



09.14.2012 STREAMLINED DESIGN REVIEW
4214 LINDEN AVENUE N / DPD PROJECT # 3013800

washington 2505 3rd avenue•suite 300C , Seattle, WA 98121 • california 1993 Santa Barbara Street, San Luis Obispo, CA 93401 • www.caronarchitecture.com

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PROPOSAL

The proposed project at 4214 Linden Avenue N would replace an existing single family residence with 5 new townhome units within the 30' height limit and add 5 surface parking stalls accessed from the alley on the east side.

DPD Project #3013800
King County Address Parcel Number 569500-0300

ANALYSIS OF CONTEXT

The project site, located in the Fremont neighborhood of Seattle, is a 5,000 SF parcel zoned for low-rise residential development (LR2). The area is not designated as part of the Fremont Hub Urban Village.

The parcel is bounded by Linden Ave N on the west, an alley court on the east, a 12' wide alley to the south with townhomes beyond and a single family residence to the north. The site is to the west of Aurora Ave N. Linden Ave N has on-street parking.

The topography of the site is relatively flat, with an approximate 5' drop in elevation from the northwest corner at Linden Ave N to the southeast corner at the alley.

There is an overhead high voltage line running along the site in the alley to the south. There is one fir tree in the alley court on the east that will need to be preserved.

The neighborhood is made up of a mix of single-family residences, townhomes and other residential buildings. Commercial uses are located off of Aurora Avenue N and Fremont Avenue N.

PROPOSAL

The proposal includes a duplex building facing Linden Avenue N and a triplex building facing the alley to the south.

Due to the close proximity to the high voltage line, this proposal requires adjustments to side setbacks per (SMC 23.45.518A) and structural depth per (SMC 23.45.527 B.7) in order to maintain the required clearances (per Seattle City Light) from the line.

This project would be totally code compliant if the site was not adjacent to a power line.



Neighborhood Context for 4214 Linden Avenue N
Fremont Neighborhood, Seattle, Washington

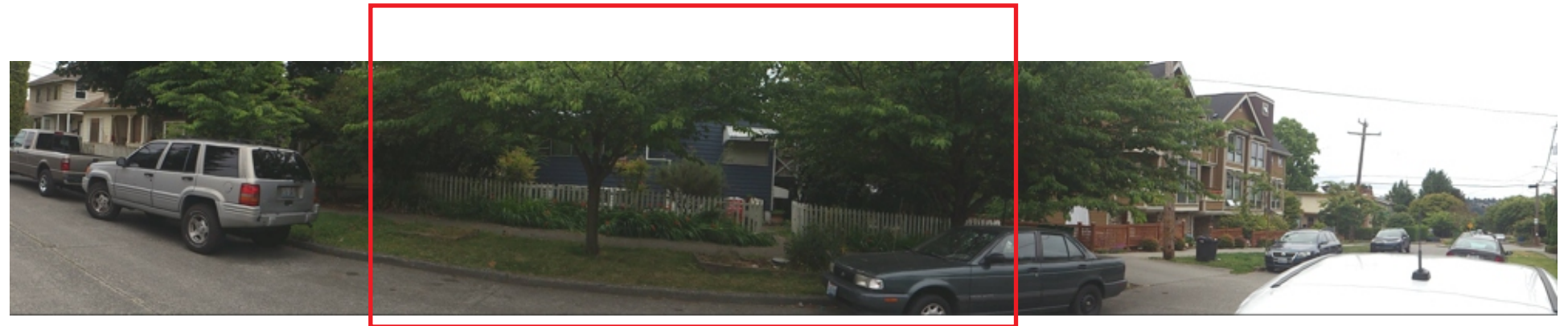




1. AERIAL LOOKING EAST



2. AERIAL LOOKING WEST



3. VIEW FROM LINDEN AVE N. LOOKING AT EXISTING HOUSE



4. VIEW FROM LINDEN AVE N. LOOKING WEST



5. VIEW OF ALLEY FROM LINDEN AVE N. LOOKING EAST



6. VIEW OF ALLEY FROM LINDEN AVE N. LOOKING WEST

SITE PHOTOS

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7. VIEW OF ALLEY COURT ON THE EAST LOOKING NORTH



11. VIEW FROM ALLEY COURT LOOKING SOUTH



8. VIEW OF SITE FROM ALLEY COURT ON THE EAST



12. VIEW FROM ALLEY LOOKING EAST

9. VIEW OF ALLEY ON THE SOUTH LOOKING EAST
10. VIEW OF ALLEY ON THE SOUTH LOOKING WEST



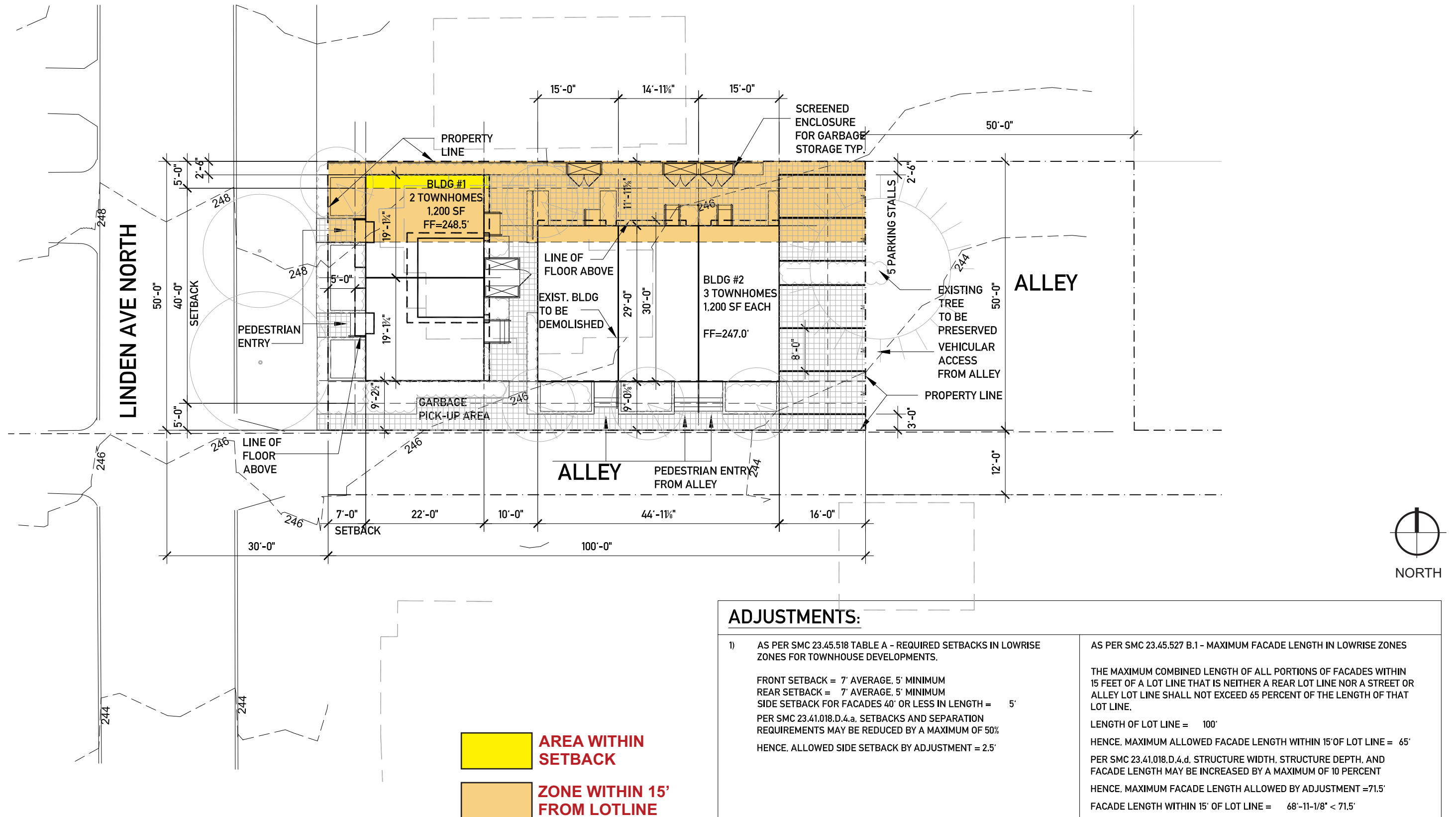
9. 10.



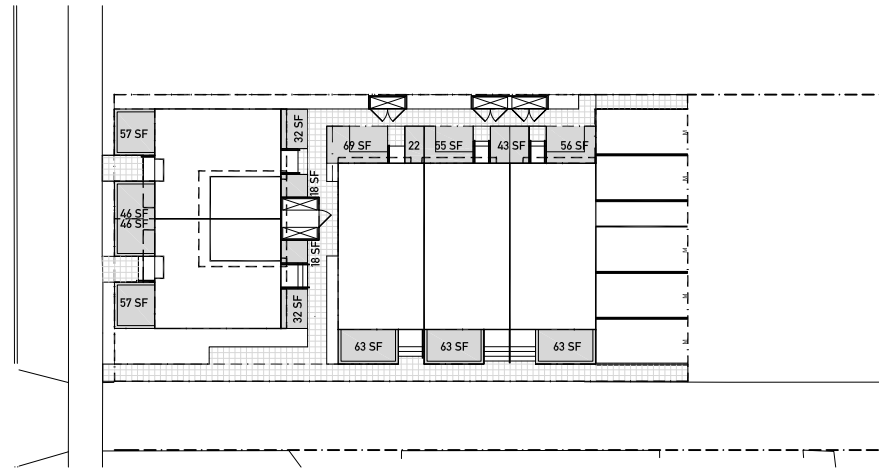
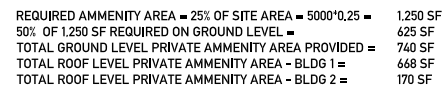
13. VIEW FROM LINDEN AVE N. OF THE NEIGHBORING PROPERTY TO THE SOUTH

SITE PHOTOS

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SITE PLAN

[illegible]

Green Factor Score Sheet

SEATTLE GREEN factor

Project title: 4214 Linden Ave N, LR2 Zone, 0.6 minimum green factor

enter sq ft of parcel

Parcel size (enter this value first) 5,000

SCORE 0.606

Landscape Elements**		Totals from GF worksheet	Factor	Total
A Landscaped areas (select one of the following for each area)				
1	Landscaped areas with a soil depth of less than 24"	enter sq ft 0	0.1	-
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft 1044	0.6	626.4
3	Bioretention facilities	enter sq ft	1.0	-
B Plantings (credit for plants in landscaped areas from Section A)				
1	Mulch, ground covers, or other plants less than 2" tall at maturity	enter sq ft 1044	0.1	104.4
2	Shrubs or perennials 2" + at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 40 480	0.3	144
3	Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants 5 375	0.3	112.5
4	Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants 0 0	0.3	-
5	Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants 0 0	0.4	-
6	Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants 0 0	0.4	-
7	Tree canopy for preservation of large existing trees with trunks 6" + in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH 34 680	0.8	544.0
C Green roofs				
1	Over at least 2" and less than 4" of growth medium	enter sq ft	0.4	-
2	Over at least 4" of growth medium	enter sq ft	0.7	-
D Vegetated walls				
		enter sq ft 634	0.7	443.8
E Approved water features				
		enter sq ft 0	0.7	-
F Permeable paving				
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.2	-
2	Permeable paving over at least 24" of soil or gravel	enter sq ft 1668	0.5	834.0
G Structural soil systems				
		enter sq ft 0	0.2	-
		sub-total of sq ft =	5,625	
H Bonuses				
1	Drought-tolerant or native plant species	enter sq ft 1044	0.1	104.4
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft	0.2	-
3	Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft 1,167	0.1	116.7
4	Landscaping in food cultivation	enter sq ft 0	0.1	-
			Green Factor numerator =	3,939

* Do not count public rights-of-way in parcel size calculation.

** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

	QUANT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
		ACER CIRCINATUM	VINE MAPLE		
		AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY		
		MAGNOLIA LITTLE GEM	LITTLE GEM EVERGREEN MAGNOLIA	1 1/2" GAL	
		SORBUS AMERICANA 'DWARFCROWN'	RED CASCADE MT. ASH		
		STYRAX JAPONICA	JAPANESE SNOWBELL TREE		
		EXISTING TREE TO REMAIN			
	*	ARBUTUS U. COMPACTA	COMPACT STRAWBERRY BUSH	2 GAL	
		EPIEDIUM SULPHUREUM	YELLOW BISHOP'S HAT	1 GAL	
		HOSTA 'KROSSA REGAL'	KROSSA REGAL HOSTA	2 GAL	
	*	HAMAMELIS X INTERMEDIA 'DIANE'	DIANE WITCH HAZEL	2 GAL	
		LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILYTURF	1 GAL	
	*	MISCANTHUS SINENSIS 'MORNING LIGHT'	MISCANTHUS MORNING LIGHT	1 GAL	
	*	NANDINA DOMESTICA 'COMPACTA'	COMPACT HEAVENLY BAMBOO	2 GAL	
	*	OSMANTHUS DELEVAYII	NO COMMON NAME	2 GAL	
		PENNISETUM 'HADELN'	DWARF FOUNTAIN GRASS	1 GAL	
	*	POTENTILLA ABBOTSWOOD WHITE	ABBOTSWOOD WHITE POTENTILLA	2 GAL	
		PRUNUS MT VERNON	MT VERNON LAUREL	1 GAL	
	*	PRUNUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	2 GAL	
		SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL	
	*	SPIREA SNOWMOUND	SNOWMOUND SPIREA	2 GAL	
	*	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	
		RUBUS PENTALOBUS 'EMERALD CARPET'	CREEPING RUBUS	1 GAL	24" O.C.
		BLECHNUM SPICANT	DEER FERN	1 GAL	18" O.C.
		LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILYTURF	1 GAL	14" O.C.
		POLYGONATUM ODORATUM VARIEGATED	VARIEGATED SOLOMAN'S SEAL	1 GAL	18" O.C.
		SARCOCOCCA HUMILIS	LOW GROWING VANILLA PLANT	1 GAL	18" O.C.
		VINES			
		AKEBIA QUINATA	FIVELEAF AKEBIA	2 GAL	
		CLEMATIS JACKMANII	JACKMANII CLEMATIS	2 GAL	

FOR EACH HATCH AREA PROVIDE AMOUNT OF PLANTINGS LISTED ADJACENT TO HATCH
 ★ SHRUB WITH A MATURE HEIGHT OF 24" OR GREATER, (FOR GREEN FACTOR CALCULATIONS)
 PLANT SHRUBS AND GROUNDCOVERS A MINIMUM OF 18" FROM PAVED SURFACES
 TRAIN VINES TO ADJACENT GREEN SCREEN.
 SEE ARCHITECTURAL PLANS FOR ALL RAILS AND RAILINGS
 COORDINATE ALL WORK WITH ARCHITECTURAL AND CIVIL DRAWINGS.

GREEN SCREEN METAL LATTICE, OR APPROVED SIMILAR. NOTED WITH WIDTH BY HEIGHT

PERVIOUS PAVING, WITH A TOTAL OF OVER 24" OF GRAVEL AND SOIL BENEATH

CONCRETE PAVING AND STAIRS

PLANT SCHEDULE

DESIGN GUIDELINES

This proposal acknowledges and responds to the Design Review Guidelines for Multifamily and Commercial Buildings. The following guidelines have been identified to be most relevant to this project.

A. SITE PLANNING

A-1 Responding to Site Characteristics

Since the site has alley access on two adjacent sides, we have used this as an opportunity to have surface parking on the rear side (east) to eliminate the visibility of unsightly surface parking from the street and in front of the buildings. We have also organized the parking to be able to preserve and protect an existing tree. Also, due to the close proximity of the site to a high voltage line on the south side, we have set back both buildings to maintain required clearances per Seattle City Light. Both of these conditions allow for more landscaping and create a more inviting pedestrian/resident experience.

A-2 Streetscape Compatibility

The proposal responds to the existing street-scape development pattern using features such as bay windows, entry pathways and upper floor decks. The duplex building facing Linden Ave N maintains the required setback from the street sidewalk and responds in scale to the surrounding buildings to the south, southwest and northeast. This building makes an effort to reduce the scale of the building toward the street by locating the stair tower to the rear. The flat/shed roof design in this proposal is distinct from other buildings with gabled roofs on the same side of the street. However, other existing buildings across the street also have shed roofs.

A-3 Entrances visible from the street

Individual unit entrances have been clearly defined using pathways/stairways, addressing, canopies, landscaped planters and lighting. The units facing Linden Avenue N have individual pathways with lighting leading in from the street. In addition to having direct access from the alley, the units facing the south alley also have a clearly defined pathway accentuated with lighting allowing direct access from the street to the individual stairways for each unit.

A-4 Human Activity

Both buildings promote human activity and interaction by orienting entries and features such as large windows, decks/juliettes towards the street as well as the alley. The triplex building improves the look of the south alley by increasing unit frontage towards the alley.

A-5 Respect for Adjacent Sites

The duplex building respects the privacy of the adjacent building to the north and south by placing the majority of the windows on the east/west facades thus limiting windows on the north and south side overlooking neighboring properties. High strip windows are used for more light without compromising privacy. A green screen along with landscaping has been designed along the north property line to increase privacy.

A-6 Transition between Residence and Street

The duplex building is adequately setback from the street to allow for privacy and the use of large bay windows and juliettes. The triplex building is deeply setback from the south alley ensuring privacy with direct access to the alley and street using a clearly defined pathway accentuated with lighting from the street to the individual stairways for each unit. There is a clear cut transition from public right-of-way to private pathways using landscaped planters and lighting for individual unit entries.

A-3 Entrances visible from the street



DUPLEX - STREET SIDE ENTRY

A-4 Human Activity, C-1 Architectural Context, C-3 Human Scale
D-2 Blank Walls, D-7 Personal Safety and Security
A-6 Transition between Residence and Street, D-12 Entries & Transitions

E-2 Landscaping to enhance site



TRIPLEX - ALLEY SIDE ENTRY

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DESIGN GUIDELINES

A-7 Residential Open Space

Since parking is located on the rear of the site, all units have individually landscaped entry pathways and private backyards. The units facing Linden Avenue N have private roof deck areas and the units facing the south alley have upper level decks. The space between the two buildings serves as an interior courtyard and provides a private backyard for the two units facing Linden Avenue N. The units in the triplex have a private backyard to the north.

A-8 Parking and Vehicle Access

Surface parking is located to the rear of the site accessed from the alley as described in A-1. This eliminates the impact of driveways on the site and visibility of parking from the street and in front of the buildings. There is a clearly defined pedestrian pathway accentuated with lighting connecting parking to the unit entrances.

B. HEIGHT, BULK AND SCALE

B-1 Height, Bulk and Scale Compatibility

The project has been broken up into two buildings to reduce bulkiness and correspond to the scale/massing of the surrounding buildings to the south, southwest and northeast. The stair tower on the duplex building facing the street is located to the rear of the building such that it does not seem imposing on the streetside. The duplex building is located in close proximity to the single family residence to the north due to the required clearance from the high voltage line, but the design limits windows on the north facade and uses landscaping and a green screen to soften the transition and increase privacy.

C. ARCHITECTURAL ELEMENTS AND MATERIALS

C-1 Architectural Context

The existing buildings in the area show a variety of styles. This proposal matches the surrounding context in massing/scale, proportions and facade modulation using with features such as decks, bay windows, Juliettes, entry stairways and canopies.

C-3 Human Scale

The proposed design addresses human scale using features described in C-1. These features along the front of the buildings promote human interaction and activity.

C-4 Exterior Finish Materials

The project will use high-quality long lasting materials such as fiber cement panel/horizontal siding, clear cedar siding, concrete, metal canopies, colored vinyl windows, metal cable railing and architectural paving along with landscaping. Please refer to the elevation views for material locations.

D. PEDESTRIAN ENVIRONMENT

D-2 Blank walls

Both buildings avoid large blank walls on the front elevations (facing the street and the south alley) and the rear elevations. The blank walls on the sides have been broken up using change in material and/or color.



INTERIOR COURTYARD



VIEW FROM SOUTHWEST CORNER

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DESIGN GUIDELINES

D-6 Screening of Dumpsters, Utilities and Service Areas

Garbage/ Trash storage areas have been located on the rear side of the buildings and screened using fences, gates and landscaping. The bins will be pulled by to the alley residents for collection. The proposal provides an area on the southwest corner of the site for garbage staging for collection.

D-7 Personal Safety and Security

This proposal promotes a sense of security using landscaping and lighting. It also promotes natural surveillance using large windows and decks/juliettes facing the street and the alley.

D-8 Treatment of Alleys

The triplex building facing the alley enhances the look of the alley and promotes visibility and security using large windows and decks.

D-12 Residential Entries and Transitions

Please refer to the description in A-6.

E. LANDSCAPING

E-1 Landscaping to Reinforce Design Continuity with Adjacent sites

This proposal preserves all the existing street trees and also preserves one tree in the east alley. No trees or landscaping on neighboring properties will be affected.

E-2 Landscaping to enhance the Building and/or site

Landscaping will be used to enhance entrances and private yards, increase privacy and provide screening. Please refer to the Landscape plan for more information.



DUPLEX - PRIVATE BACKYARDS

A-5 Respect for Adjacent Sites

D-6 Screening of Dumpsters



TRIPLEX - PRIVATE BACKYARDS



A-5 Respect for Adjacent Sites

B-1 Height, Bulk and Scale Compatibility

A-1 Responding to Site Characteristics

A-8 Parking and Vehicle

E-1 Landscaping to Reinforce
Design Continuity with Adjacent sites



NORTH SIDE VIEW FROM LINDEN AVE N



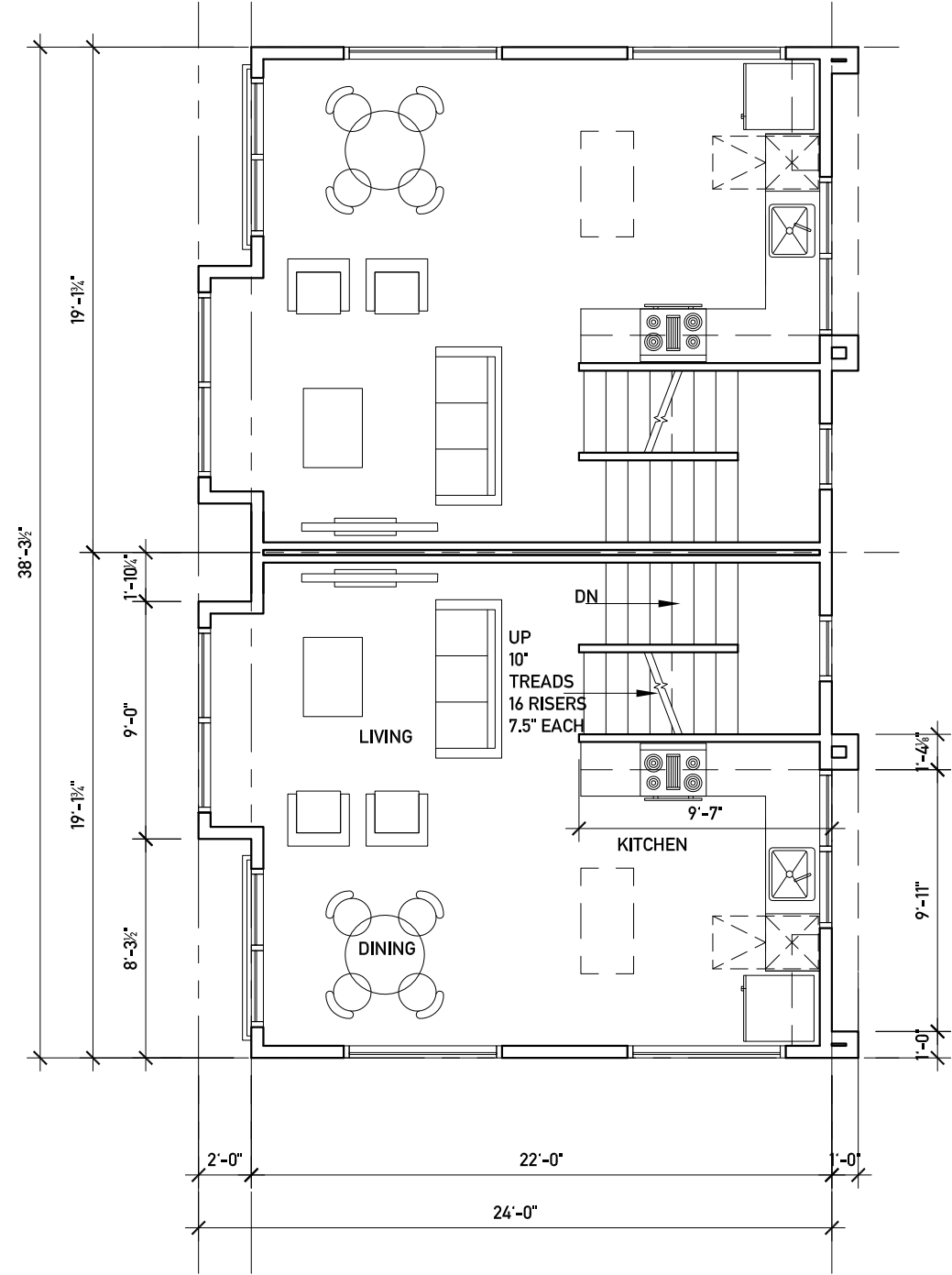
AERIAL VIEW FROM ALLEY - SOUTHEAST



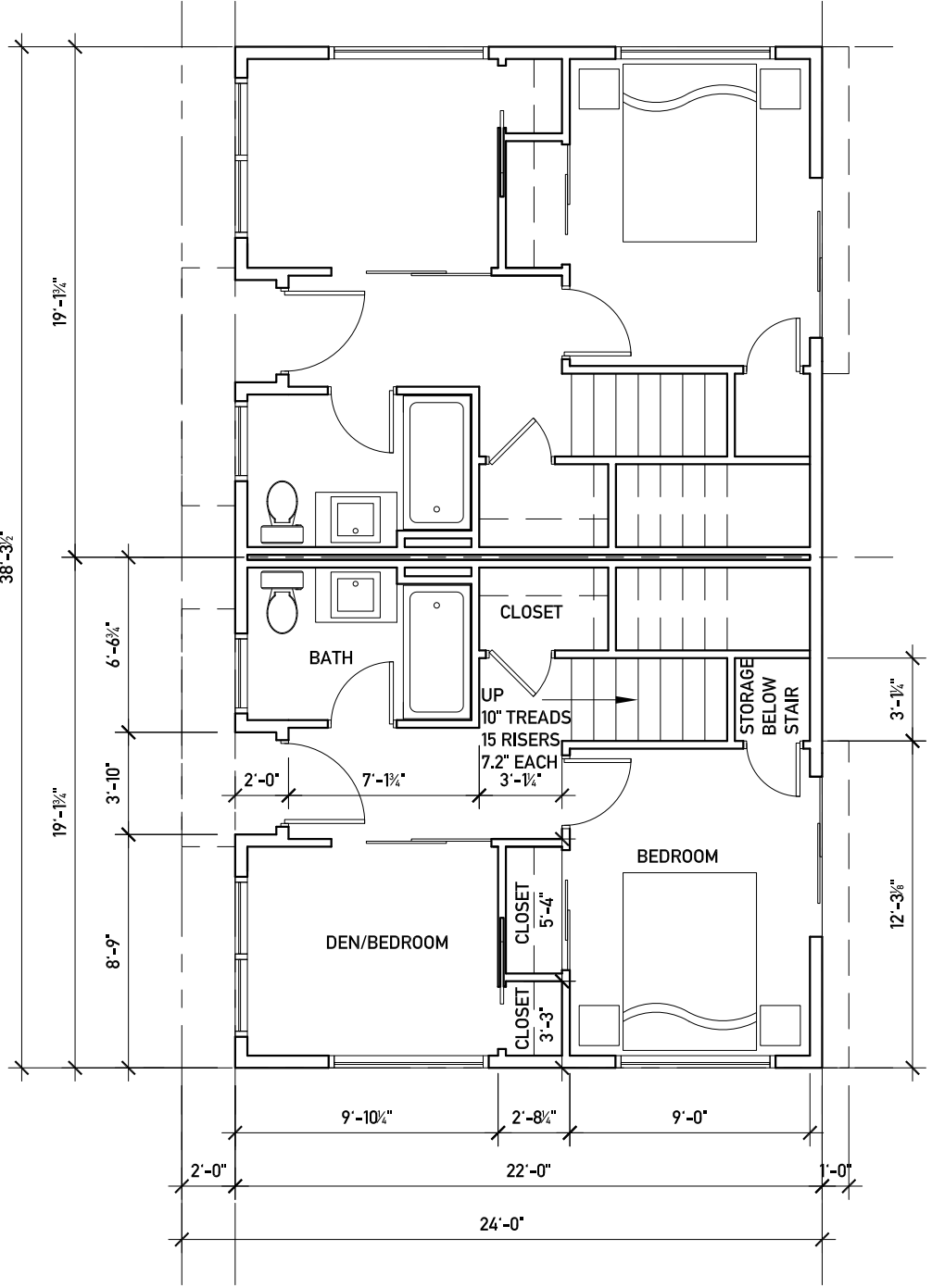
AERIAL VIEW - SOUTHWEST

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BUILDING 1 - 2ND FLOOR PLAN



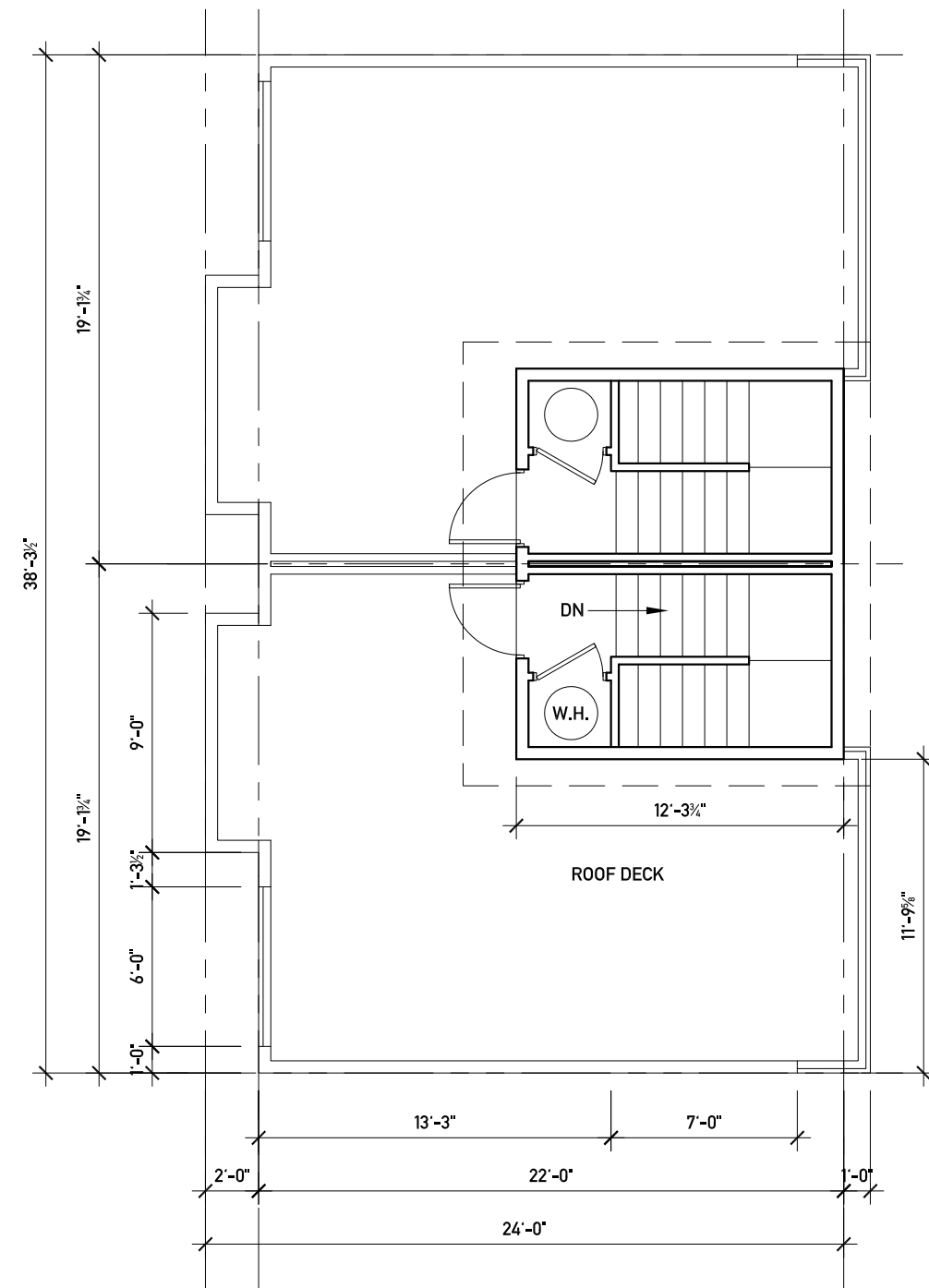
BUILDING 1 - 1ST FLOOR PLAN



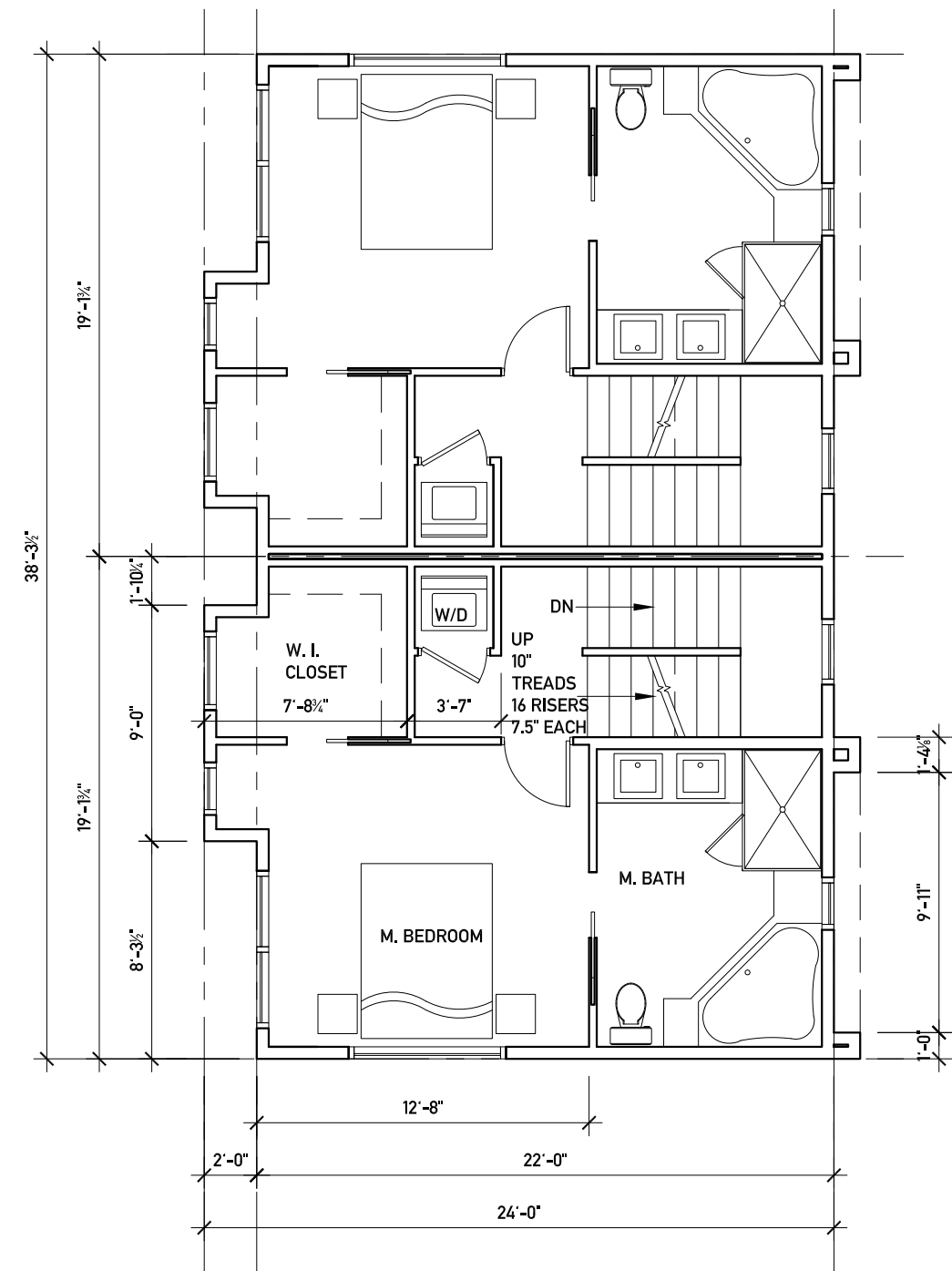
BUILDING 1 FLOOR PLANS



BUILDING 1 - ROOF PLAN



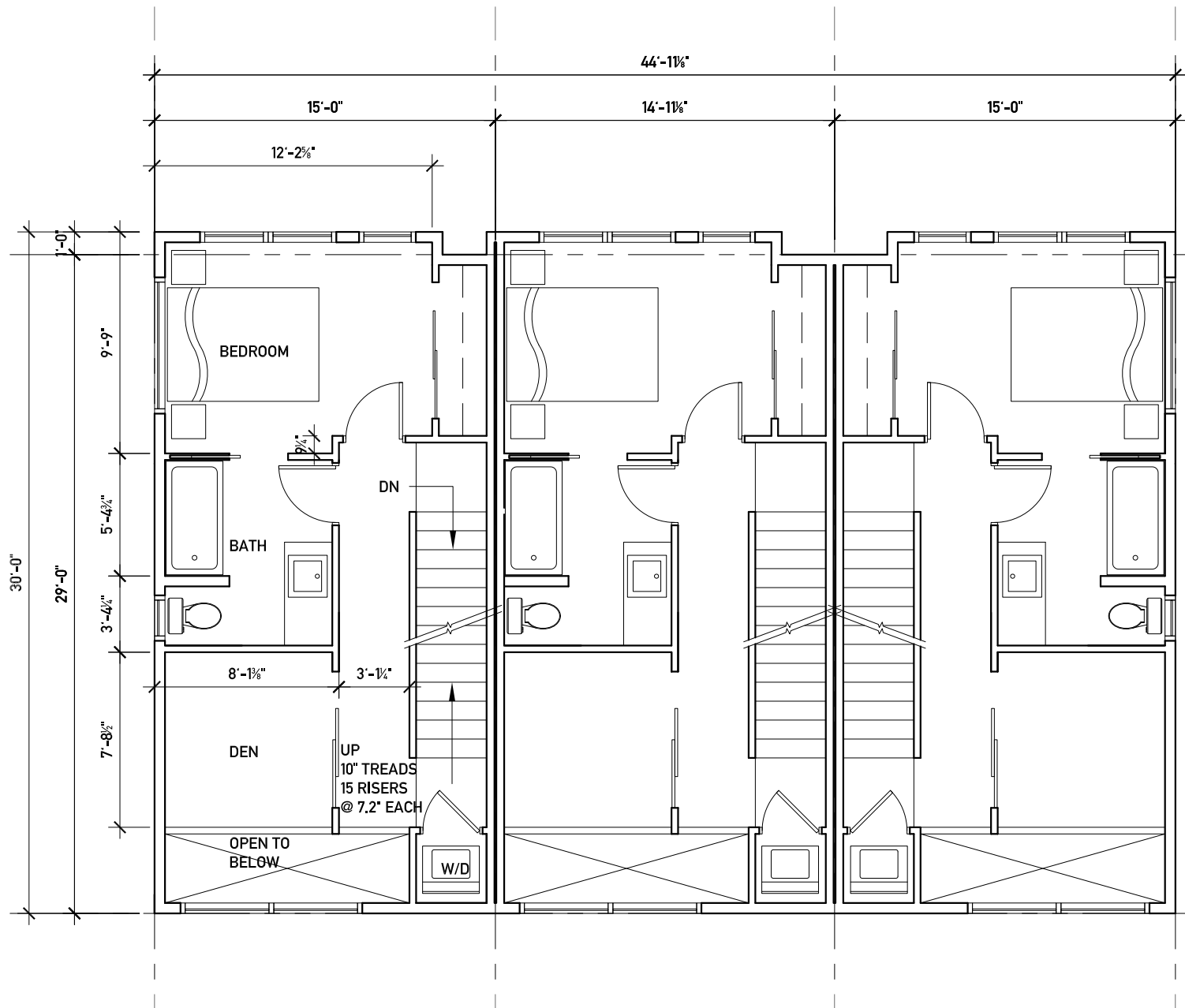
BUILDING 1 - 3RD FLOOR PLAN



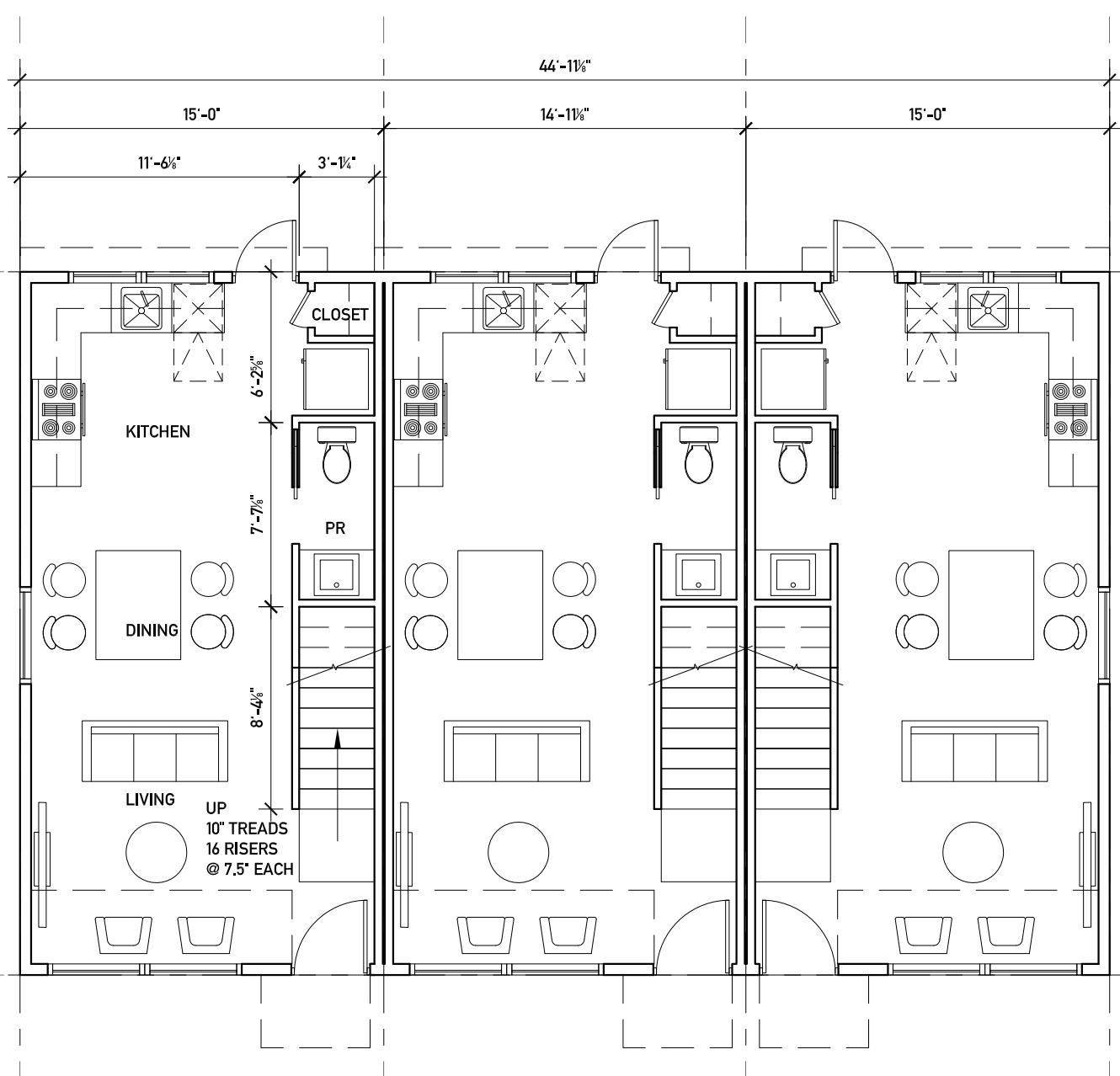
BUILDING 1 FLOOR PLANS



BUILDING 2 - 2ND FLOOR PLAN



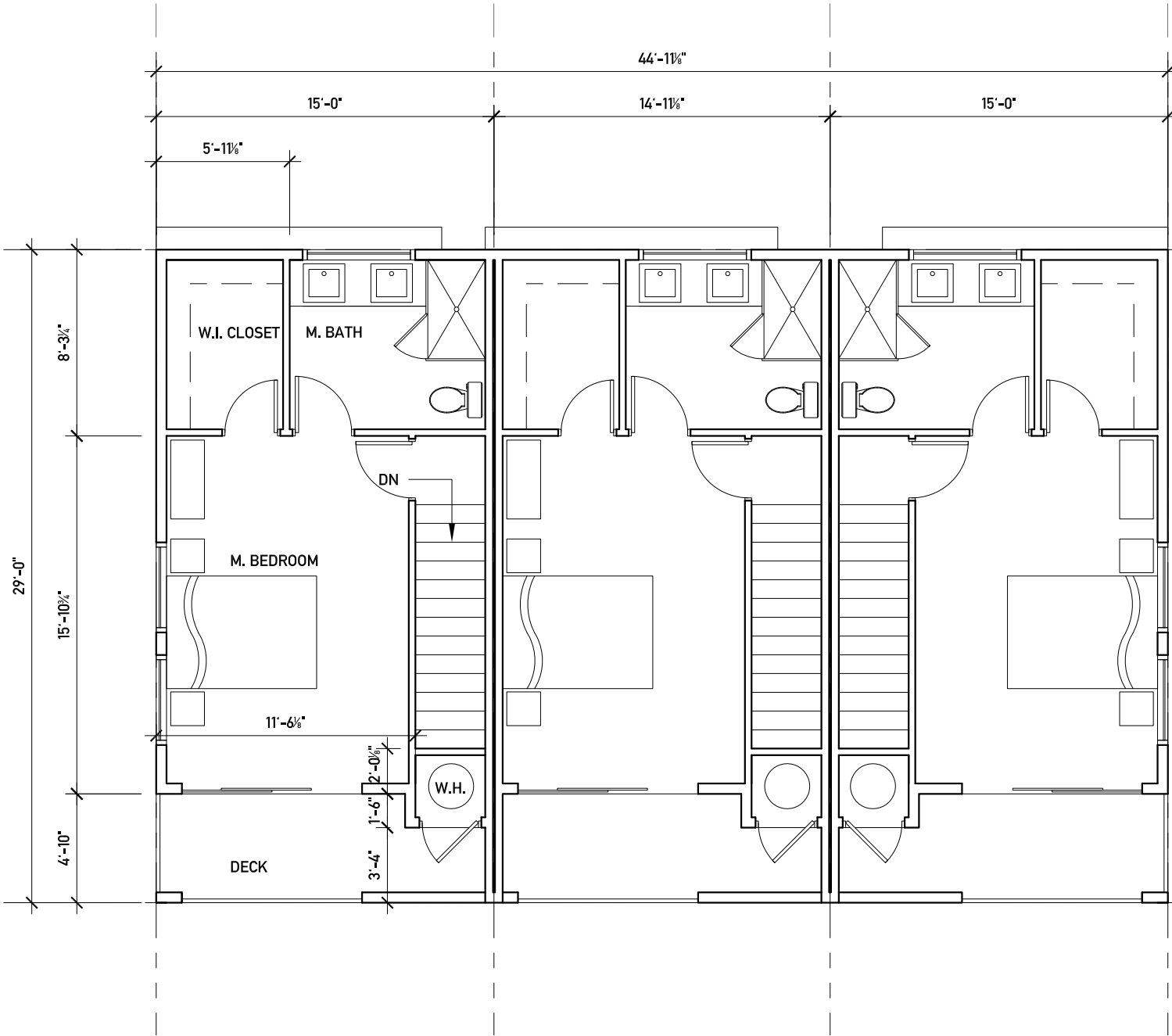
BUILDING 2 - 1ST FLOOR PLAN



BUILDING 2 FLOOR PLANS

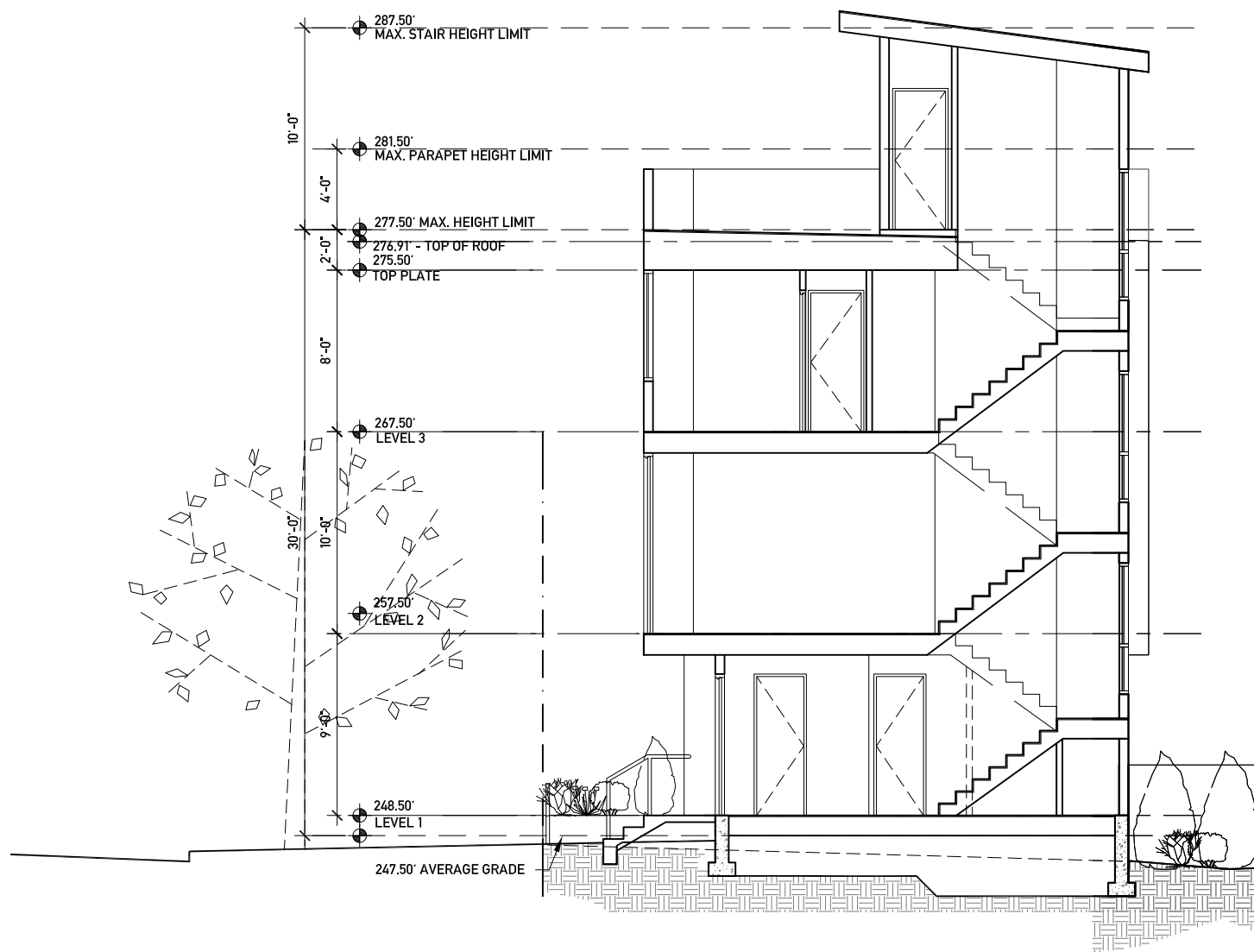


BUILDING 2 - 3RD FLOOR PLAN



BUILDING 2 FLOOR PLAN





BUILDING 1



BUILDING 2

BUILDING SECTIONS

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WEST ELEVATION



SOUTH ELEVATION

CONCRETE





EAST ELEVATION - FROM ALLEY COURT

EAST ELEVATION - BLDG 1

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SMC TITLE	SMC REQUIREMENT	REFERENCE
23.45.504. PERMITTED AND PROHIBITED USES	RESIDENTIAL USE PERMITTED OUTRIGHT PER 23.45.504 TABLE A	COMPLIANT
23.45.508. GENERAL PROVISIONS	REQUIRED PARKING, ALLEY ROW IMPROVEMENTS, SOLID WASTE AND RECYCLABLES ADDRESSED BELOW	
23.53.005 ACCESS TO LOTS	MINIMUM 10' OF LOT LINE REQUIRED FOR PARKING ACCESS	COMPLIANT: SEE SITE PLAN
23.53.006 PEDESTRIAN ACCESS AND CIRCULATION	PEDESTRIAN ACCESS AND CIRCULATION REQUIRED, SIDEWALKS REQUIRED PER R.O.W. IMPROVEMENTS MANUAL	COMPLIANT: SEE SITE PLAN
23.53.015 IMPROVEMENTS FOR EXISTING STREETS IN RESIDENTIAL ZONE	IMPROVEMENTS FOR EXISTING ARTERIAL MEETING MINIMUM R.O.W. WIDTH STANDARDS REQUIRED	COMPLIANT: SEE SITE PLAN
23.53.030 ALLEY IMPROVEMENTS	12' MINIMUM R.O.W. WIDTH FOR EXISTING ALLEY PER 23.53.030 TABLE C	COMPLIANT: SEE SITE PLAN
23.54.015 REQUIRED PARKING	PER 23.54.015 TABLE B - 1 PARKING SPACE PER DWELLING UNIT REQUIRED	COMPLIANT: SEE SITE PLAN
23.54.040 SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS	(1) 2'x6' AREA FOR EACH UNIT (UNITS WILL BE BILLED SEPARATELY BY UTILITY) BINS WILL BE PULLED TO ALLEY SIDE BY OWNERS ON COLLECTION DAY	COMPLIANT: SEE SITE PLAN FOR LOCATION
23.45.510. FLOOR AREA RATIO (FAR) LIMITS	1.2 FAR LIMIT PER 23.45.510B TABLE A AND 23.45.510C	COMPLIANT: SEE FAR CALCULATIONS
23.45.512. DENSITY LIMITS– LOWRISE ZONES	TOWNHOUSES - NO DENSITY LIMIT / MEETING REQUIREMENTS OF 23.45.510.C	COMPLIANT
23.45.514. STRUCTURE HEIGHT	30' HEIGHT LIMIT	COMPLIANT
23.45.518. SETBACKS AND SEPARATIONS	FRONT SETBACK: 7' AVG. / 5' MIN. SIDE SETBACK: 5' MIN. REAR SETBACK: 7' AVG. / 5' MIN.	ADJUSTMENT REQUESTED: SEE SITE PLAN FOR NOTES
23.45.522. AMENITY AREA	25% OF LOT AREA: 50% OF REQUIRED AMENITY SPACE TO BE AT GROUND LEVEL: 10' SETBACK FROM SIDE LOT LINES FOR PRIVATE SPACE	COMPLIANT: SEE AMENITY AREA CALCULATIONS
23.45.524. LANDSCAPING STANDARDS	GREEN FACTOR SCORE OF 0.6 REQUIRED	COMPLIANT: SEE LANDSCAPE SHEET
23.45.526. LEED, BUILT GREEN, AND EVERGREEN SUSTAINABLE DEVELOPMENT STANDARDS	TO ACHIEVE A HIGHER FAR LIMIT: PROJECT WILL MEET GREEN BUILDING PERFORMANCE STANDARDS, BUILT GREEN 4 STAR RATING.	COMPLIANT: PROJECT COMMITTED TO ACHIEVING BUILT GREEN 4-STAR RATING
23.45.527. STRUCTURE WIDTH AND FACADE LENGTH LIMITS IN LR ZONES	ON SIDE LOT LINES WITHIN 15' OF LOT LINE, TOTAL LENGTH OF FACADE MUST BE LESS THAN 65% OF SAID LOT LINE.	ADJUSTMENT REQUESTED: SEE SITE PLAN
23.45.529. DESIGN STANDARDS	PROJECT UNDERGOING STREAMLINED DESIGN REVIEW, EXEMPT FROM STANDARDS PER SMC 23.45.529.B	COMPLIANT
23.45.534. LIGHT AND GLARE STANDARDS	ALL LIGHT TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES: PARKING TO HAVE 5' - 6' HIGH SCREEN FROM ABUTTING PROPERTIES	COMPLIANT: SEE SITE PLAN
23.45.536. PARKING LOCATION, ACCESS, AND SCREENING	PARKING ACCESS TO BE FROM ALLEY . DEVELOPMENT TO GAIN HIGHER FAR PER 2.45.510 C	COMPLIANT: SEE SITE PLAN

AREA CALCULATION		
SITE AREA	5,000 SF	
FAR	1.2	
ALLOWABLE FLOOR AREA	5,000*1.2 = 6,000 SF	
BUILDING #1	FAR	GROSS
LEVEL 1	378.55 SF	415.30 SF
LEVEL 2	402.04 SF	451.47 SF
LEVEL 3	402.04 SF	451.47 SF
ROOF PENTHOUSE	74.07 SF	90.40 SF (20%)
TOTAL ROOF		451.50 SF
TOTAL PER UNIT	1,256.70 SF	1,408.64 SF
BLDG #1 TOTAL	2,513.40 SF	2,817.28 SF
BUILDING #2		
LEVEL 1	397.55 SF	435.00 SF
LEVEL 2	376.59 SF	450.00 SF
LEVEL 3	333.83 SF	368.42 SF
TOTAL PER UNIT	1,107.97 SF	1,253.42 SF
BLDG #2 TOTAL	3,323.91 SF	3,754.78 SF
TOTAL	5,837.31 SF	6,572.06 SF

ADJUSTMENTS AND DEPARTURES

