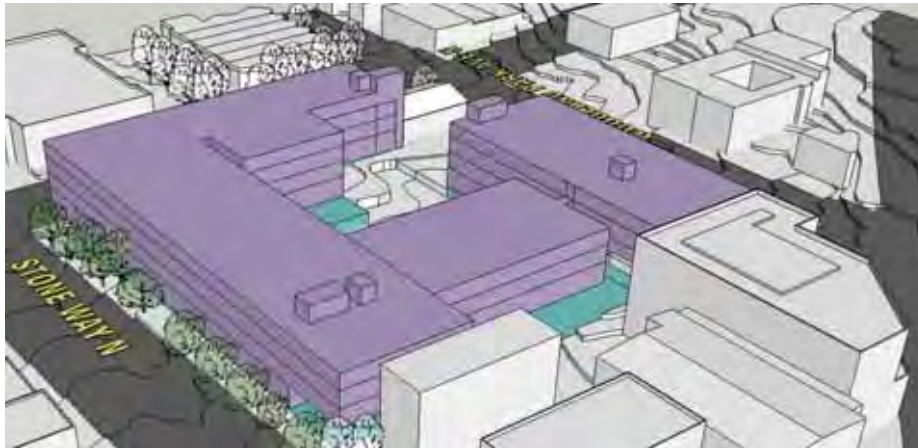
Drawbacks:

- D-2/D-5 Blank wall at garbage/recycle and garage concentrated on 38th

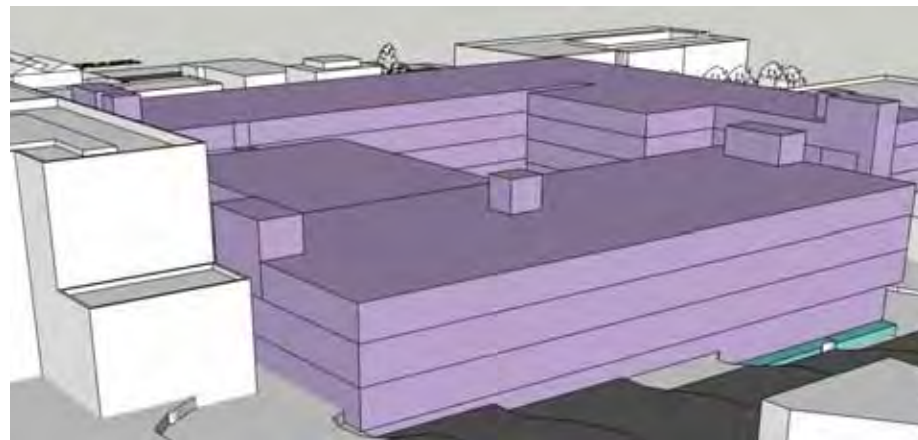
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NORTH EAST AERIAL



NORTH WEST AERIAL



SOUTH EAST AERIAL



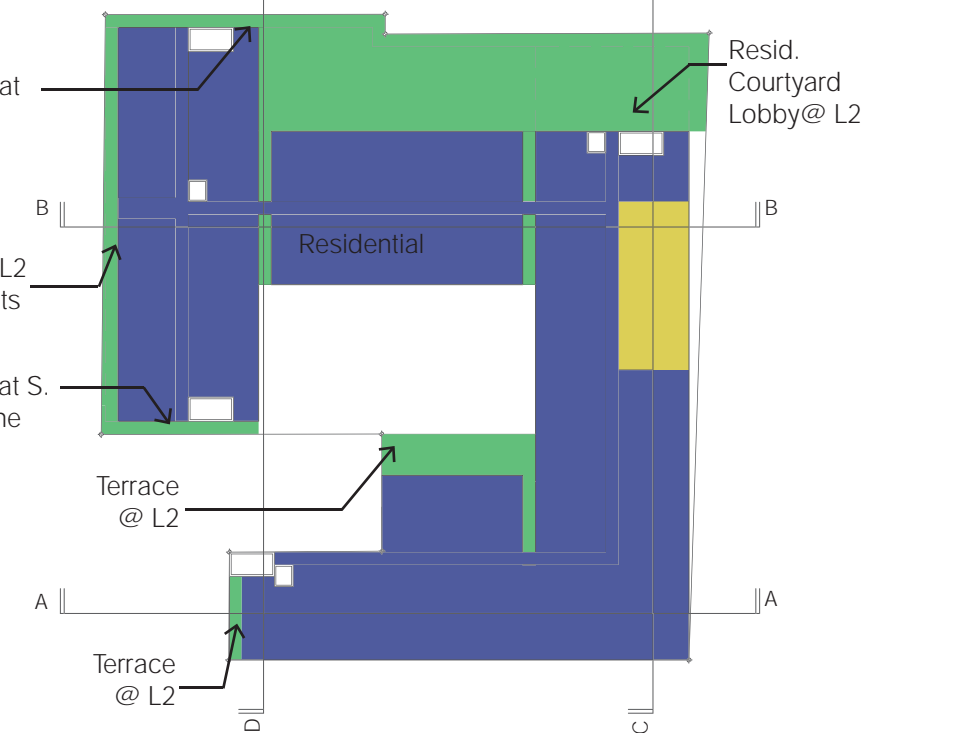
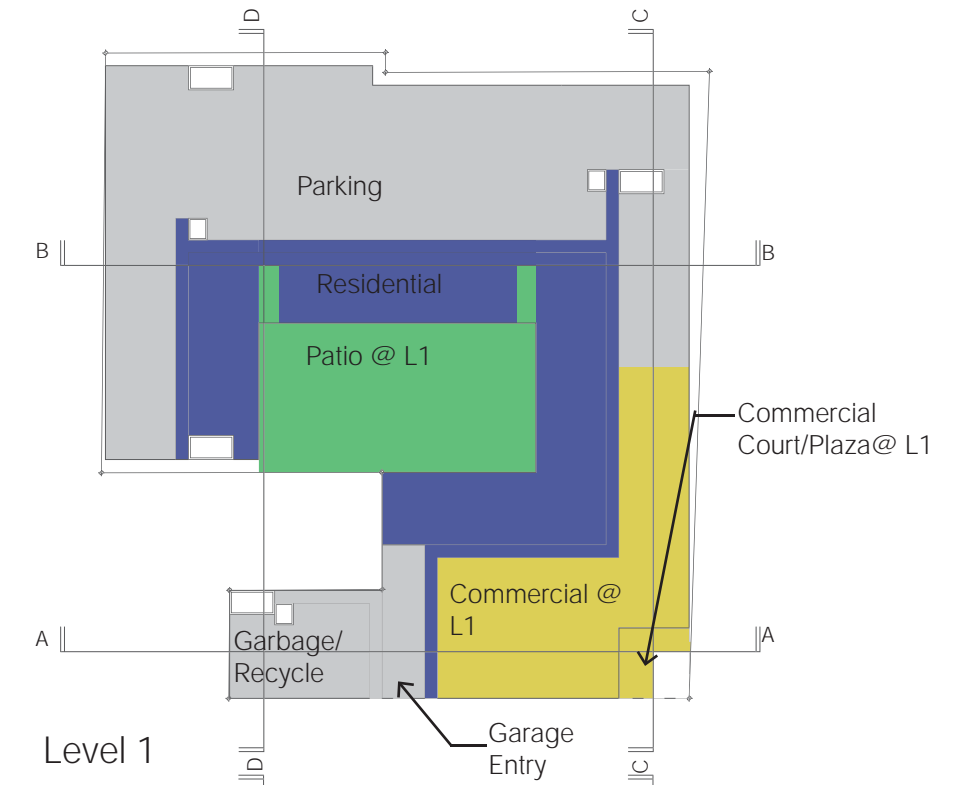
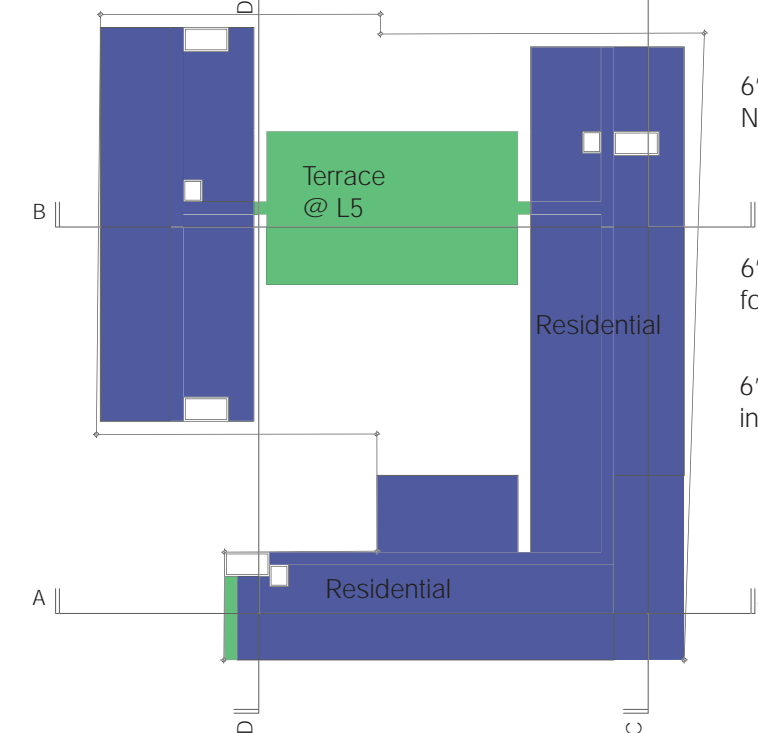
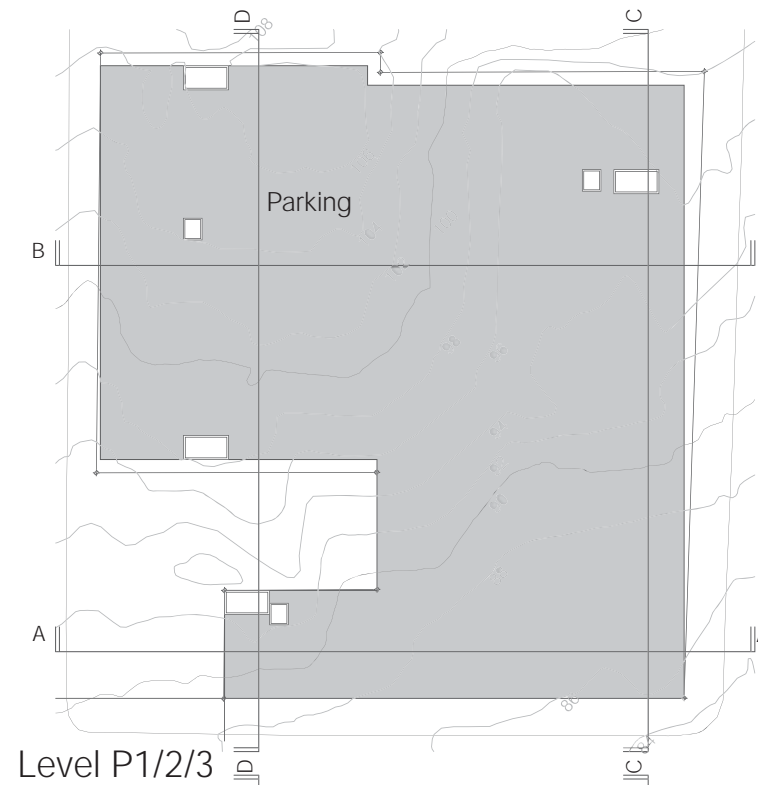
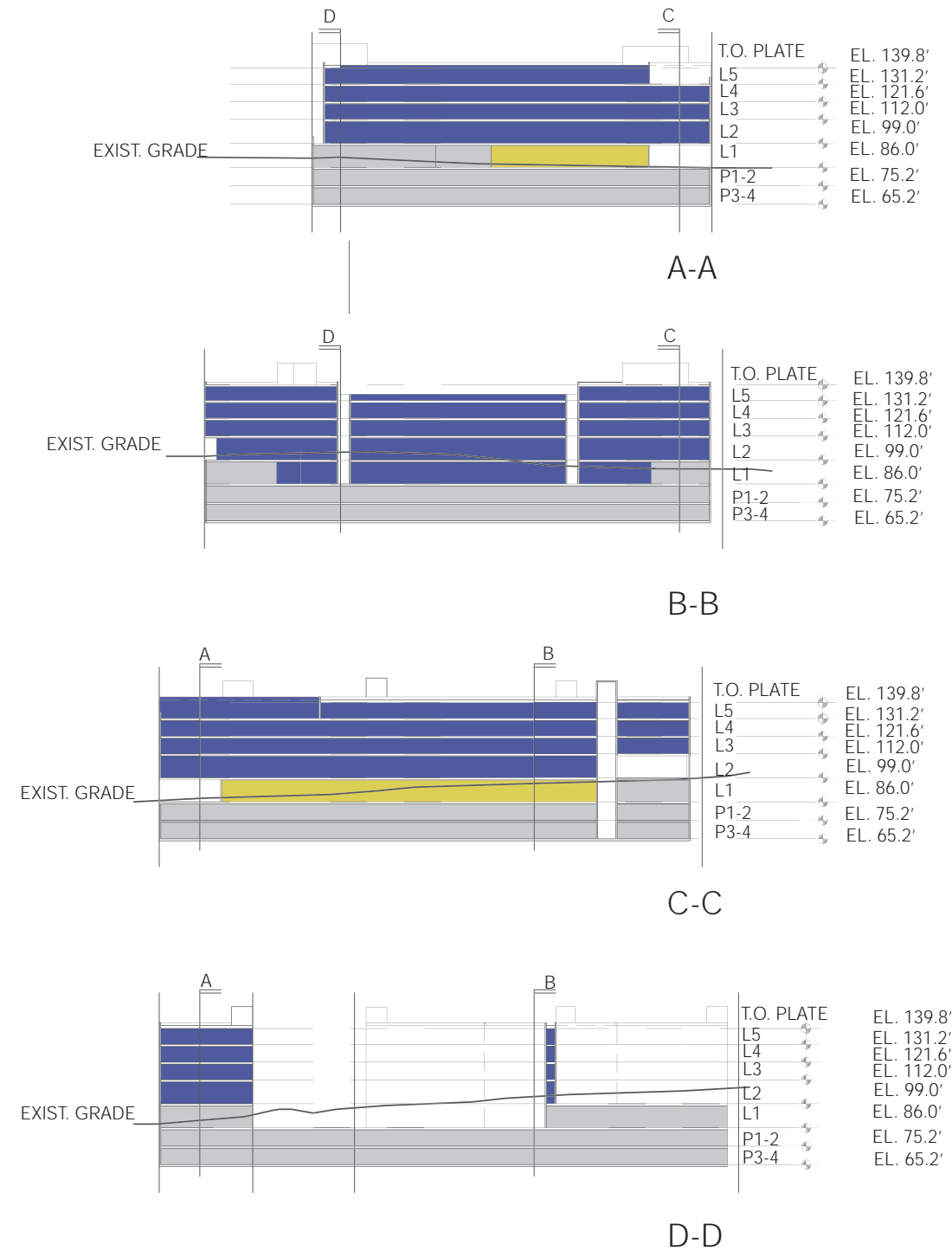
WOODLAND PARK AVE



NE CORNER STONE WAY AVE



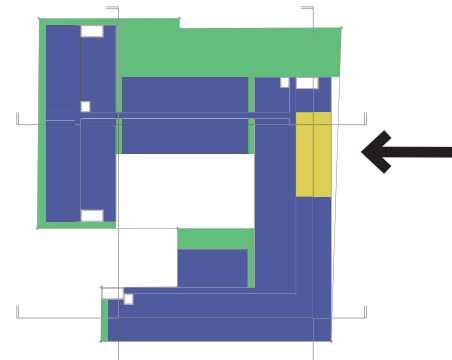
SOUTH WEST AERIAL





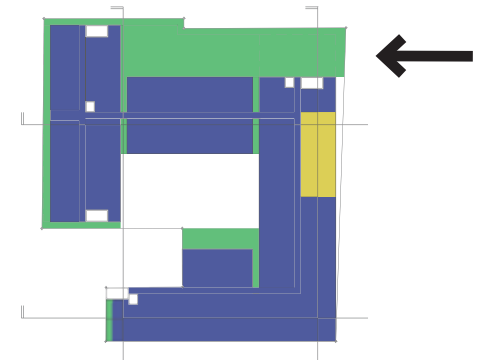
MID-BLOCK COMMERCIAL ON STONE WAY

Mid-Block commercial spaces on Stone Way Ave N. will step with the topography. As it steps down the street, the floor to floor ht. will increase from L2's 13' height



RESIDENTIAL COURT ENTRY ON STONE WAY & N 38TH

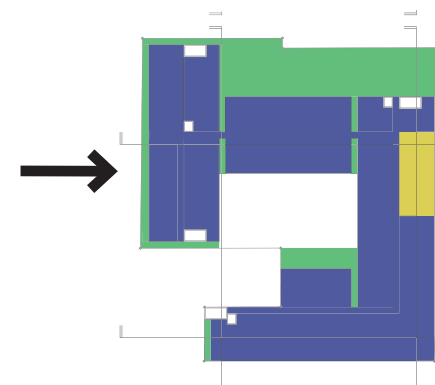
Main residential lobby is located at L2 in the NW corner of the site. The covered entry opens in to a landscaped courtyard beyond.





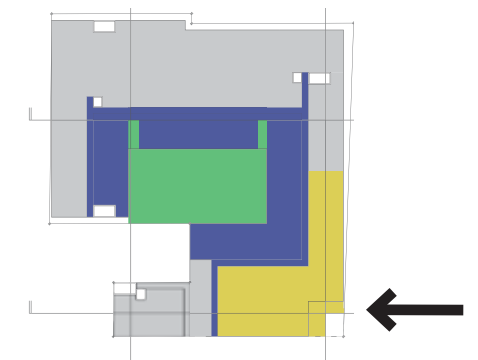
LIVE-WORK ON WOODLAND PARK AVE N

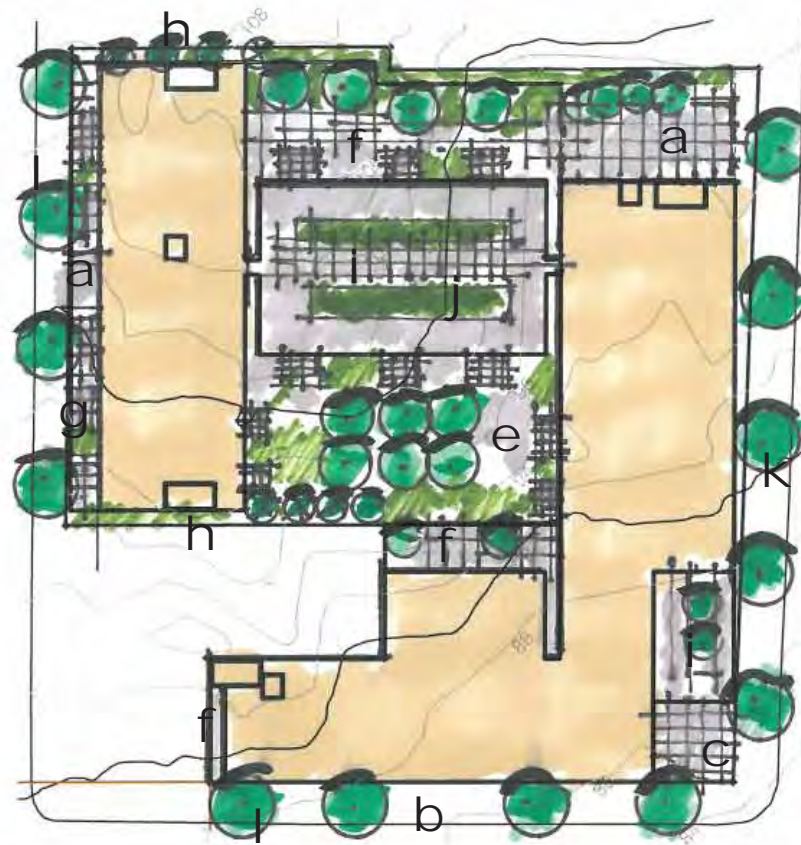
The Live-Work units on Woodland Park Ave. N. will step down with the sloping street. Each unit will have a patio entry with a garage door to open the unit to the exterior.



COMMERCIAL ON STONE WAY AVE N.

The largest commercial space is at the corner of Stoneway Ave. N. and N. 38th St. A protected patio entry leads to the commercial space. The glazed corner allows visibility into the retail while anchoring the corner and emphasizing the continuation of the important Stone Way streetscape.





KEY

- a Residential Lobby/Entry @ L2
- b Garage In/Out
- c Commercial Patio/Court @ L1
- d Commercial Patio @ L2
- e Resid. Patio @ L1
- f Residential Terrace @ L2
- g Live/Work Patios @ L2
- h Landscaping @ Interior Prop. Line
- i Residential Terrace @ L5
- j Rooftop 'Pea Patch'
- k Existing Street Trees
- l New Street Trees





Joule, DAPS



Badger Mountain; under construction



Liberty Gateway; under construction



Liberty Gateway; under construction



Joule, DAPS



Regata, DAPS



Bear Creek; permitting 2012



The Dexter, DAPS

'DAPS' indicates personal experience



Concord, DAPS



Bear Creek; permitting 2012



Bailey Farm; under construction



Holman Rd.; MUP permitting 2012



Holman Rd.; MUP permitting 2012



River 8, DAPS



Mullan Ranch Clubhouse; constructed 2012