

**DESIGN REVIEW
1366 31ST AVE S.
SEATTLE, WA 98144**

07/09/13

**DPD PROJECT
#3013904**

**RECOMMENDATION
MEETING**



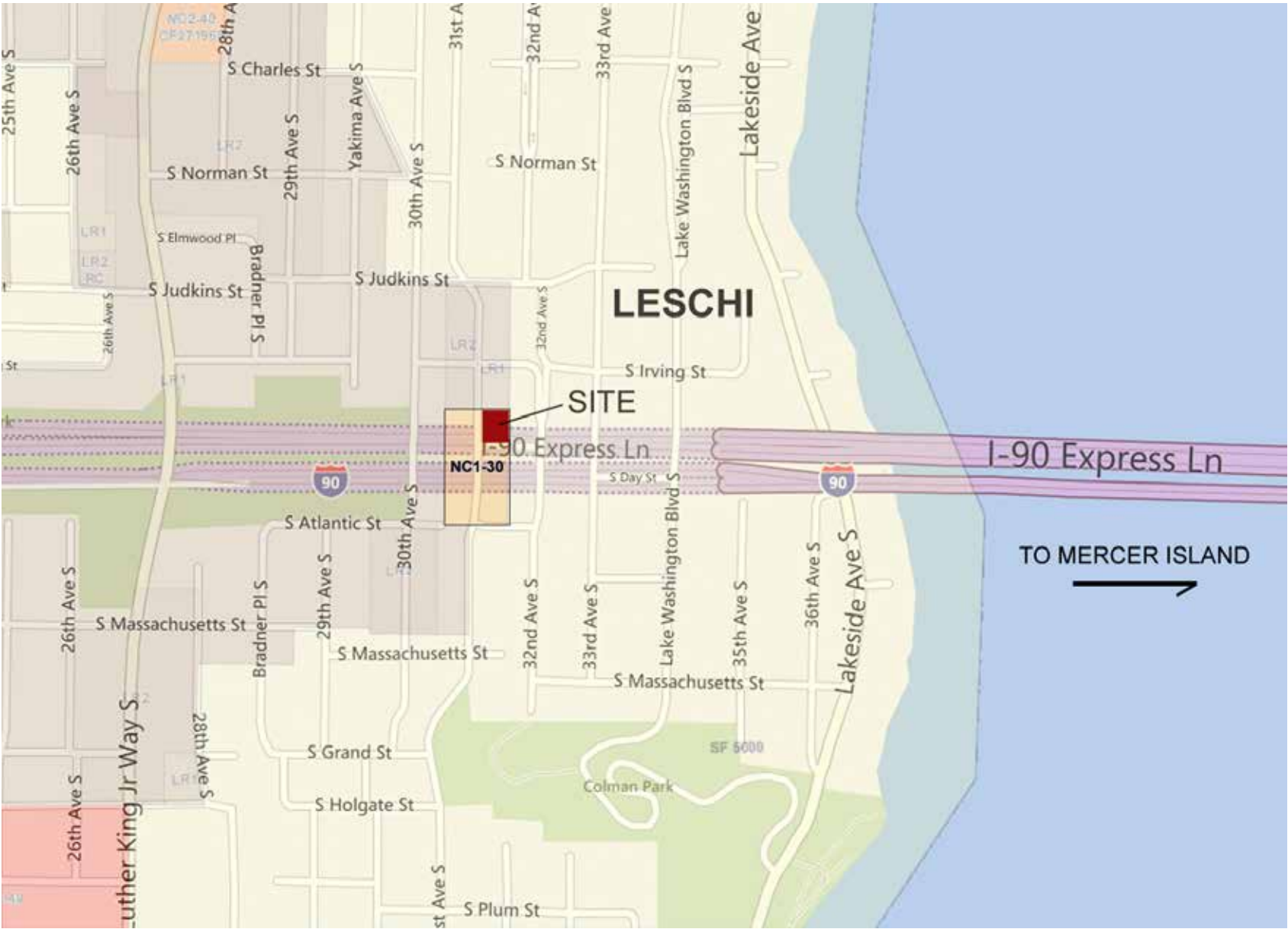
Birds eye view looking North-East

NEIGHBORHOOD: Mt. Baker

SITE AREA: 11,500 sf

ZONING: NC1-30

SUMMARY OF DEVELOPMENT STANDARDS: Height Limit: 30' + 4' bonus (SMC 23.47A.012)



Aerial View

PROJECT DESCRIPTION

The proposed development is a 3 story mixed-use project with 2 floors of multifamily residential apartments over ground floor retail with 1 level of subgrade storage. The project will be built in one phase and consists of 18 residential units with approximately 5,000sf of street-oriented retail. A residential courtyard provides outdoor space between the east and west ends of the building and will serve as an amenity for building residents. On grade landscaping on the south side of the building and above grade landscaping on the north and east sides will offer retail tenants and the surrounding neighborhood enhanced greenery. A ground floor awning will provide retail patrons and residents covered outdoor space. A greenscreen is proposed along the south facade along with 3 new street trees seperating the parking garage from street oriented storefronts. A large roof deck for building residents will feature outdoor amenity space, landscaping, a dog lawn, and a large area of solar panels to help reduce the environmental impact of the project. The two floors of residential units will feature a mix of one and two bedroom units. Parking for retail and residential uses will be provided in an on grade parking garage, as well as ample bicycle parking.

USE SUMMARY

- # of residential units: 18 units
- SF of retail commercial: 5,000 sf
- Parking: 21 stalls

FLOOR AREA RATIO

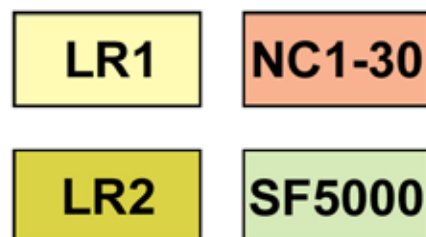
- Zoning FAR: 2.5 (mixed-use)
- FAR limit: 2.5x 11,515 sf site area = 28,788 sf
- FAR proposed: 25,815sf (2,973 under limit)

- Floor area summary:	Gross Floor Area	FAR
> SUBGRADE 1:	5,286sf	n/a
> 1ST:	10,879sf	10,879sf
> 2ND:	7,468sf	7,468sf
> 3RD:	7,468sf	7,468sf
> ROOF		
		25,815sf



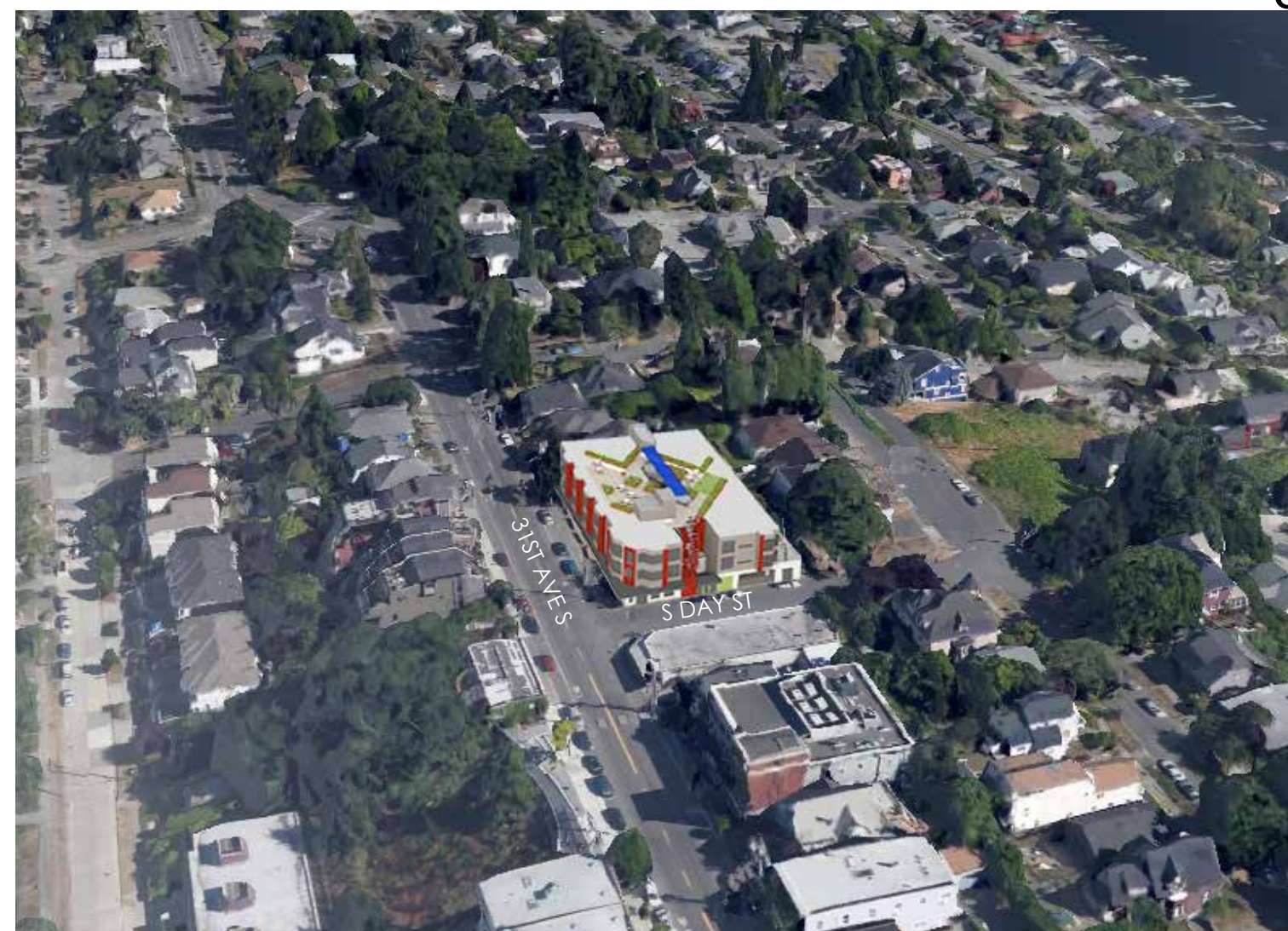
Vicinity Map

ZONING KEY:



AREA ZONING

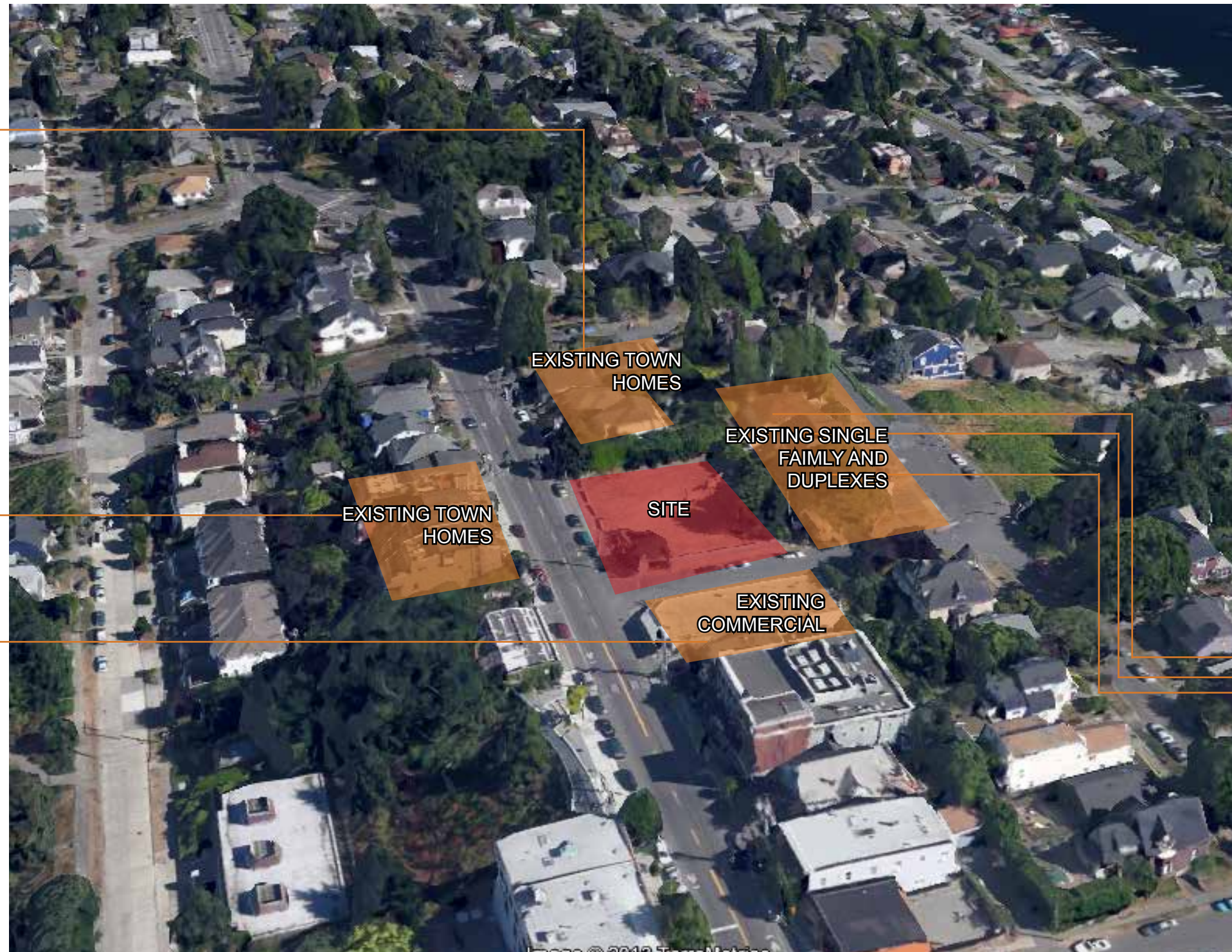
Neighboring properties to the south and west are also zoned NC1-30. The lot to the north is zoned LR-1 while the lot to the northwest is LR-2. Areas to the east are zoned SF-5000. Properties to the west of the NC1-30 zone are primarily LR-1 and LR-2.



Three Block, 3D

Zoning summary:

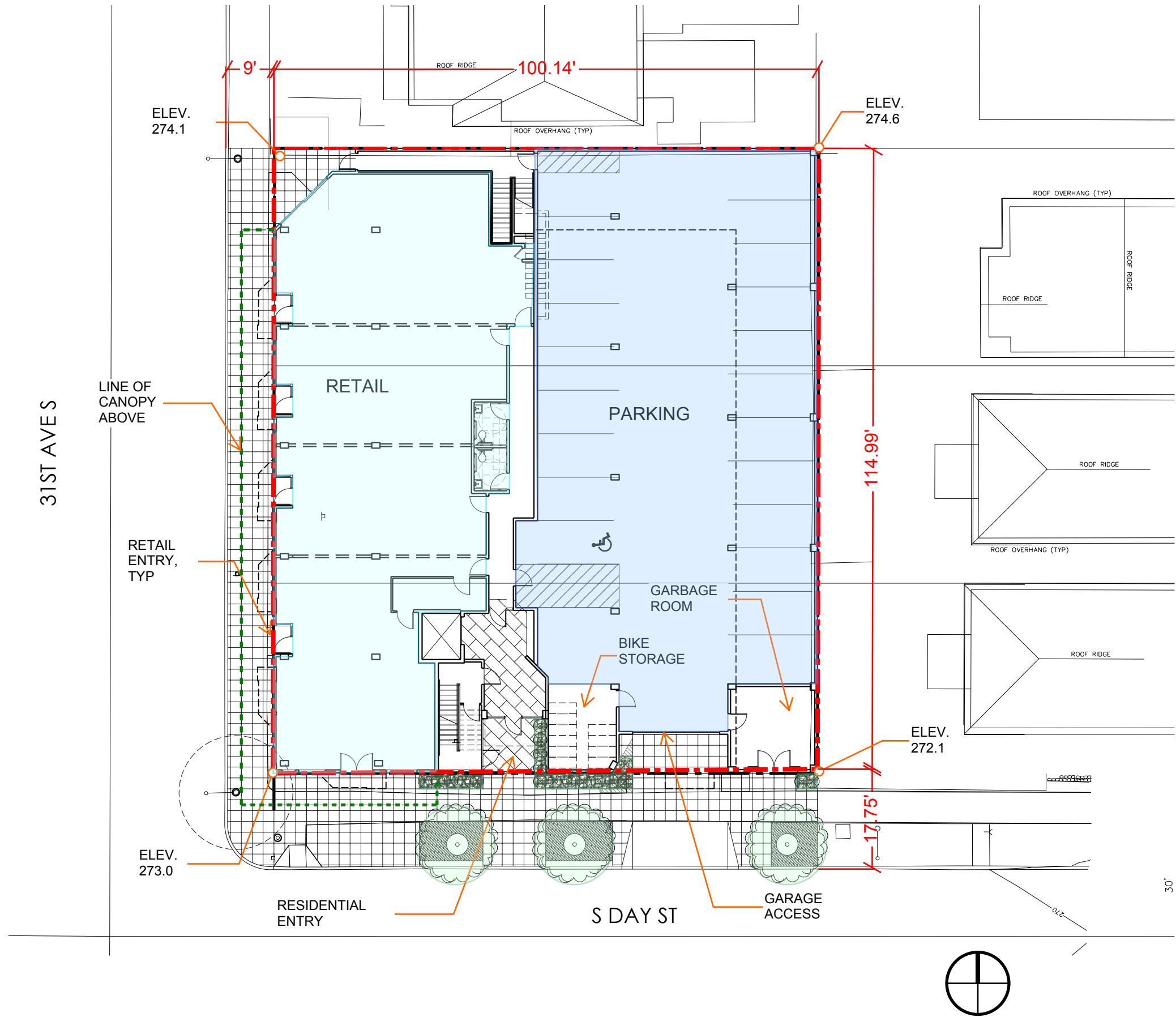
The site is zoned NC1-30. The height limit is 30', with a 4' bonus for a 13' floor to floor height at ground level, which the project will be taking advantage of. Stair/elevator penthouses, solar panel support structures, and mechanical equipment may extend up to 15' above the height limit. Parapets, planters, open railings, and firewalls may extend up to 4' above the height limit. The FAR limit is 2.5 for mixed use buildings. Setbacks of 15' from residential zones (north and east sides of site) are required above 13', and a triangular setback of 15'x15' is required where the site is adjacent to a front lot line of an adjacent lot in a residential zone (northwest corner of the site). A Green Factor score of .30 or greater is required. Street trees are required on S. Day St. Street level development standards include 60% transparency of street facing façades between 2' and 8' above sidewalk, a required 13' floor to floor height at ground level, and an average depth of non-residential uses of 30', with 15' being the minimum. Multi-family parking requirements are one stall per dwelling unit. The first 1,500sf of each retail business is exempt from parking requirements. Bike parking is required at one space per four dwelling units and 1 space per 4,000sf of commercial use.



NEIGHBORING USE

Neighboring uses and development include single-family homes, multi-family townhouse dwellings, and commercial uses in buildings ranging from one story to the larger scaled Mt. Baker Ridge Building (3-4 stories). The building directly to the south of the site houses a language immersion school for children and an interior design shop. Other local stores and businesses include a gym, an Edward Jones, a bakery/cafe, and an Italian restaurant. In addition, St. Clement Episcopal Church is located a block south of the site at S. Atlantic St. and 31st Ave. S. To the south-west of the site, across 31st Ave S is the Ridge Viewpoint Park, a pocket park with notable design elements. The Day Hill Climb, located across 31st Ave and picked up again at 32nd Ave, offers a pedestrian friendly means of accessing the ridge.





A-2: Streetscape compatibility:

The building enhances the developing 'high street' feel of 31st Ave S by orienting all retail entries towards that street. The residential entry and parking entry are located on S Day St, easing the transition from commercial to residential zoning.

A-3: Entrances visible from the Street

All retail entries face 31st Ave S, with transparent storefront. The residential entry is heavily landscaped and is marked with a sculptural exterior stairway and greenscreen plantings.

A-4: Human Activity:

Smaller retail spaces at the ground floor will provide vibrant street-oriented space for small businesses with ample windows onto the street. A small bakery may be a tenant in one of the spaces, and space for outdoor seating will be provided in the ROW. Overhead awnings, especially at the southwest corner of the site, adjacent to the bus stop, will provide weather protection to encourage pedestrian activity along the storefronts.

A-5: Respect for Adjacent Sites:

The required upper story setback is being maintained at both east and north property lines. Private residential patios will be screened from neighboring properties.

A-7: Residential Open Space:

The residential entry will be landscaped, both at grade and with greenscreen plantings. The second level courtyard and rooftop garden will also be heavily landscaped. Second floor units will have private patios atop the first floor base, while third floor units will have exterior decks. The rooftop garden will be common open space, as well as utilizing greenroof technologies.

A-8: Parking and vehicle access:

The access to the parking area has been narrowed, and the parking is screened from the street by uses within the building. Access to parking is located as far from the intersection of Day and 31st as is practical.

A-10: Corner Lots:

The design of the building addresses the corner condition with canopies at street level and retail entries on both facades. Outdoor seating will also be accommodated. The corner is additionally challenging due to setback requirements from an existing power pole, requiring the building corner to be notched back at the upper levels. This creates an interesting juxtaposition with the ground floor and the rhythm of the upper floor bay windows along the façade away from the corner.

B-1: Height, Bulk, and Scale Compatibility:

The building massing is pulled toward the streets (both 31st and Day) to allow a 15' setback from the residential zones. Decks on the east help break down the scale of the residential-facing facade. Along the street facades, a rhythm of bay windows breaks the building into a finer scaled fabric. The recessed residential entry, second floor courtyard and exposed exterior stairway divide the south elevation into two smaller scale blocks.

C-1: Architectural Context:

Development in the immediate neighborhood along 31st is picking up, with several examples of modern, clean design. A lively pedestrian experience will be enhanced further by this development on a currently vacant site.

C-2: Architectural Concept and Consistency:

Generous fenestration and high quality materials combine with a rhythm of bay windows to present a unified and well-proportioned upper portion, grounded by a concrete and aluminum storefront ground level. The south-facing central courtyard provides light and air to all units to a greater degree than is typical for this scale of building.

C-3: Human Scale:

Awnings and bay window overhangs afford weather protection along small storefronts. A courtyard and

exterior stairway with a greenscreen clearly defines the primary residential entrance. Retail space anchors the corner of the building, and outdoor sidewalk seating will be accommodated. New street trees will be added along Day St. Pedestrian-scale lighting will be present throughout the ground level. Blade signage will identify retail spaces.

C-4: Exterior finish Materials:

Exterior finishes include concrete at the first level, providing interest and texture. Storefronts shall be high quality aluminum. Upper level finishes include generously sized windows, horizontal metal box rib siding and weathered steel panels.

C-5: Structured Parking Entrances:

The parking garage entry has been recessed from the face of the building and narrowed to a 16' door with an 18' driveway/curb cut. The parking is screened from the street by a secure bike parking room with decorative greenscreen mesh and by a garbage/recycling room. A site triangle departure is being requested to further narrow the entry.

D-1: Pedestrian Open Spaces and Entrances:

The residential entry is set off by decorative steelwork and will be well-lit. The exterior stairway will provide life to the south façade. Retail entries are slightly recessed and canopies will provide protection from the weather.

D-2 Blank Walls:

Ground floor walls at the east and north elevations will include decorative concrete block in a visually interesting pattern.

D-6: Screening of Dumpsters:

Utility and service spaces, including the trash room, will be located within the building's parking garage and will thus be screened from view.

D-7, D-10: Personal Safety and Security, Commercial Lighting:

Exterior building-mounted lighting will be provided throughout the project site, concentrated at all building entries. The second level courtyard will be provided with an appropriate lighting plan for residential use.

D-9 Commercial Signage:

Retail tenants will be identified with pedestrian scaled blade signage. A signage plan will be presented at the recommendation meeting.

D-11: Commercial Transparency:

Retail spaces are oriented to pedestrians along both 31st and Day. Large floor-to-ceiling storefront windows will allow retail spaces to activate the sidewalk, borrowing from the activity of each

D-12 Residential Entries and Transitions:

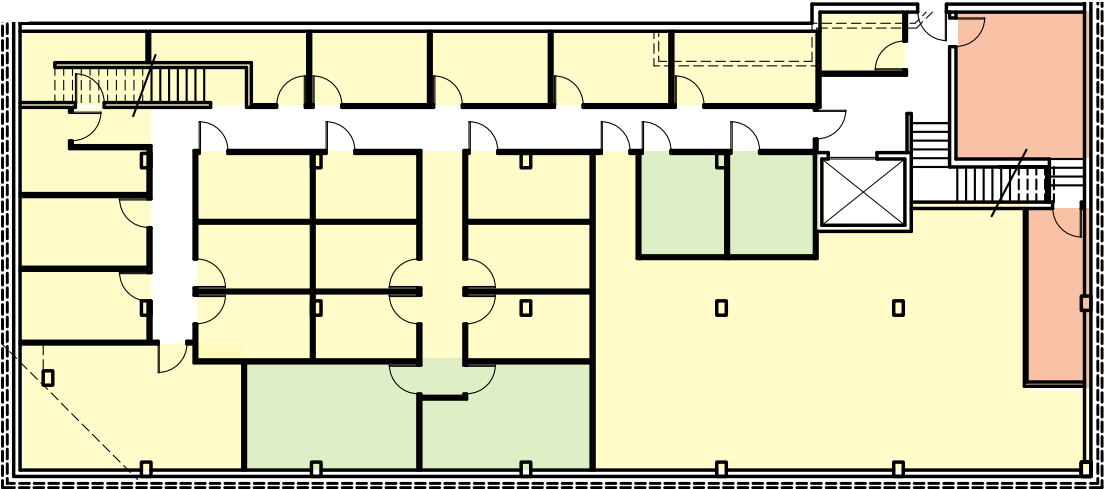
The residential entry is recessed from the property line and set off by a sculptural steel surround on the exterior stair. The area around this entry is landscaped, as well as being denoted with a section of green screen landscaping.

E-1: Landscaping to Reinforce Design Continuity with Adjacent Sites:

Upon further review. The tree at the northwest corner of the site is not a good candidate for retention. The extensive soil remediation required at the site will require that this tree be removed.

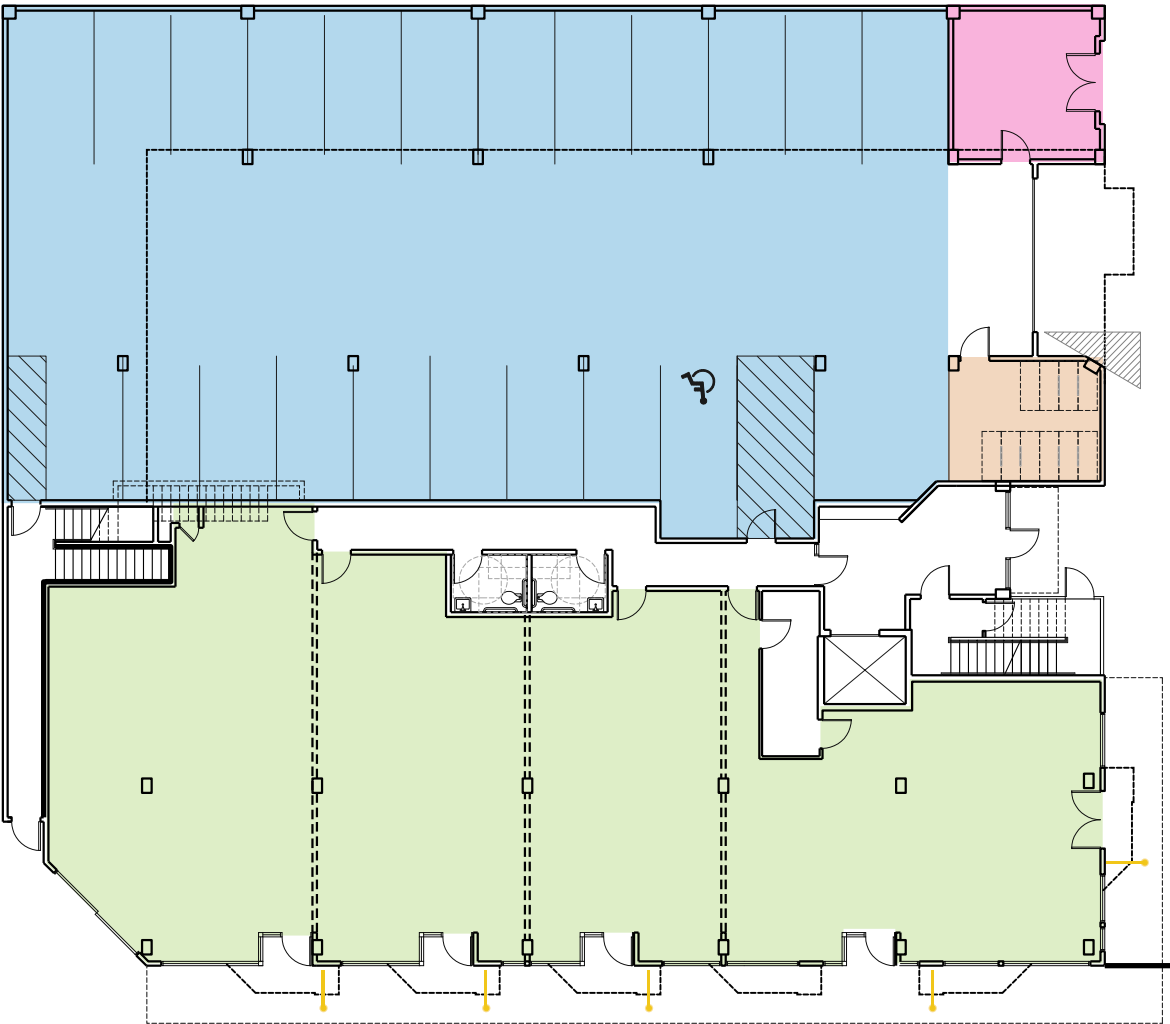
E-3: Landscape Design to Address Special Site Conditions:

Landscaping is provided both at the sidewalk edge and in the entry courtyard. In addition to landscaping planters, a green screen feature will highlight entry into the residential courtyard space. A large roof deck will allow all building residents to take advantage of the spectacular views to the south and east the building affords.



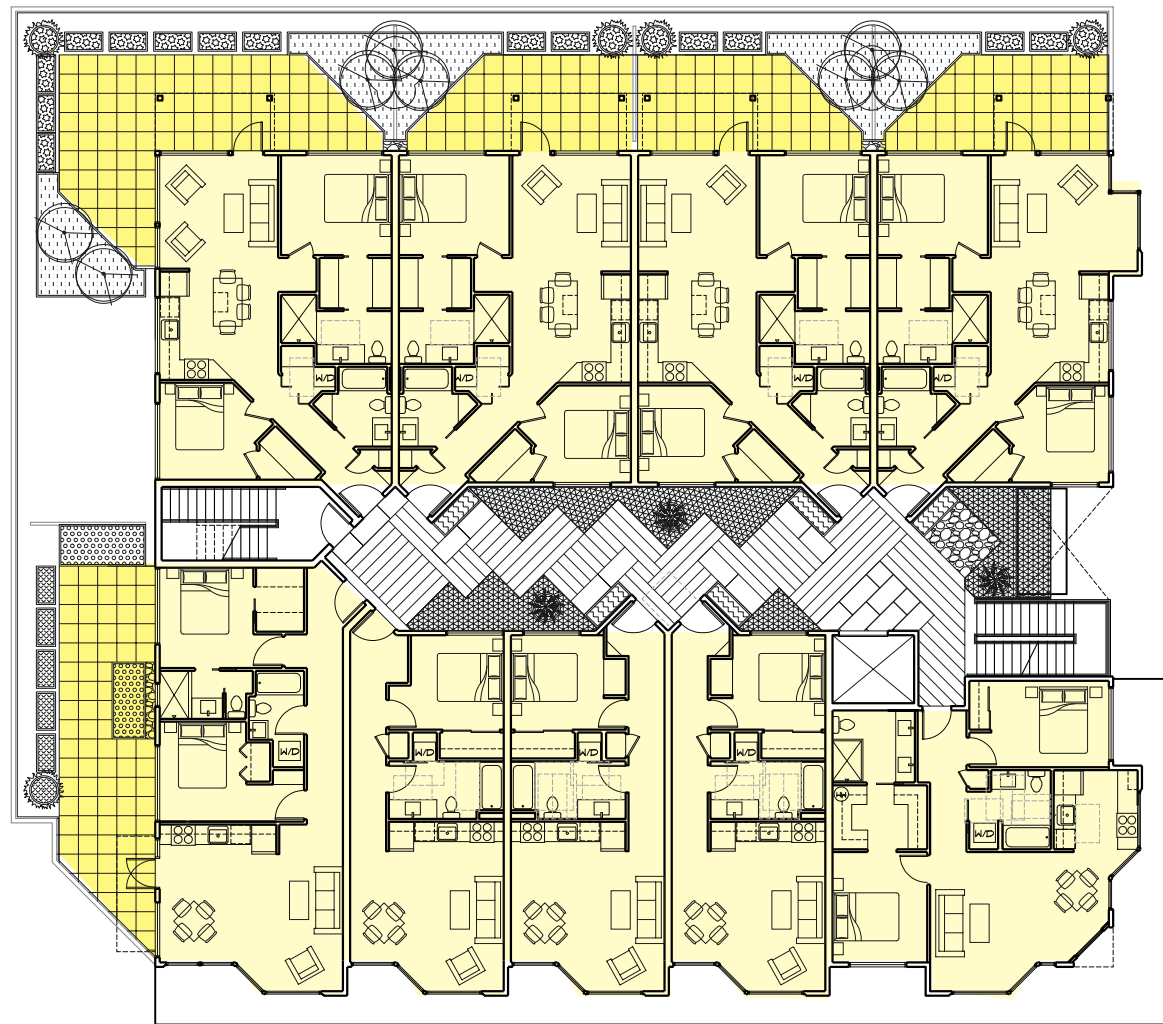
BASEMENT

- RESIDENTIAL STORAGE
- RETAIL STORAGE
- MECHANICAL



FIRST FLOOR

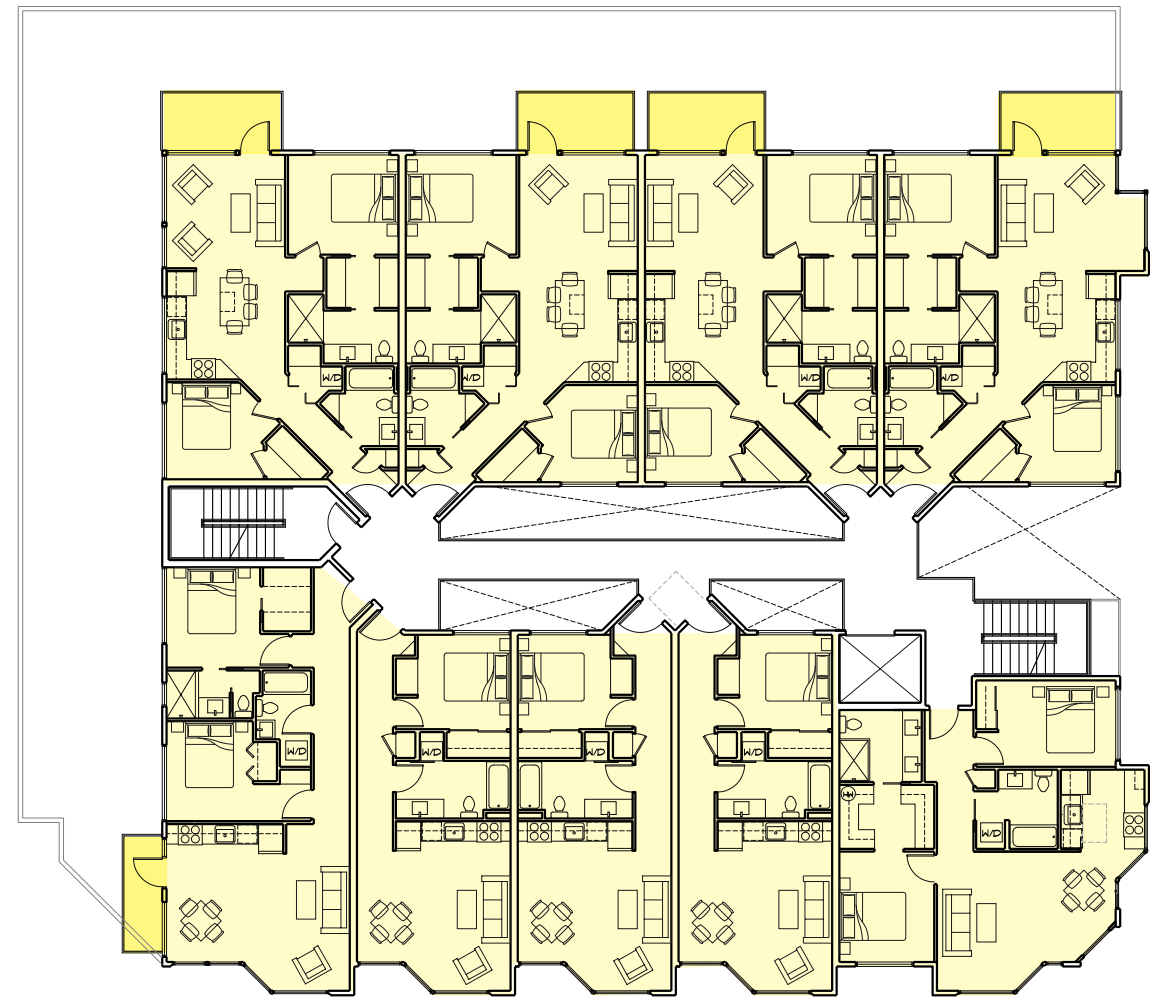
- RETAIL
- BIKE STORAGE
- PARKING
- GARBAGE
- SIGNS/LIGHTS



SECOND FLOOR

RESIDENTIAL

RESIDENTIAL BALCONY



THIRD FLOOR

RESIDENTIAL

RESIDENTIAL BALCONY



1 STRAWBERRY TREE PLANTER



2 LAVENDER PLANTER



3 GREEN ROOF PLANTING



4 PINK MUHLY PLANTER



Compact Strawberry Tree
Siskiyou Blue Idaho Fescue



Hidcote Giant Lavender
Sand Strawberry

All Season Mix



Regal Mist Pink Muhly
Sand Strawberry

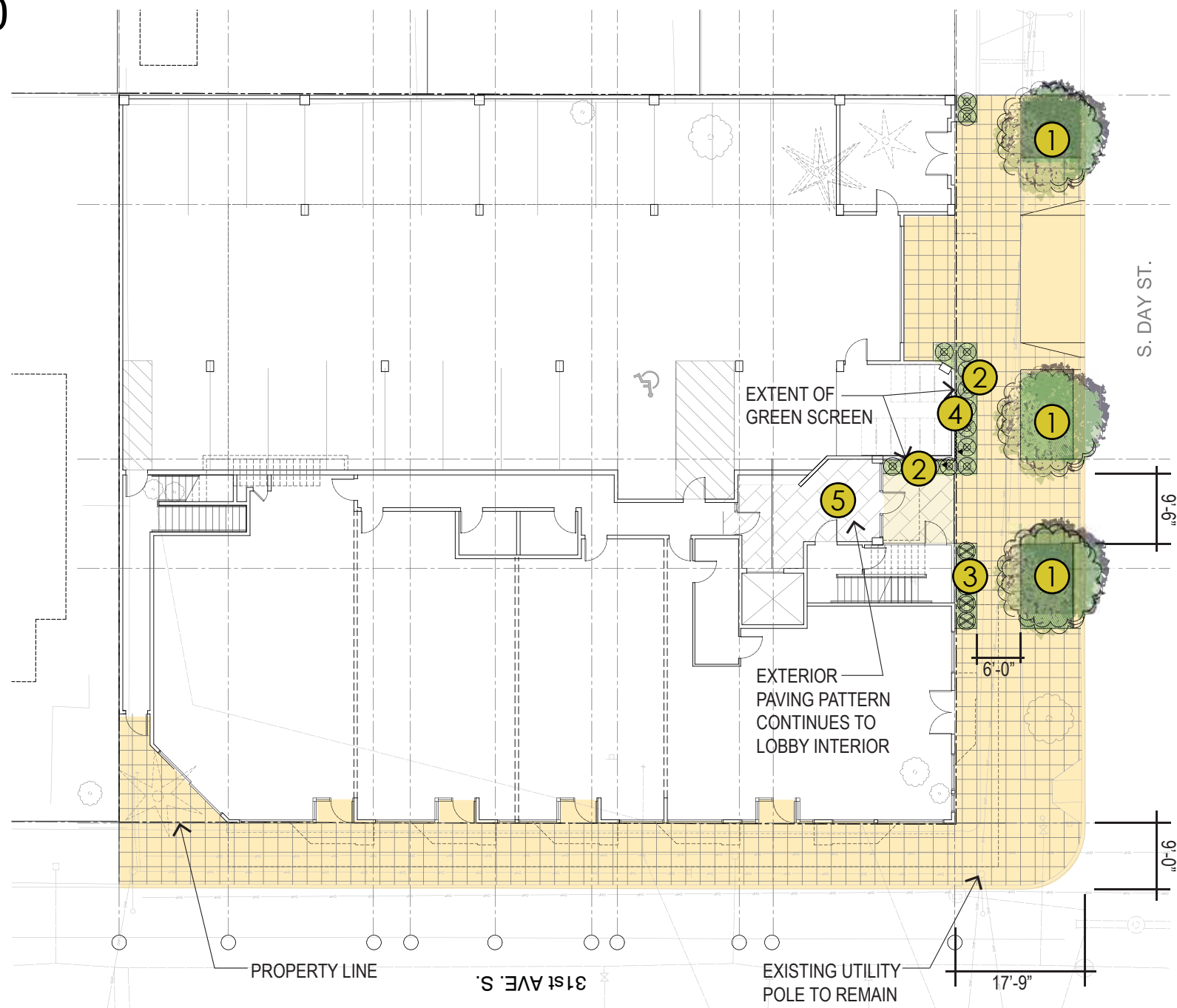
ADDITIONAL FEATURES



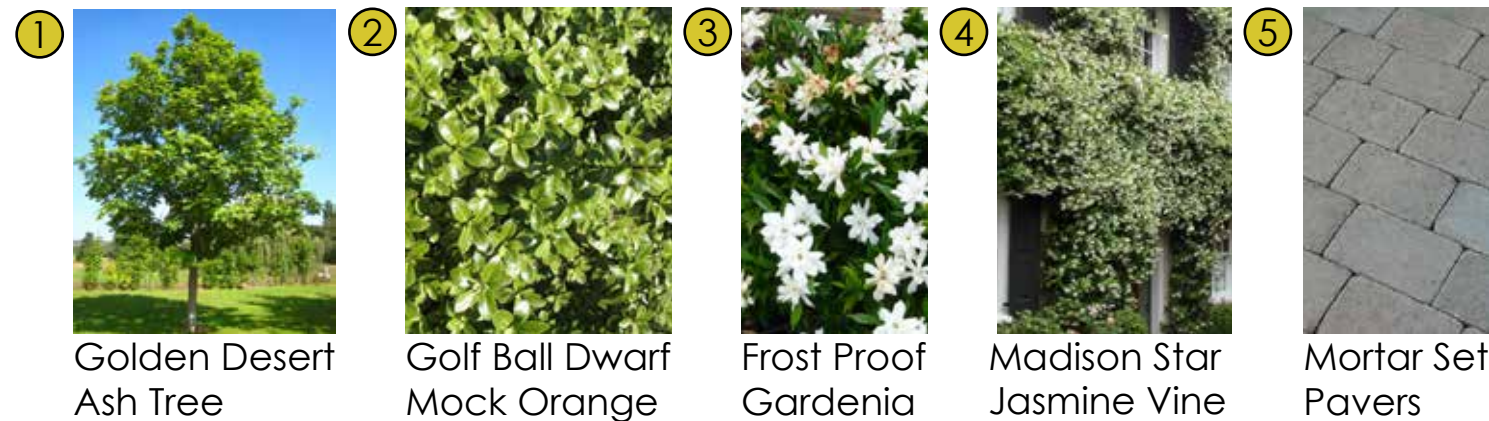
36" Steel planters
Outdoor table and chairs
Dog Turf Area
Solar Panels
Cable Railings

5

6



TREES, SHRUBBERY AND PAVEMENT

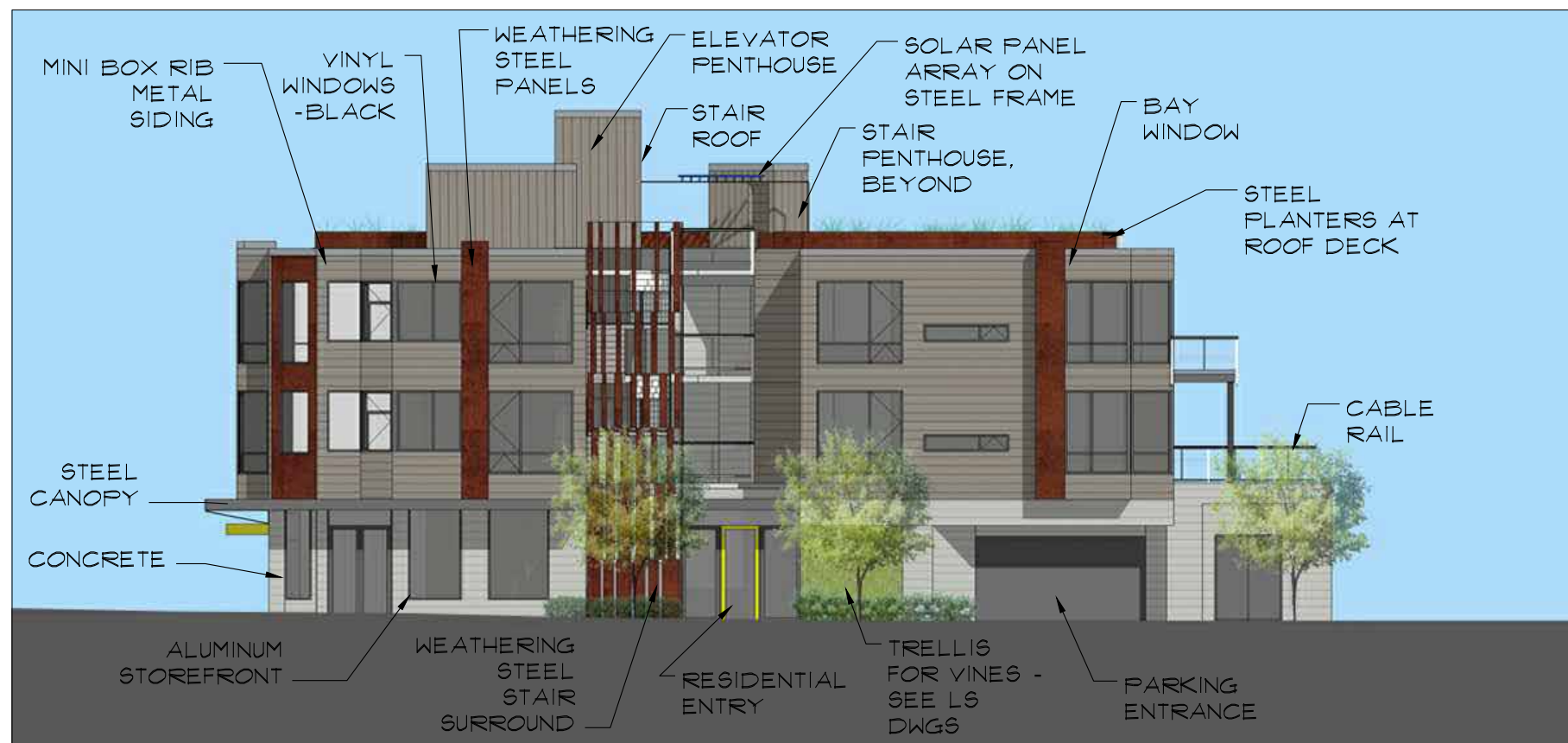


TREES, SHRUBBERY AND PAVEMENT

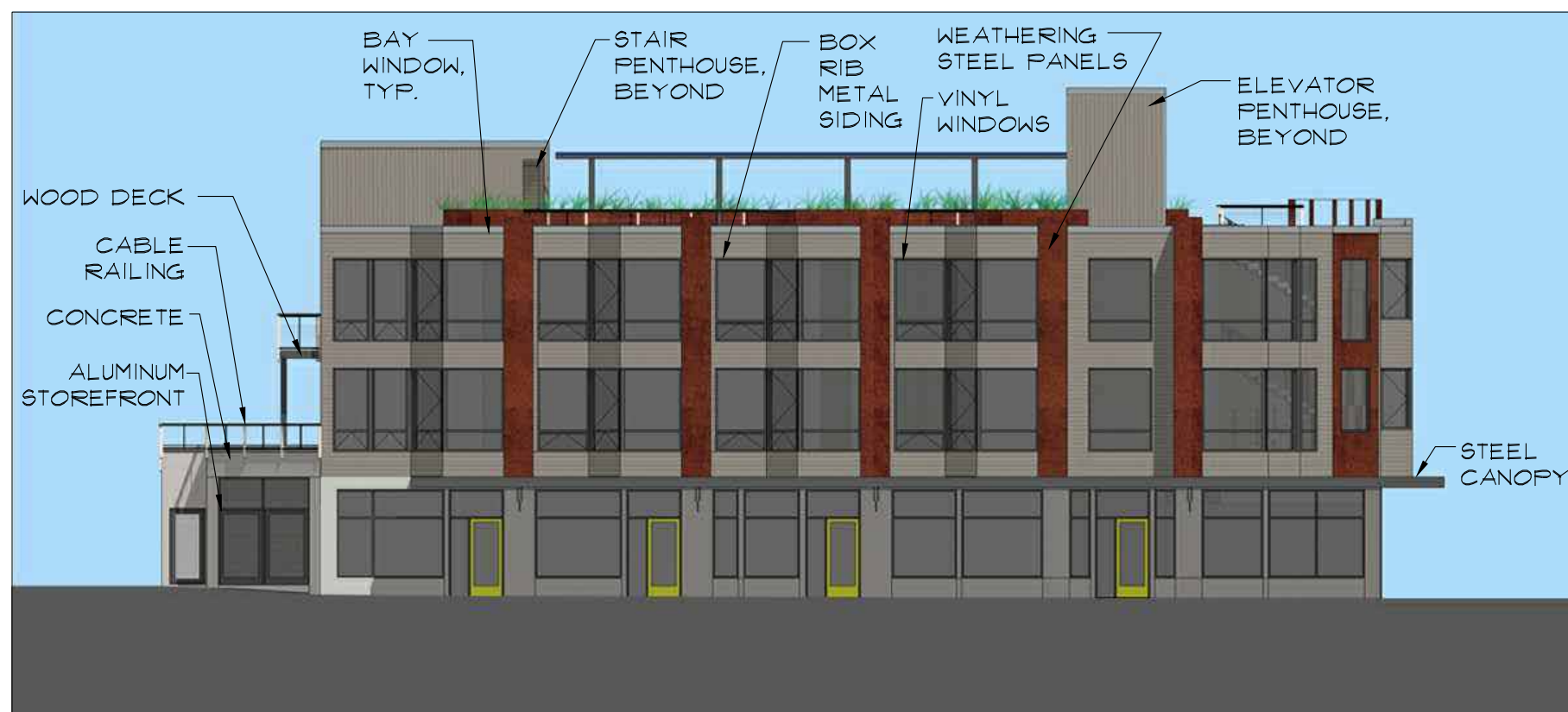


ADDITIONAL (BALCONIES)

- Pacific Fire Vine
- Maple
- Italian Cypress
- Variegated Forsythia

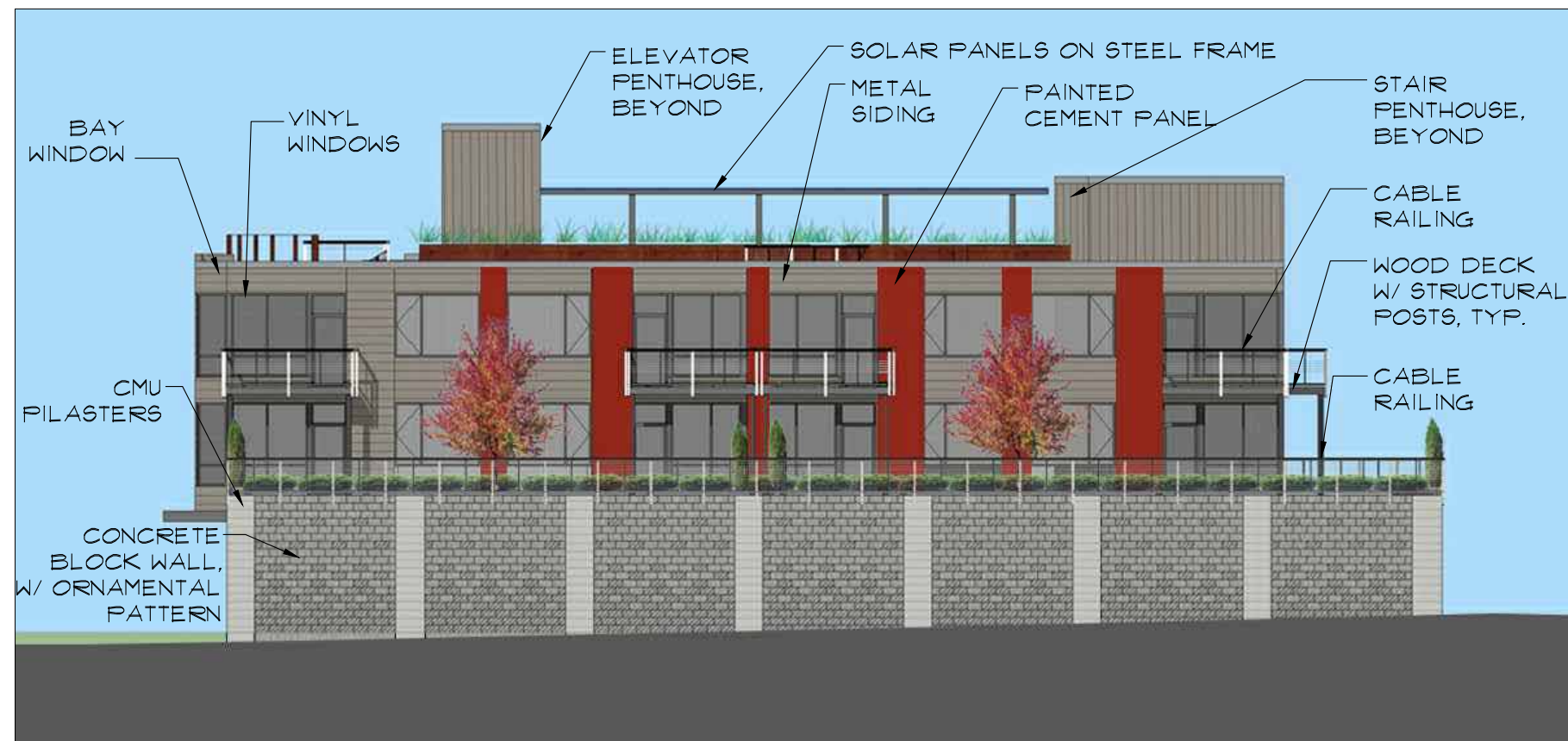


SOUTH ELEVATION



WEST ELEVATION



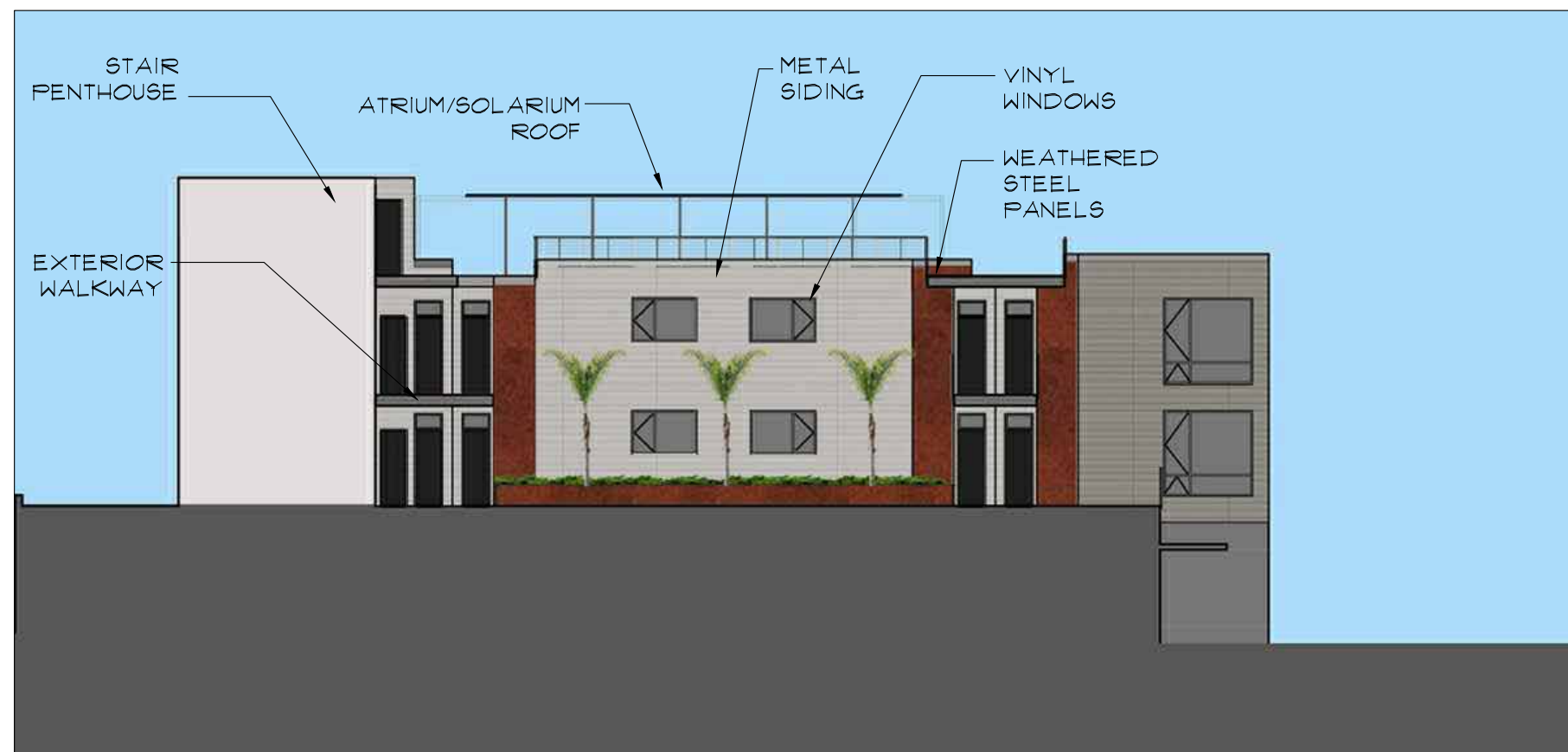


EAST ELEVATION



NORTH ELEVATION





COURTYARD - EAST ELEVATION



COURTYARD - WEST ELEVATION



14
GROUND FLOOR



STOREFRONT GLAZING AND AWNING



GREEN SCREEN AND CONCRETE



CONCRETE BLOCKS AND COLORFUL ENTRY

SECOND FLOOR - ROOF TOP



WARM METAL SIDING AND CORTEN STEEL PANELING



CABLE OR GLASS RAILING

ROOF TOP



PLANTERS



ROOFTOP AMENITIES AND CONCRETE PAVERS



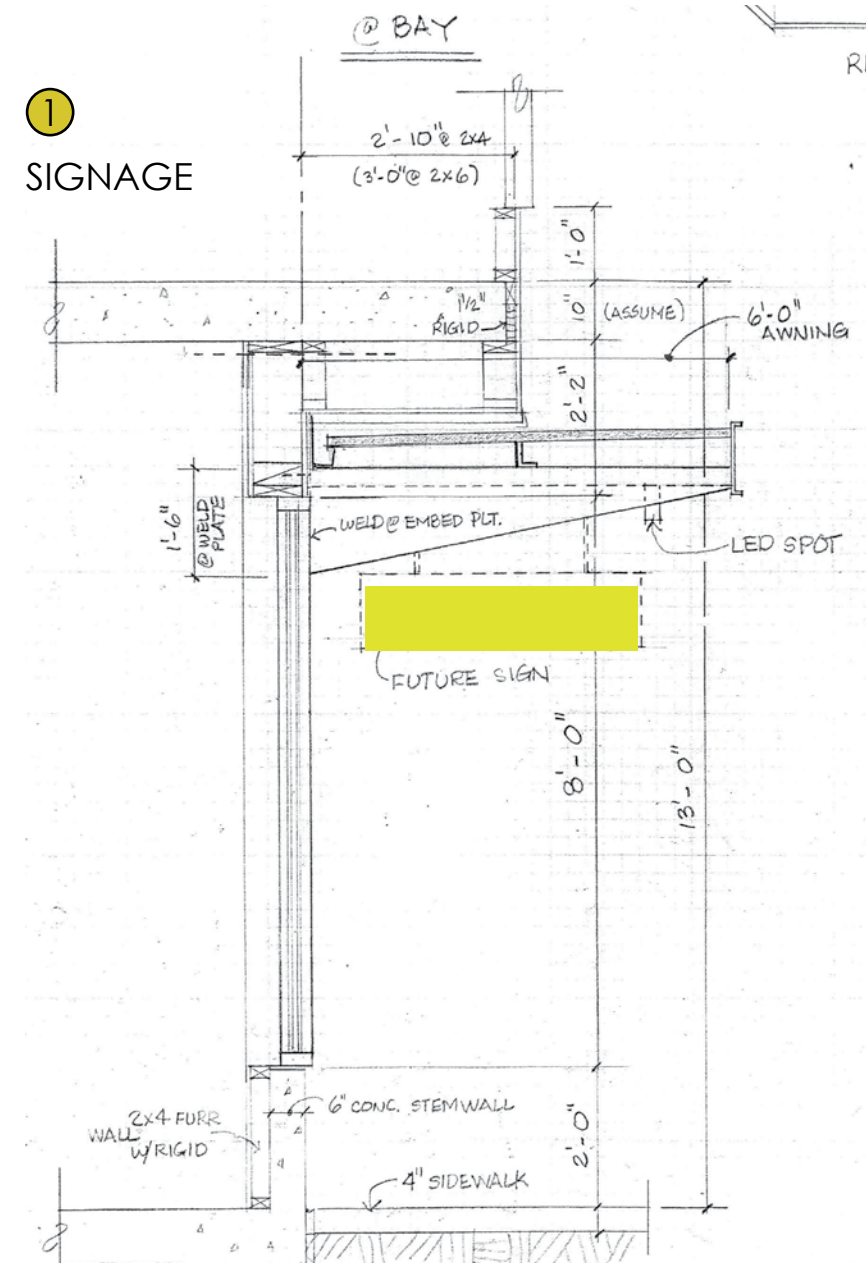
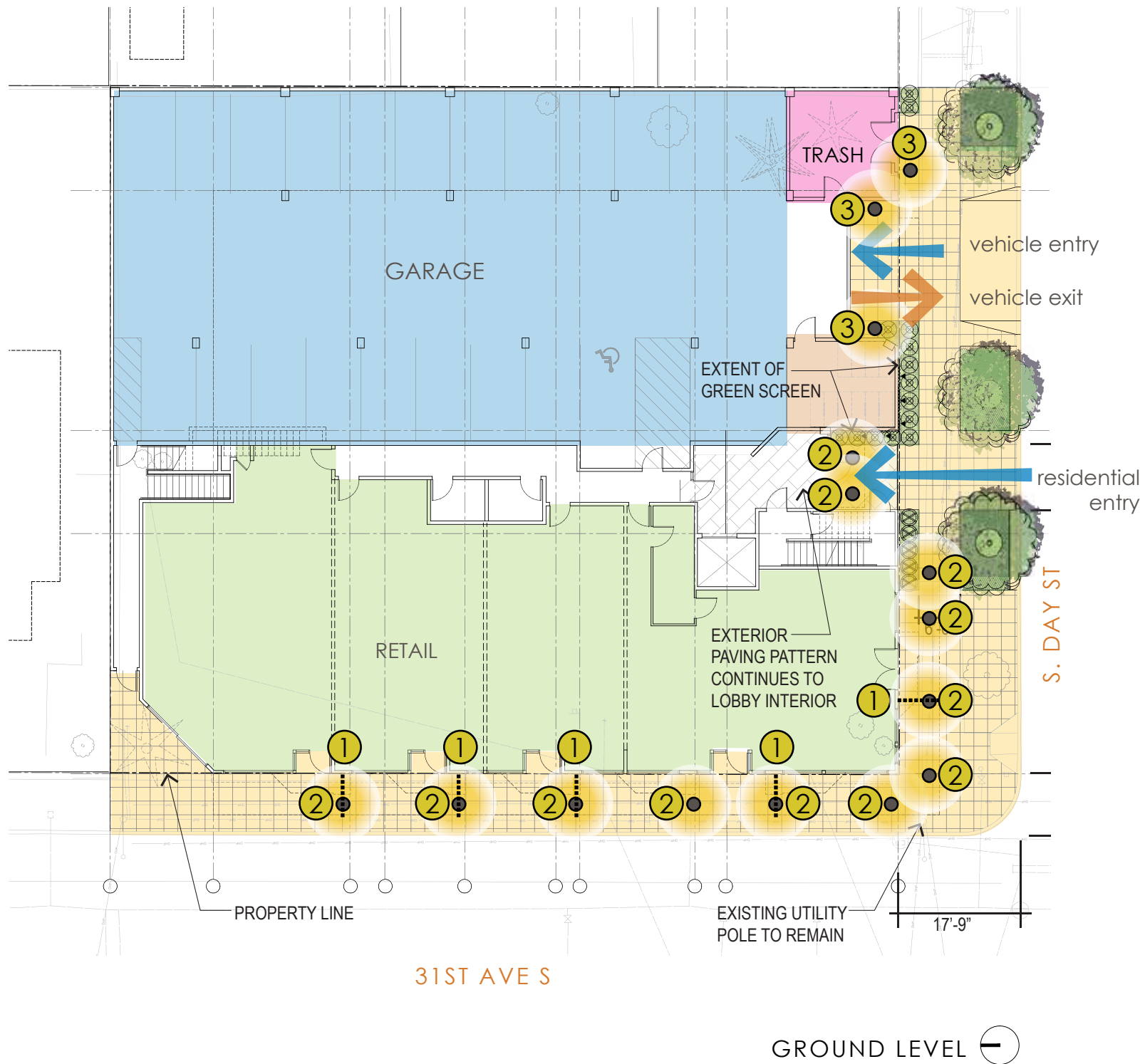
SOLAR PANELS



RENDERING 1: LOOKING NORTH-EAST



RENDERING 2: LOOKING NORTH-WEST



1
SIGNAGE

2
SURFACE
DOWNLIGHT



3
UP/DOWN
LIGHTING





SECOND FLOOR/COURTYARD

2 SURFACE DOWNLIGHT



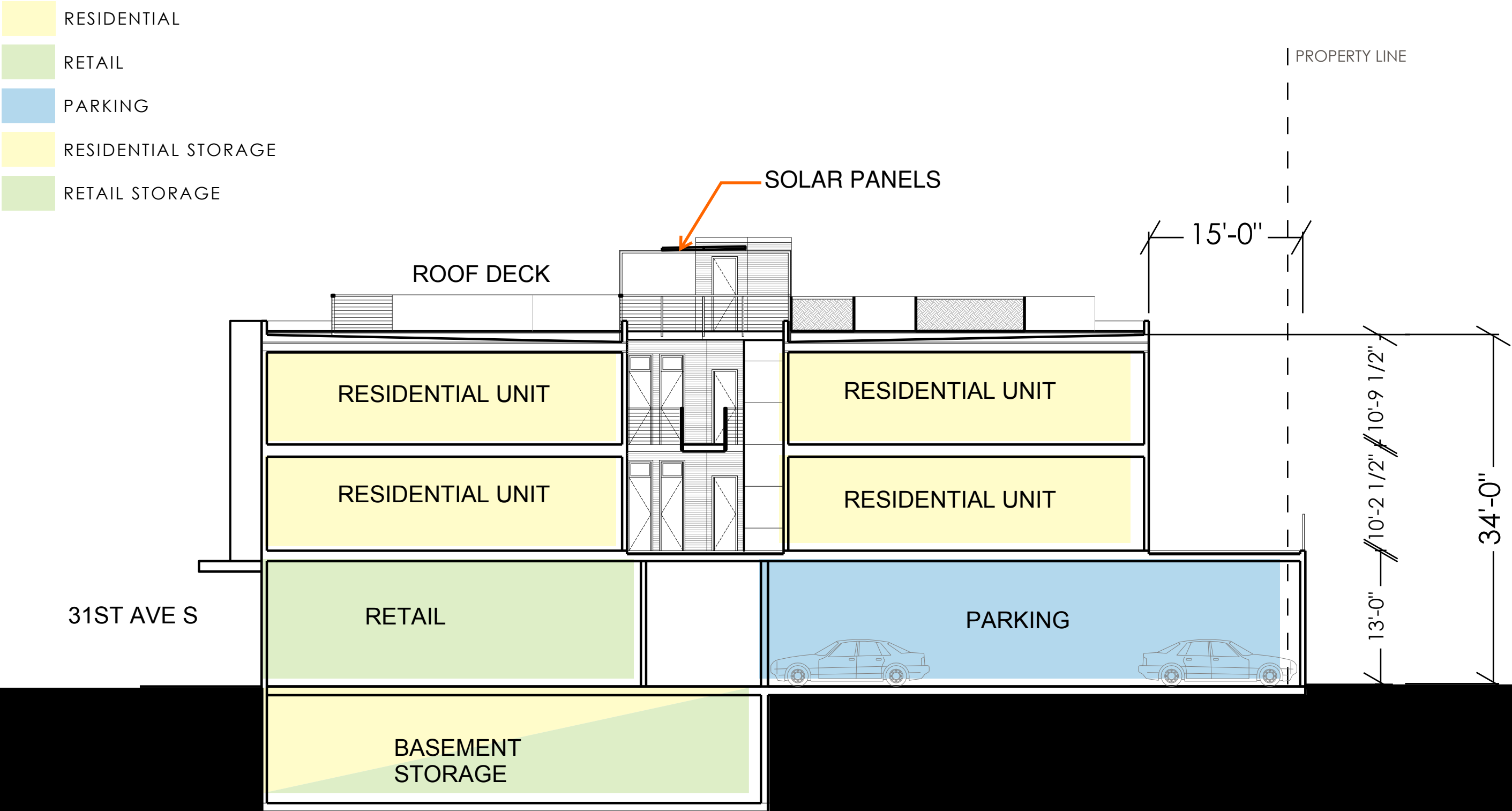
4 POSSIBLE ADDITIONAL COURTYARD LIGHTING



3 UP/DOWN LIGHTING



5 WALL WASH STRIP LIGHT



CODE
SECTION

1A

23.47A.008

REQUIREMENT

60% OF FACADE SHALL BE
TRANSPARENT BETWEEN 2'-8' ABOVE
SIDEWALK.

PROPOSED DEPARTURE

55.25% (55.25'/100') OF PROPOSED DAY ST
FACADE IS TRANSPARENT

RATIONALE

ALONG DAY STREET 55.25% TRANSPARENCY IS PROVIDED.
HOWEVER, AN ADDITIONAL 8' IN LENGTH OF A GREENSCREEN
MESH DESIGNED TO BE TOTALLY COVERED IN VINES WITHIN
FIVE YEARS IS PROVIDED IN LIEU OF AN OPENING INTO THE BIKE
STORAGE ROOM, WHICH WAS SEEN AS A POSSIBLE SECURITY
ISSUE. THIS GREEN EXPANSE OF WALL, WITH ADDITIONAL
LANDSCAPING IN FRONT OF IT, WILL PROVIDE EQUAL INTEREST
TO PASSERS-BY AS WOULD A TRANSPARENT OPENING. IF THE
GREENSCREEN MESH IS INCLUDED IN TRANSPARENT AREA, THE
PROVIDED PERCENTAGE IS 63.25%

GUIDELINE REFERENCE

E-3
THE GREENSCREEN HIGHLIGHTS THE RESIDENTIAL
COURTYARD SPACE, ENHANCES THE BUILDING
FACADE AND THE OVERALL RELATIONSHIP OF
THE BUILDING AND SITE.

1B

23.47A.014 B 3

15' SETBACK ABOVE 13' REQUIRED AT
ABUTTING RESIDENTIAL ZONE BECAUSE
PROPOSED STRUCTURE CONTAINS A
RESIDENTIAL USE

THE NORTH AND EAST SIDES OF THE PROPERTY
ABUT A RESIDENTIAL ZONE, AND A 15' SETBACK
PER 23.47A.014 B 3 IS PROPOSED. HOWEVER, DUE
TO THE 13' FLOOR TO FLOOR HEIGHT AT THE FIRST
FLOOR AND THE SLIGHT SLOPE OF THE PROPERTY
DOWN TO THE SOUTHEAST, APPROXIMATELY 37.5'
OF THE PROPOSED BUILDING ALONG THE EAST
PROPERTY LINE IS ABOVE 13'. THE MAXIMUM
OVERAGE IS 11.25"

PROVIDING A 13' FIRST FLOOR IS HIGHLY DESIRABLE TO THE
PROJECT. DUE TO THE WAY THE FINISHED GRADE AT THE
SIDEWALKS SLOPES, IT IS MOST IMPORTANT TO SET FINISH FLOOR
LEVEL SUCH THAT MAIN RETAIL ENTRIES ALONG 31ST AVE S ARE
AS CLOSE AS POSSIBLE TO THE SIDEWALK GRADE. IN ADDITION,
AT THE EAST PROPERTY LINE THE BUILDING FACES GENEROUS
BACKYARDS OF NEIGHBORING PROPERTIES, SUCH THAT A
SMALL DEVIANCE FROM THE 13' LIMIT IS NOT PARTICULARLY
PERCEPTIBLE. ALONG THE NORTH PROPERTY LINE, WHERE
NEIGHBORING USES ARE CLOSER, THE STRUCTURE IS BELOW
THE 13' LIMIT. A GUARDRAIL OF SOME SORT IS REQUIRED AT
THE PERIMETER OF THE ROOF TERRACE AREA FOR THE SECOND
FLOOR UNITS, WE HAVE CHOSEN TO PROPOSE A CABLE OR
GLASS RAILING AS THE MOST TRANSPARENT POSSIBLE TYPE
OF GUARDRAIL TO MINIMIZE IMPACT. IN ADDITION, A 5'
LANDSCAPE BUFFER IS PROVIDED ALONG THE PROPERTY LINE
AT BOTH EAST AND NORTH ELEVATIONS.

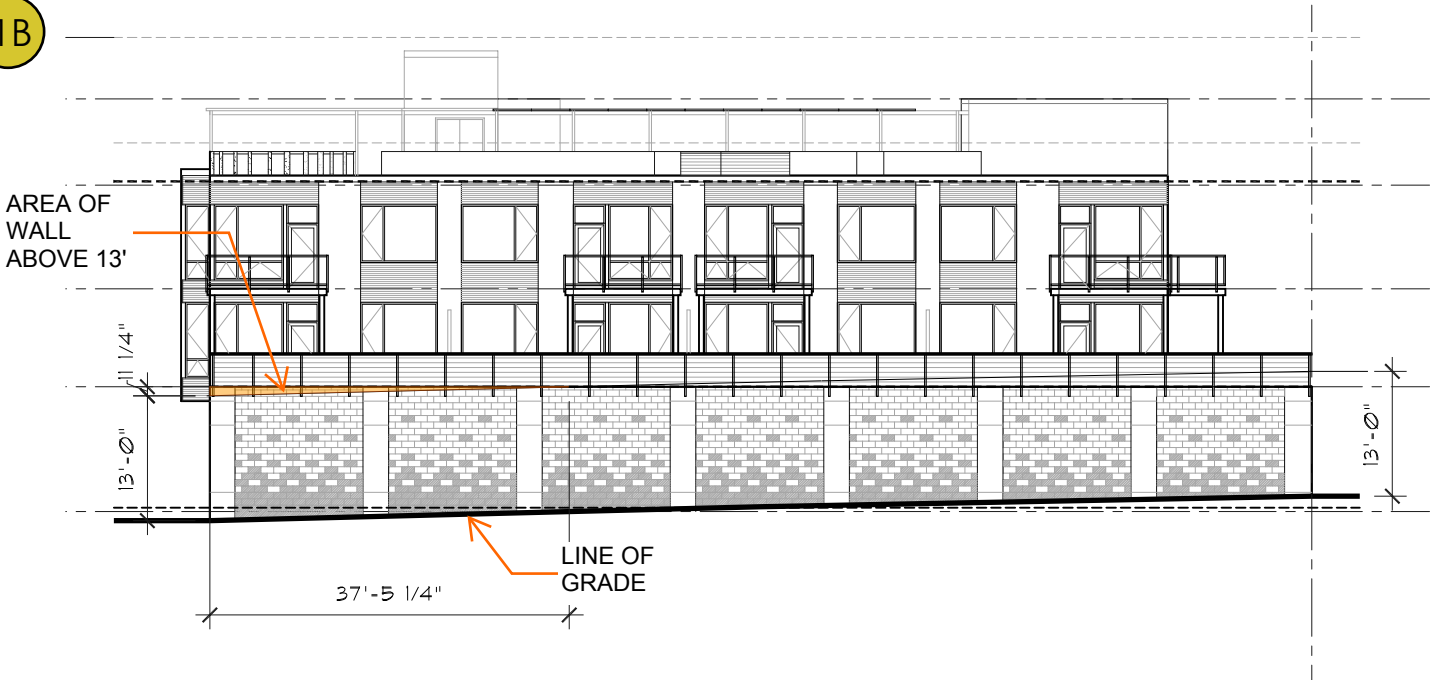
A-2 AND D-1
ENHANCES THE "HIGH STREET" FEEL OF 31ST AVE
S AND PEDESTRIAN ENTRANCES BY ALLOWING
RETAIL ON GRADE WITH THE SIDEWALK.

1A

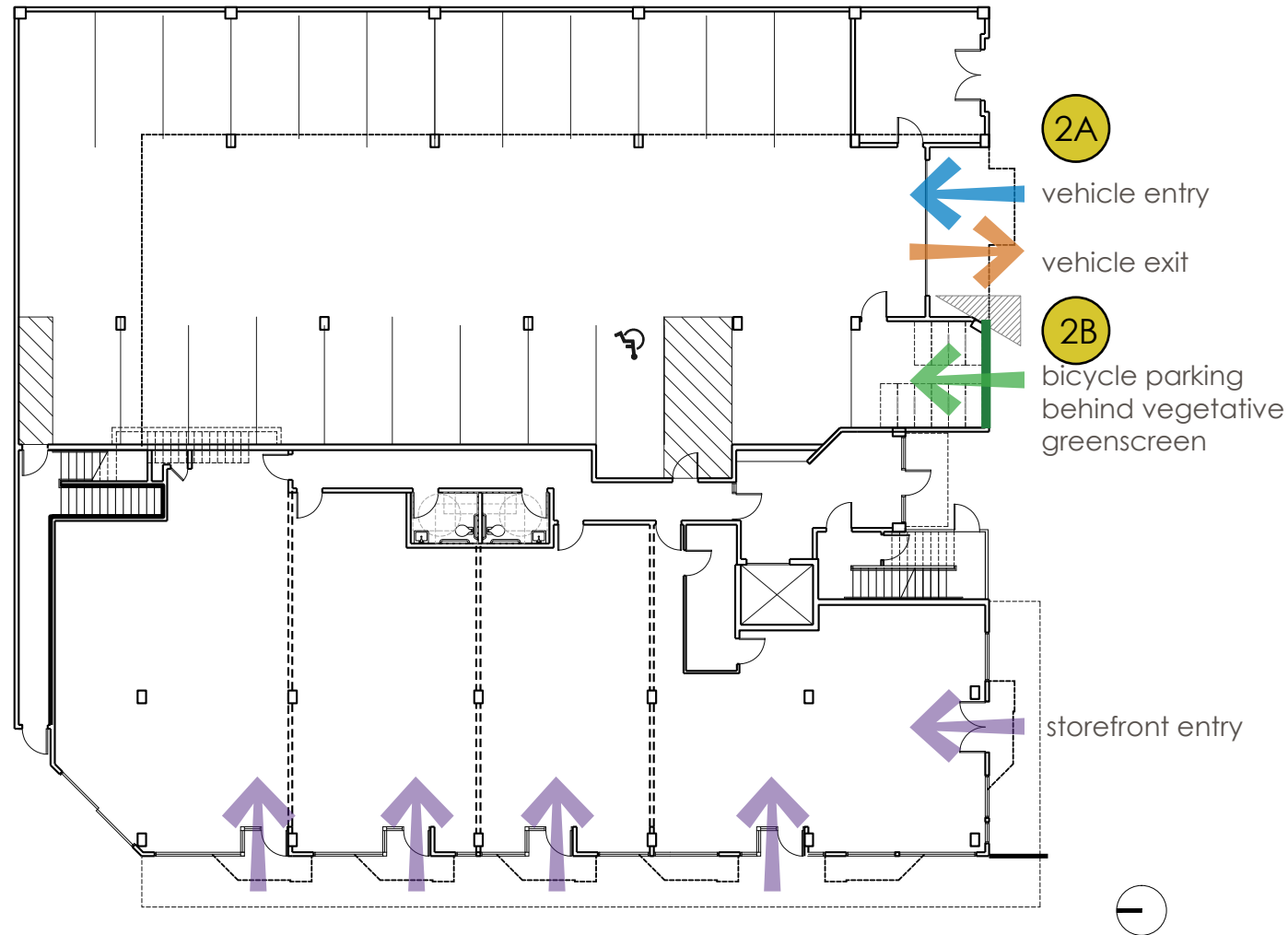
GREENSCREEN HIGHLIGHTS THE RESIDENTIAL
COURTYARD SPACE, ENHANCES THE BUILDING
FACADE AND THE OVERALL RELATIONSHIP OF
THE BUILDING AND SITE.



1B



	CODE SECTION	REQUIREMENT	PROPOSED DEPARTURE	RATIONALE	GUIDELINE REFERENCE
	2A 23.54.030.E	22' AISLE WIDTH WITH COMBINATION OF MEDIUM/COMPACT SPACES	20' WIDE AISLE WIDTH	A 20' AISLE WIDTH ALLOWS A GREATER SPACE DEDICATED TO RETAIL AT THE GROUND FLOOR AS WELL AS PROVIDING STRUCTURAL ALIGNMENT ADVANTAGES TO UPPER FLOORS. WE FORESEE NO MANEUVERING DIFFICULTIES DUE TO A NARROWER AISLE WIDTH, AND WE HAVE PROVIDED A WIDER THAN REQUIRED (8' INSTEAD OF 7'-6") WIDTH AT COMPACT SPACES.	C-5 AND A-8 THE PARKING GARAGE IS LOCATED AS FAR FROM DAY AND 31ST AS FEASIBLE. THIS DEPARTURE WILL ALLOW US TO REDUCE THE PRESENCE OF THE GARAGE WHILE OFFERING AN INVITING RETAIL STOREFRONT.
	2B 23.54.030.G	10'X10' SITE TRIANGLE AT EXIT SIDE OF DRIVEWAY	10'X6' SITE TRIANGLE	DAY STREET IS NOT A HEAVILY TRAFFICKED STREET, AND RESIDENTS USING THE GARAGE WILL BE FAMILIAR WITH THE SURROUNDINGS. THE REDUCED SITE TRIANGLE IS DUE TO THE DESIRE TO MAXIMIZE BICYCLE PARKING WITHIN THE BUILDING.	C-5 AND A-8 AN INCREASE IN BICYCLING PARKING SUPPORTS LOW IMPACT MEANS OF TRAVEL AND MORE EQUALLY BALANCES THE DESIRES OF CYCLISTS AND MOTORISTS.



- 2A GARAGE ENTRY LOCATED AWAY FROM DAY AND 31ST AVE S
- 2B MAXIMIZED BICYCLE PARKING BEHIND VEGETATIVE GREENSCREEN

CODE
SECTION

REQUIREMENT

PROPOSED DEPARTURE

RATIONALE

GUIDELINE REFERENCE

3A

23.47A.014

NO OPENINGS ALLOWED WITHIN
5' OF PROPERTY LINE ABUTTING
RESIDENTIALLY ZONED LOTS

ONE EMERGENCY EXIT ONLY DOOR AT NORTHWEST
CORNER OF BUILDING WITHIN 5' OF PROPERTY LINE

THIS DOOR WILL BE RARELY USED EXCEPT IN EMERGENCIES,
AND DOES NOT FACE THE NEIGHBORING LOT, BUT IS
PERPENDICULAR TO IT. IF DESIRED, A SCREENING FENCE
COULD BE PLACED ALONG THE PROPERTY LINE. THIS LOCATION
PROVIDES THE MOST EFFICIENT MEANS OF SECONDARY EGRESS
FROM THE BUILDING WITHOUT IMPACTING THE COMMERCIAL
AREA, AND DOES NOT ADVERSELY IMPACT THE NEIGHBORING
PROPERTY.

A-2 AND D-11
ALLOWS UNINTERRUPTED COMMERCIAL
STOREFRONTS, WITH COMMERCIAL
TRANSPARENCY ORIENTED TOWARDS 31ST AVE
S AND DAY ST, ACTIVATING THE ADJACENT
SIDEWALK.

3B

23.47A.008

STREET LEVEL AND FACING FACADES MUST BE
W/IN 10' OF STREET PROPERTY LINE

5' OF STREET FACING FAÇADE ALONG 31ST Ave S
IS 15' FROM PROPERTY LINE.

23.47A.014 B 1 REQUIRES THAT A NEW BUILDING NOT INTRUDE
UPON A 15'X15' TRIANGLE WHERE THE PROPERTY ABUTS
A RESIDENTIAL ZONED FRONT YARD. THIS SMALL SECTION
OF FAÇADE IS SET BACK TO ACCOMMODATE THAT CODE
REQUIREMENT.

A-5
RESPECT FOR ADJACENT SITE

3B

RECESSED ENTRY
PROVIDES RELIEF
FROM BUILDING
FACADE TO
NEIGHBORING
RESIDENTIAL
PROPERTY

