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# VICINITY MAP & SURROUNDING USES



- ① Tashkent Park
- ② Stream Belmont (new multi-family under construction)
- ③ Viceroy Apartments
- ④ Aya Terrace Apartments
- ⑤ Joule Mixed-Use
- ⑥ Belmont Court Apartments
- ⑦ Vertigo Condos
- ⑧ Capitol Hill Branch Library
- ⑨ Eversen Apartments
- ⑩ Three triplex houses
- ⑪ Office and apartment
- ⑫ Anhalt Apartments
- ⑬ Broadway Market Mixed-Use
- ⑭ Marianne Apartments
- ⑮ Glen Ray Condos
- ⑯ Park Lane Place Condos
- ⑰ 411 Harvard Apartments
- ⑱ Margaret Apartments
- ⑲ Single Family House
- ⑳ Keno Apartments
- ㉑ Harvard Avenue Apartments
- ㉒ Broadway Commercial Corridor
- ㉓ Light Rail Station, Cal Anderson Park (2 blocks south)



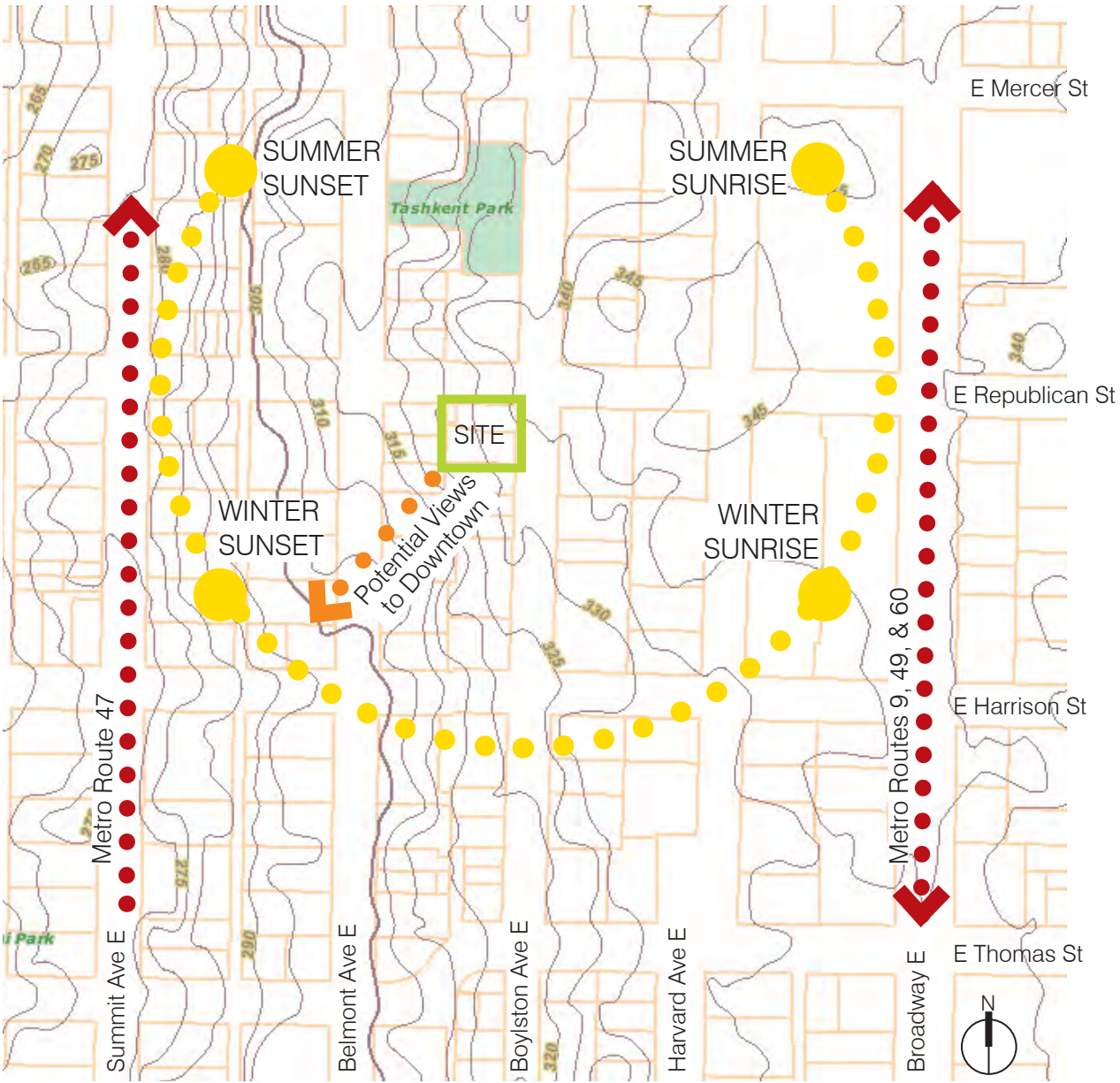
The existing property is a 94'x77' lot containing two parcels, 429 & 431 Boylston Avenue East, at the southwest corner of East Republican Street & Boylston Avenue East. The 431 parcel contains a 2-story home which is currently housing program services of Community House Mental Health Agency. The 429 parcel contains a 2-story home serving as a group home for 5 clients of Community House. The two homes were built in the early part of the twentieth century. While much of the original character of the homes is still apparent, additions and years of weathering have stripped them of their vintage quality. A shared driveway on the south side of the property serves both the 429 parcel and the neighboring home. A large chestnut tree at the west side of the property has been designated an 'exceptional tree' by a certified arborist and provides a visual buffer to the 6-story apartment building to the west. There is a landscape area approximately 7' wide between the sidewalk and the property line on both East Republican Street and Boylston Avenue East.

Boylston Avenue East between East Republican Street & East Harrison Street is a residential street with a combination of early 20th century 2-story homes on single lot parcels measuring approximately 45' wide, early 20th century brick 3-4 story brick apartment buildings, and large 5-6 story late twentieth century multi-family structures. Boylston Avenue is relatively level and has a nice tree canopy on both sides of the street providing a pleasant pedestrian environment. Directly to the south of our property are three triplex houses, followed by the gracious 3-story brick Glen Ray Condo building, which includes a nicely detailed recessed courtyard entry at its center. Across Boylston Avenue is the large late twentieth century 5-story Vertigo Condos with covered parking in the basement level facing onto Boylston. The nicely proportioned 4-story brick Park Lane Place Condos are at the south end of the block.

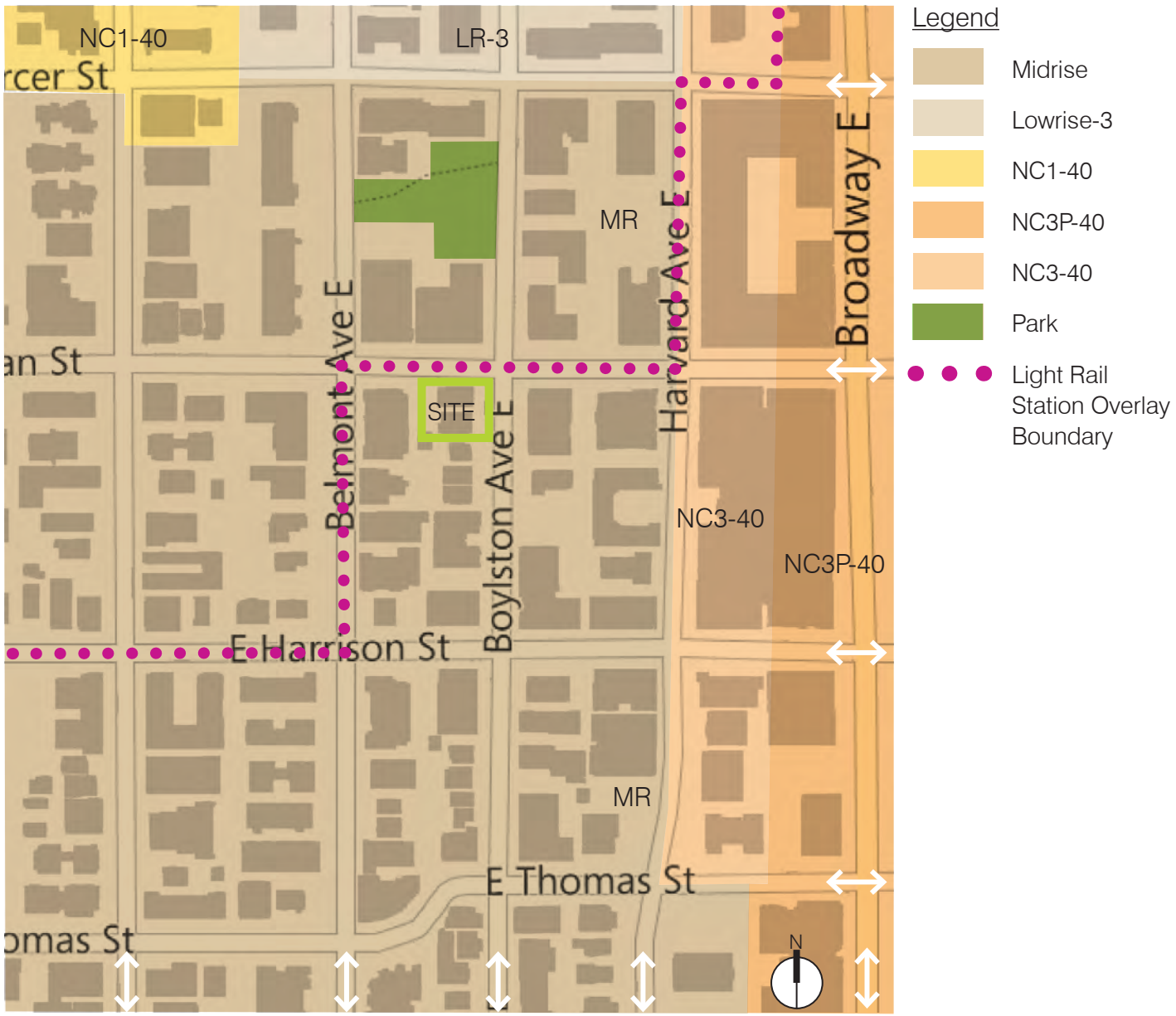
East Republican Street between Boylston Avenue East and Belmont Avenue East slopes down to the west and is a more passive street, with the buildings oriented towards the avenue side. Directly to the west of our property is the large 6-story late twentieth century Belmont Court Apartments. It blocks any potential view from our property to the west towards the South Lake Union neighborhood and the Olympic Mountains beyond. The 4-story, early-twentieth century brick Viceroy Apartments across the street is built to the property line on both the south and east sides, with parking in the basement accessed from the west end of the Republican Street frontage. The six story multi-family structure, Stream Belmont, located at the corner of Republican and Belmont recently started construction. To the east on East Republican, is the Capitol Hill Branch Library, and one block further to the east are the Broadway Market and Joule mixed-use structures.

Address:	429 and 431 Boylston Avenue East
Zone:	'MR' - Midrise; Capitol Hill Urban Center Village Overlay; Capitol Hill Light Rail Station Overlay  Proposed use permitted outright
Lot Area:	7,051 S.F.
Floor Area Ratio (FAR):	Base FAR: 3.2 Bonus FAR: 4.25 (Pursuant to 23.58A & 23.45.516) Base gross S.F. allowed: 7,051 S.F. x 3.2 = 22,563 S.F. Bonus gross S.F. allowed: 7,051 S.F. x 4.25 = 29,966 S.F. Gross floor area proposed: 23,189 S.F. (Preferred Option 1) Gross FAR proposed: 3.28 (Preferred Option 1)
Height Limit:	Base Height Limit: 60 ft. Bonus Height Limit: 75 ft. (Pursuant to 23.58A & 23.45.516)
Setbacks:	At street lot lines: 7 ft. Avg.; 5 ft. minimum No setback at street lot lines if courtyard provided that meets 23.45.518 B At rear lot line: 15 ft. (Doesn't abut an alley) At interior lot line: Below 42 ft. in height: 7 ft. Average; 5 ft. Minimum Above 42 ft. in height: 10 ft. Average; 7 ft. Minimum
Amenity Area:	Required: 1,160 S.F. (5% Of G.S.F.); 580 S.F. maximum allowed to be enclosed; Minimum size: 250 S.F. & 10 ft. horizontal dimension  Proposed: 1,073 S.F. at roof deck, 504 S.F. at kitchen/dining room; 1,577 S.F. total
Landscaping:	Required: Green factor score of 0.5 minimum. Street trees, as directed by DPD
Structure Width & Depth Limits:	Not applicable (lot area is less than 9,000 S.F.)
Design Review:	Mandatory (more than 20 dwelling units proposed) SMC 23.45.529 Design Standards: not applicable
Vehicle Parking:	None required (Urban Center & Station Overlay District)
Bicycle Parking:	11 Long-term spaces required No short-term spaces required





Site Analysis Diagram



Zoning Map



LEGAL DESCRIPTION

TAX PARCEL NO. 6850700661:  
(PER FIRST AMERICAN TITLE INSURANCE COMPANY,  
ORDER NO. NCS-955908-WA1, DATED AUGUST 7, 2012)

**PARCEL A:**  
THAT PORTION OF BLOCK 43, SUPPLEMENTAL PLAT OF A. PONTIUS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 39, IN KING COUNTY, WASHINGTON, AND OF UNPLATTED STRIP ADJOINING DESCRIBED AS FOLLOWS:  
BEGINNING ON THE EASTERLY LINE OF LOT 2, IN SAID BLOCK AT A POINT 18.24 FEET SOUTH OF THE NORTHEAST CORNER THEREOF;  
THENCE NORTHERLY ALONG EASTERLY LINE OF SAID BLOCK A DISTANCE OF 42.46 FEET, MORE OR LESS, TO A POINT 24.22 FEET NORTHERLY OF SOUTHEAST CORNER OF LOT 1 IN SAID BLOCK;  
THENCE WESTERLY PARALLEL WITH SOUTHERLY LINE OF SAID LOT 1 A DISTANCE OF 54.50 FEET;  
THENCE NORTH 81°38'00" WEST 17.58 FEET TO A STAKE AT NORTHEAST CORNER OF GARAGE;  
THENCE WESTERLY PARALLEL WITH SOUTHERLY LINE OF SAID LOT 1 A DISTANCE OF 22.55 FEET TO A LINE PARALLEL WITH AND 3.00 FEET EAST OF EAST LINE OF BLOCK 55, SUPPLEMENTARY PLAT OF PONTIUS SECOND ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5 OF PLATS, PAGE 76, KING COUNTY WASHINGTON;  
THENCE SOUTHERLY ALONG SAID PARALLEL LINE TO AN INTERSECTION WITH WESTERLY PRODUCTION OF SOUTHERLY LINE OF THE NORTH 18.24 FEET OF SAID LOT 2;  
THENCE EASTERLY ALONG SAID PRODUCED LINE AND ALONG SAID SOUTHERLY LINE TO POINT OF BEGINNING.

**PARCEL B:**  
A NON-EXCLUSIVE EASEMENT OVER THE SOUTH 4 FEET OF THE NORTH 22.24 FEET OF SAID LOT 2 FOR COMMUNITY DRIVEWAY PURPOSES.

SPECIAL EXCEPTIONS PER SAID TITLE REPORT

**ITEM 3**  
EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:  
RECORDING INFORMATION: MARCH 9, 1951 UNDER RECORDING NO. 4115625 IN FAVOR OF: BERTIL M. MORTENSON AND MYRTLE MORTENSON, HUSBAND AND WIFE  
FOR: DRIVEWAY  
AFFECTS: (THE SOUTH 4 FEET OF PARCEL A) AS DESCRIBED THEREIN.  
"PLOTTED ON MAP"

**ITEM 4**  
THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PUBLIC PLACE INDEMNITY AGREEMENT"  
RECORDED SEPTEMBER 14, 1984 AS RECORDING NO. 8409140791 OF OFFICIAL RECORDS.

LEGAL DESCRIPTION

TAX PARCEL NO. 6850700660:  
(PER FIRST AMERICAN TITLE INSURANCE COMPANY,  
ORDER NO. NCS-955913-WA1, DATED OCTOBER 4, 2012)

THAT PORTION OF LOT 1, BLOCK 43, SUPPLEMENTAL PLAT OF A. PONTIUS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 8 OF PLATS, PAGE 39, RECORDS OF KING COUNTY, WASHINGTON, AND OF AN UNPLATTED STRIP OF LAND IN SECTION 25, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., RECORDS OF KING COUNTY, WASHINGTON, LYING WESTERLY OF SAID LOT, AND OF PORTION OF EAST REPUBLICAN STREET VACATED UNDER ORDINANCE NO. 56131 OF CITY OF SEATTLE, DESCRIBED AS FOLLOWS:  
BEGINNING ON EAST LINE OF SAID LOT AT A POINT 24.22 FEET NORTH OF SOUTHEAST CORNER THEREOF;  
THENCE WEST 54.50 FEET ON A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT;  
THENCE NORTH 81°38'00" WEST 17.58 FEET TO A STAKE AT NORTHEAST CORNER OF A GARAGE;  
THENCE WEST 22.55 FEET ON A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT 1 TO A LINE 3.00 FEET EAST OF AND PARALLEL WITH THE EAST LINE OF BLOCK 55, SUPPLEMENTAL PLAT OF PONTIUS SECOND ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5 OF PLATS, PAGE 76, RECORDS OF KING COUNTY, WASHINGTON;  
THENCE NORTHERLY ALONG SAID PARALLEL LINE TO A POINT 24.00 FEET SOUTH OF THE SOUTHERLY LINE OF EAST REPUBLICAN STREET AS ESTABLISHED BY SAID VACATION;  
THENCE EAST PARALLEL WITH SOUTH LINE OF SAID STREET 12.00 FEET TO A POINT 24.00 FEET SOUTH OF A POINT ON SOUTH LINE OF SAID STREET AND 97.00 FEET EAST OF INTERSECTION OF SAID SOUTH LINE WITH EAST LINE OF BELMONT AVENUE NORTH;  
THENCE 24.00 FEET TO SAID POINT;  
THENCE EAST ALONG SOUTHERLY LINE OF EAST REPUBLICAN STREET AS ESTABLISHED BY SAID VACATION, TO NORTHERLY PRODUCTION OF EASTERLY LINE OF SAID LOT 1;  
THENCE SOUTHERLY ALONG SAID PRODUCED LINE AND ON EASTERLY LINE OF SAID LOT TO THE POINT OF BEGINNING.

SPECIAL EXCEPTIONS PER SAID TITLE REPORT

THERE ARE NO EASEMENTS AFFECTING SUBJECT PROPERTY PER SAID TITLE REPORT

SURVEYOR'S NOTES

- SUBJECT PROPERTY IS LOCATED IN ZONE "X" WHICH IS NOT LOCATED IN 100 YEAR FLOOD HAZARD AREA AS PER FEMA MAP PANEL NO. 53033C0630F DATED MAY 15, 1995.
- SUBJECT PROPERTY IS ZONED "NR" PRESENT USE IS SINGLE-FAMILY.  
BUILDING SETBACK REQUIREMENTS:  
FRONT AND SIDE STREET = 7' AVERAGE, 5' MINIMUM  
REAR = 15' UNLESS BUTTING AN ALLEY THEN 10'  
SIDE = BUILDING HEIGHT 42' OR LESS, AVERAGE, 5' MINIMUM  
BUILDING HEIGHT OVER 42', 10' AVERAGE, 7' MINIMUM  
BUILDING HEIGHT REQUIREMENTS:  
MAXIMUM = 50'  
PARKING REQUIREMENTS:  
1 SPACE PER DWELLING UNIT
- FOUND NO VISIBLE EVIDENCE OF BURIAL GROUNDS, CEMETERIES, EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS, OBSERVABLE EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, NOR ANY CHANGES OF RIGHT-OF-WAY LINES, WITHIN RECENT MONTHS PER OUR VISIT ON JULY 23, 2011, AFFECTING THE SUBJECT PROPERTY.
- APPROX. SUBJECT PROPERTY AREA IS:  
TAX PARCEL NO. 6850700661 = 4,066 SQ. FT. +/-  
TAX PARCEL NO. 6850700660 = 2,985 SQ. FT. +/-
- SUBJECT PROPERTY TAX PARCEL NO.'S 6850700661 AND 6850700660.

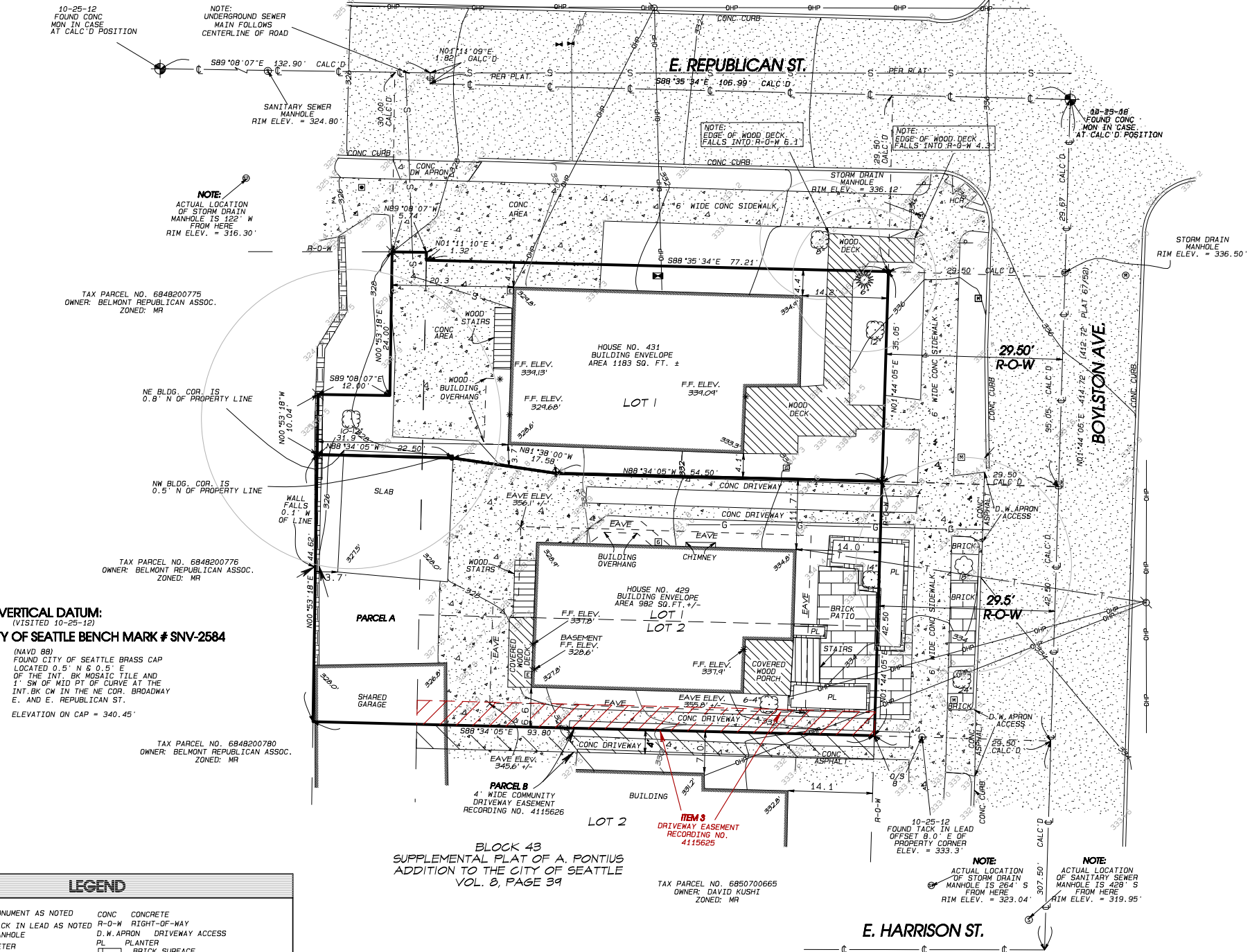
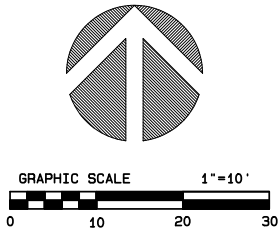
SURVEYOR'S CERTIFICATE:

TO: COMMUNITY HOUSE MENTAL HEALTH AGENCY, A WASHINGTON NON-PROFIT CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 16(A) AND 6(B) INFORMATION NOT PROVIDED BY INSURER), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 12, 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 25TH, 2012.

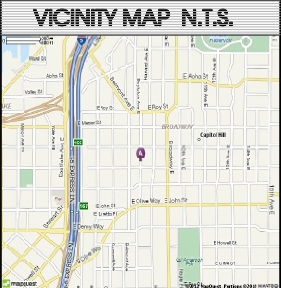
EDWIN J. GREEN, JR., PLS#15025 10/31/2012  
DATE:

A.L.T.A./A.C.S.M. LAND TITLE SURVEY



LEGEND

⊕ FOUND MONUMENT AS NOTED	CONC. CONCRETE
⊙ FOUND TACK IN LEAD AS NOTED	R-O-W RIGHT-OF-WAY
⊙ STORM MANHOLE	D.W. APRON DRIVEWAY ACCESS
⊙ WATER METER	PL PLANTER
* FINISHED FLOOR ELEVATION	BRICK SURFACE
⊙ ELECTRIC METER	RETAINING WALL
⊙ UTILITY POLE	ASPHALT SURFACE
⊙ SANITARY SEWER MANHOLE	CONCRETE SURFACE
⊙ SPOT ELEVATION	STAIRS
⊙ WATER MANHOLE	DECK
⊙ GAS METER	OVERHEAD WIRES
⊙ AIR CONDITIONING UNIT	BUILDING LINE
⊙ VAULT "PURPOSE UNKNOWN"	CENTERLINE OF ROAD
⊙ SIGN	OVERHEAD TELEPHONE WIRES
( ) RECORD AS NOTED	EAVES
⊙ MAPLE TREE (NOT SHOWN TO SCALE)	BURIED GAS LINE
⊙ TRUNK DIA SHOWN IN INCHES	BURIED SEWER LINE
⊙ DECIDUOUS TREE (NOT SHOWN TO SCALE)	TRUNK DIA SHOWN IN INCHES
⊙ APPLE TREE (NOT SHOWN TO SCALE)	TRUNK DIA SHOWN IN INCHES



ENCROACHMENTS

NO ENCROACHMENTS WERE FOUND PER THIS SURVEY.

BASIS OF BEARING

BASIS OF BEARING PER PLAT OF GLEN RAY, A CONDOMINIUM, AS RECORDED IN VOLUME 67, PAGE 52, RECORDS OF KING COUNTY, WA.

METHOD OF SURVEY

INSTRUMENTATION FOR THIS SURVEY WAS A LEICA ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS KING COUNTY AND STATE STANDARDS SET BY WAC 332-130-090.

ALTA/AC.S.M. LAND TITLE SURVEY  
NW 1/4 OF THE SE 1/4 OF SEC. 29, TWP. 25N., RGE. 4E., W.M.  
CITY OF SEATTLE, KING COUNTY, WA.

COMMUNITY HOUSE  
429 AND 431 BOYLSTON AVENUE  
SEATTLE, WA. 98102



GeoDimensions  
GeoDimensions, Inc., 10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4489 support@geodimensions.net www.geodimensions.net

JOB NUMBER: 7124  
DATE: 10/31/2012  
DRAFTED BY: V.L.J.  
CHECKED BY: E.J.G.  
SCALE: 1" = 10'

REVISION HISTORY

NO.	DESCRIPTION





View of site from northeast corner of Boylston Avenue East & East Republican Street



Existing building at 429 Boylston Avenue East

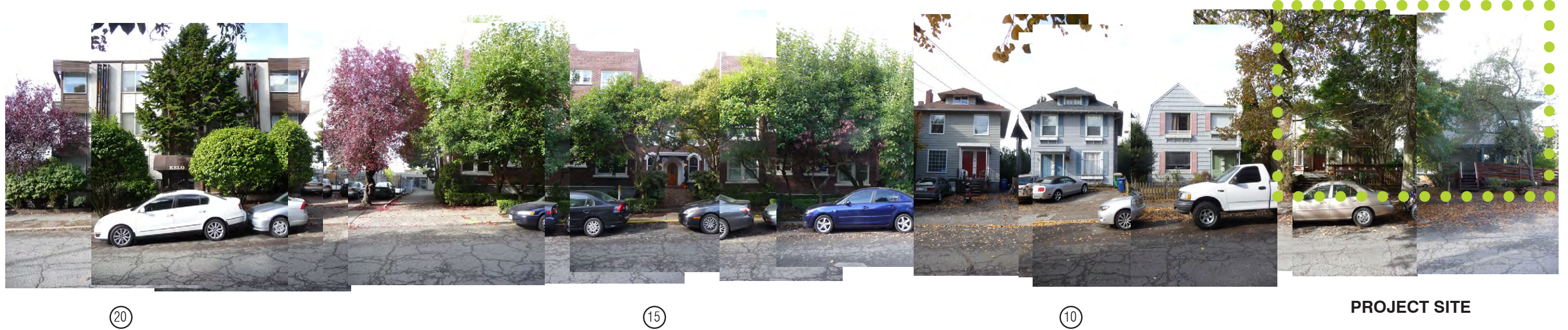


Existing building at 431 Boylston Avenue East, from Boylston



Existing building at 431 Boylston Avenue East, from Republican





Boylston Avenue East looking west



East Republican Street looking north



View to northeast from site at corner of Boylston & Republican



EXCEPTIONAL TREE



# Buildings keyed to 'Vicinity Map & Surrounding Uses,' page 1

PROJECT SITE

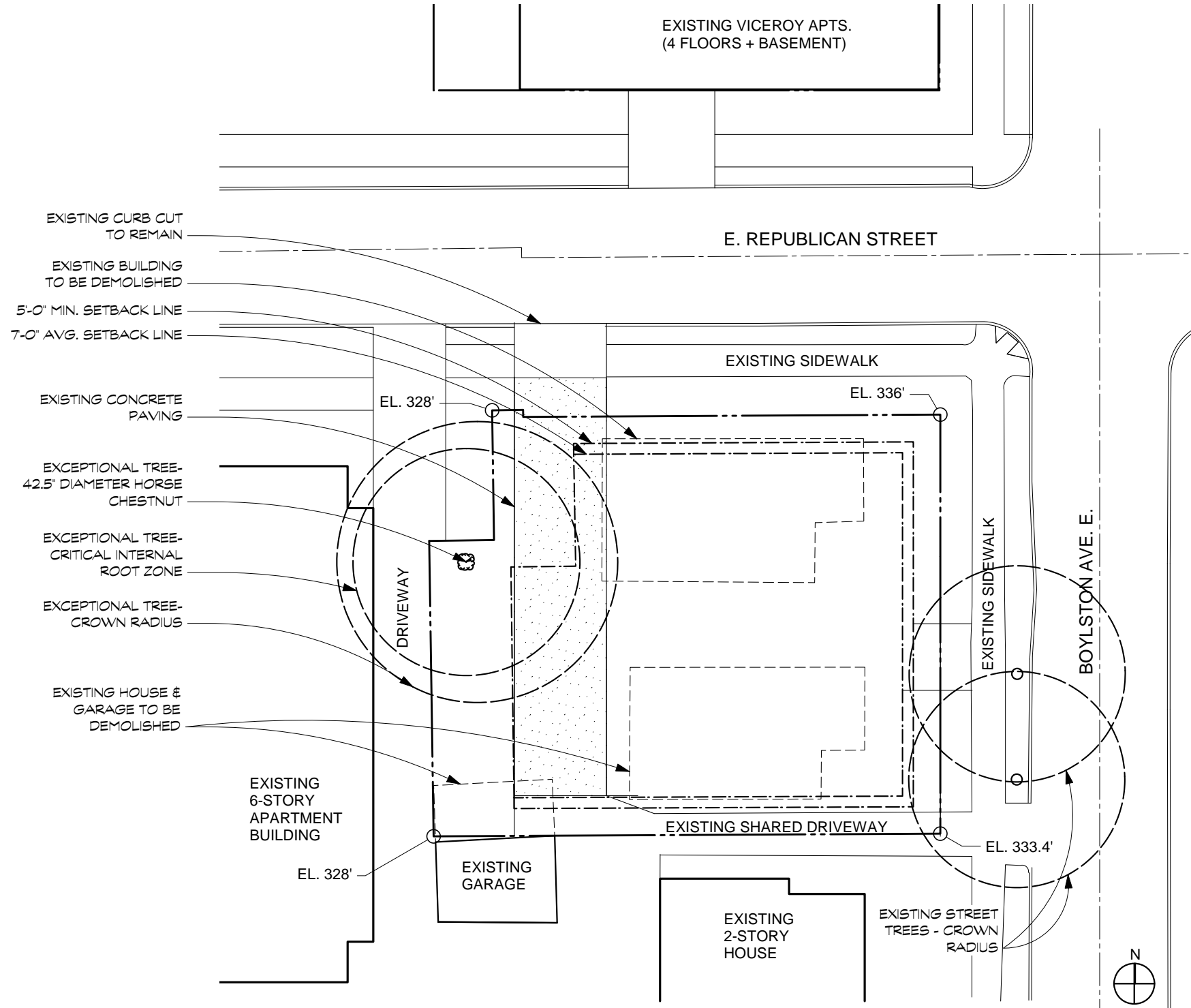
East Republican Street looking south



Boylston Avenue East looking east



# EXISTING SITE PLAN & PHOTOS



Existing Site Plan



Project Site from Northeast, Looking Southwest



Exceptional Tree at West Property Line



## Program Objectives

In collaboration with Community House Mental Health Agency and Common Ground, a nonprofit developer, (44) Studio apartments for low income individuals (less than 30% Area Median Income) recovering from homelessness and mental illness, and (1) One Bedroom apartment for the building manager are proposed for this site. In addition to the primary residential use, support functions/spaces include: a common Kitchen/Dining/Living Room, one office, a common laundry room, a small area for computers, mechanical/electrical systems spaces, storage, a trash/dumpster room, bicycle parking and possibly 2–4 parking spaces. Current functions provided by Community House's Clinical/Day Treatment Center at this site (intake, case management and outpatient programs) are to be relocated off-site.

## Site & Building Objectives

- Enhance and constructively contribute to the neighborhood by replacing two run-down existing houses with a new high quality building that increases housing opportunities in an Urban Center Village, and also contributes towards the City's 10 Year Plan to End Homelessness
- Respond sensitively to nearby development patterns and architectural context
- Provide opportunities for residents of this building to gather, both inside and outside the building, in such a way as to respect the privacy of adjacent neighbors
- Provide a supportive family atmosphere for the residents in which they feel a sense of belonging and grow at their own pace, while helping them increase their social, vocational and life skills.
- Create a sustainable, energy efficient building that provides a healthy environment for all its residents
- Preserve the existing large Chestnut tree to maximize tree canopy in the city, provide a privacy buffer to adjacent properties and enhance livability in a dense urban neighborhood.

## Approximate Structure Size

The anticipated structure height is approximately 60 feet and includes 6 floor levels. Each floor level is expected to be approximately 3,700 – 3,800 SF in area, except for the lowest level which may be smaller, at approximately 2,900 SF. Overall rough dimensions of the building are 60 feet in the east-west direction and 70 feet in the north-south direction, including requested setback departures.

## Program Requirements for Each Floor

- Lowest Level (+/- 2,900 SF): Two parking spaces, Bicycle Parking, Common Laundry, Mechanical/Electrical/Storage/Maintenance rooms, circulation
- Street Level @ Boylston (+/- 3,700 SF): Four Studio apartments, One Manager's Apartment (One Bedroom), Common Kitchen/Dining/Living Room, One Office, Computer Area, Lobby/Reception, Circulation
- Upper Four Levels (+/- 3,800 SF each): 10 Studio apartments, Circulation
- Roof – 1,050 SF common outdoor recreation space, elevator, (2) stairs, 2,000 SF green roof.



# NEIGHBORHOOD DESIGN CUES



## Neighborhood Context

The Capitol Hill neighborhood surrounding the property offers an assortment of building types but can be roughly categorized into the following four types: apartment buildings, single-family homes, mixed-use commercial/residential structures and community facilities. Broadway, with a vibrant streetscape of retail, restaurants and bars is located 2 blocks to the east. The development on adjacent blocks on Bolyston Avenue East & East Republican Street is a mixture of early 20th century 3-4 story brick apartment buildings, 5-6 story late 20th century multi-family structures, and a number of vintage single family homes in various states of condition.

Because the project site property is a corner lot, particular attention was paid to nearby corner buildings, and how they wrap the corner and address building entry and open space. A survey of apartment buildings in the Capitol Hill neighborhood provides a number of guidelines for the development of our property:

- Patterns of window openings and fenestration
- Established material palette and building detailing
- Entry Lobby and relationship to the street
- Overhead weather protection and entry canopies
- Building form and the shaping of open space
- Building entries tend to occur on north-south avenues, not on east-west streets
- Buildings tend to orient open space to north-south avenues



## A. Site Planning

**A-1 Responding to Site Characteristics** – The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

**\*A-2 Streetscape Compatibility** – The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

**A-3 Entrances Visible from the Street** – Entries should be clearly identifiable and visible from the street.

**A-4 Human Activity** – New development should be sited and designed to encourage human activity on the street.

**A-5 Respect for Adjacent Sites** – Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

**A-6 Transition Between Residence and Street** – For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

**\*A-7 Residential Open Space** – Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

**\*A-8 Parking and Vehicle Access** – Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

**A-10 Corner Lots** – Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

## B. Height, Bulk and Scale

**\*B-1 Height, Bulk and Scale Compatibility** – Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

## C. Architectural Elements and Materials

**C-1 Architectural Context** – New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

**\*C-2 Architectural Concept and Consistency** – Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.

**\*C-3 Human Scale** – The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

**\*C-4 Exterior Finish Materials** – Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

**C-5 Structured Parking Entrances** – The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

## D. Pedestrian Environment

**D-1 Pedestrian Open Spaces and Entrances** – Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

**D-2 Blank Walls** – Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

**D-5 Visual Impacts of Parking Structures** – The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

**\*D-6 Screening of Dumpsters, Utilities and Service Areas** – Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

**\*D-7 Personal Safety and Security** – Project design should consider opportunities for enhancing personal safety and security in the environment under review.

**D-12 Residential Entries and Transitions** – For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

## E. Landscaping

**E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites** – Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

**E-2 Landscaping to Enhance the Building and/or Site** – Landscaping including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

**E-3 Landscape Design to Address Special Site Conditions** – The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

## Citywide Guidelines

### \*Capitol Hill Supplemental Guidelines





# OPTION 1: PREFERRED

Option 1 is designed to retain the “exceptional” Chestnut tree on the west side of the property and keep the building 5-stories high. In order to keep the building 5-stories tall, the building is pushed out to the property lines on the East Republican frontage and the northeast corner of the Boylston Ave. frontage. This would follow the precedent of the building directly across East Republican Street, The Viceroy, a vintage 4-story brick apartment building from the early part of the 20th century, as well as many other buildings on the west slope of Capitol Hill (see map, pg.19)

The building entry/lobby reception area is located on the Boylston Ave. (east) side, centered on the building face, and the common area kitchen/dining/living room is placed at the northeast corner. Vehicular parking and trash pickup are located at the basement level, at the west end of the East Republican street frontage.

The 1st floor contains five housing units, entry lobby and common areas. Floors 2-5 contain ten housing units per floor. The (45) housing units are oriented to the north (East Republican Street), east (Boylston Avenue East), or western exposure (towards the chestnut tree). Units are oriented away from the south interior lot line, due to the unknown nature of future development of the adjacent property. The basement level contains car & bicycle parking, trash room, common laundry, and mechanical space.

Unenclosed amenity area is provided at a 1,000 S.F. landscaped roof deck, with both stairs and the elevator providing resident access to the deck. The remainder of the roof is planted as a green roof.

## Advantages:

- Retains exceptional tree
- Keeps building height at 5-stories

## Disadvantages:

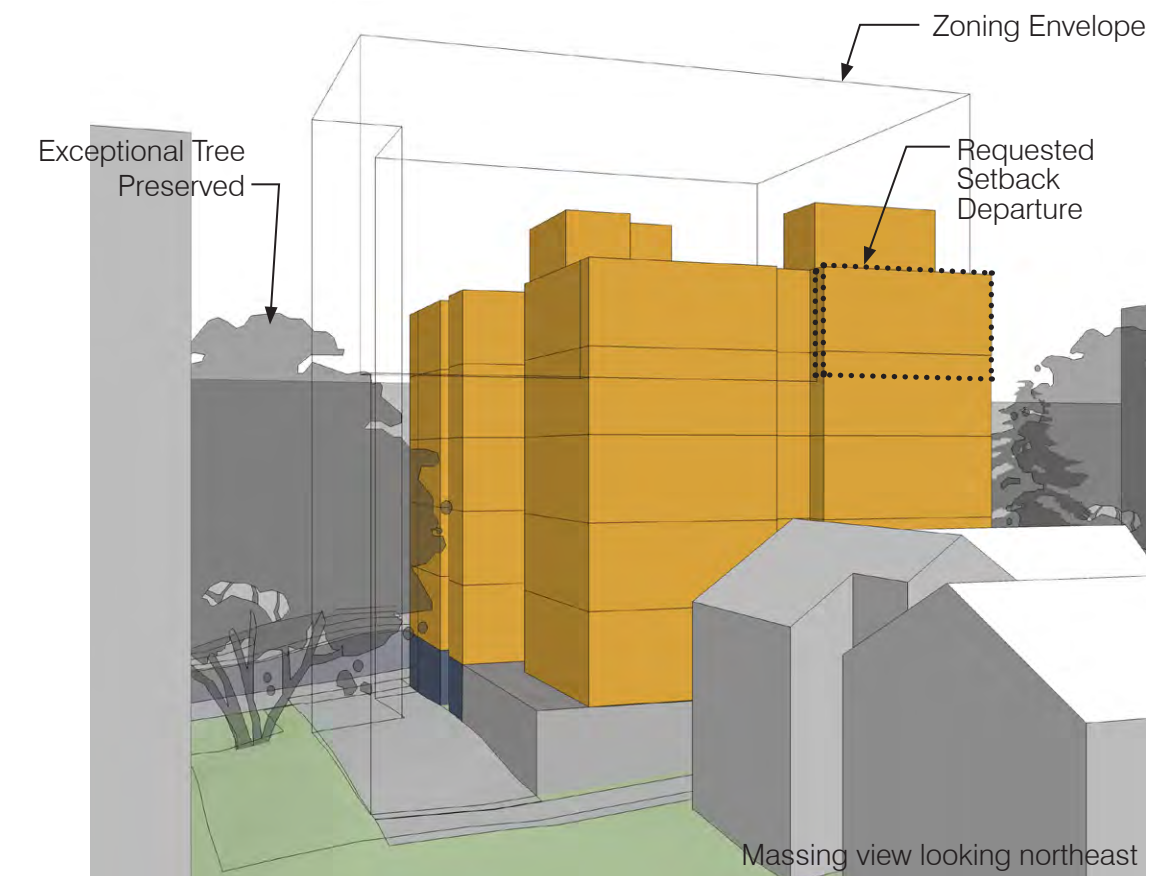
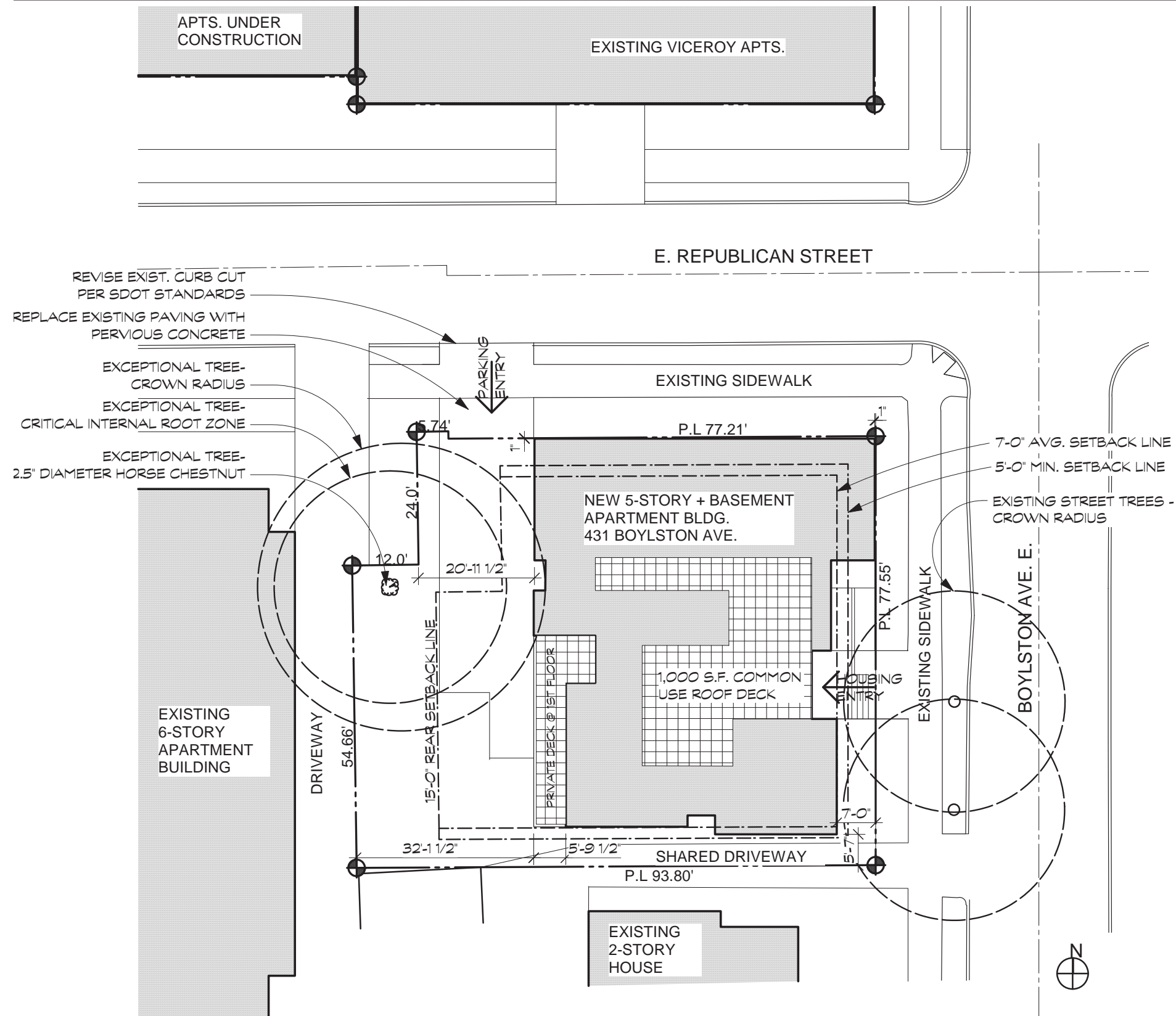
- Requires departures for the setbacks at the street lot lines
- Requires departure for the interior lot line setback above 42' (the top two floors)



## Legend

<span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span> Housing	<span style="display:inline-block; width:15px; height:15px; background-color:gray;"></span> Unenclosed Amenity Area
<span style="display:inline-block; width:15px; height:15px; background-color:red;"></span> Common Interior Space	<span style="display:inline-block; width:15px; height:15px; background-color:green;"></span> Green Roof
<span style="display:inline-block; width:15px; height:15px; background-color:blue;"></span> Parking Garage	<span style="display:inline-block; width:15px; height:15px; background-color:lightgray;"></span> Storage/Mechanical/Garbage







Option 2 removes the “exceptional” Chestnut tree on the west side of the property, keeps the building 5-stories high, and stays within all the required setbacks.

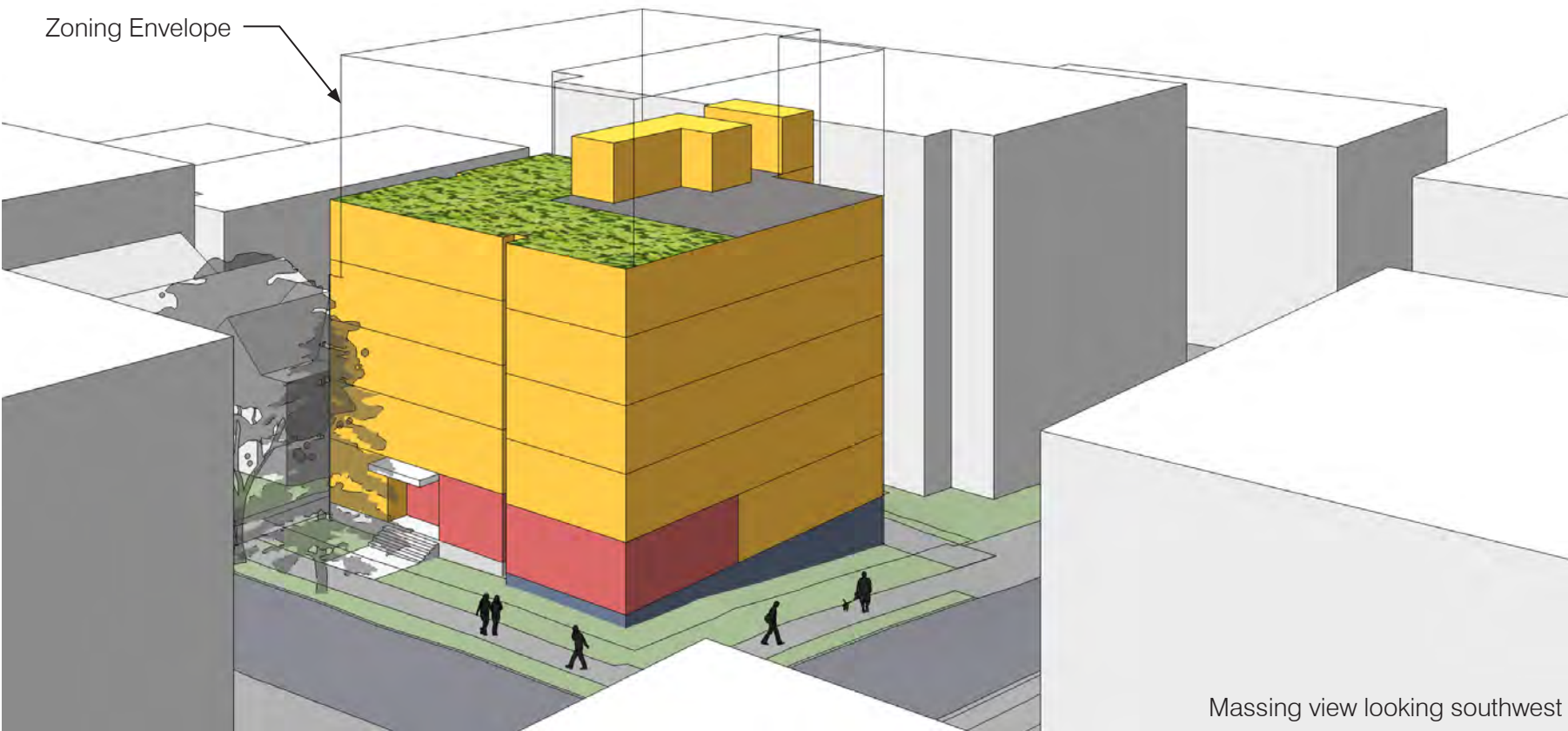
The building entry/lobby reception area is located on the Boylston Avenue (east) side, centered on the building face, and the common area kitchen/dining/living room is placed at the northeast corner. Vehicular parking and trash pickup are located at the basement level, at the west end of the East Republican street frontage.

The 1st floor contains five housing units, entry lobby/reception and common areas. Floors 2-5 contain ten housing units per floor. The (45) housing units are oriented to the north (East Republican Street), east (Boylston Avenue East), or western exposure (towards the Belmont Court Apartments). Units are oriented away from the interior lot line, due to the unknown nature of future development of that property. The basement level contains car & bicycle parking, trash room, common laundry, and mechanical space.

Unenclosed amenity area is provided at a 1,000 S.F. landscaped roof deck, with both stairs and the elevator providing resident access to the deck. The remainder of the roof is planted as a green roof.

- Advantages:
- Keeps building height at 5-stories
  - Stays within required zoning setbacks

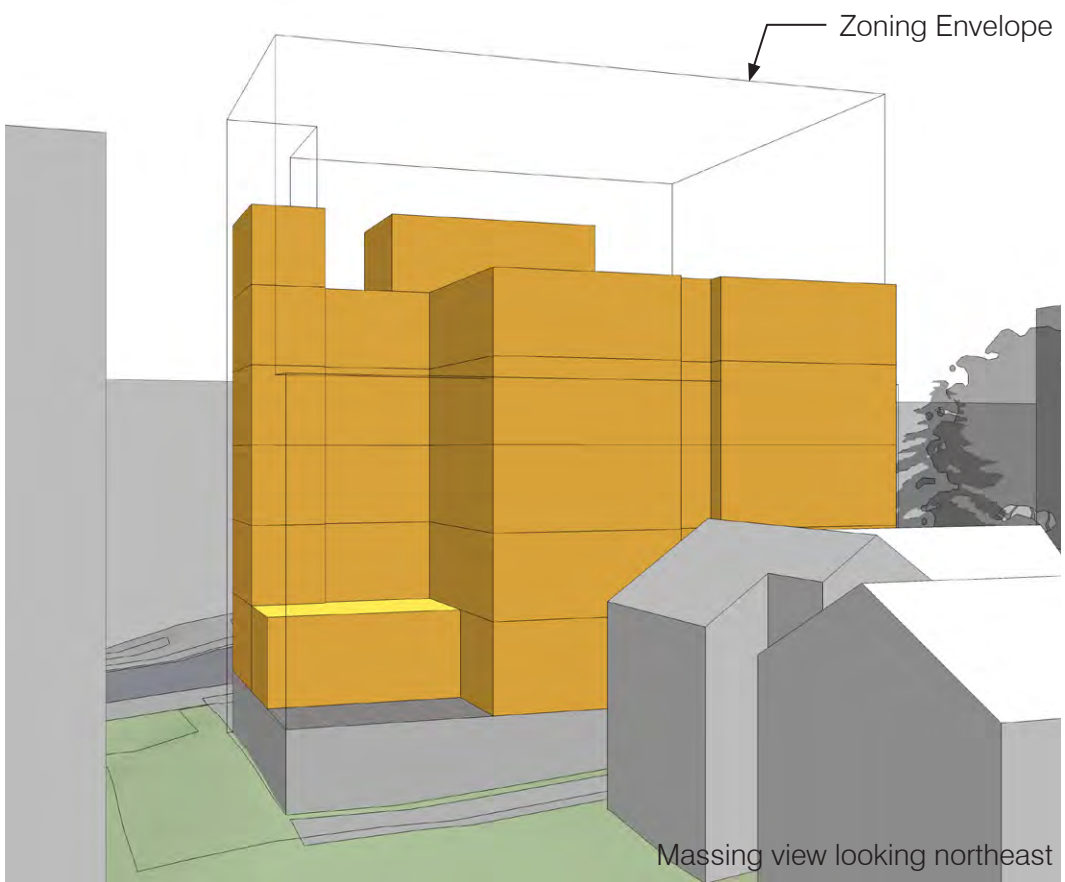
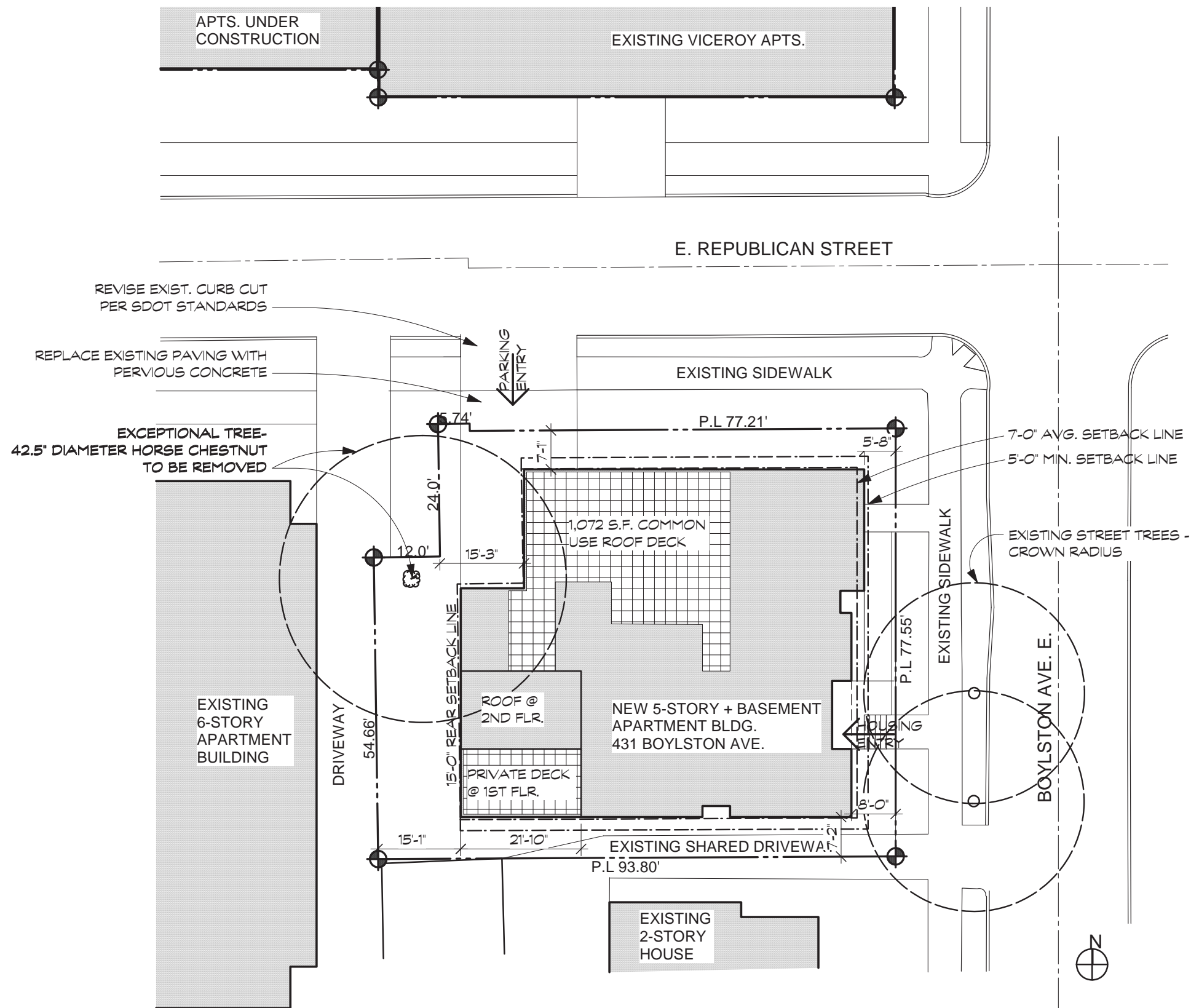
- Disadvantage:
- Removes exceptional tree



Legend

	Housing		Unenclosed Amenity Area
	Common Interior Space		Green Roof
	Parking Garage		Storage/Mechanical/Garbage





Proposed Site Plan Option 2





Option 3 is designed to retain the “exceptional” Chestnut tree on the west side of the property and stay within the required zoning setbacks. In order to stay win the setbacks and maintain the needed unit count, the building must be 6-stories high.

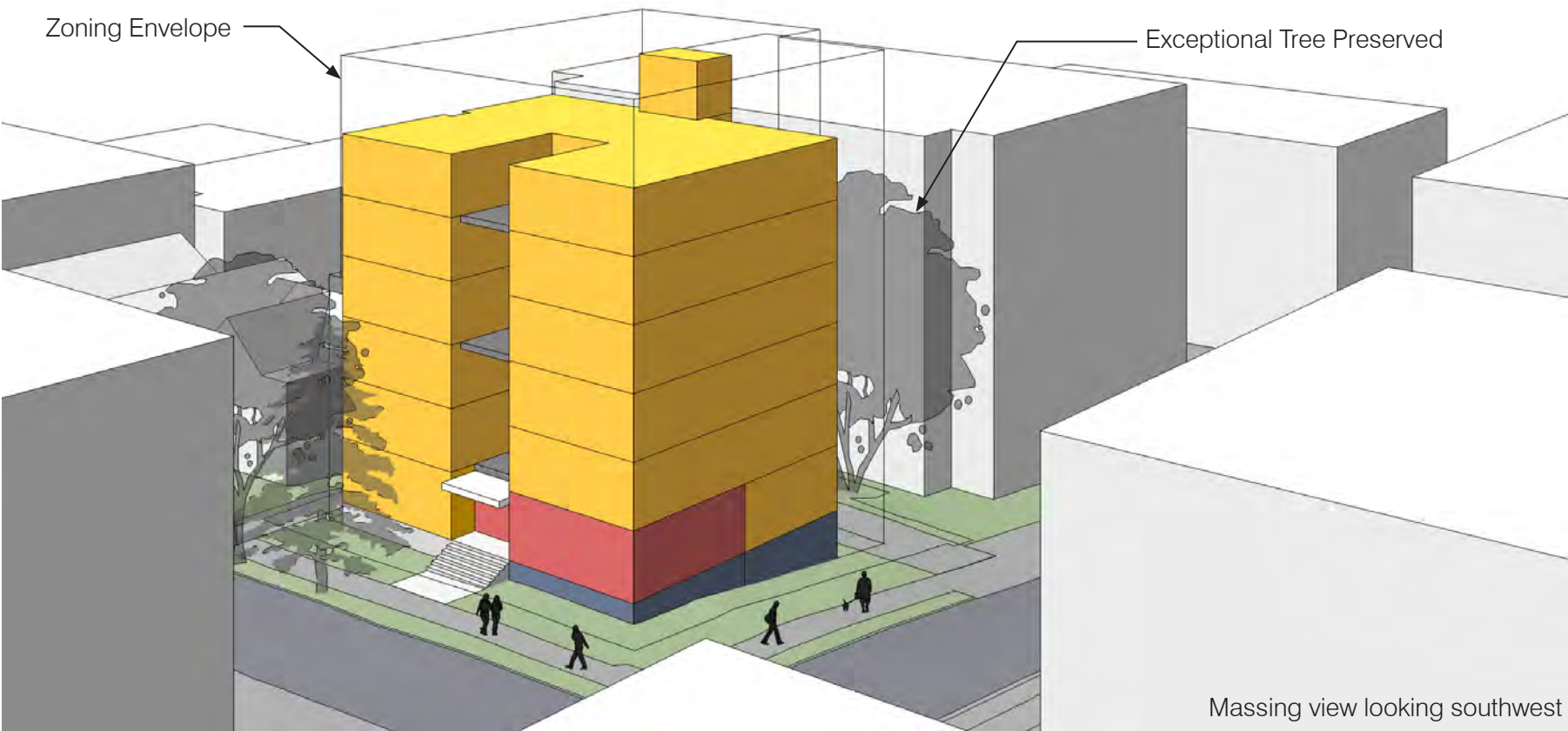
The building entry/lobby reception area is located on the Boylston Avenue (east) side, centered on the building face, and the common area kitchen/dining/living room is placed at the northeast corner. Vehicular parking and trash pickup are located at the basement level, at the west end of the East Republican street frontage.

The 1st floor contains five housing units, entry lobby and common areas. Floors 2-6 contain eight housing units per floor. The (45) housing units are oriented to the north (East Republican Street), east (Boylston Avenue East), or western exposure (towards the chestnut tree). Units are oriented away from the interior lot line, due to the unknown nature of future development of that property. The basement level contains car & bicycle parking, trash room, common laundry, and mechanical space.

Unenclosed amenity area is provided at (3) east facing landscaped decks on the 2nd, 4th and 6th floors.

- Advantages:
- Keeps existing exceptional tree
  - Stays within required zoning setbacks

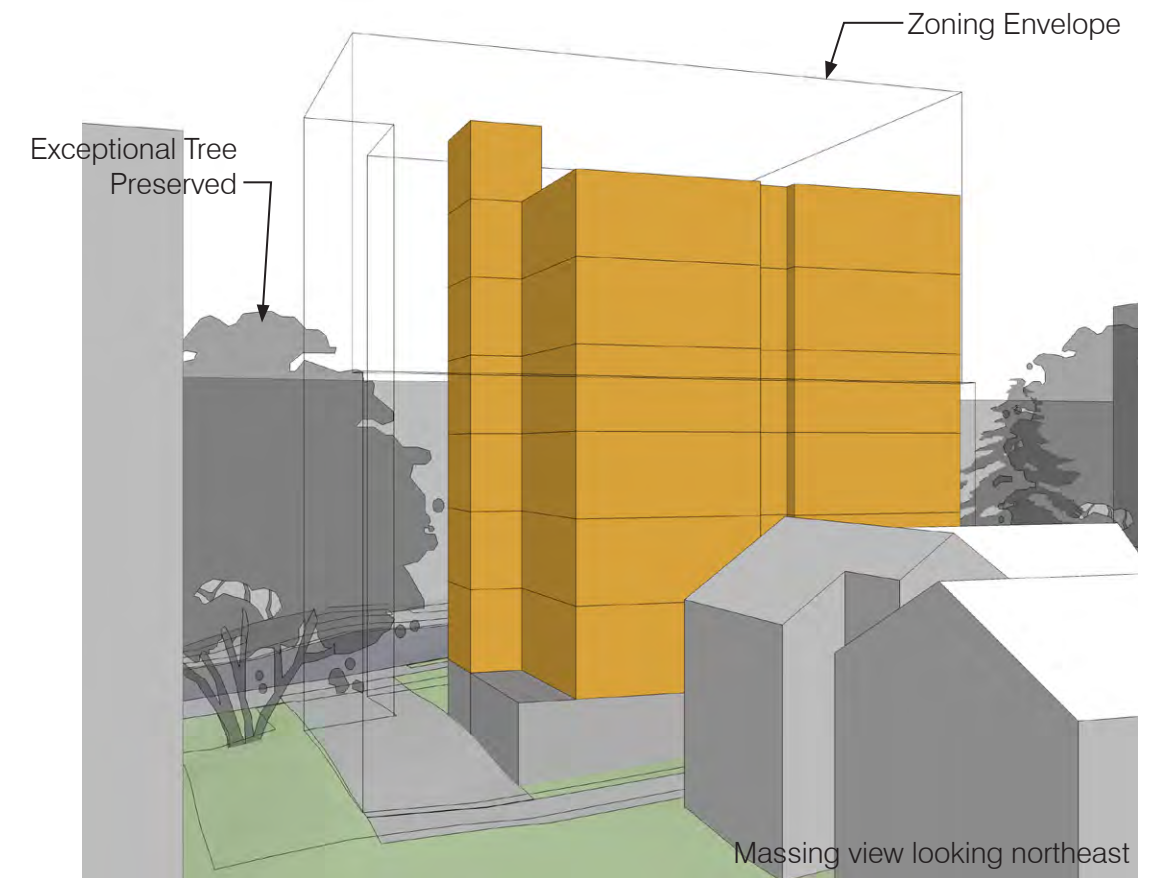
- Disadvantages:
- Building is six-stories high creating more bulk and diminishing light and views from neighboring properties
  - Six-story structure more expensive to build due to additional floor of concrete construction.



Legend

	Housing		Unenclosed Amenity Area
	Common Interior Space		Green Roof
	Parking Garage		Storage/Mechanical/Garbage





environmental  
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POTENTIAL DEVELOPMENT STANDARDS DEPARTURES - OPTION 1 ONLY

DEVELOPMENT STANDARD	CODE REQUIREMENT	DEPARTURES PROPOSED	GUIDELINE COMPLIANCE THROUGH DEPARTURES
Front Yard Setback (SMC 23.45.518 B.)	7 foot average setback; 5 foot minimum setback; No setback required if a courtyard of prescribed minimum dimensions abuts the street	Varied reductions to required Front Yard Setback, from 0 foot setback to 5 foot setback	A-1 Responding to Site Characteristics A-2 Streetscape Compatibility A-5 Respect for Adjacent Sites A-7 Residential Open Space E-2 Landscaping to Enhance the Building and/or Site E-3 Landscape Design to Address Special Site Conditions
Side Setback from Street Lot Line (SMC 23.45.518 B.)	7 foot average setback; 5 foot minimum setback; No setback required if a courtyard of prescribed minimum dimensions abuts the street	0'-0" setback along Side Setback	
Side Setback from Interior Lot Line (SMC 23.45.518 B.)	Below 42' in height: 7 foot average setback; 5 foot minimum setback Above 42' in height: 10 foot average setback; 7 foot minimum setback	Above 42' in height: 15.2' average setback; 5'-9" minimum setback (no structure proposed along 17'-2" of setback)	
Structural Building Overhang	See SMC 23.53.035	Structural Building Overhang(s) along East Republican Street	C-2 Architectural Concept and Consistency C-3 Human Scale D-7 Personal Safety and Security

How “Option 1: Preferred” allows the project to better meet or exceed relevant Design Guidelines:

Note: All text in quotes are excerpts from the Design Review Guidelines for Multifamily and Commercial Buildings.

A-1 Responding to Site Characteristics

By placing building massing to the north and east on the site, into the required setbacks, the proposed apartment building better “responds to specific site conditions and opportunities such as....significant vegetation...”. The large, existing Chestnut tree at the west edge of the site meets the city’s criteria of an ‘exceptional tree’ and, per the certified arborist’s report, has two Critical Root Zones (Perimeter and Interior) and a Crown Radius that together significantly impact the buildable area within the Land Use Code setbacks. We can preserve the tree by shifting the needed building massing (needed to meet development and program objectives) outside of these tree protection zones, to the east and north into the setbacks as shown. As this Design Guideline states, “Careful siting of buildings can enable significant or important trees or other vegetation to be preserved.”

In addition, this shifting of building massing to the north and east, “enhances solar exposure for the project and minimizes shadow impacts on adjacent structures....” by allowing more light and air into the southwest corner of the project site which enhances solar exposure for both this site as well as adjacent sites to the west and south.

A-2 Streetscape Compatibility

The existing Viceroy apartment building across E. Republican Street to the north sets a precedent that allows for the proposed departures from the required setbacks along the north and east property lines of the project site to “enhance the spatial char-

acteristics of the existing right-of-way”. The Viceroy sits tight to its south and east property lines, with minimal or no setbacks at these site edges. Siting the proposed apartment building tight to the north and part of the east property lines “acknowledges and reinforces the existing desirable spatial characteristics of the right-of-way” by continuing the spatial definition edge of the public right-of-way established by The Viceroy, instead of creating a new spatial edge that makes The Viceroy an aberration, or an exception. The proposed setback departures, on an urban design level, help ‘make sense’ of and reinforce the Viceroy’s placement in relation to the public space of the right-of-way.

A-5 Respect for Adjacent Sites

Pushing the massing of the new apartment building to the north and east, and preserving the existing Chestnut tree, allows the project to better meet this design guideline due to the increased space created between the proposed building and existing (and future) adjacent buildings. The tree itself is a pleasant vegetation buffer, softening the urban environment through the greenery of nature and creating a visual screen to preserve privacy during the summer months. During winter months when the leaves have fallen and the days are shorter and cloudy, the setback from existing buildings to the west and south allows for more light into interior spaces of all the adjacent buildings.

By orienting apartments to the east (towards Boylston) and to the west (towards the existing apartment building), the proposed plan configuration greatly minimizes new windows in the south wall, where the setback to the adjacent property is minimal, thereby “minimizing disruption of the privacy and outdoor activities of residents in adjacent buildings.”

A-7 Residential Open Space

The existing, ‘exceptional’ Chestnut tree offers an opportunity for “creating usable, attractive, well-integrated open space”. By shifting the building massing to the east and north, we can enhance this undeveloped area around the tree with site features such as landscaping, and a seating area for those using the common Laundry Room directly adjacent.

C-2 Architectural Concept and Consistency (Capitol Hill Neighborhood Guideline)

Structural overhangs in the form of bays at the upper levels are a design element for the north façade that can “preserve and augment the neighborhood’s architectural qualities, historic character and pedestrian scale.” Bay projections/windows are consistent and “compatible with structures in the vicinity”.

C-3 Human Scale (Capitol Hill Neighborhood Guideline)

Placing the building massing along the north property line as needed to preserve the ‘exceptional tree’ while accommodating the needed building program could result in a 60 foot tall wall without modulation. While modulation is not required by the Land Use Code for this project, bay projections would serve to help “achieve a good human scale” by creating projections that are elements perceived and felt by those walking along the sidewalk, or “details that would be noticed and enjoyed by a pedestrian walking by...”

D-7 Personal Safety and Security (Capitol Hill Neighborhood Guideline)

Bay window projections along the north façade (i.e. structural overhangs) allow for enhanced views out of the structure, incorporating the “eyes on the street” design approach, per the Capitol Hill Design Guidelines.

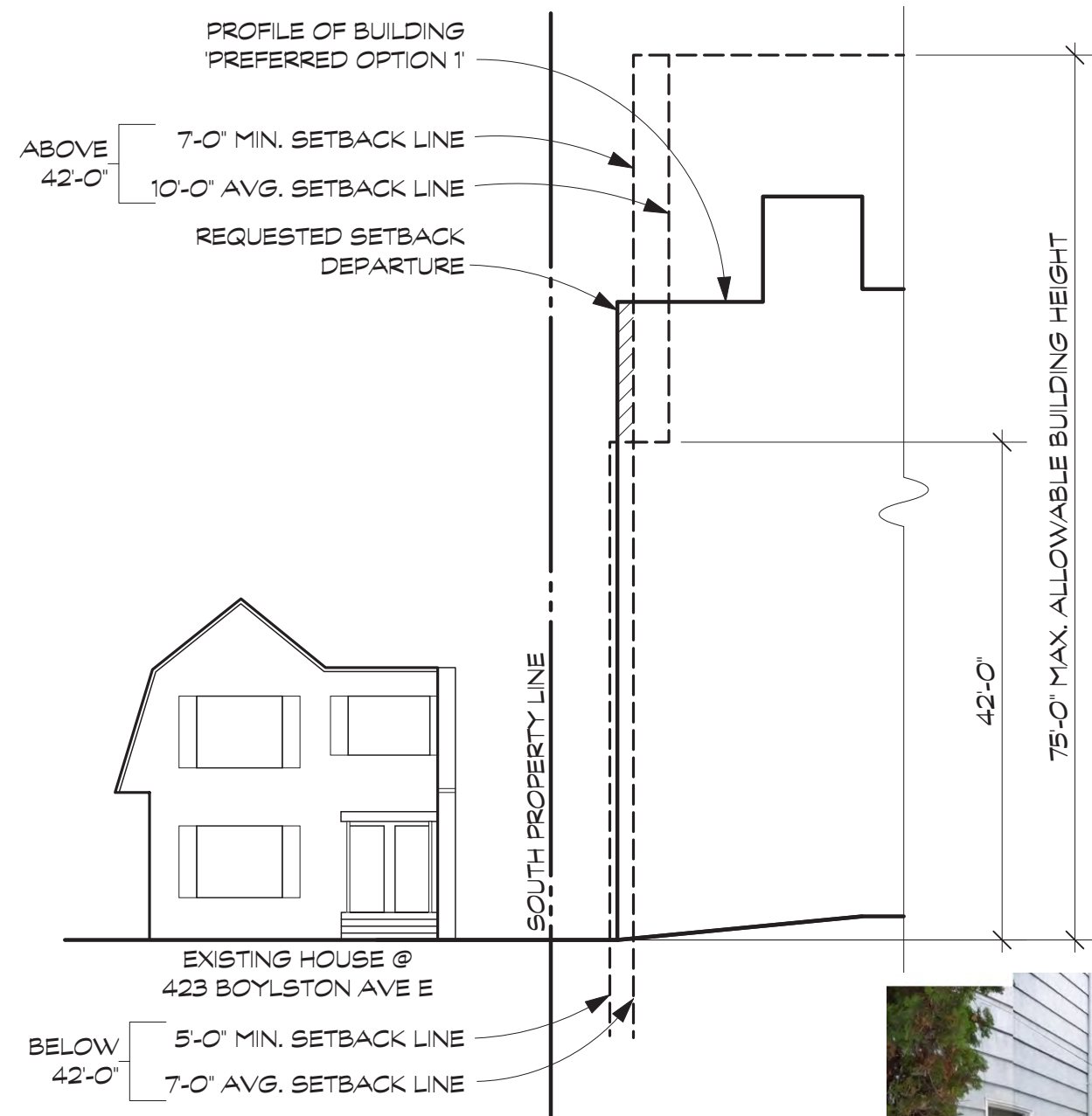
E-2 Landscaping to Enhance the Building and/or Site

“...living plant material.....should be appropriately incorporated into the design to enhance the project.” Given the large size and scale of the existing Chestnut tree, preserving this tree is an immediate strategy for enhancing the building and the entire block, since the community need not wait years for a younger tree to grow and mature to the size of this existing tree. Trees of this size play a significant role in enhancing the livability of dense, urban neighborhoods through their stature and presence equivalent to that of adjacent structures, yet complimentary through their natural, organic forms that are known to contribute positively to therapeutic, healthy environments.

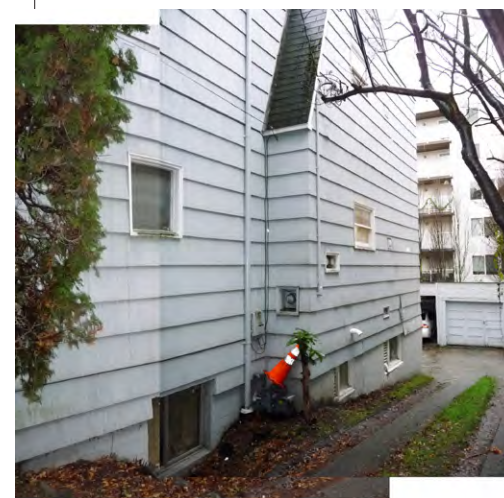
E-3 Landscape Design to Address Special Site Conditions

Preserving the existing Chestnut tree allows this project to: “...take advantage of special on-site conditions such as...existing significant trees...”  
“Minimize the removal of significant trees.”  
“Retain significant vegetation where possible.”  
“...make a new project seem more like an established part of its neighborhood.”

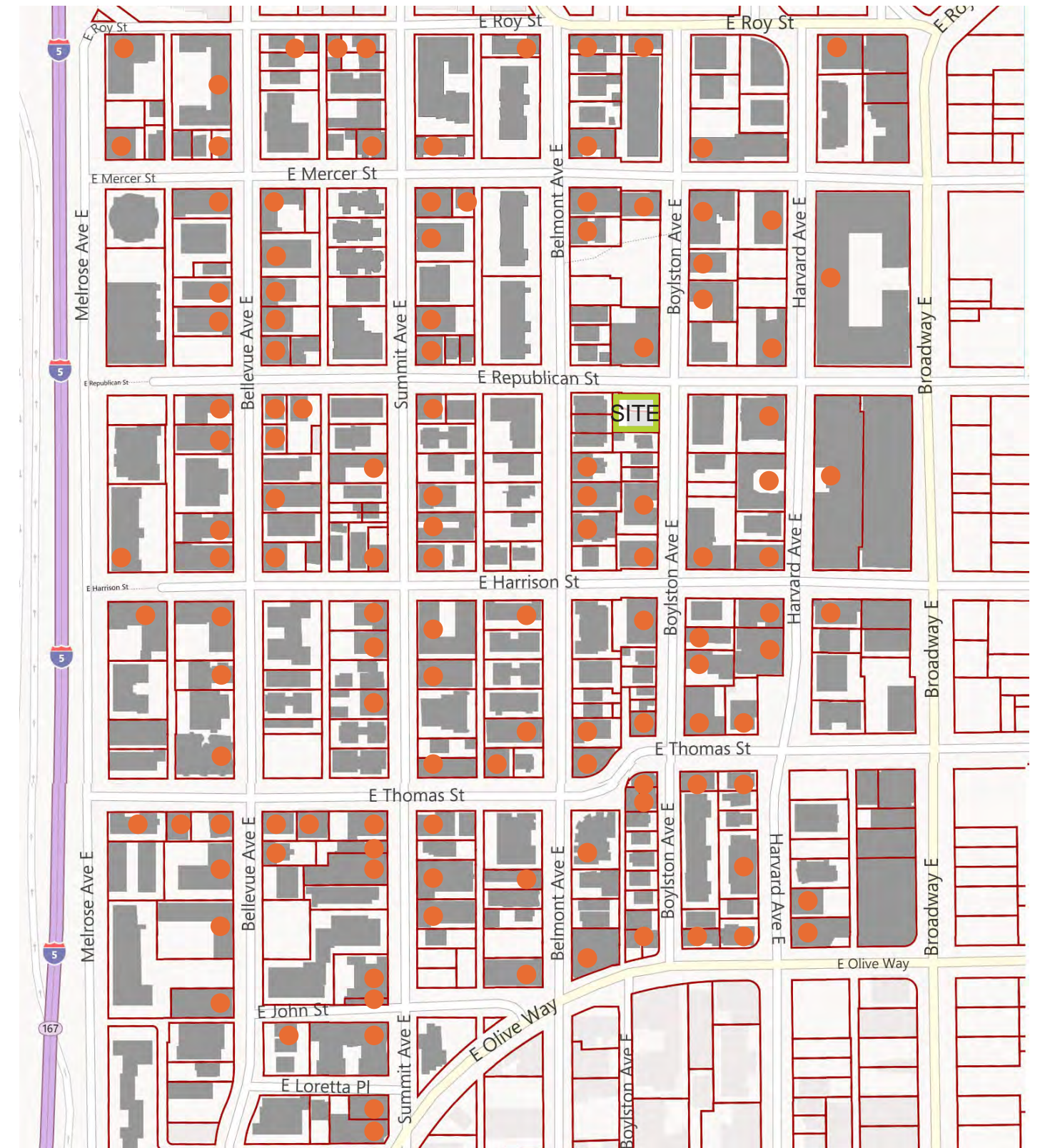




**SIDE SETBACK DEPARTURE ILLUSTRATION - LOOKING WEST FROM BOYLSTON**



**NORTH FACE OF EXISTING HOUSE @ 423 BOYLSTON AVE E**



● = EXISTING 'ZERO-LOT LINE' BUILDINGS IN 'WEST SLOPE DISTRICT' OF CAPITOL HILL



## FACADE TREATMENT 1 ALONG PROPERTY LINE









