



7209 Greenwood Avenue North
Seattle, Washington 98103

NW 90th Townhomes Streamlined Design Review

Property Address: 1543 NW 90th Street

Project number: 3013781

Owner/Lessee Name:

Contact Person & Design Professional:

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PART II: DESIGN GUIDANCE
PROPOSAL PACKET

1. PROPOSAL: **Statement of development objectives** indicating type of desired uses, structure height, number of residential units, amount of commercial square footage and number of parking stalls.

Development Objectives, Uses & Residential Units:
The objective of this project is to keep the existing one-story duplex on this site which faces Sound View Park across the street to the north. The use of the new development will be a 3-unit townhome which will have entrances directly behind the duplex facing north. There will be a total of 5-units on the site

Structure Height:
The proposed townhomes will have the allowed 30' plate height with a total maximum height of 35'. The roof pitch will be a minimum of a 6:12.

Access & Parking:
The pedestrian access to the new units will be by one path on the property coming from NW 90th Street along the east side of the lot and also from the existing public pedestrian path running along the west side of the property which links NW 90th Street to the named alley NW 89th and 17th Ave NW. The existing duplex has pedestrian and parking access straight off of NW 90th Street. The existing units each have garages. The new townhomes are not required to have parking they are near frequent transit which is shown in the "Frequent Transit Service Analysis."



SITE WITH EXISTIN DUPLEX ON NW 90TH STREET



SITE WITH EXISTIN STRUCTURES & PROPOSED BUILDING

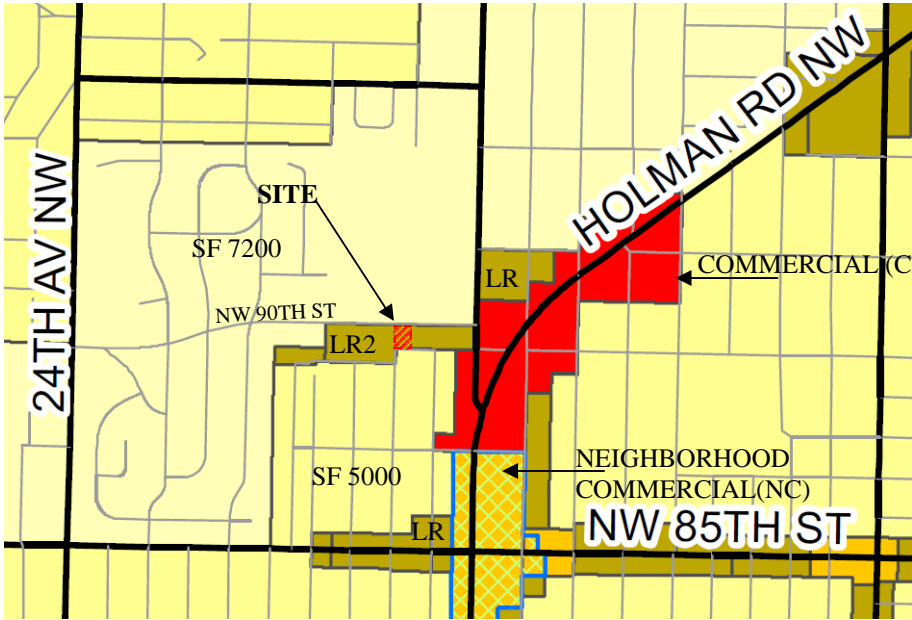


2. ANALYSIS OF CONTEXT:
Initial site analysis addressing site opportunities and constraints, adjacent buildings, zoning of the site and adjacent properties, overlay designations, solar access, views, circulation patterns, community nodes, landmarks, and existing architectural and siting

Site context and zoning:
The immediate neighboring zoning is lowrise multifamily and single family. The adjacent properties along 90th are all duplexes with one site having another multifamily unit in back.
There is a larger area of commercial along Holman Road and 15th Ave NW. This is a good area for multifamily townhomes because they have access to the convenience of the stores along the commercial area and the bus lines.

Circulation:
This site has a lot of pedestrian circulation. The commercial district being so close allows people to walk there passing this site on the sidewalk or on the public pedestrian path that runs along the west side of the property. Sound View Park across the street brings people to the area from many blocks away by car, or walking on the sidewalk and the pedestrian path.

Existing Architecture:
The main buildings in this area are 50s duplexes with low slope roofs. In the blocks to the south there is a mix of house types from old cottages, to 60s split level and infill houses. In this neighborhood there are a few examples of townhomes. Some are typical tall townhomes with gable roofs, auto courts and a standard beige color. There is a contemporary townhomes with garages off alleys and it has a flat roof and different color paneling. Throughout the surrounding neighborhood there are a variety of house types from contemporary to traditional.

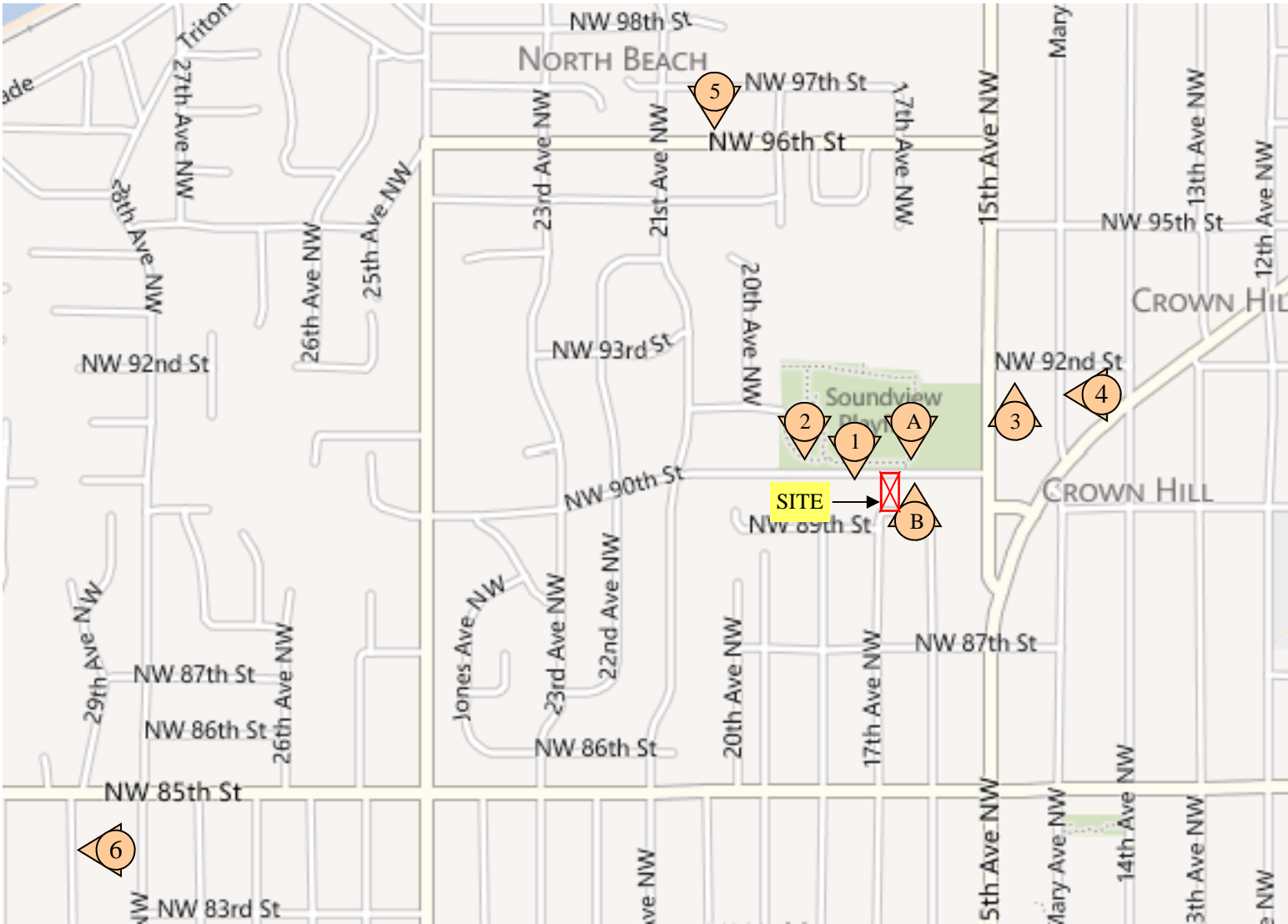


A. PANORAMA OF NW 90TH STREET



B. PARK ACROSS STREET

SUBJECT PROPERTY



VICINITY





1. DUPLEX



3. TOWNHOME



5. CONTEMPORARY HOUSE



2. DUPLEX



4. TOWNHOME



6. CONTEMPORARY TOWNHOME

3. EXISTING SITE CONDITIONS: A drawing of existing site conditions, indicating topography of the site or other physical features and location of structures of prominent landscape elements on the site including but not limited to all trees 6 inches or greater in diameter measured 4.5' above the ground (CAM 242)

Site topography:

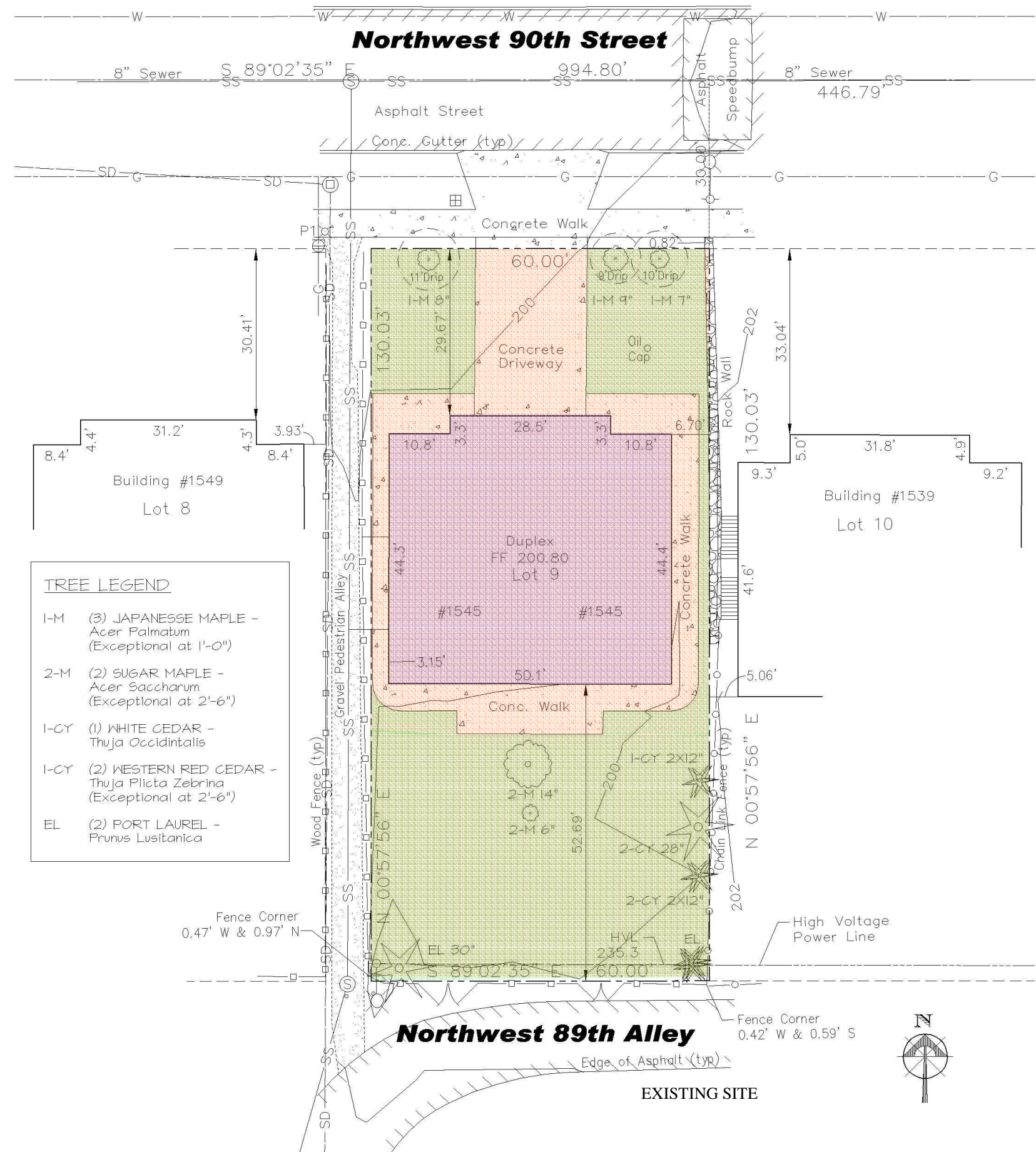
The site is flat and it is at the bottom of a gradual sloping hill on either side. There are views to the north over the existing duplex to Sound View Park. There will be some territorial view to the south because the grade is flat in this direction and this allows for southern exposure.

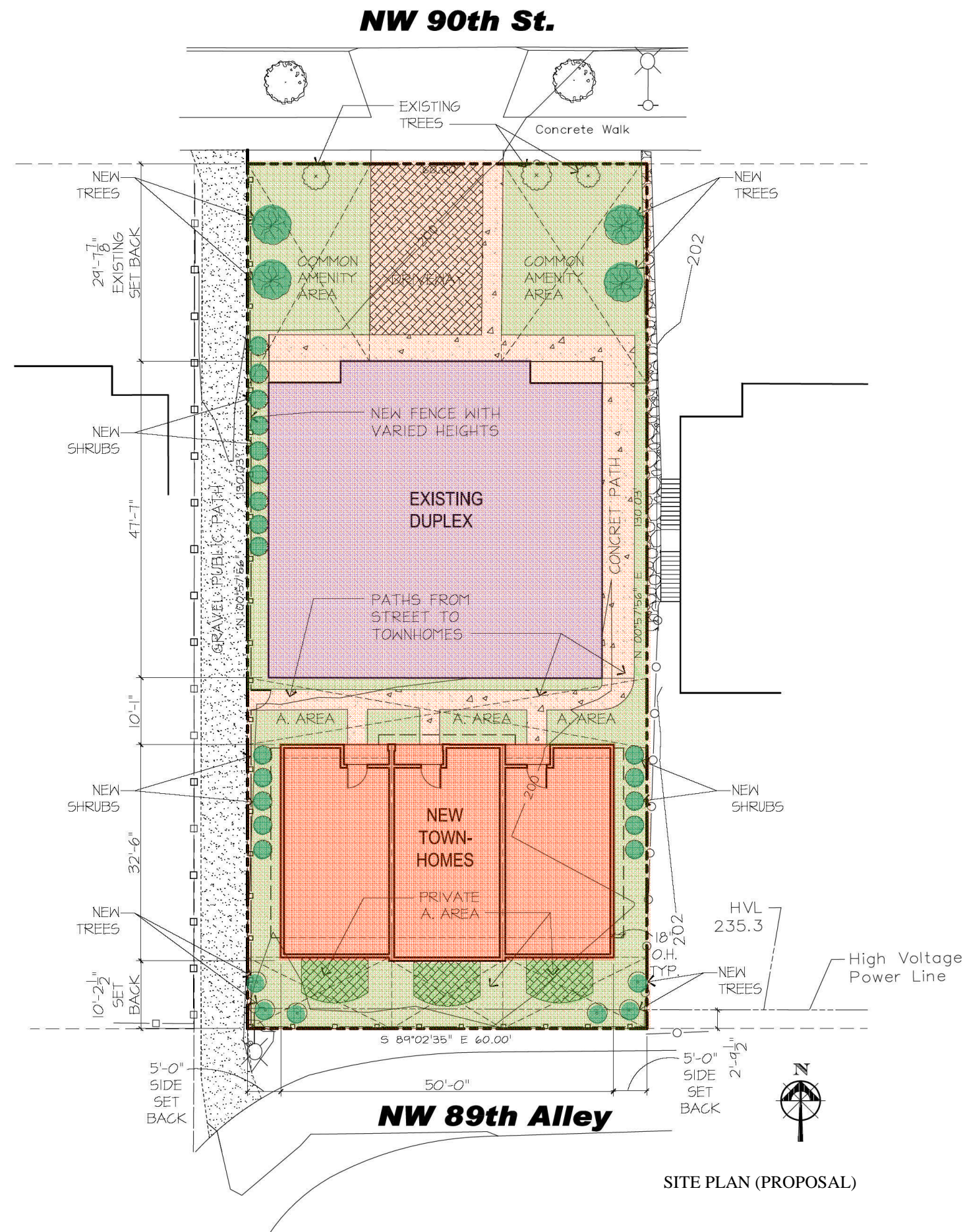
Site conditions and limitations:

This site has a few restrictions. The existing duplex has a large footprint so the remaining site left controls the footprint of the new townhomes. To have a reasonable square footage the units will be narrow and 3 floors. There is also restriction because of the 10' easement along the south property line for Seattle City Light's power line which runs within the property. This causes a set back on the 3rd floor to allow for the 12'6" radius form the power line. See Elevations for building form due to set backs.

Site trees:

See the existing site plan for the existing tree types on the site and their scientific names.





4. SITE PLAN: A preliminary site plan including proposed structures, open spaces, vehicular and pedestrian access and landscaping. Include all dimensions.

PROPOSED DEVELOPMENT STANDARDS FOR TOWNHOMES IN MULTI-FAMILY ZONE LR-2

FAR LR-2

TOTAL LOT AREA = 7800 SF

TOWNHOUSE: MAX FAR 1.0 = 7800 SF

EXISTING DUPLEX: 2315 SF

NEW TOWNHOMES: 4632 SF

TOTAL = 6948 SF

DENSITY LR-2

TOTAL LOT AREA = 7800 SF/1600

= 4.875 ROUND UP TO 5 UNITS ALLOWED

TOTAL PROPOSED = 5 UNITS

BUILDING HEIGHT LR2

30' height + 5' for roof (pitch 6:12)

BUILDING SETBACK LR2

TOWNHOUSE:

FRONT: 7' AVRG, 5' MIN

REAR: 7' AVRG, 5' MIN

SIDE: FACADE LESS THAN 40': 5'

FACADE OVER 40': 7' AVRG, 5' MIN

BUILDING WIDTH LR2

TOWNHOUSE: 90'

BUILDING LENGTH LR2

TOWNHOUSE: MAX COMBINED LENGTH WITHIN 15' OF LOT LINE THAT IS NOT A REAR LOT LINE OR STREET OR ALLEY SHALL NOT EXCEED 65% OF LOT LENGTH $130 \times .65 = 84.5$

PROPOSED: 80.08'

RESIDENTIAL AMENITIES LR2

PUBLIC OR PRIVATE

TOTAL AREA: $7,800 \times .25 = 1950$ SF

PRIVATE AMENITY AREA ON SIDE LOT LINE MIN. 10'

COMMON AMENITY AREA MIN 250 SF AND MIN. DIM. OF 10'

TOTAL: 2580 SF

GREEN FACTOR / LANDSCAPING

MUST BE LANDSCAPED TO SATISFY A GREEN AREA FACTOR OF 0.6

MAX 25% CAN BE GREEN WALL

PERMEABLE PAVERS AND STRUCTURAL SOILS CAN NOT COUNT MORE THAN 1/3 OF GREEN FACTOR

ASKING FOR A REDUCTION TO .54 GREEN FACTOR

PARKING LR2

SITE IN CROWN HILL URBAN VILLAGE PER TABLE B FOR 23.54.015 PARKING FOR RESIDENTIAL USES II. RESIDENTIAL USE WITH LOCATION CRITERIA. RESIDENCE IN MULTIFAMILY ZONE WITHIN URBAN VILLAGE, NOT IN URBAN CENTER, 1,320 FT TO NEAREST STREET WITH FREQUENT TRANSIT THEN NO PARKING IS REQUIRED.

PROPOSED: NO PARKING (FREQUENT TRANSIT ANALYSIS ATTACHED)

5. DESIGN GUIDELINES: A brief description of how the proposal meets the intent of the applicable citywide and neighborhood design review guidelines. Identify design guidelines most relevant to the proposal.

A-1: Response to Site Characteristics

The form of the townhomes are reflected by the allowed set backs from the existing duplex, the side yards and the power-line easement to the south. Because of the southern exposure this allows all the units to have windows facing south. The pedestrian walkway along the west side of the property is enhanced with different fence heights and an access from this to the front door of the units, with a low fence showing the point of access, but also separating the private space.

A-3: Entrance Visible from the Street

Because the units are behind the existing duplex the entrance from 90th has to be marked by access from the 2 paths. This is shown on the East side with the path along the driveway and to the back made out of a different material as well as opening up the landscaping to this area. The other path to the west is marked by the lower fence on that side where the entry access is. Also due to the front house being very low, one can see the front façade of the townhome from the street. The elevation is modulated for each unit which emphasizes that there are doors to these units when you walk back around the front building.

A-7: Residential Open Space

There will be a variety of open spaces in this project. At 90th Street in front of the existing duplex there will be common amenity area because this will keep the front open and welcoming to all the units. Also at the entry to the townhomes this will have a more public feel so that each owner of the units can walk comfortable down the path between the buildings. The townhomes will have private amenity areas to the south where there is room for small patios.

A-8: Parking and Vehicle Access

Because the project is near Frequent Transit and analysis has been completed and approved, no parking is required for this project. The existing units do have garages. The new units will not have parking. The bus stops are near by which is why it is not required, but because of the many amenities near by with commercial uses on 15th and Holman Road and the large park across the street, there are many places to go around this area that one can walk to.

C-2: Architectural Concept and Consistency

The main design concept for this site is to encourage a welcoming entry from 90th street by enhancing the paths and emphasizing the entries with small porches that come off the common path. The relationship to the neighbors to the east and west must be respectful. To the east this unit faces a backyard. To solve this issues there are higher window sills to let in light, but this way they are not looking directly down on the neighbor. To the west there is a large neighbor with only one window and the pedestrian path. It is important to have windows and attractive material on this side to make it visibly appealing. The windows on this side can be larger and face the path and there is not a privacy issue with the neighbor.

C-4: Exterior Finish Material

These townhomes will have a high quality material that will weather well for low maintenance to stay in a good condition. Each unit will be emphasized by thier shape and using modulation. The material and colors will very from the neighboring unit to also change the appearance between units.

D-3: Retaining Walls and Fences

There will be a fence along the pedestrian path to enclose the private property, but also used to emphasize paths and encourage a look out on the community. The height and design will vary to make it an interesting path to walk down

D-6: Screening of Dumpsters, Utilities and Service Areas

Each unit will have its own garbage and recycling rooms so that there is a location to keep the waste before it is brought to the alley. The end units will have them on the sides and the middle unit to the back of the townhome.

D-7: Pedestrian Safety

The entry along the pedestrian path will be open with a low fence to promote safety for the owner's coming into there units. There can be windows on this side on the second and third floors that will not compromise the owner's privacy, but will allow them to see the path below.

D-8: Treatment of Alley

There will need to be a fence along the alley to keep a sense of privacy of the owner's in their yard, but allowing for variable heights and some openness in the fences upper protions will also keep the alley from being hidden from view and connect them to the neighborhood.

E-2: Landscaping to Enhance the Building and/or Site

The landscaping will be designed to encourage use of the yard with planting and small patios. The existing driveway will be redone with a change of material to emphasize the pedestrian path to the townhomes behind the duplex. Also along the public pedestrian path the plants are used along with the fence to both encourage connection to the path and in some cases to help with privacy.

E-3: Landscaping Design to Address Special Site Conditions

Due to the constrained site because of the existing set back conditions, there is multiuse area such as the driveway and path combined in front and the area between the 2 buildings is used as an access path, but it can be a common area for the owner's to use for gathering or gardening.



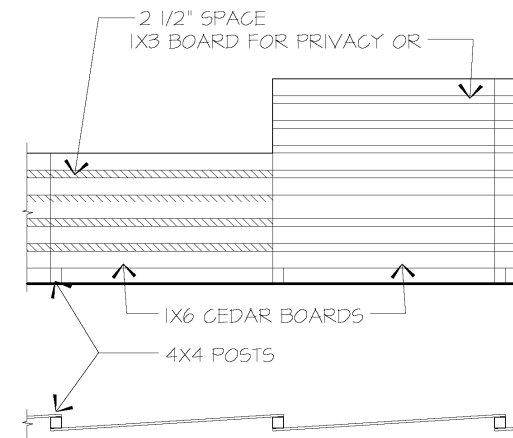
6. ARCHITECTURAL CONCEPT:

One or more color renderings adequate to depict the overall massing of structures and the design concept. Graphics should show proposed siting, massing, open space, and façade treatments. Three dimensional studies and sketches, including those at the street level are optional, may assist the planner to evaluate the design proposal. May also include images from the neighborhood or beyond that will inform the design development of the proposed development.

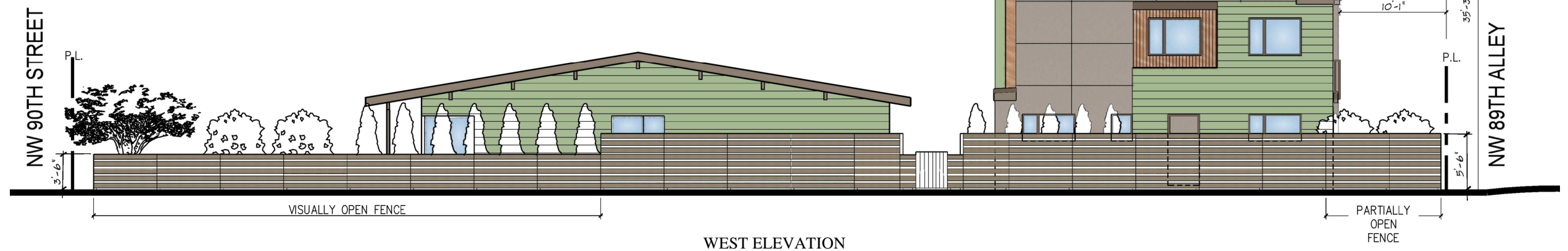
Architectural Concept

The main design concept for this site is to encourage a welcoming entry from 90th Street. The first way this is done is by enhancing the fence along the path and emphasizing the entries with small porches at the private path. The fence along the public path will vary in height and openness to relate with the entries and private areas of the units. The second way of encourage people to the site is by making the style of the townhomes interesting to see from the street over the existing building.

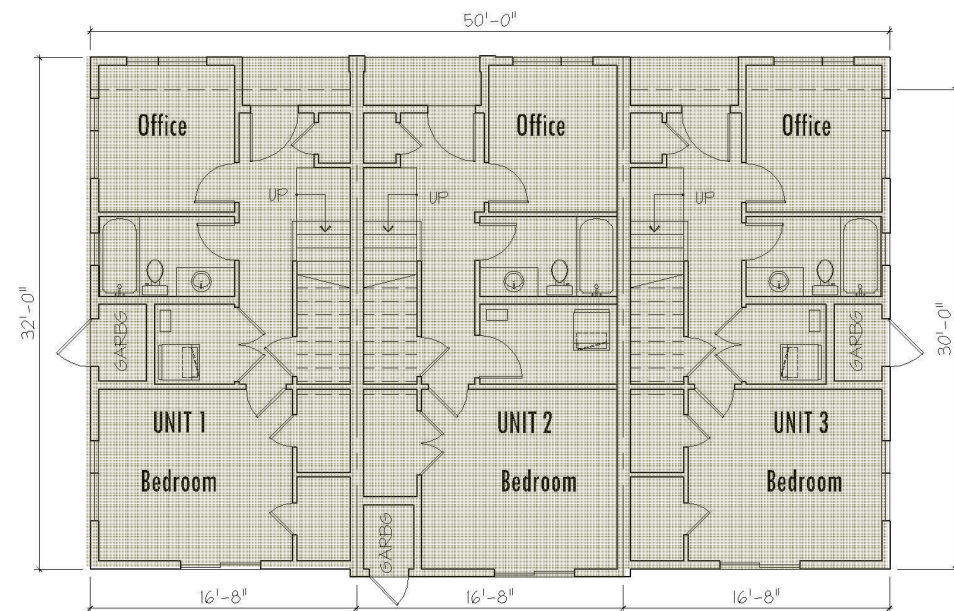
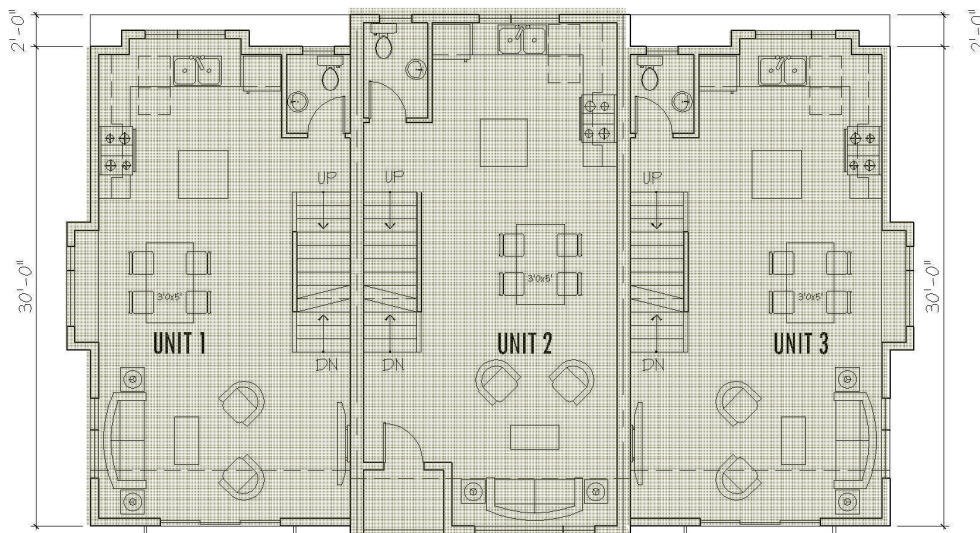
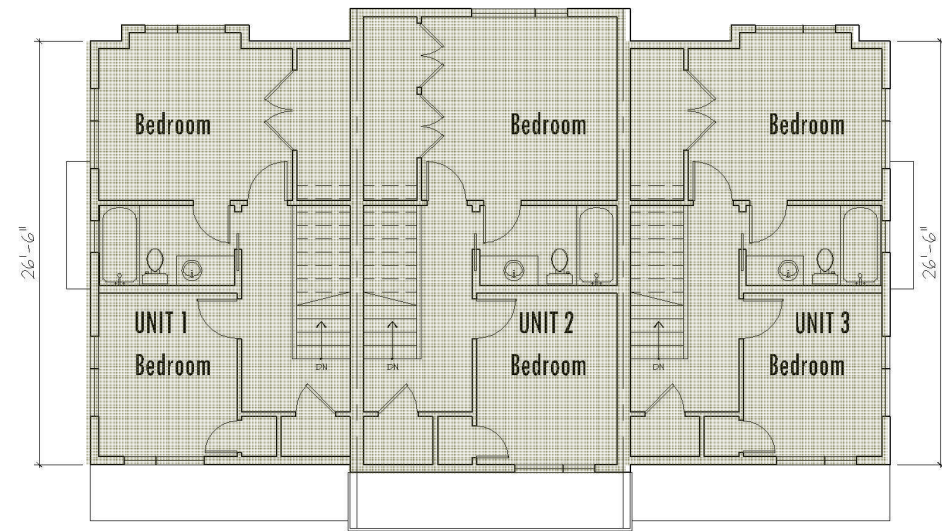
The style concept is in reaction to the surroundings. The immediate neighbors are 50's style with low pitch roof which we did not want to copy because it did not fit with the townhome style, but the design needs to fit into the neighborhood. There are some townhomes in the area that have pitched roofs. This made sense to fit into the duplex-house style setting. However there are some cues from the area that a more contemporary design is encouraged in this community. The materials and how they are articulated on the form will give a little more life and interest to the neighborhood as people can see this building from the park and the pedestrian path.



FENCE CONCEPT



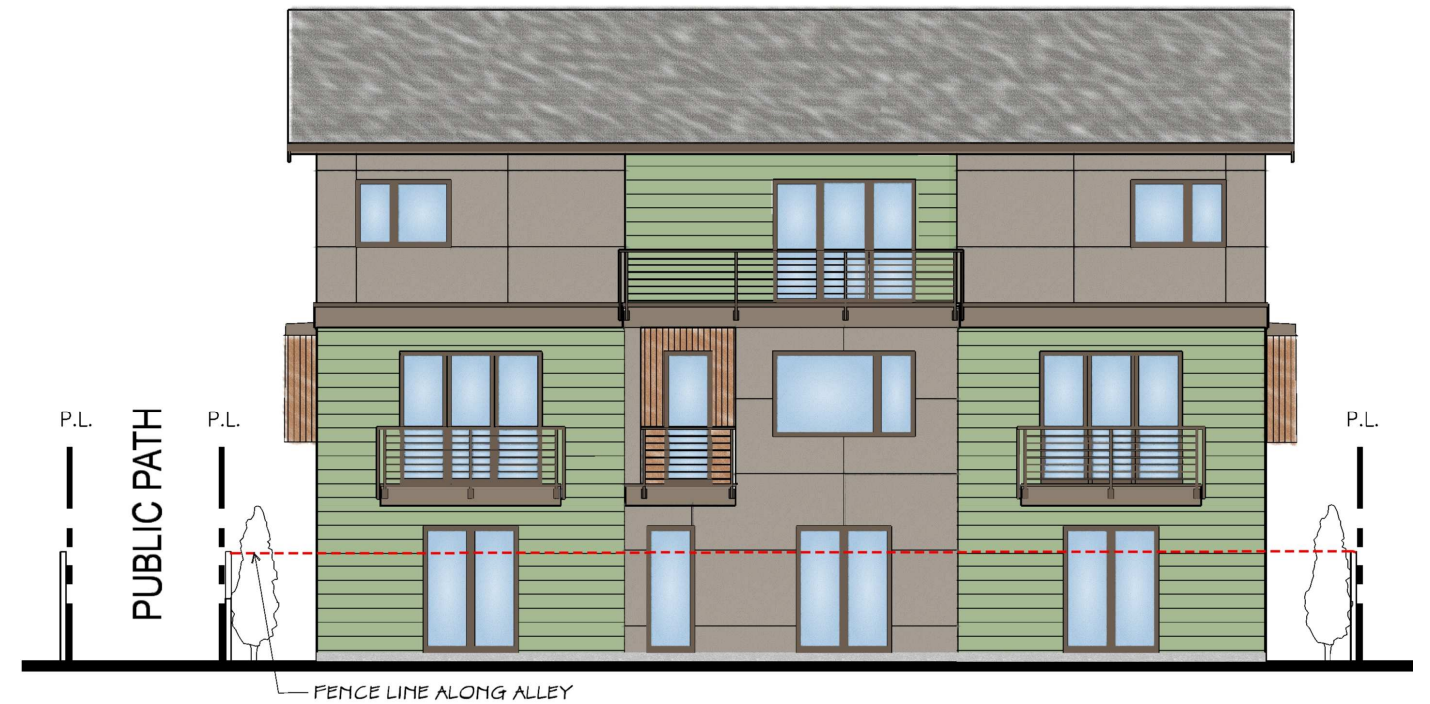
WEST ELEVATION



3RD FLOOR PLAN

2ND FLOOR PLAN

1ST FLOOR PLAN





SITE @ SOUNDVIEW PLAYFIELD

7. ADJUSTMENTS: A summary of potential development standard adjustments. A table comparing code requirements with the proposed design should be included.

Adjustment

The code requires all lots with more than 1 unit to have a certain amount of planting. The Streamline Design Review may allow max of 25% reduction in landscaping. We are asking for a 10% reduction in landscaping because the existing structure and drive way have a very large footprint that takes up a lot of planting area. We can use the planting strip and some green walls so a full reduction will not be necessary.

Having a smaller amount of green factor for this project is also not as critical because of the large park across the street, where the people living in these buildings can have the benefit of being able to use the park easily.

The code requirement is: SMC 23.45.524.A.

2. Green Factor requirement.

a. Landscaping that achieves a Green Factor score of 0.6 or great, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated wall may not count towards more than 25 percent of a lot's Green Factor score.

Requested Green Factor Requirement:

The Green Factor score requested is figured out by taking
 10% of 0.6 = .06
 0.6 - .06 = .54
 Green Factor score = 0.54 requested