

THE CAROLINE W.

APARTMENT HOUSING - 431 BOYLSTON AVE E



DESIGN REVIEW RECOMMENDATION MEETING - MAY 1, 2013 - DPD PROJECT # 3013899

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Program Objectives

In collaboration with Community House Mental Health Agency and Common Ground, a nonprofit developer, (44) Studio apartments for low income individuals (less than 30% Area Median Income) recovering from homelessness and mental illness, and (1) One Bedroom apartment for the building manager are proposed for this site. In addition to the primary residential use, support functions/spaces include: a Common Room, one office, a common laundry room, a small area for computers, mechanical/electrical systems spaces, storage, a trash/dumpster room, bicycle parking, (2) covered parking spaces, and (1) exterior parking space. Current functions provided by Community House's Clinical/Day Treatment Center at this site (intake, case management and outpatient programs) are to be relocated off-site. No commercial spaces are proposed.

Site & Building Objectives

- Enhance and constructively contribute to the neighborhood by replacing two run-down existing houses with a new high quality building that increases housing opportunities in an Urban Center Village, and also contributes towards the City's 10 Year Plan to End Homelessness
- Respond sensitively to nearby development patterns and architectural context
- Provide opportunities for residents of this building to gather, both inside and at the roof deck, in such a way as to respect the privacy of adjacent neighbors
- Provide a supportive family atmosphere for the residents in which they feel a sense of belonging and grow at their own pace, while helping them increase their social, vocational and life skills
- Create a sustainable, energy efficient building that provides a healthy environment for all its residents
- Preserve the existing large Chestnut tree to maximize tree canopy in the city, provide a privacy buffer to adjacent properties and enhance livability in a dense urban neighborhood

Structure Size

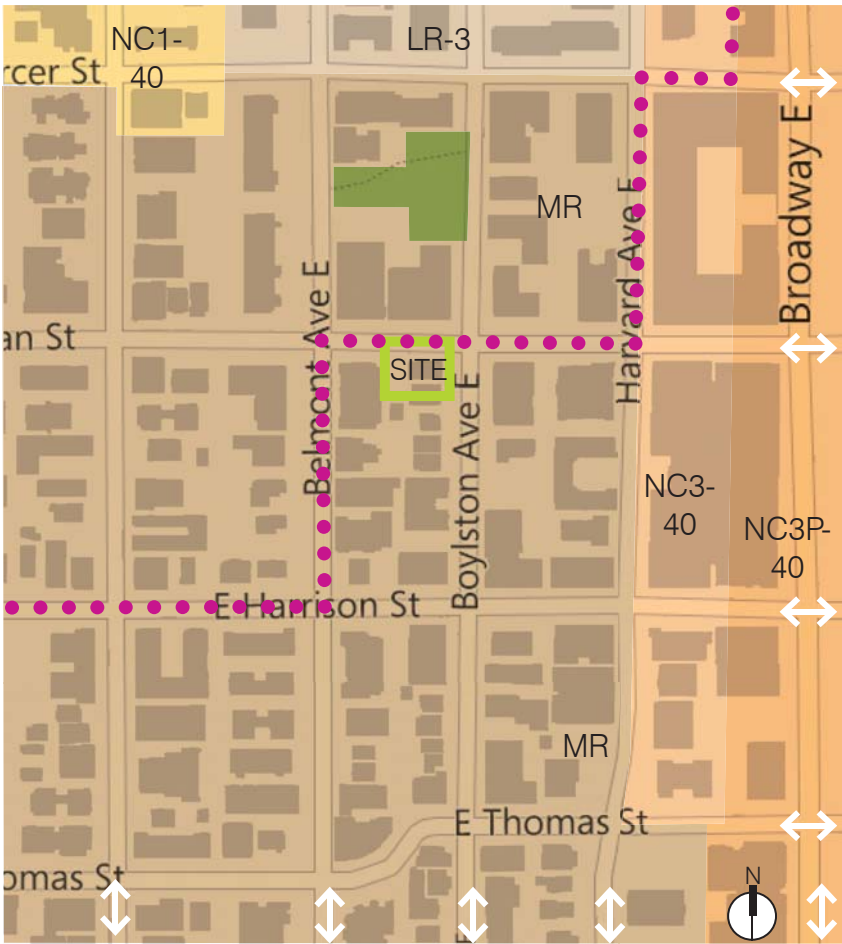
The anticipated structure height is 56'-10" and includes 6 floor levels. Each floor level is proposed to be approximately 3,400 – 3,700 SF in area, except for the lowest level which will be smaller, at 3,200 SF. Overall dimensions of the building are 63 feet in the east-west direction and 72 feet in the north-south direction.

Program Requirements for Each Floor

- Lowest Level (3,155 SF): Two parking spaces, Bicycle Parking, Common Laundry, Mechanical/Electrical/Storage/Maintenance rooms, circulation
- Street Level @ Boylston (3,441 SF): Four Studio apartments, One Manager's Apartment (One Bedroom), Common Room, One Office, Computer Area, Lobby/Reception, Circulation
- Upper Four Levels (3,670 SF each): 10 Studio apartments, Circulation, Trash/Janitor Room
- Roof – 876 SF common outdoor recreation space, 413 SF elevator and 2 stairs, and 2,148 SF unoccupied green roof.



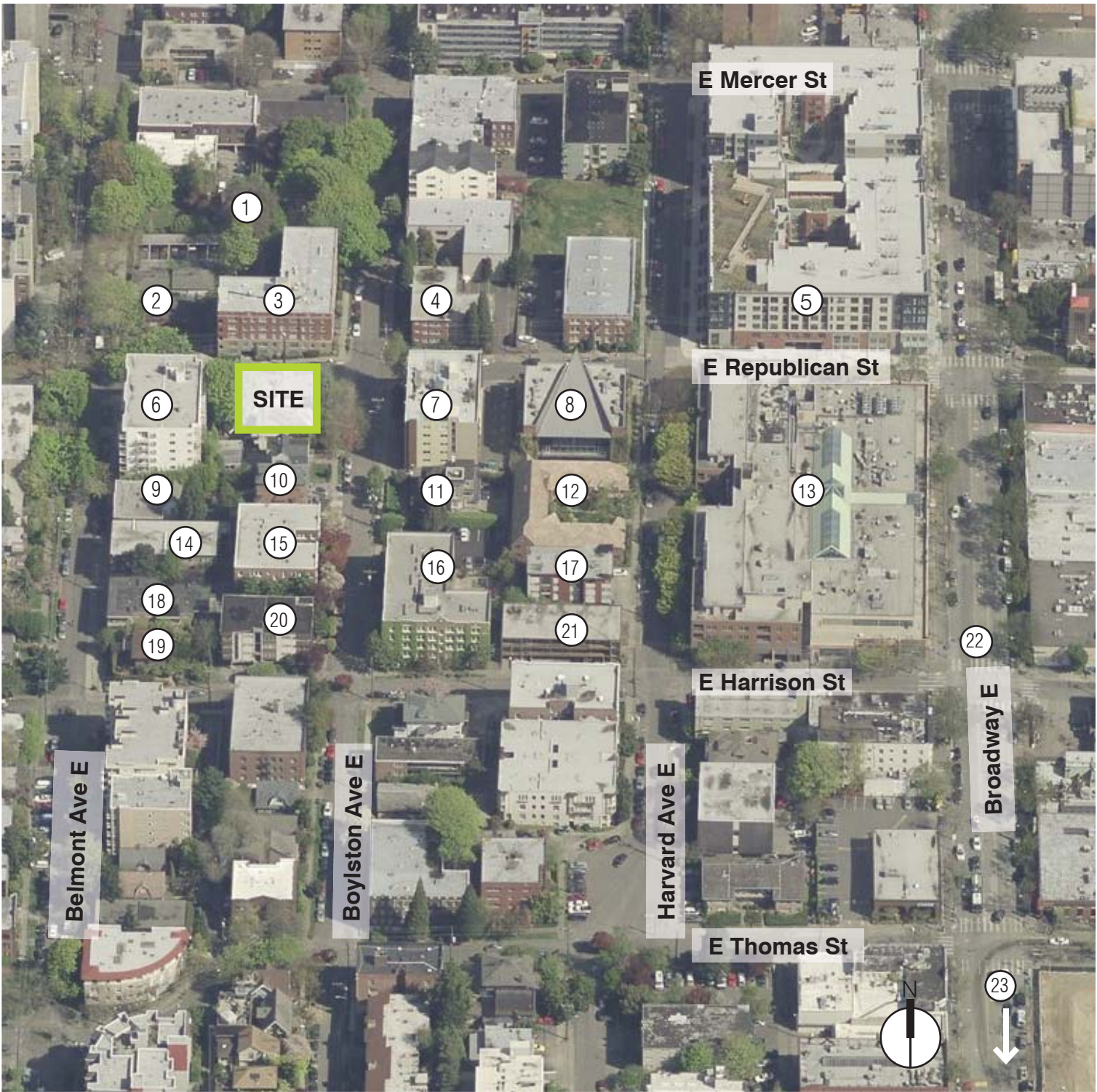
CONTEXT ANALYSIS & EXISTING SITE CONDITIONS



Legend

- Midrise
- Lowrise-3
- NC1-40
- NC3P-40
- NC3-40
- Park
- Light Rail Station Overlay Boundary

Zoning Map



Vicinity Map and Surrounding Uses

The existing property is a 94'x77' lot containing two parcels, 429 & 431 Boylston Avenue East, at the southwest corner of East Republican Street & Boylston Avenue East. The 431 parcel contains a 2-story home which is currently housing program services of Community House Mental Health Agency. The 429 parcel contains a 2-story home serving as a group home for 5 clients of Community House. The two homes were built in the early part of the twentieth century. While much of the original character of the homes is still apparent, additions and years of weathering have stripped them of their vintage quality. A shared driveway on the south side of the property serves both the 429 parcel and the neighboring home. A large chestnut tree at the west side of the property has been designated an 'exceptional tree' by a certified arborist and provides a visual buffer to the 6-story apartment building to the west. There is a landscape area approximately 7' wide between the sidewalk and the property line on both East Republican Street and Boylston Avenue East.

Boylston Avenue East between East Republican Street & East Harrison Street is a residential street with a combination of early 20th century 2-story homes on single lot parcels measuring approximately 45' wide, early 20th century brick 3-4 story brick apartment buildings, and large 5-6 story late twentieth century multi-family structures. Boylston Avenue is relatively level and has a nice tree canopy on both sides of the street providing a pleasant pedestrian environment. Directly to the south of our property are three triplex houses, followed by the gracious, 3-story, brick Glen Ray Condo building, which includes a nicely detailed recessed entry courtyard. Across Boylston Avenue to the east is the large, late twentieth century 5-story Vertigo Condos with covered parking in the basement level facing onto Boylston. The nicely proportioned 4-story brick Park Lane Place Condos are at the south end of the block.

East Republican Street between Boylston Avenue East and Belmont Avenue East slopes down to the west and is a more passive street, with the buildings oriented towards the avenue side. Directly to the west of the project site is the large, 6-story, late twentieth century Belmont Court Apartments. It blocks any potential view from the project site to the west towards the South Lake Union neighborhood and the Olympic Mountains beyond. The 4-story, early-twentieth century brick Viceroy Apartments across the street to the north is built to the property line on both the south and east sides, with parking in the basement accessed from the west end of the Republican Street frontage. The six story multi-family structure, Stream Belmont, located at the northeast corner of Republican and Belmont recently started construction. To the east on East Republican, is the Capitol Hill Branch Library, and one block further to the east are the Broadway Market and Joule mixed-use structures.

Zone:	'MR' - Midrise; Capitol Hill Urban Center Village Overlay; Capitol Hill Light Rail Station Overlay
Lot Area:	7,051 S.F.
Floor Area Ratio (FAR):	Base FAR: 3.2 Bonus FAR: 4.25 (Pursuant to 23.58A & 23.45.516) Base gross S.F. allowed: 7,051 S.F. x 3.2 = 22,563 S.F. Bonus gross S.F. allowed: 7,051 S.F. x 4.25 = 29,966 S.F. Gross floor area proposed: 21,689 S.F. FAR proposed: 3.07
Height Limit:	Base Height Limit: 60 ft. Max Height Limit: 75 ft. (Pursuant to 23.58A & 23.45.516) Proposed Height: 56'-10" to top of parapet
Setbacks:	At street lot lines: 7 ft. Avg.; 5 ft. Minimum No setback at street lot lines if courtyard provided that meets 23.45.518 B At rear lot line: 15 ft. (Doesn't abut an alley) At interior lot line: Below 42 ft. in height: 7 ft. Average; 5 ft. Minimum Above 42 ft. in height: 10 ft. Average; 7 ft. Minimum Proposed: See Site Plan & Departure Requests Diagrams
Structural Building Overhang:	Max. Extension of Cornice over R.O.W. Allowed: 1 ft. horizontal and 2'-6" vertical Proposed Extensions of Cornice over R.O.W: 7" horizontal and 1'-6" vertical along 63 ft. of North Property Line 7" horizontal and 1'-6" vertical along 23 ft. of East Property Line
Amenity Area:	Required: 925 S.F. (5% Of G.S.F. in residential use); 50% maximum allowed to be enclosed; Minimum size: 250 S.F. & 10 ft. horizontal dimension Proposed: 1,498 S.F. total, 41.5% enclosed (622 S.F. enclosed, at Common Room) 876 S.F. at Roof Deck,
Landscaping:	Required: Green factor score of 0.5 minimum Street trees, as directed by DPD Proposed: Green factor score of 0.717
Structure Width & Depth Limits:	Not applicable (lot area is less than 9,000 S.F.)
Design Review:	Mandatory (more than 20 dwelling units proposed) SMC 23.45.529 Design Standards: not applicable
Vehicle Parking:	None required (Urban Center & Station Overlay District)
Bicycle Parking:	11 Long-term spaces required No short-term spaces required Proposed: 11 bicycle racks at basement level



STREETSCAPE PHOTOS



Boylston Avenue East looking west



East Republican Street looking north

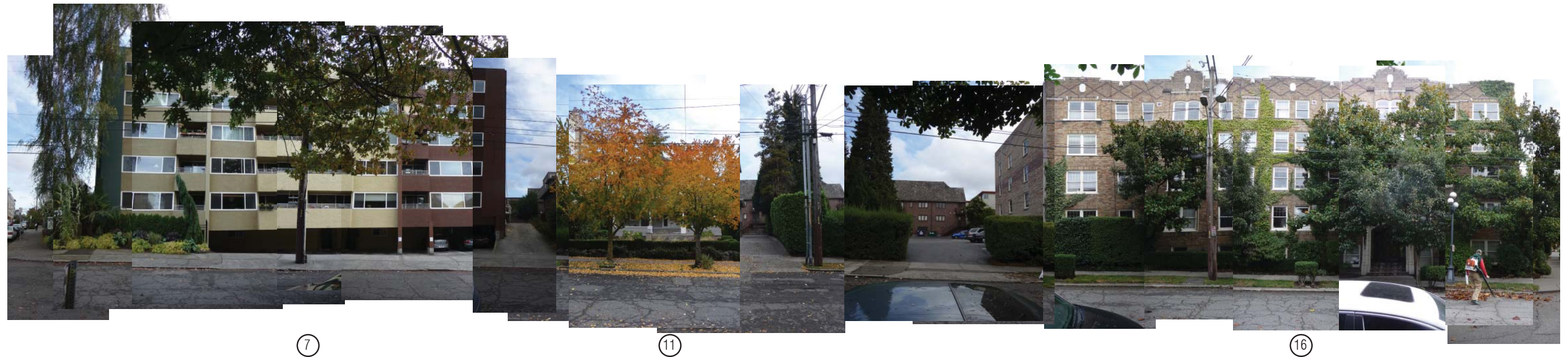


View to northeast from site at corner of Boylston & Republican



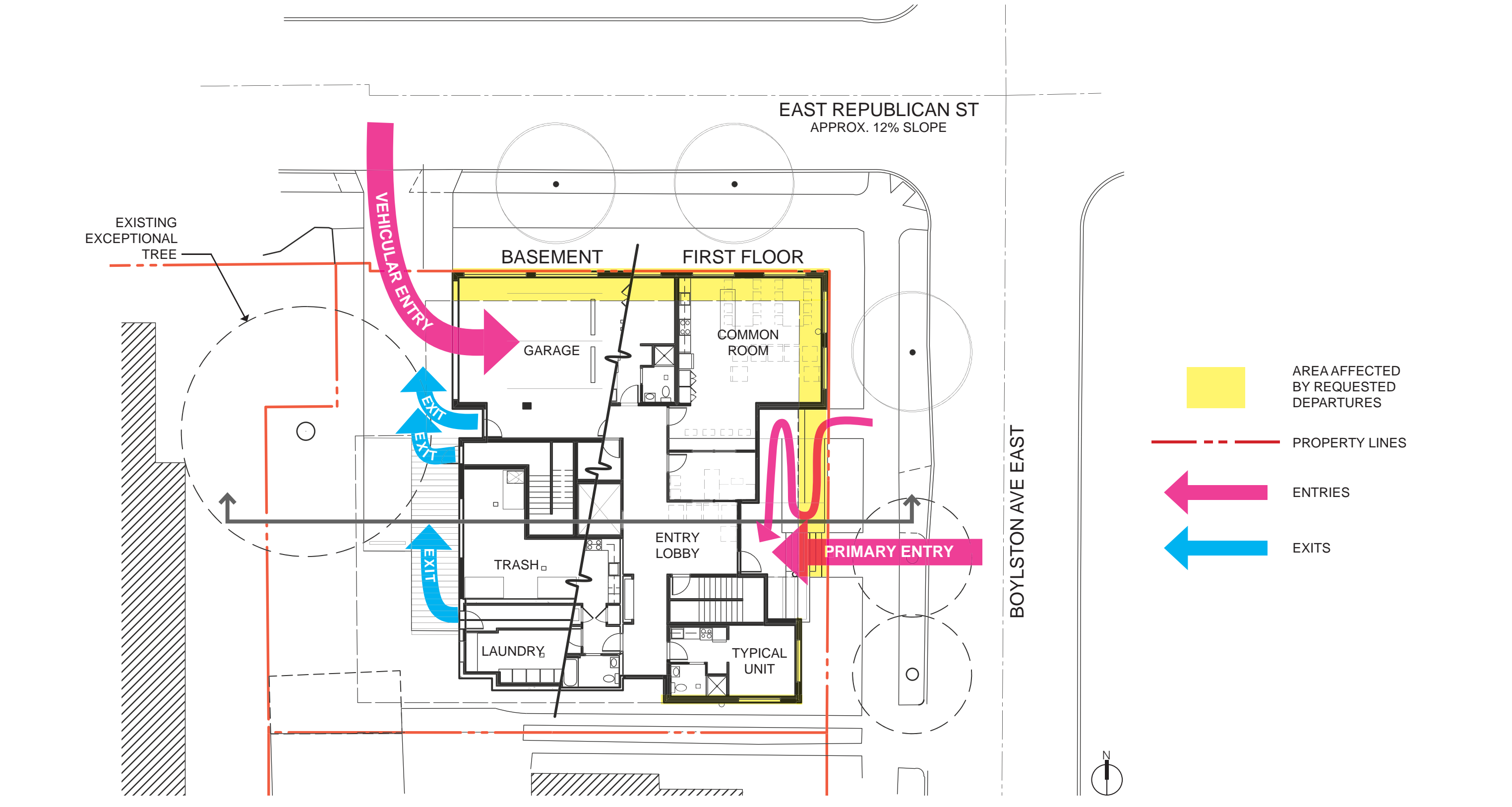
Buildings keyed to 'Vicinity Map & Surrounding Uses,' page 4

East Republican Street looking south



Boylston Avenue East looking east

COMPOSITE SITE PLAN



Composite Site Plan Showing Ground-Level Uses and Vehicular and Pedestrian Access
1/16" = 1'



The Caroline W. 431 Boylston Avenue East
Design Review Recommendation Meeting - May 1, 2013



A. Site Planning

A-1 Responding to Site Characteristics

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

The building is sited to preserve the City of Seattle designated exceptional tree growing at the west side of the property by placing the building mass tight to the property lines at the northeast corner of the site. This placement of the building on the site also replicates and responds to the neighborhood context of predominantly 'zero lot line' buildings, specifically the Viceroy apartment building directly across the street to the north.

A-2 Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Capitol Hill-specific supplemental guidance:

- Retain or increase the width of sidewalks.
- Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.
- Vehicle entrances to buildings should not dominate the streetscape.

By locating the new north and east walls at the NE property corner, the proposed building repeats the relationship of the building to the property lines that is present at the Viceroy Apartments to the north, creating street corner bookends that frame the pedestrian experience heading west. The east façade location and articulation provides a strong street wall, consistent with the most of the existing buildings along Boylston Ave East, and reinforces the existing spatial characteristics of the surrounding neighborhood.

An existing driveway and curbcut on Boylston Ave. will be removed. New street trees will be provided per City of Seattle direction. Driveway access is at the northwest corner of the site in its existing location, away from the pleasing pedestrian streetscape of Bolyston Ave.

A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.

The main building entry is centered along the Boylston Ave. façade and clearly visible, consistent with typical building entry locations in the surrounding neighborhood. Concrete steps, a wheelchair ramp and a canopy roof extending from the face of the building over the steps/ramp signal access to the building interior and provide visual cues that communicate entry location. Mosaic art surrounding the column supporting the canopy and along the concrete walls of the steps/ramp will highlight the entry by adding color and interest.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Capitol Hill-specific supplemental guidance:

- Incorporate residential entries and special landscaping into corner lots by setting the structure back from the property lines.

As noted above in guideline A-2, the proposed building is pushed to the northeast corner of the site to preserve the exceptional tree, provide street corner bookends with the Viceroy Apartments to the north, and reinforce the 'zero lot line' siting of buildings that is prevalent in this neighborhood. Parking access is located at the northwest corner of the site, away from the street corner. The proposed building's corner is treated as a solid, with punched window openings, reflecting typical, traditional corner treatment. Fully glazed openings in the brick base at the northeast corner provide increased daylight into the Common Room and distinguish this space from adjacent studio apartments, while respecting the use within through translucent glazing at the lowest glazed panels. The building's brick base provides texture and visual interest for pedestrians, and together with metal siding at the upper floors provides durable, long-term quality.

B. Height, Bulk and Scale

B-1 Height, Bulk, and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges

should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

Capitol Hill-specific supplemental guidance:

- Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.
- Consider existing views to downtown Seattle, the Space Needle, Elliott Bay and the Olympic Mountains, and incorporate site and building design features that may help to preserve those views from public rights-of-way.
- Design new buildings to maximize the amount of sunshine on adjacent sidewalks throughout the year.

The five-story building proposed will be in scale with the surrounding development, as opposed to a 7-story, 75' height building allowed by the zoning code. The relatively flat façade on the north side is compatible with the similarly non-modulated façade of the Viceroy Apartments across the street and many other apartment buildings in the neighborhood. The modulated east façade facing Boylston Ave. uses building massing to help frame the entry, similar to traditional brick apartment buildings in the neighborhood, like the Glen Ray Condos to the south.

C. Architectural Elements and Materials

C-1 Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

The brick-faced 1st floor level with precast concrete accents is designed to be compatible with traditional brick apartment buildings throughout the neighborhood. The relatively flat façade on the north side is compatible with the similarly non-modulated façade of the Viceroy Apartments across the street and many others throughout the neighborhood. Expressed as solid volumes with punched window openings, this building continues the early 20th century, traditional apartment building expression and respects the specific residents of this building by maximizing natural light while protecting privacy.

RESPONSE TO EARLY DESIGN GUIDANCE - CONTINUED

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

Capitol Hill-specific supplemental guidance:

- Incorporate signage that is consistent with the existing or intended character of the building and the neighborhood.
- Use materials and design that is compatible with the structures in the vicinity if those represent the desired neighborhood character.

Conceptually, groupings of apartments are expressed as solid volumes separated by circulation spaces with glazed, recessed corridor end-walls which serve to break-up and define building volumes, provide variety and hierarchy to the fenestration pattern of the facades, and provide a dedicated view of the exceptional tree west of the building.

The brick-faced 1st floor level with precast concrete cornice is designed to be compatible with the traditional brick apartment buildings throughout the neighborhood. The transition from the brick 1st floor to the metal siding on the 2nd – 5th floors will be detailed with a 12" deep x 1'4" high precast concrete cornice, designed to relate with the traditional terra cotta masonry accents found on many of the older brick apartment buildings throughout the neighborhood. Glazed exterior wall recesses are used to express the ends of corridors, and stair and elevator cores are given their own formal expression with contrasting, through-color cementitious panel siding texture and color. Consistent window sizes and spacing are carried around the building to provide a unified building expression.

C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Capitol Hill-specific supplemental guidance:

- Use wood shingles or board and batten siding on residential structures.
- Provide operable windows, especially on storefronts.

- Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.
- Consider each building as a high-quality, long-term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.
- The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is discouraged, especially on ground level locations.

Brick and cast concrete are used at the basement and 1st floors to reiterate the timeless quality and permanence of the older buildings in the neighborhood. Metal siding and through-color cementitious panels used for the remainder of the exterior provide attractive and durable claddings that are 40-year maintenance free products, a critical issue for the nonprofit agency owner. The building entrance is paneled with wood to provide a warm and welcoming entry.

D. Pedestrian Environment

D-6 Screening of Dumpsters, Utilities, and Service Areas

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Capitol Hill-specific supplemental guidance:

- Consolidate and screen dumpsters to preserve and enhance the pedestrian environment.

The trash and recycling are located within the building at the basement level accessed through a screened sectional garage door on the west façade, away from the street elevations. All utility connections will be underground entering the building at the basement level into mechanical and electrical rooms. A rooftop mechanical unit will be screened from view.

E. Landscaping

E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

The existing City of Seattle designated exceptional tree at the west side of the property will be preserved and protected as a neighborhood amenity, as well as a visual screen to the neighboring building to the west. A recessed window at the end of the corridor on Floors 1-5 is aligned with the tree, providing a focused view of the tree for the residents. Concrete paving at the base of the exceptional tree will be removed and replaced with various native plantings to enhance its viability. Streets trees will be added in the Boylston Ave. and E. Republican right-of-ways per City of Seattle guidance.

E-2 Landscaping to Enhance the Building and/or Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

New right-of-way and perimeter plantings will be installed to enhance the pedestrian experience on both street frontages. Paving on the west side of the property will be removed and replaced with landscape areas to enhance and add a visual buffer to the neighboring properties to the west and south. Plantings will grow up a mesh screen around the roof deck to visually screen and buffer the activity on the roof from neighboring properties.

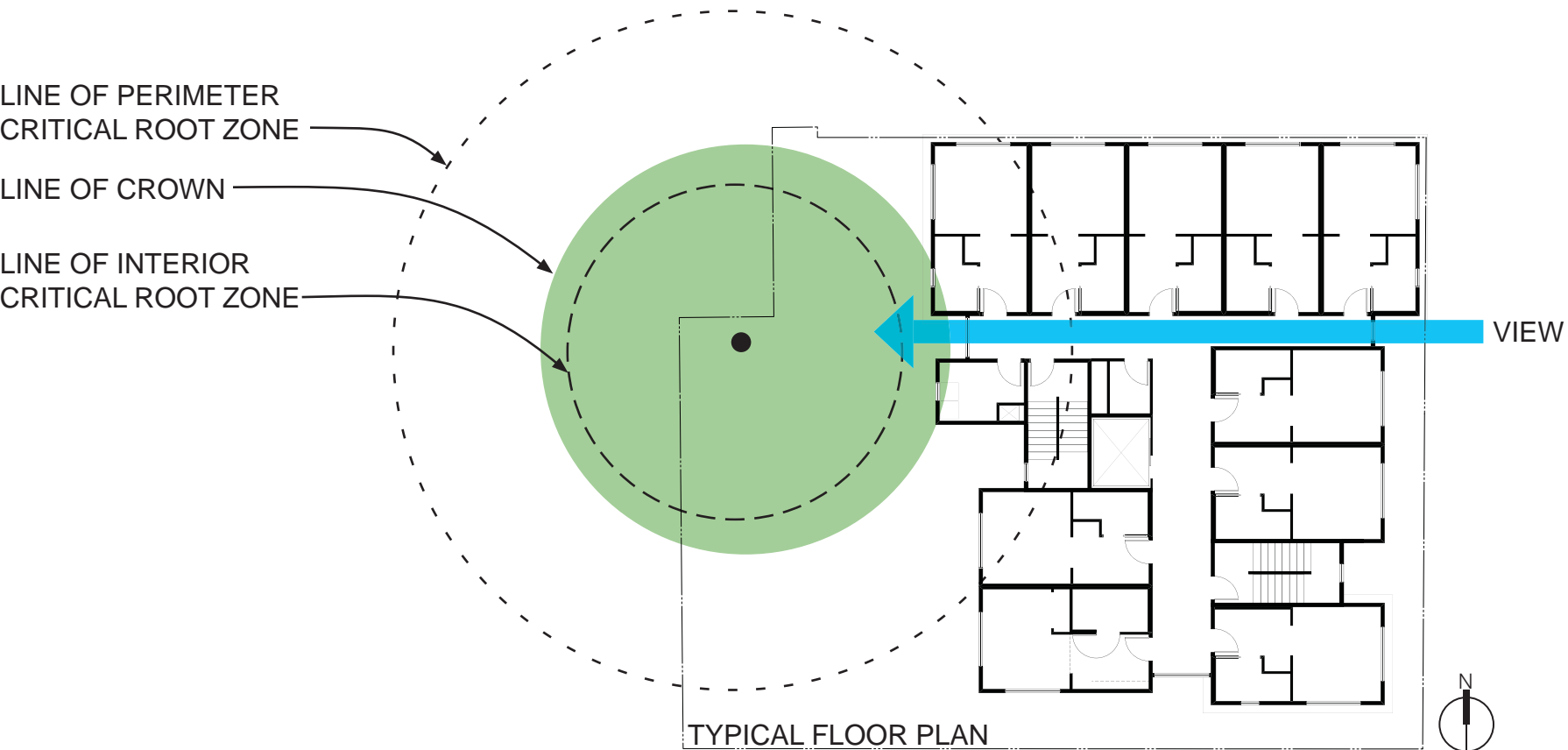


“SMC 25.11.080 Tree protection on sites undergoing development in Midrise and Commercial Zones
A.2. Exceptional Trees - The Director may permit an exceptional tree to be removed only if the applicant demonstrates that protecting the tree by avoiding development in the tree protection area could not be achieved through the development standard departures permitted in SMC 23.41.012...”



-From “Tree Assessment” completed October 19, 2012, by Urban Forestry Services, inc.:
Tree #60, a horse chestnut, is considered an exceptional tree, under DPD Directors Rule 16-2008. The tree consists of eight trunks, with diameters of 9.5 inches to 16.3 inches. The adjusted diameter, considering all of its multiple stems is 42.6 inches. Tree #60 has good vigor and fair structure. The tree is located west of the existing 431 Boylston Avenue East building, and has an east crown radius of 26 feet, that extends over the existing building.
Tree #60 has a Critical Root Zone (CRZ) of 43 feet and Interior Critical Root Zone (ICRZ) of 21 feet. The development of the adjacent west property has resulted in significant impacts to the CRZ of exceptional tree #60; a cut and grade alteration, and installation of a retaining wall. Construction work in the CRZ will require careful planning, and tree protection. The ICRZ must be excluded from all forms of disturbance. The tree has a moderate preservation value because of previous impacts to the CRZ from development of the adjacent west property.

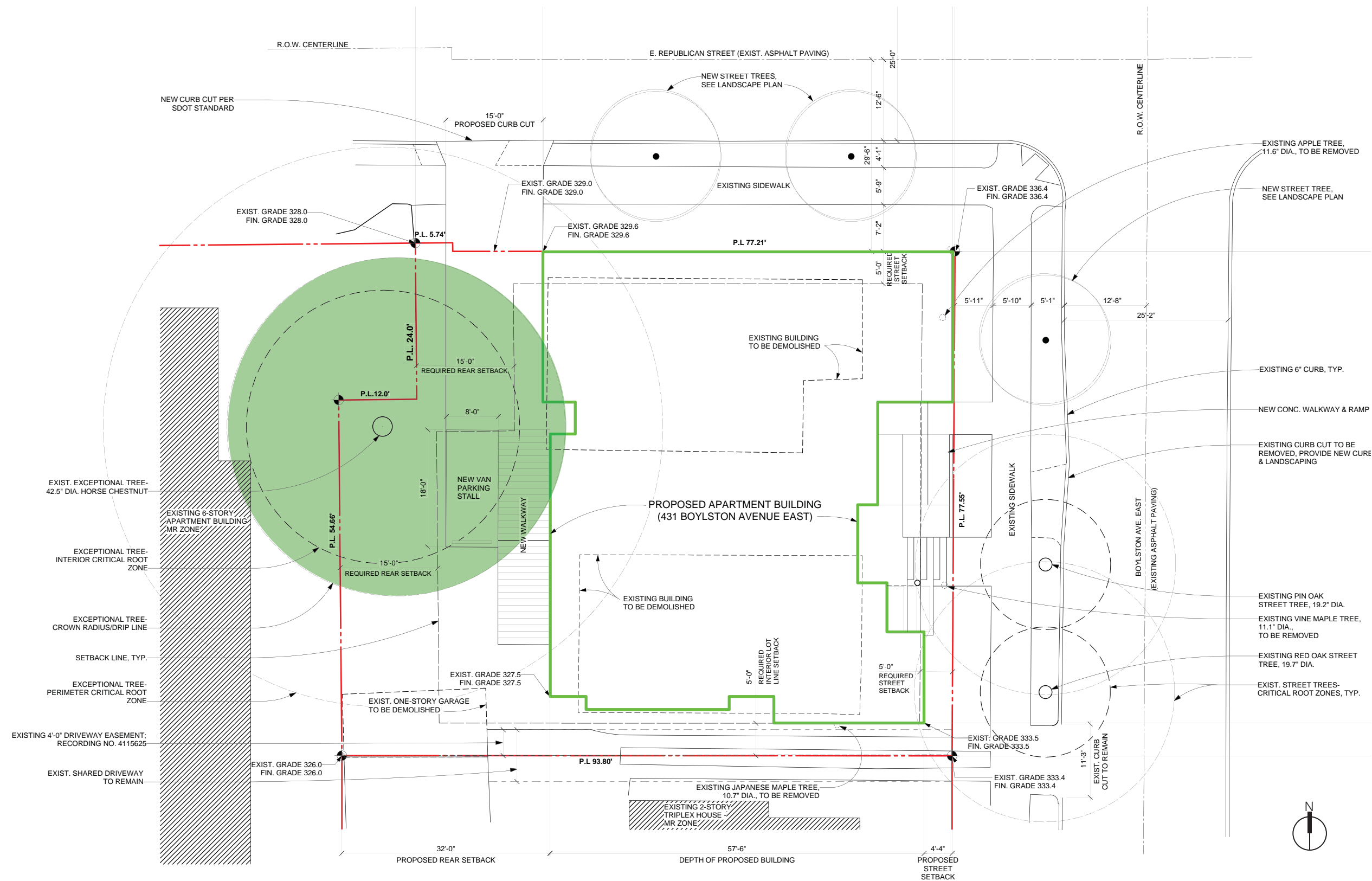
“I don’t see anything in the arborist report to indicate that the tree is not worthy of being retained as an exceptional tree.” – DPD Senior Environmental Analyst

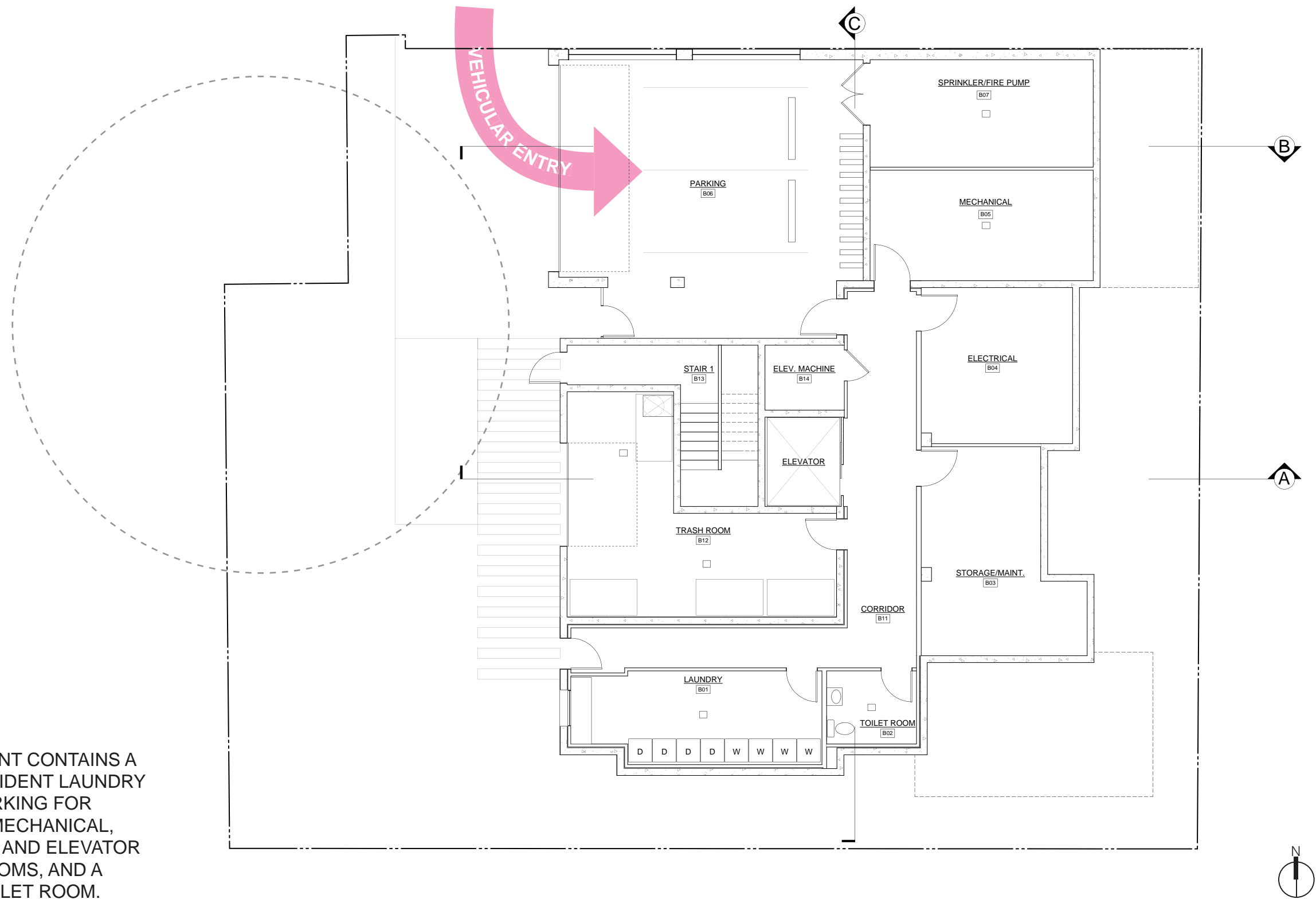


In order to avoid any excavation in the Interior Critical Root Zone, the footprint of the building is shifted to the east. The Design Review Board stated “By maintaining the exceptional tree at the rear of the lot and limiting overall building height, Massing Option A provides better scale and proportion to the surrounding neighborhood structures.” In order to construct the square footage needed, setback departures to the north, east, and minimally to the south are needed. From the interior of the building, the east-west corridors on all floors are aligned with the tree, so that when one looks to the west end of the corridor, the exceptional tree is framed by the window looking out.

Design Response to Exceptional Tree

SITE PLAN



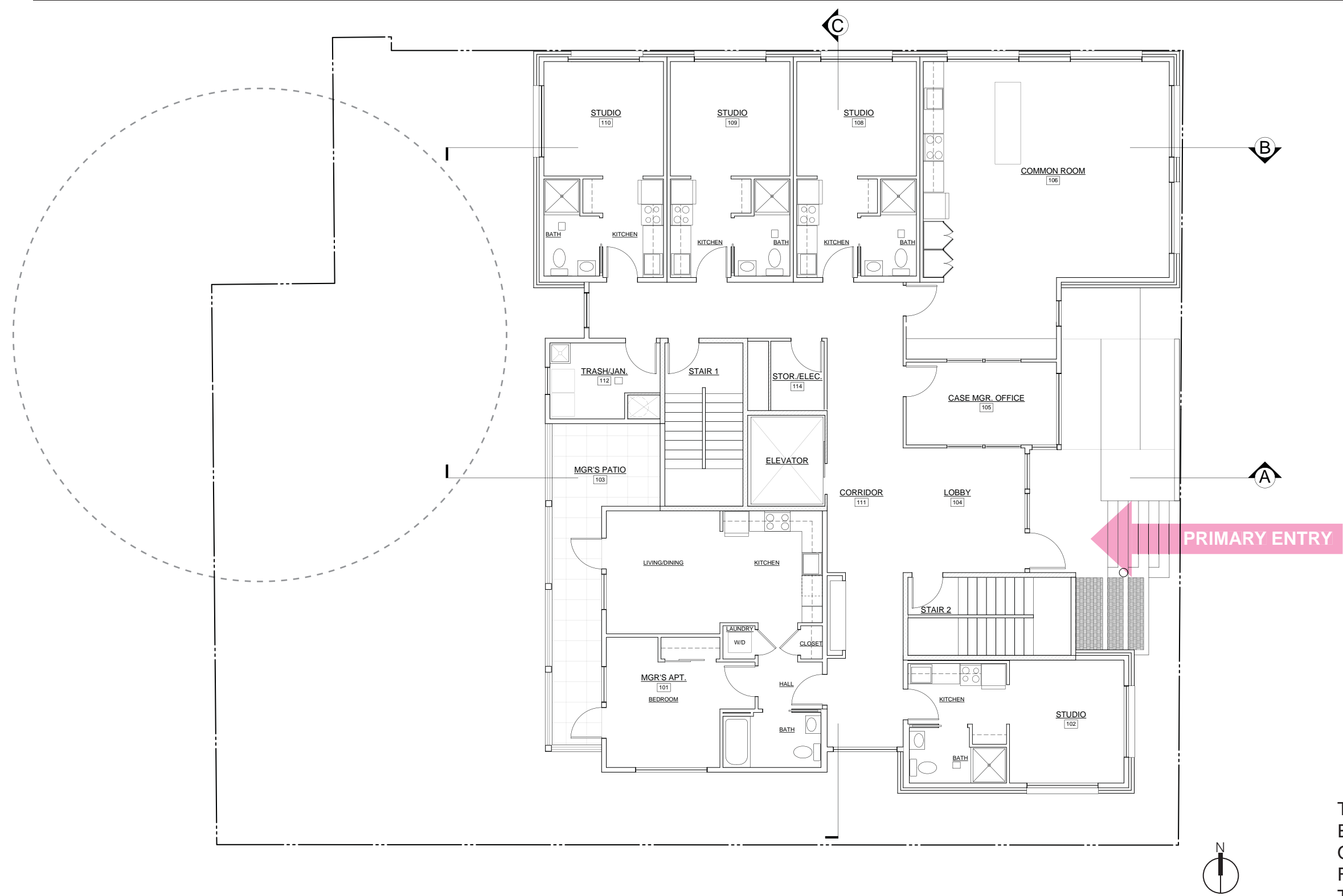


THE BASEMENT CONTAINS A SHARED RESIDENT LAUNDRY FACILITY, PARKING FOR TWO CARS, MECHANICAL, ELECTRICAL, AND ELEVATOR MACHINE ROOMS, AND A COMMON TOILET ROOM.

Basement Plan
1/8"=1'

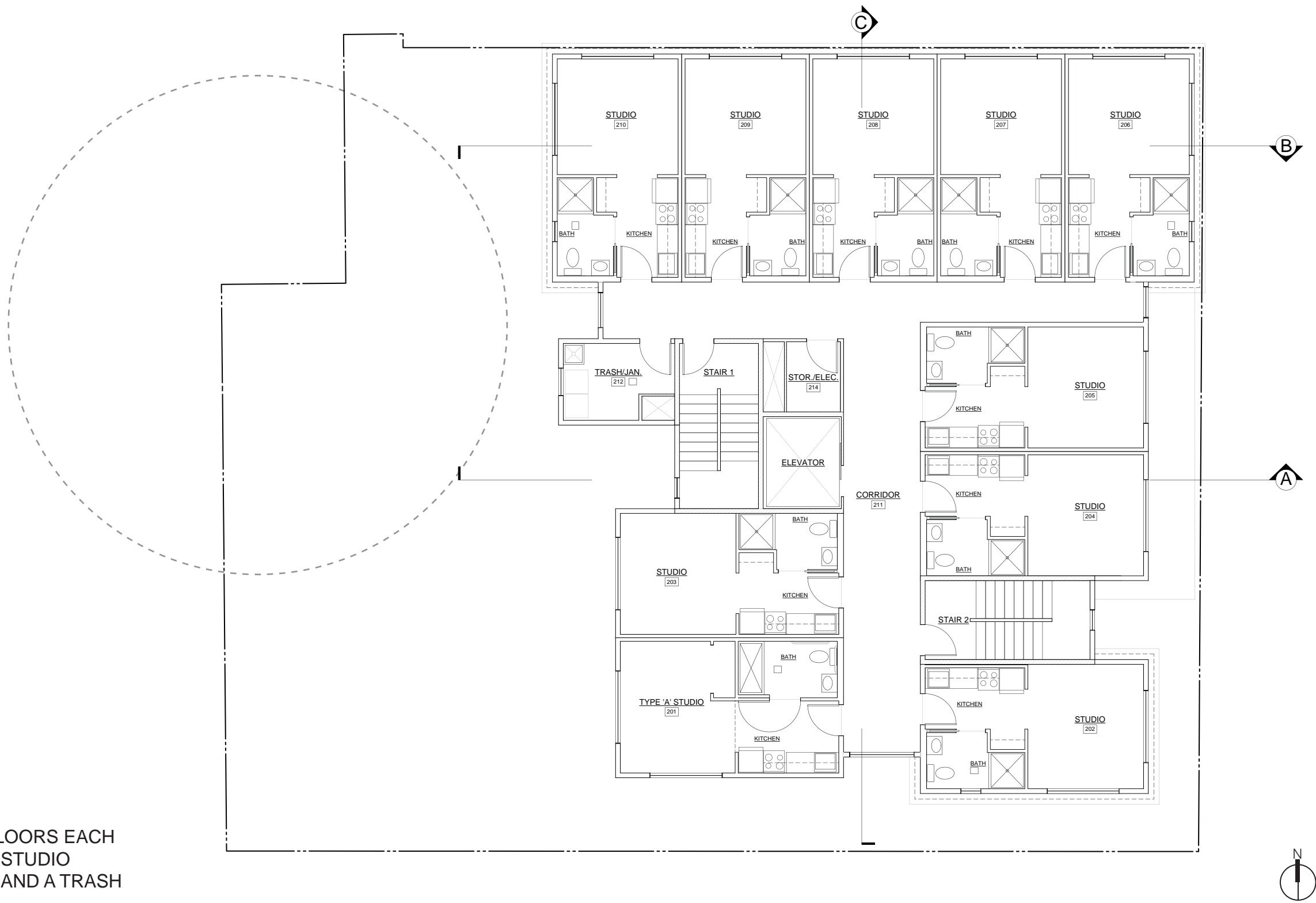


BUILDING PLANS



THE FIRST FLOOR CONTAINS THE ENTRY LOBBY, CASE MANAGER OFFICE, MANAGER'S APARTMENT, FOUR STUDIO APARTMENTS, AND A TRASH ROOM.

First Floor Plan
1/8" = 1'

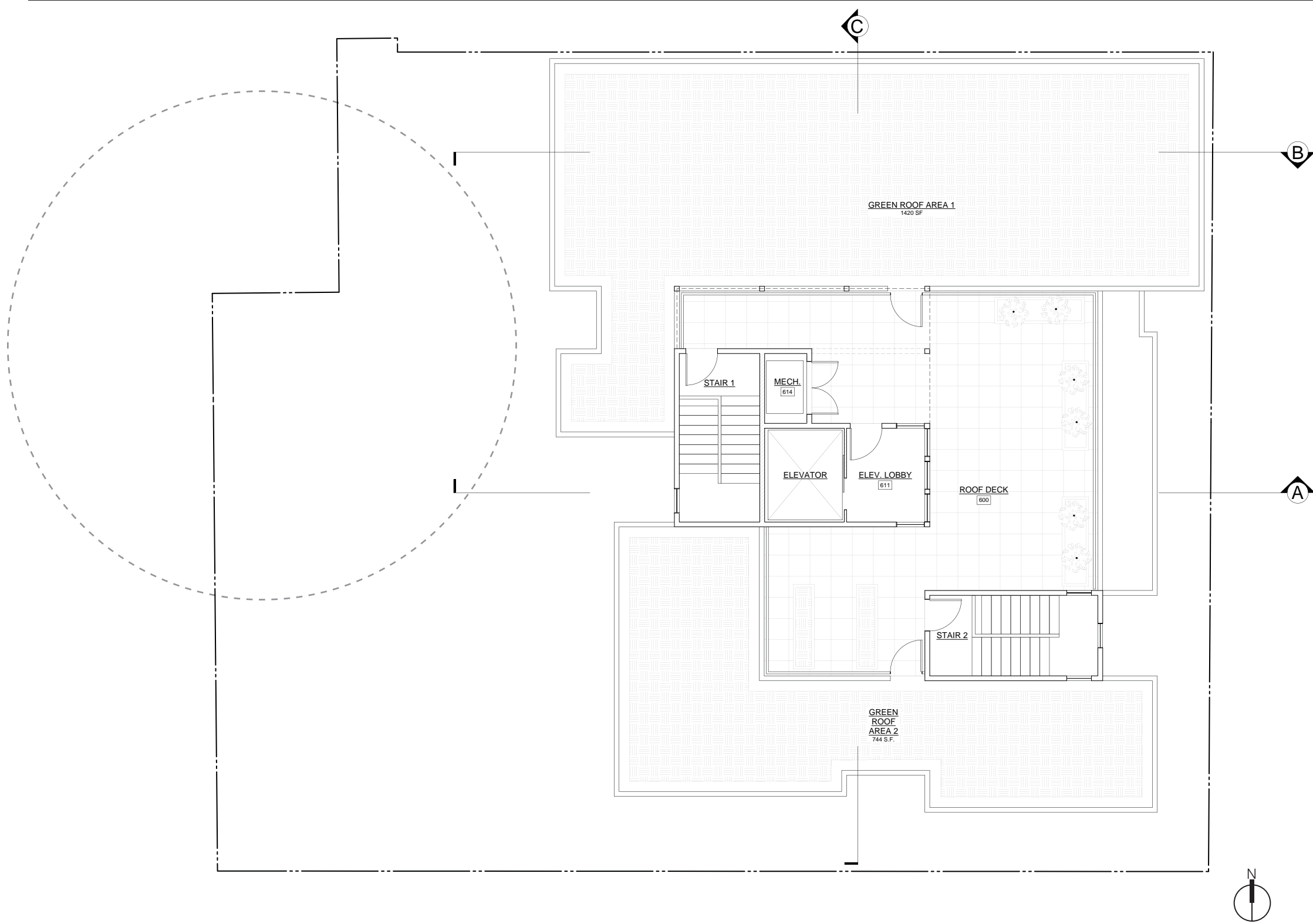


THE UPPER FLOORS EACH
CONTAIN TEN STUDIO
APARTMENTS AND A TRASH
ROOM.

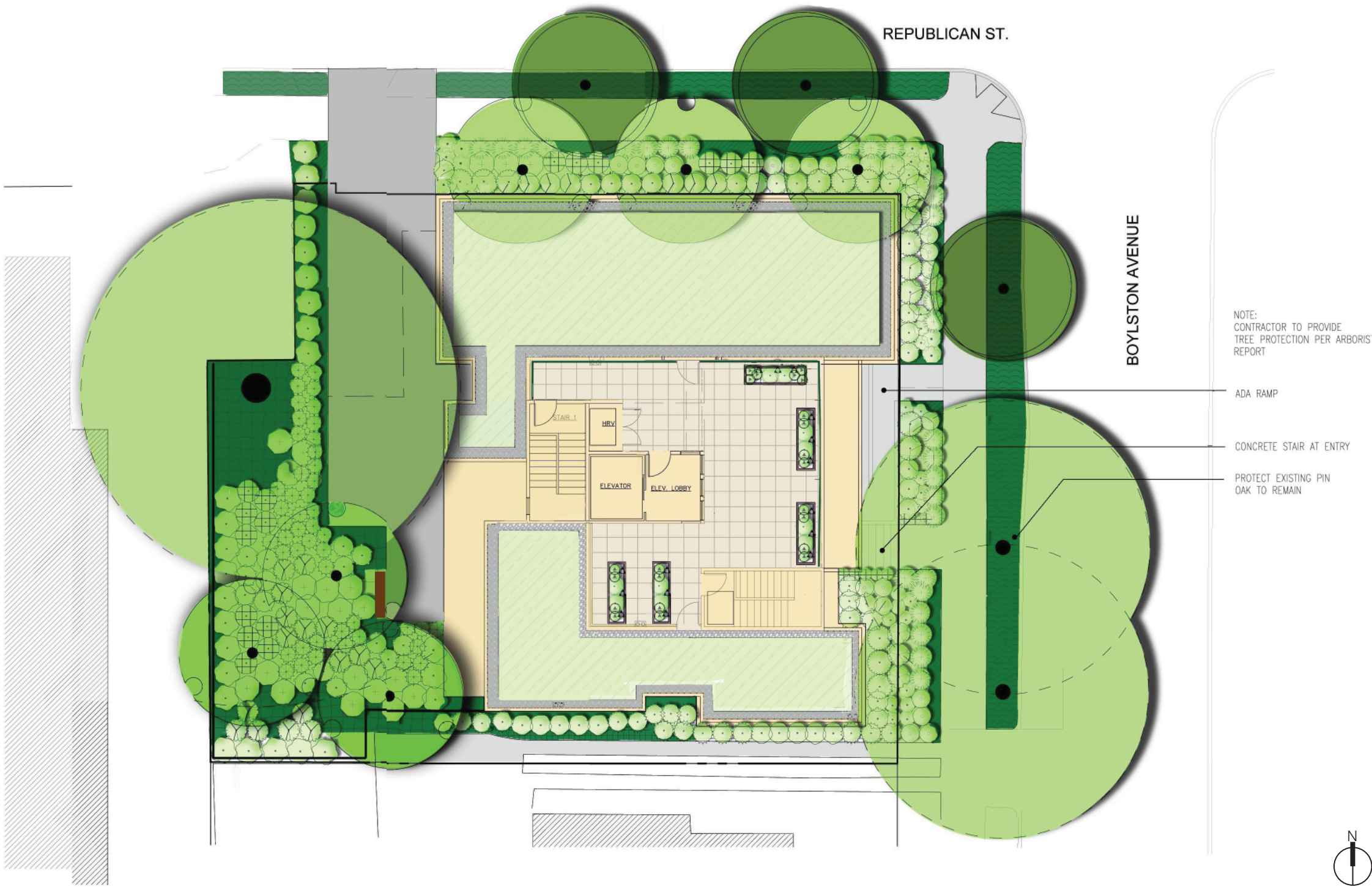
Second Thru Fifth Floor Plan
1/8" = 1'



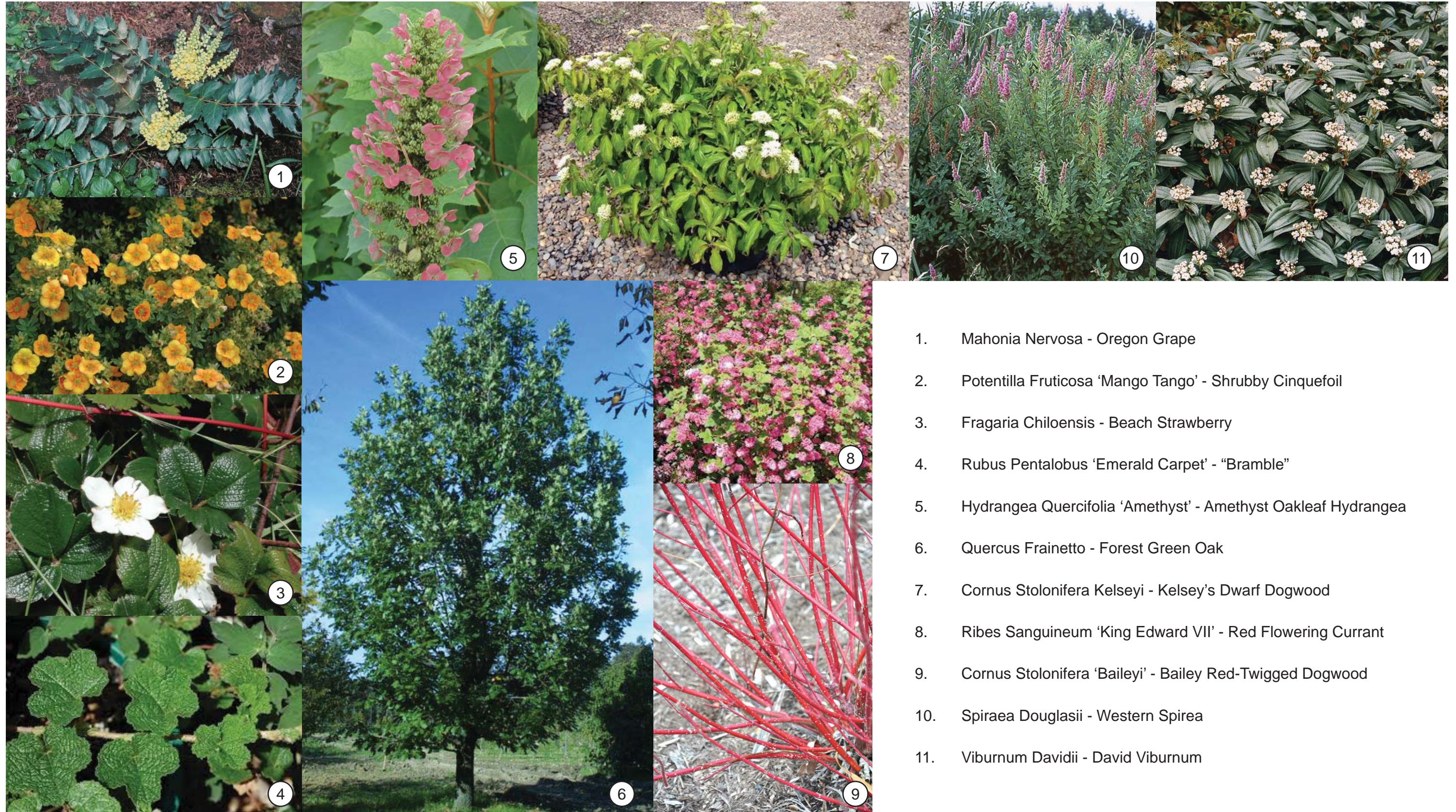
BUILDING PLANS



THE ROOF DECK HAS AN ELEVATOR LOBBY, A COVERED RESIDENT AREA, AND A RESIDENT GARDENING AREA. THE INACCESSIBLE AREAS OF THE ROOFTOP HAVE AN EXTENSIVE GREEN ROOF.



IMAGES OF PROPOSED PLANTS



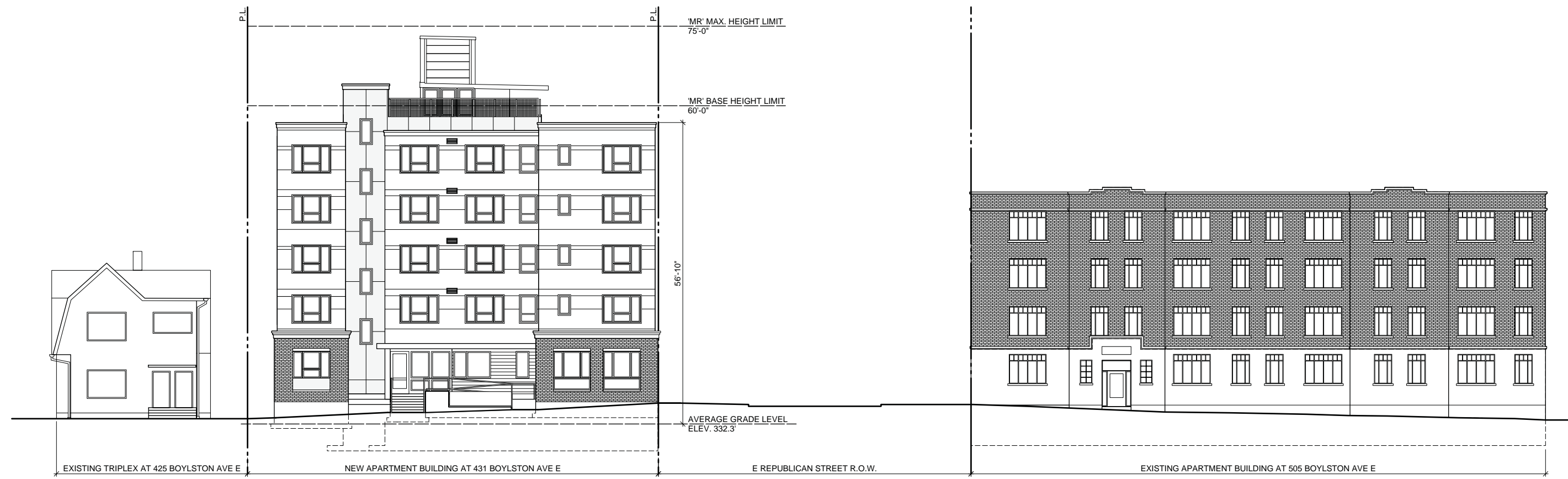
1. Mahonia Nervosa - Oregon Grape
2. Potentilla Fruticosa 'Mango Tango' - Shrubby Cinquefoil
3. Fragaria Chiloensis - Beach Strawberry
4. Rubus Pentalobus 'Emerald Carpet' - "Bramble"
5. Hydrangea Quercifolia 'Amethyst' - Amethyst Oakleaf Hydrangea
6. Quercus Frainetto - Forest Green Oak
7. Cornus Stolonifera Kelseyi - Kelsey's Dwarf Dogwood
8. Ribes Sanguineum 'King Edward VII' - Red Flowering Currant
9. Cornus Stolonifera 'Baileyi' - Bailey Red-Twigged Dogwood
10. Spiraea Douglasii - Western Spirea
11. Viburnum Davidii - David Viburnum

IMAGES OF PROPOSED PLANTS

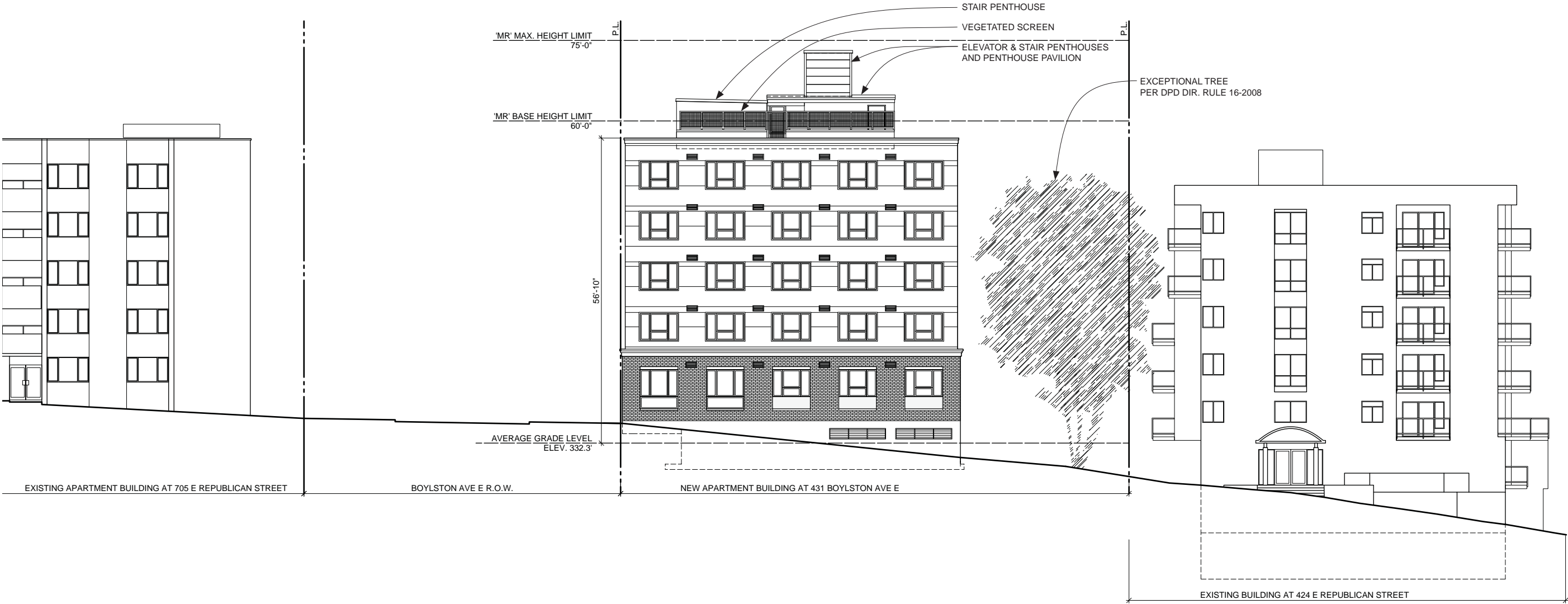
12. Carex Testacea 'Prairie Fire' - Prairie Fire Sedge
13. Pittosporum Tobira 'Wheeler's Dwarf' - Mock Orange
14. Sarcococca Hookerana Humilis - Sweet Box
15. Pieris Japonica 'Cavatine' - Lilly of the Valley Bush
16. Acer Circinatum 'Pacific Fire' - Vine Maple
17. Gualtharia Shallon - Salal
18. Berberis verruculosa - Warty Barberry
19. Pachysandra Procumbens 'Forest Green' - Forest Green Pachysandra
20. Arbutus Unedo 'Compacta' - Dwarf Strawberry Tree
21. Phormium Tenax 'Jack Sprat' - New Zealand Flax
22. Myrica Californica - Pacific Wax Myrtle
23. Sedum
24. Hebe Recurva - Hebe



BUILDING ELEVATIONS WITH CONTEXT



East Elevation Along Boylston
1"=20'



North Elevation Along Republican
1"=20'

COLORED ELEVATIONS

NOTE: MOSAIC TILE ARTWORK AND CUT METAL ART PANELS SHOWN ARE GRAPHIC 'PLACEHOLDERS' FOR ACTUAL DESIGNS TO BE PROVIDED BY ARTIST. EXTENT OF ART INSTALLATIONS TO BE DETERMINED.



East Elevation Along Boylston Ave East

North Elevation Along East Republican Street

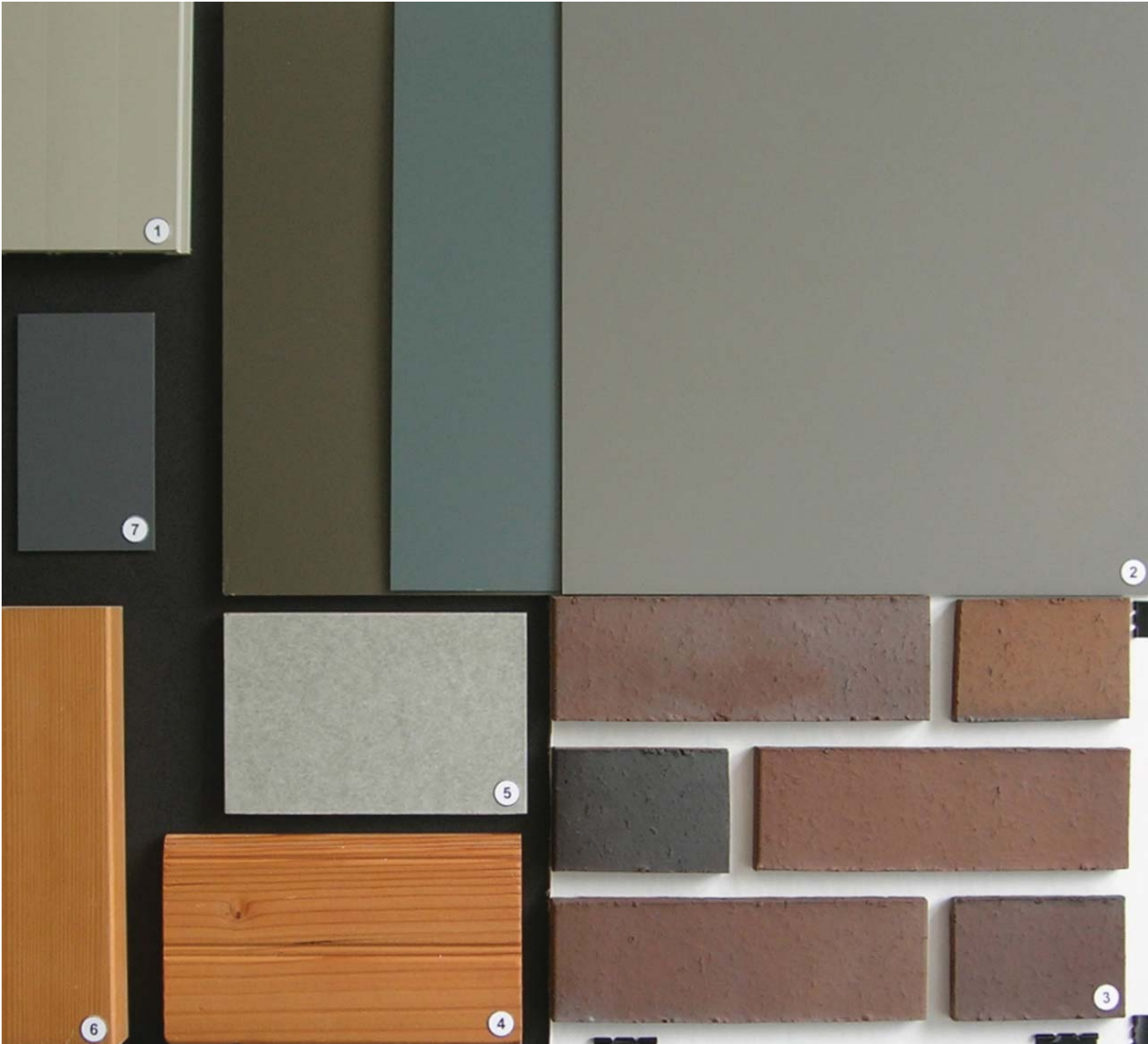
COLORED ELEVATIONS



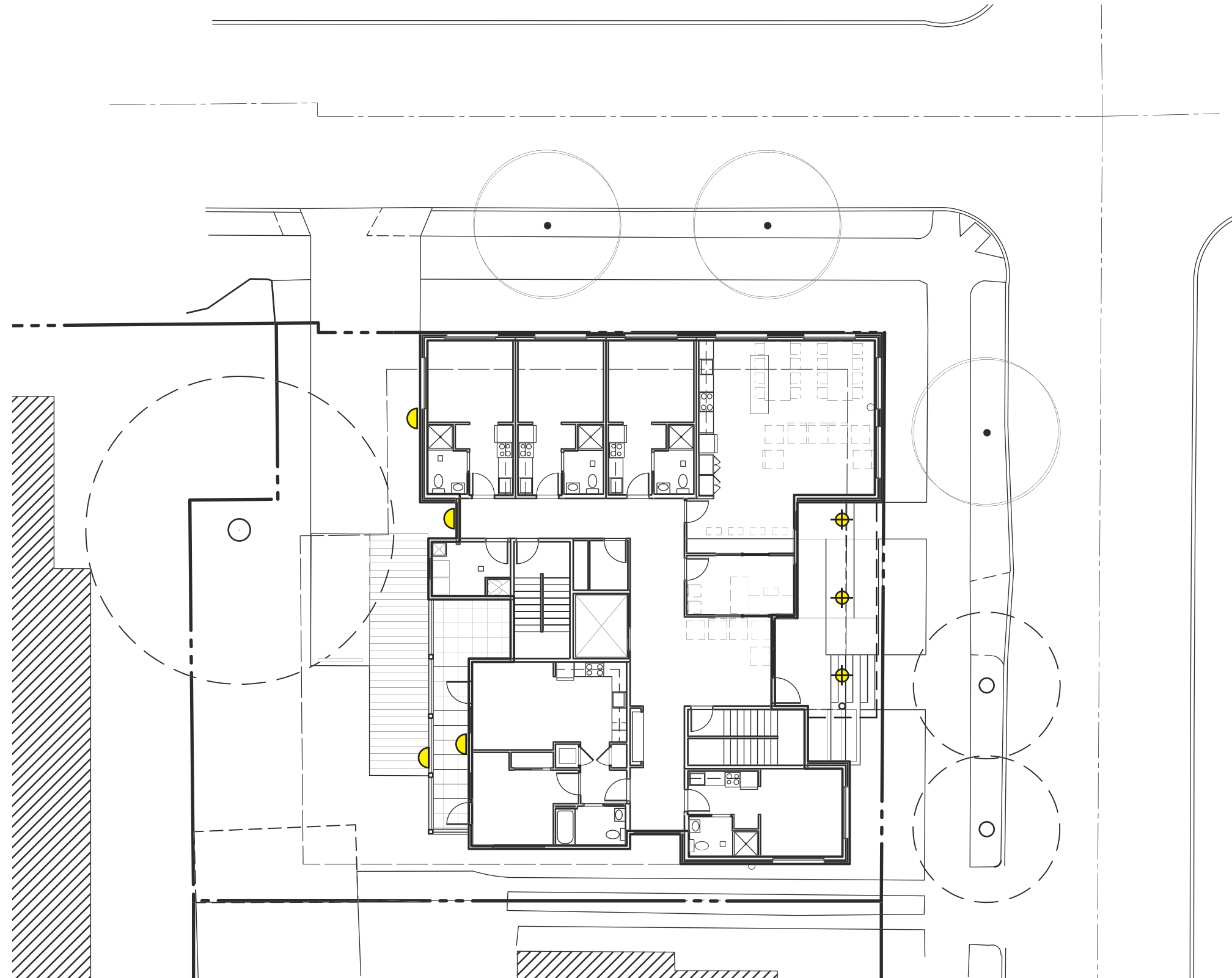
South Elevation (Interior Lot Line)

West Elevation (Interior Lot Line)

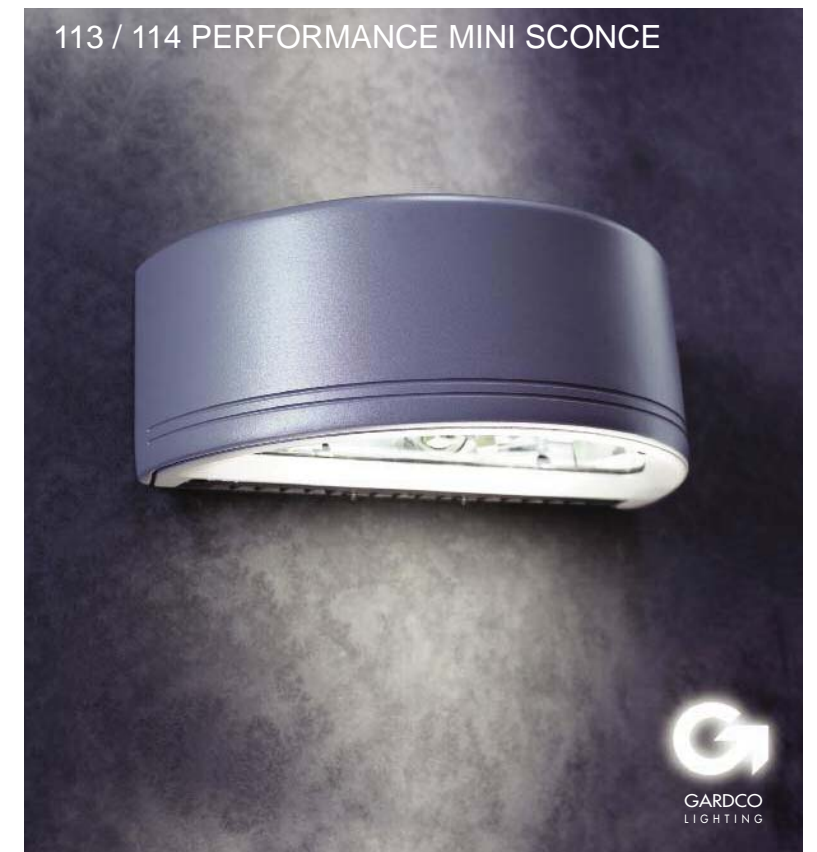
MATERIALS AND COLORS



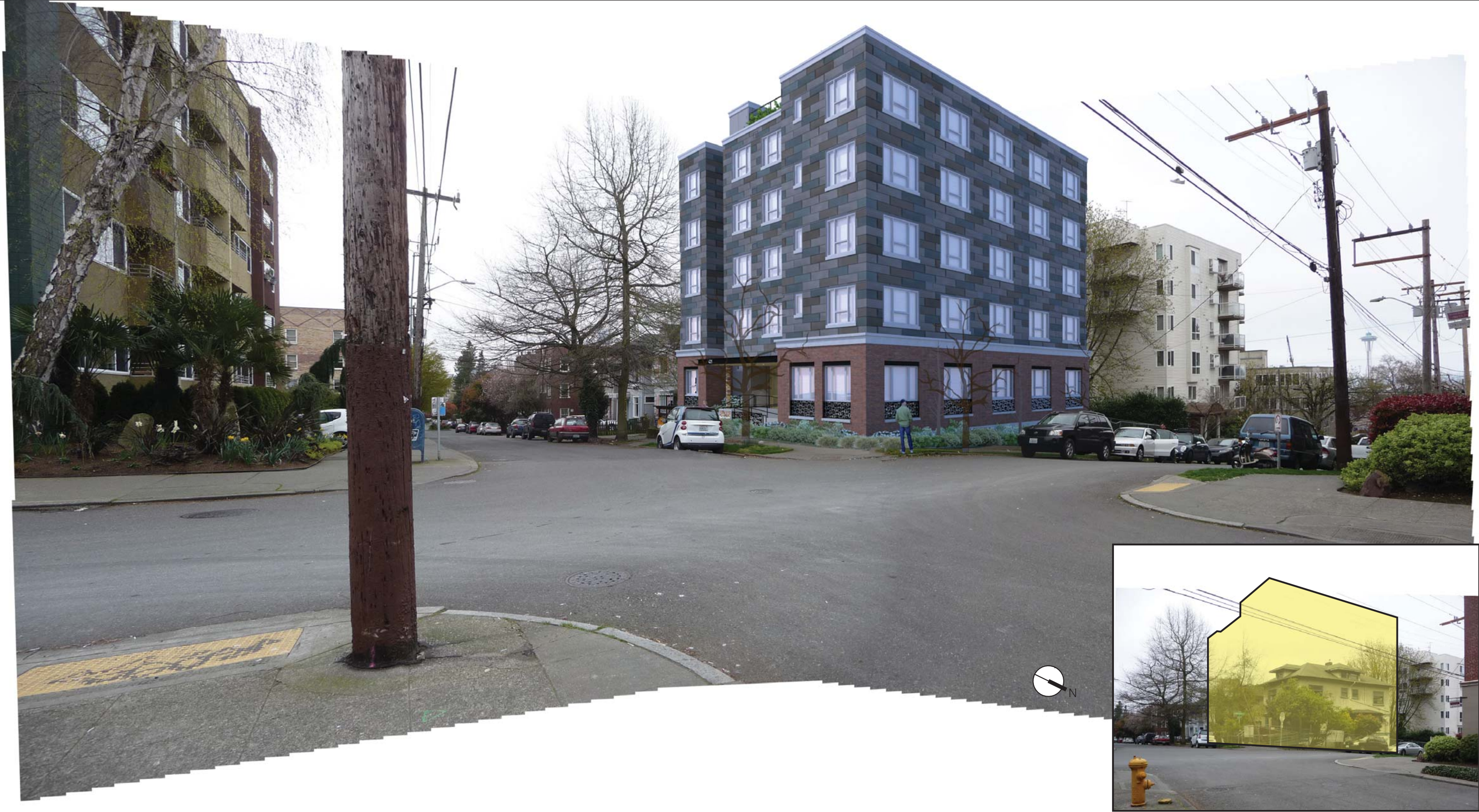
- 1 VPI Vinyl Windows
ALMOND
- 2 Metal Wall Panels
RIVER ROCK CR, YORKTOWN, CADET GREY
- 3 MUTUAL MATERIALS Brick Veneer
FOREST BLEND
- 4 Wood Siding
CLEAR CEDAR
- 5 MINERIT HD Fiber Cement Siding
Panels
- 6 Wood Storefront System
CLEAR FIR
- 7 Prefinished Painted Metal Parapet and Canopies
CHARCOAL



- ⊕ CAN LIGHTS IN SOFFIT
- ◐ SCONCE (SHOWN BELOW)



PERSPECTIVE RENDERINGS



Perspective View of Project Inserted into Panoramic Photograph, Looking Southwest at Corner

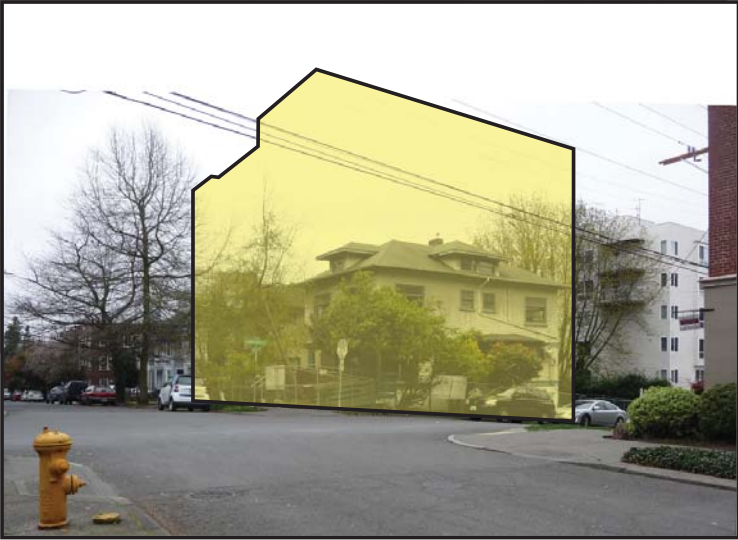


Diagram Showing Mass of New Building Over Existing



Perspective View of Project Inserted into Panoramic Photograph, Looking East Along Republican



Perspective Looking North Along Boylston (Existing Trees Ghosted In)

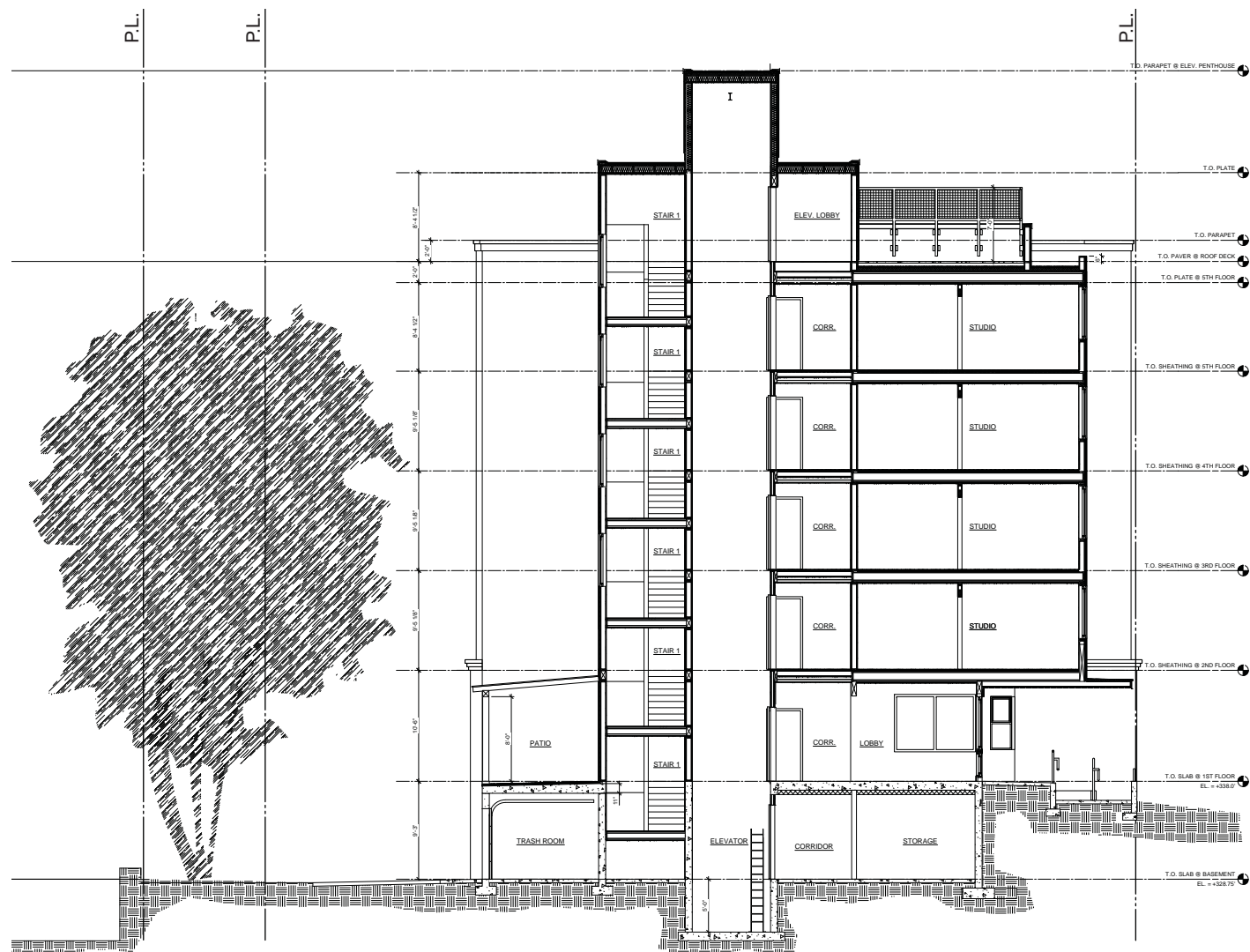


Perspective Looking Southwest at Building Corner

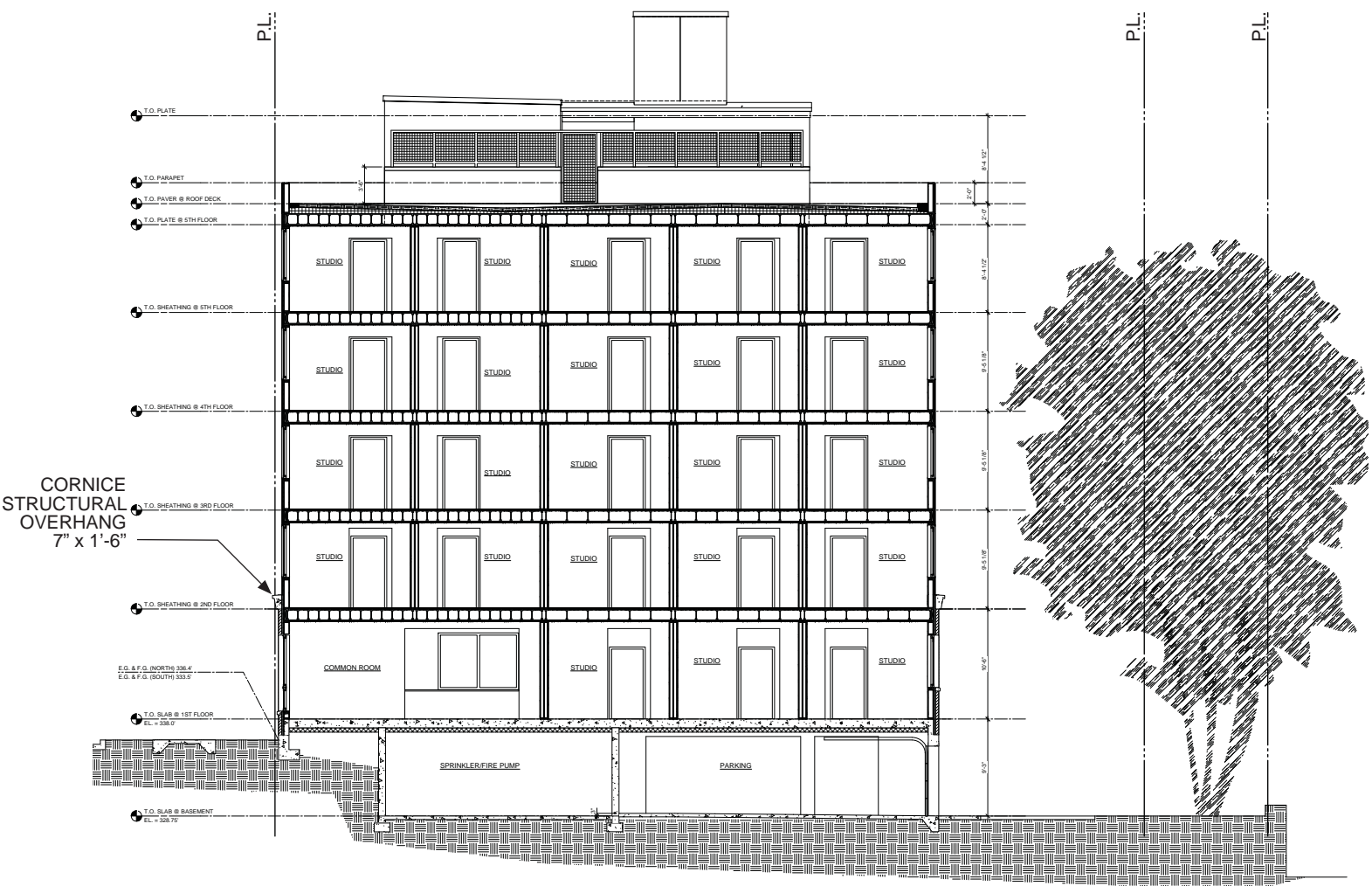


Perspective Showing Building Entry (Existing Trees Removed for Clarity)

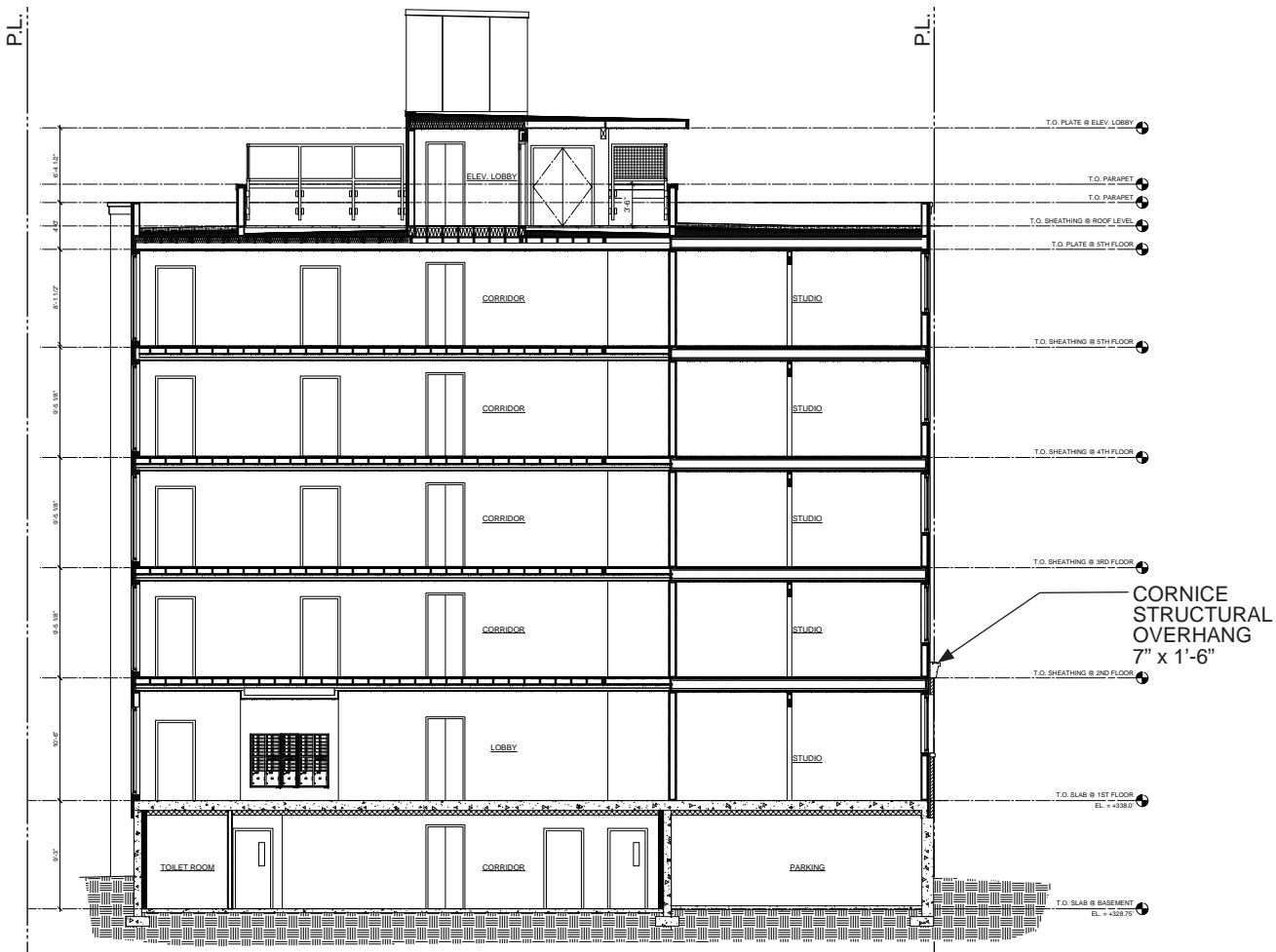
BUILDING SECTIONS



Building Section A through Entry Lobby and Elevator, Looking North
1/16"=1'



Building Section B through Common Room and Studio Apartments, Looking South
1/16" = 1'



Building Section C through Corridor and Studio Apartments, Looking West
1/16" = 1'

REQUESTED DEPARTURES FROM DEVELOPMENT STANDARDS

DEVELOPMENT STANDARD	CODE REQUIREMENT	DEPARTURES REQUESTED	GUIDELINE COMPLIANCE THROUGH DEPARTURES
Front Setback from East Street Lot Line (SMC 23.45.518 B.) (SMC 23.45.518 H.1)	5 foot minimum setback; 7 foot average setback; No setback required if a courtyard of prescribed minimum dimensions abuts the street. Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.	0'-1" minimum average setback along portion of Front Yard Setback 3'-11" average setback along Front Yard Setback	A-1 Responding to Site Characteristics A-2 Streetscape Compatibility A-3 Entrances visible from the Street A-5 Respect for Adjacent Sites A-7 Residential Open Space C-3 Human Scale E-2 Landscaping to Enhance the Building and/or Site E-3 Landscape Design to Address Special Site Conditions
Side Setback from North Street Lot Line (SMC 23.45.518 B.)	5 foot minimum setback; 7 foot average setback; No setback required if a courtyard of prescribed minimum dimensions abuts the street	0'-1" minimum setback along Side Setback at brick veneer (1st floor) 0'-1" average setback along Side Setback at brick veneer (1st floor)	
Side Setback from South Interior Lot Line (SMC 23.45.518 B.)	Below 42' in height: 7 foot average setback; 5 foot minimum setback Above 42' in height: 10 foot average setback; 7 foot minimum setback	Below 42' in height, project is compliant Above 42' in height: 10.05' average setback; 5'-5" minimum setback along eastern portion only (no structure proposed along 17'-2" of setback)	

How the project meets or exceeds relevant Design Guidelines:

Note: All text in quotes are excerpts from the Design Review Guidelines for Multifamily and Commercial Buildings.

A-1 Responding to Site Characteristics

By placing building massing to the north and east on the site, into the required setbacks, the proposed apartment building better “responds to specific site conditions and opportunities such as....significant vegetation...”. The large, existing Chestnut tree at the west edge of the site meets the city’s criteria of an ‘exceptional tree’ and, per the certified arborist’s report, has two Critical Root Zones (Perimeter and Interior) and a Crown Radius that together significantly impact the buildable area within the Land Use Code setbacks. We can preserve the tree by shifting the needed building massing (needed to meet development and program objectives) outside of these tree protection zones, to the east and north into the setbacks as shown. As this Design Guideline states, “Careful siting of buildings can enable significant or important trees or other vegetation to be preserved.”

In addition, this shifting of building massing to the north and east, “enhances solar exposure for the project and minimizes shadow impacts on adjacent structures....” by allowing more light and air into the southwest corner of the project site which enhances solar exposure for both this site as well as adjacent sites to the west and south.

A-2 Streetscape Compatibility

The existing Viceroy apartment building across E. Republican Street to the north sets a precedent that allows for the proposed departures from the required setbacks along the north and east property lines of the project site to “enhance the spatial characteristics of the existing right-of-way”. The Viceroy sits tight to its south and east property lines, with minimal or no setbacks at these site edges. Siting the proposed apartment building tight to the north and part of the east property lines “acknowledges and reinforces the existing desirable spatial characteristics of the right-of-way” by continuing the spatial definition edge of the public right-of-way established by The Viceroy, instead of creating a new spatial edge that makes The Viceroy an aberration, or an exception. The proposed setback departures, on an urban design level, help ‘make sense’ of and reinforce the Viceroy’s placement in relation to the public space of the right-of-way.

A-3 Entrances Visible from the Street C-3 Human Scale

“Entries should be clearly identifiable and visible from the street.” The building’s entry is more visible and identifiable by the presence of the canopy, which also provides human scale and “welcomes people and protects them from the elements and emphasizes the building’s architecture.”

A-5 Respect for Adjacent Sites

Pushing the massing of the new apartment building to the north and east, and preserving the existing Chestnut tree, allows the project to better meet this design guideline due to the increased space created between the proposed building and existing (and future) adjacent buildings. The tree itself is a pleasant vegetation buffer, softening the urban environment through the greenery of nature and creating a visual screen to preserve privacy during the summer months. During winter months when the leaves have fallen and the days are shorter and cloudy, the setback from existing buildings to the west and south allows for more light into interior spaces of all the adjacent buildings.

By orienting apartments to the east (towards Boylston) and to the west (towards the existing apartment building), the proposed plan configuration greatly minimizes new windows in the south wall, where the setback to the adjacent property is minimal, thereby “minimizing disruption of the privacy and outdoor activities of residents in adjacent buildings.”

A-7 Residential Open Space

The existing, ‘exceptional’ Chestnut tree offers an opportunity for “creating usable, attractive, well-integrated open space”. By shifting the building massing to the east and north, we can enhance this undeveloped area around the tree with site features such as landscaping, and a seating area for those using the common Laundry Room directly adjacent.

C-2 Architectural Concept and Consistency

“Solid canopies or fabric awnings are preferred.”

E-2 Landscaping to Enhance the Building and/or Site

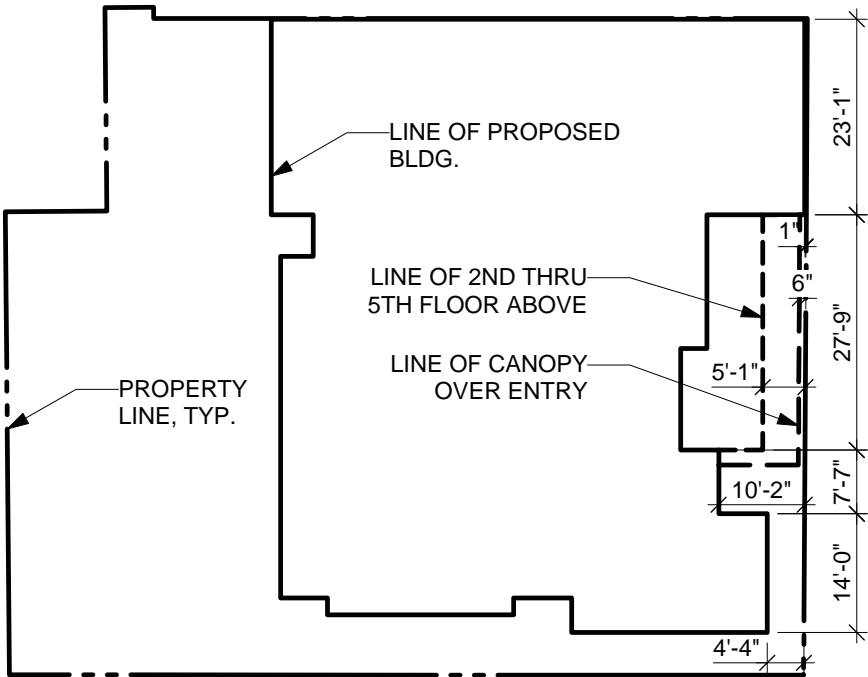
“...living plant material.....should be appropriately incorporated into the design to enhance the project.” Given the large size and scale of the existing Chestnut tree, preserving this tree is an immediate strategy for enhancing the building and the entire block, since the community need not wait years for a younger tree to grow and mature to the size of this existing tree. Trees of this size play a significant role in enhancing the livability of dense, urban neighborhoods through their stature and presence equivalent to that of adjacent structures, yet complimentary through their natural, organic forms that are known to contribute positively to therapeutic, healthy environments.

E-3 Landscape Design to Address Special Site Conditions

Preserving the existing Chestnut tree allows this project to: “...take advantage of special on-site conditions such as... existing significant trees...”
“Minimize the removal of significant trees.”
“Retain significant vegetation where possible.”
“...make a new project seem more like an established part of its neighborhood.”



DEPARTURE REQUESTS DIAGRAMS - FRONT (NORTH AND EAST) SETBACKS

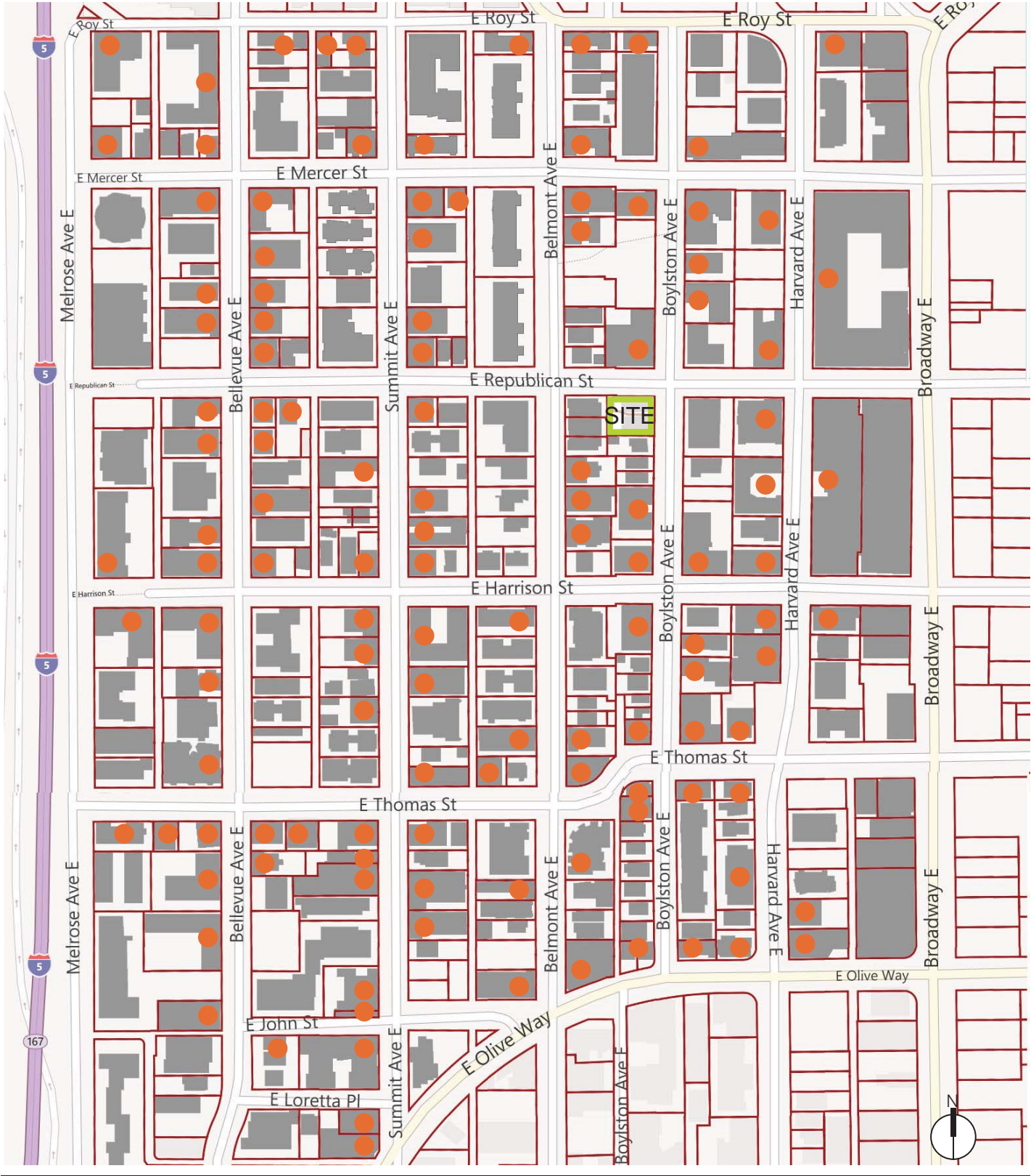


$0'-1" \times 23'-1" = 1.92$
 $5'-1" \times 27'-9" = 141.06$
 $10'-2" \times 7'-7" = 77.10$
 $4'-4" \times 14'-0" = 60.66$
 $72'-5" \quad 280.74$
 $280.74/72.42 = 3.9$

REQ'D MIN. SETBACKS: 5'-0"
PROPOSED MIN. SETBACK: 0'-1"

REQUIRED AVG. SETBACK: 7'-0"
PROPOSED AVG. SETBACKS: 3'-11"

DEPARTURES REQUESTED TO
REDUCE REQUIRED MIN. SETBACK
TO 1" AND REDUCE REQUIRED
AVG. SETBACK TO 3'11", AND TO
ALLOW CANOPY TO PROJECT 4'-6"
INTO SETBACK, WHICH IS 6" FROM
PROPERTY LINE

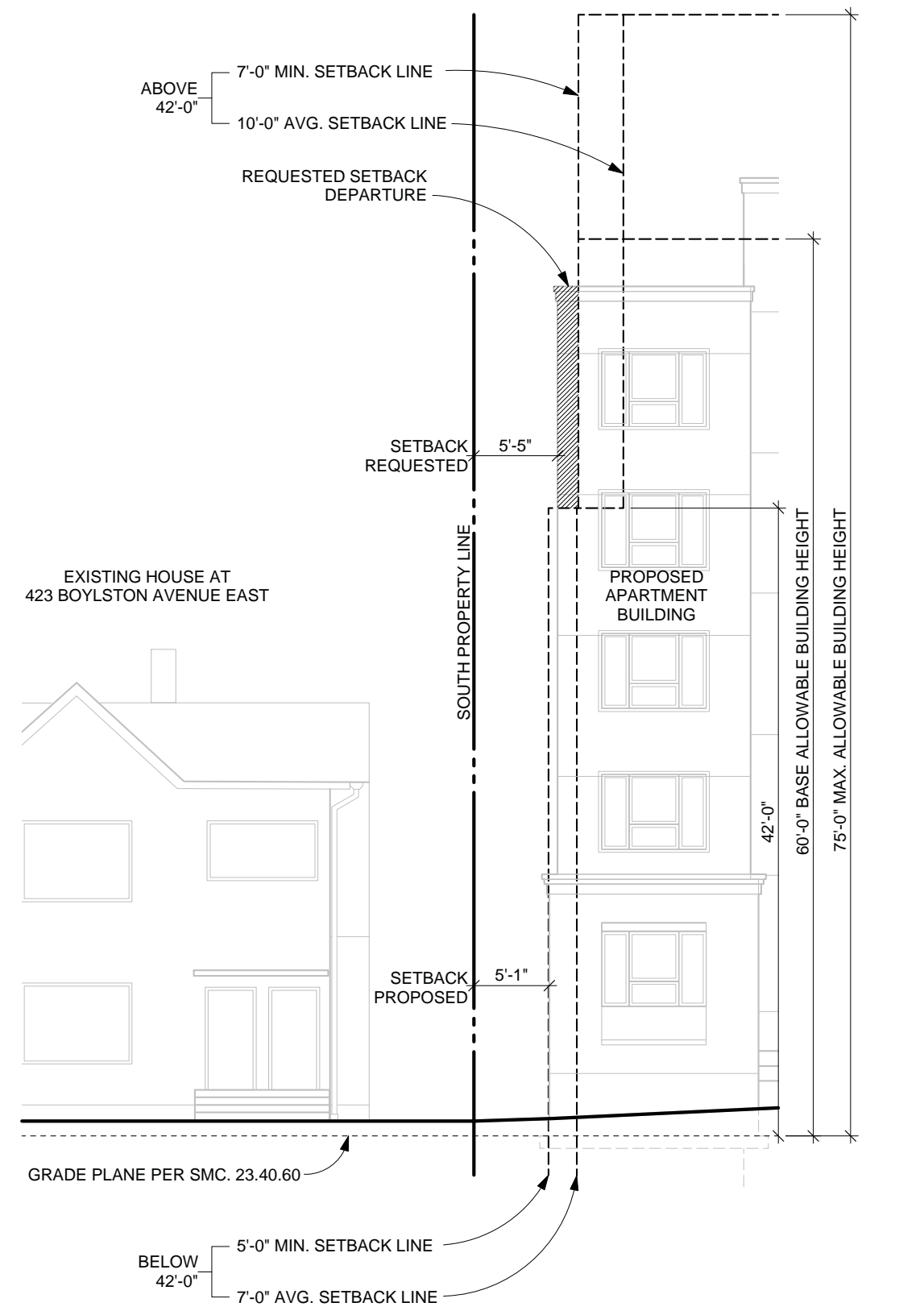


FRONT SETBACK AT STREET LOT LINE CALCULATIONS

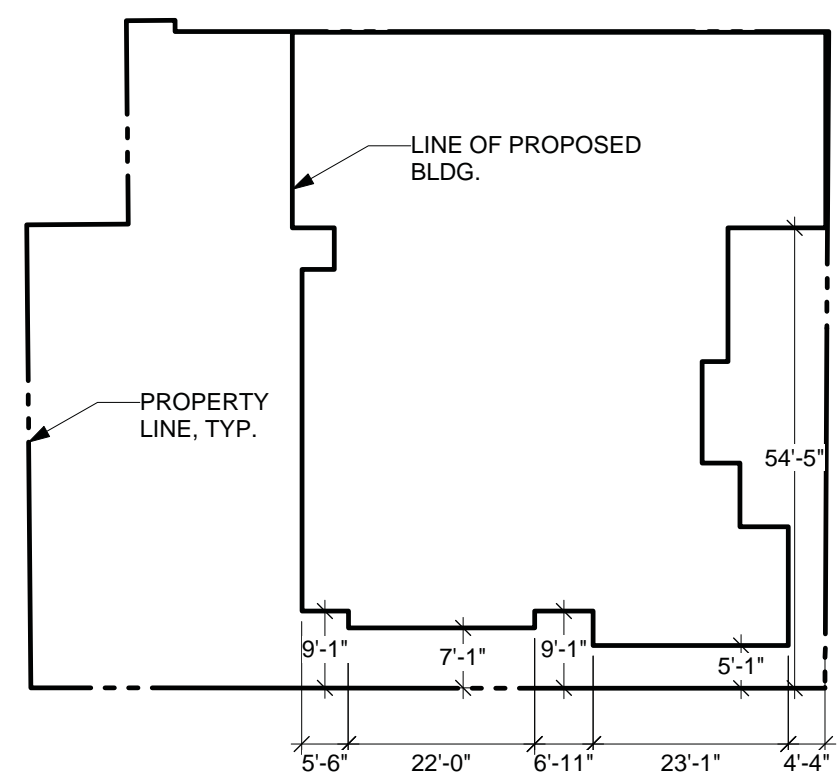
EXISTING 'ZERO-LOT LINE' BUILDINGS IN 'WEST SLOPE DISTRICT' OF CAPITOL HILL



DEPARTURE REQUESTS DIAGRAMS - SIDE SETBACK FROM INTERIOR (SOUTH) LOT LINE



SIDE SETBACK DEPARTURE ILLUSTRATION - LOOKING WEST FROM BOYLSTON



$$54'-5" \times 4'-4" = 235.79$$

$$5'-1" \times 23'-1" = 117.34$$

$$9'-1" \times 6'-11" = 62.83$$

$$7'-1" \times 22'-0" = 155.83$$

$$9'-1" \times 5'-6" = 49.96$$

$$61'-10" \quad 621.74$$

$$621.74/61.83= 10.05$$

REQUIRED MINIMUM SETBACK:
BELOW 42': 5'-0"
ABOVE 42': 7'-0"

PROPOSED MINIMUM SETBACK
AT EASTERN PORTION ONLY:
BELOW 42': 5'-1"
ABOVE 42': 5'-5"

REQUIRED AVG. SETBACKS:
BELOW 42': 7'-0"
ABOVE 42': 10'0"

PROPOSED AVG. SETBACKS:
BELOW 42': 10.05'
ABOVE 42': 10.05'

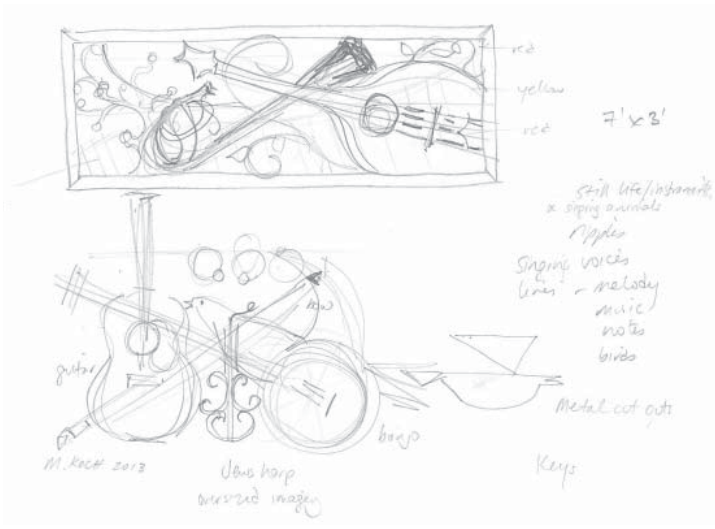
DEPARTURE REQUESTED TO
REDUCE REQUIRED MINIMUM
SETBACK ABOVE 42' TO 5'-5" FOR
23'-1" ALONG SOUTH LOT LINE

SIDE SETBACK AT INTERIOR LOT LINE CALCULATIONS



NORTH FACADE OF ADJACENT EXISTING HOUSE @ 423 BOYLSTON AVE E

METAL CUT-OUT PANELS AT WINDOW OPENINGS



Example Panel



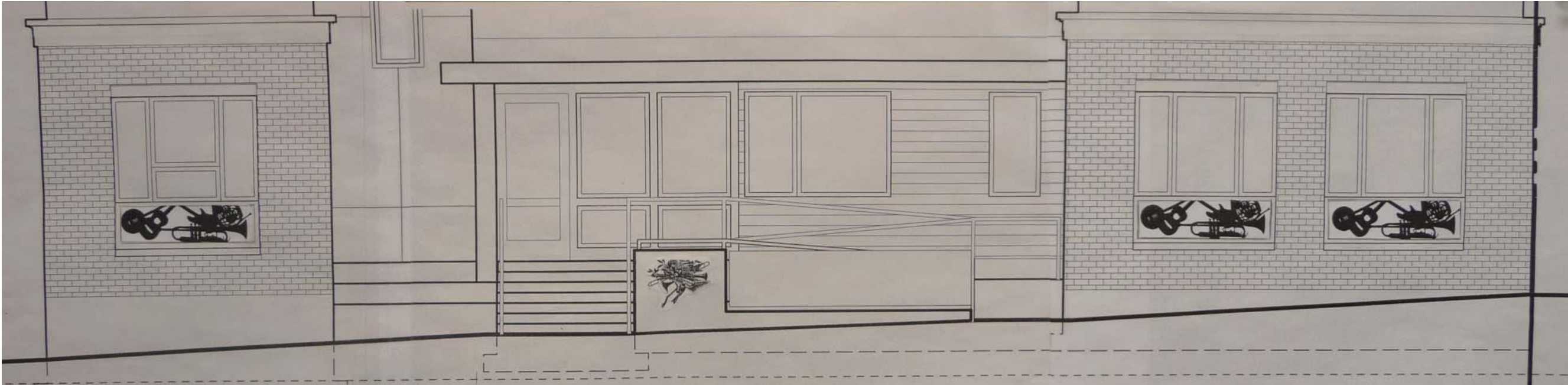
M. KOCH 2013

TYPICAL PANEL UNDER WINDOW

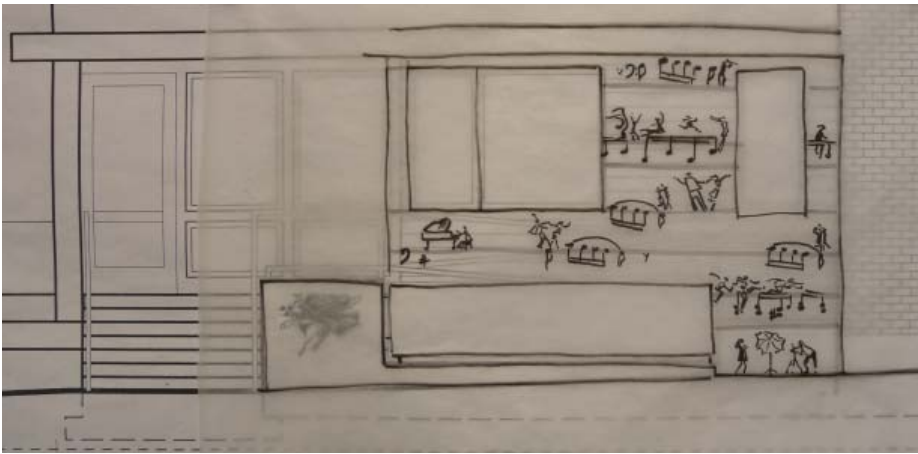
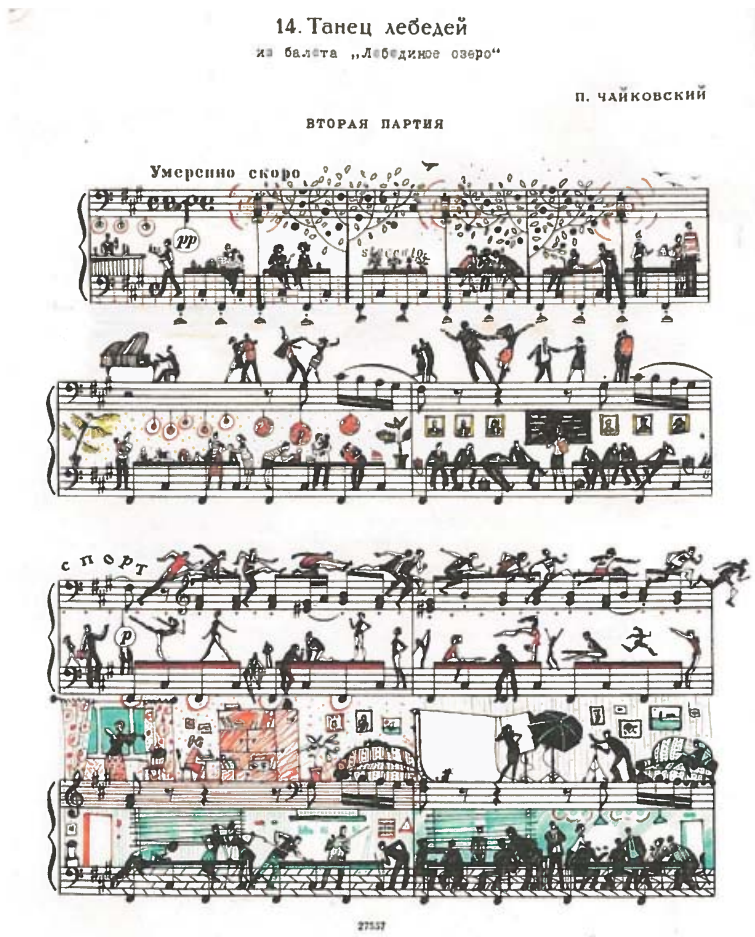
Proposed Panel



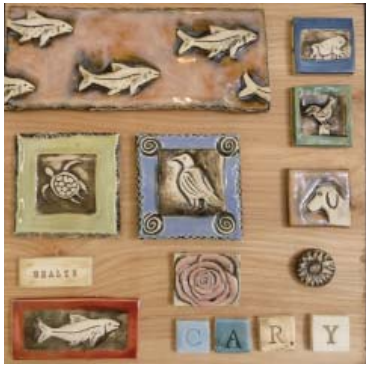
Example



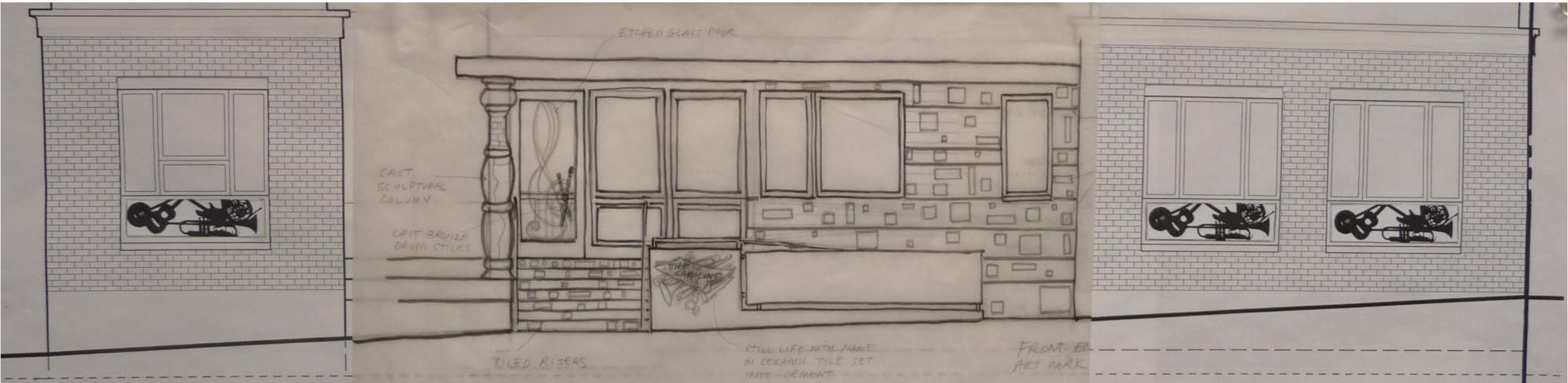
ENTRY TILE INSTALLATIONS



Example



Sample Tiles



Partial East Elevation