



CITY OF SEATTLE DESIGN REVIEW RECOMMENDATION MEETING

September 9, 2013

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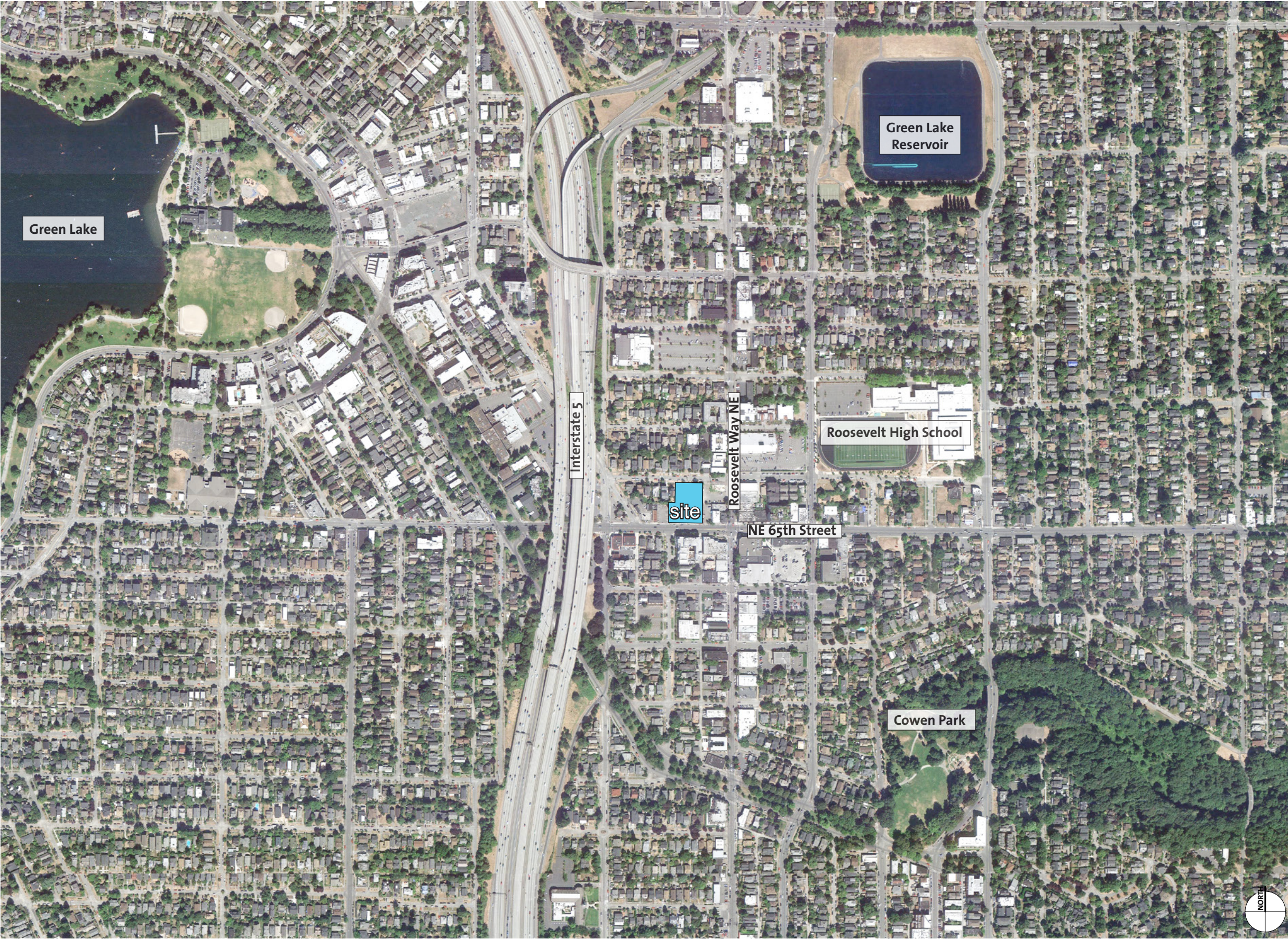
Project Information

Property Address
902 NE 65th Street

Owner
Lake Union Partners
Pat Foley

Architect
Weinstein A|U LLC
Ed Weinstein, FAIA
T 206/443-8606

Program
The proposed development includes approximately 195 units of apartment housing above 2,780 square feet of ground level retail with two levels of underground parking.



Existing Site Conditions

Location

The proposed project is located on a mid-block infill site in the Roosevelt Neighborhood. The site is bounded by Northeast 65th Street on the South and Northeast 66th Street to the North and located midway between 8th Avenue Northeast and Roosevelt Way Northeast.

Existing Uses & Structures

The project site is comprised of seven parcels under singular ownership. The northern lot is occupied by three wood-framed single-family residences, each accessed from driveway curb cuts on NE 66th Street.

The southern lot is occupied by four structures: two single-story wood-framed buildings, one two-story masonry building, and one two-story wood-framed structure. These buildings currently house two restaurants, a salon, and a massage studio. Access to these businesses is from a total of four curb cuts on NE 65th Avenue.

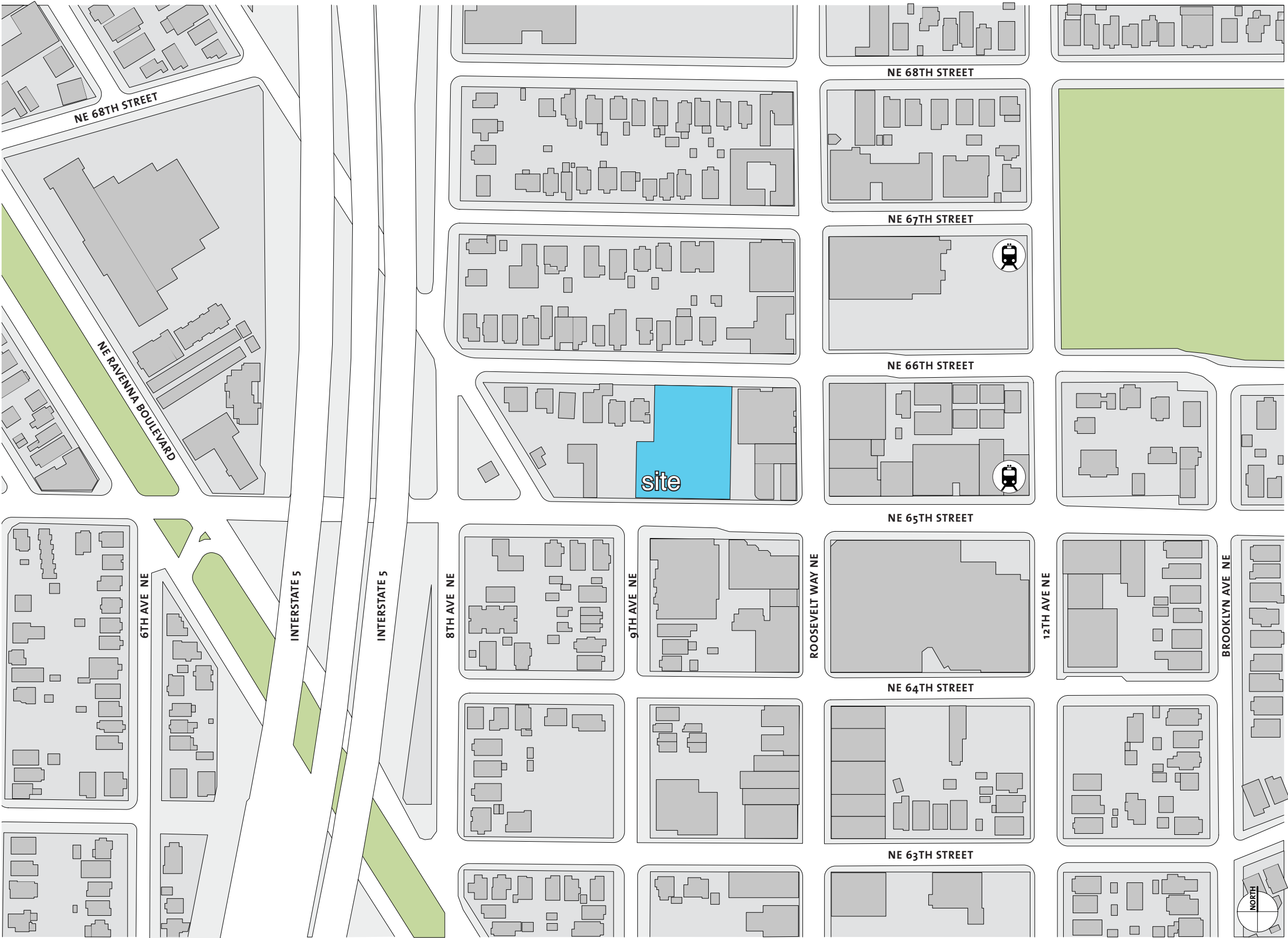
All existing structures and paved surfaces located on the project site are proposed to be demolished with the new project occupying the entirety of the site.

Physical Features

The site is characterized by a substantial grade change -- 18' from the high NE corner to the low SW corner.

Adjacencies

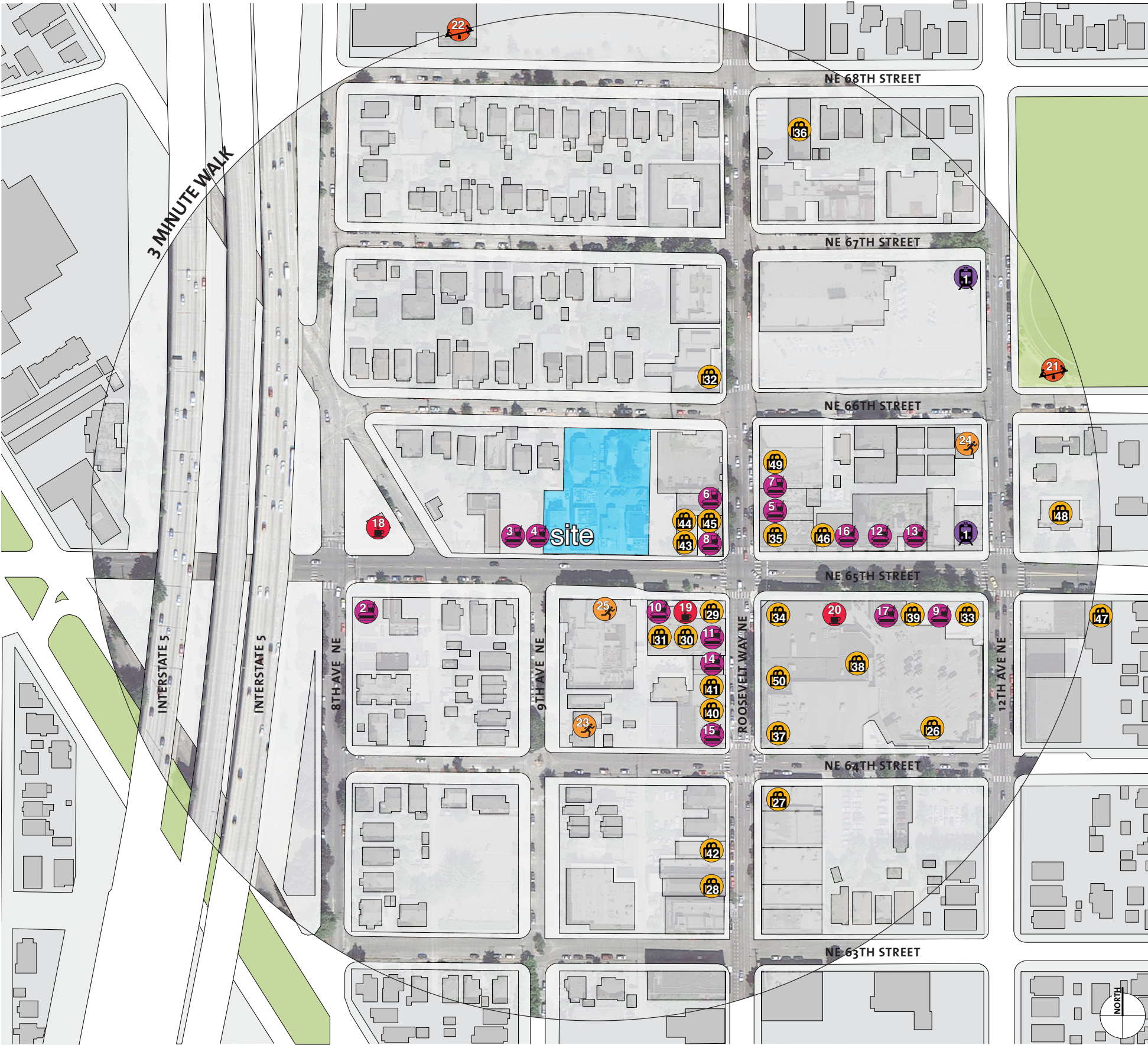
Interstate 5, Light Rail, Metro Park-and-Ride, Roosevelt High School



Roosevelt Neighborhood: Amenities

- **Public Amenities**
 1. Future Light Rail Station Entry
- **Food / Bar**
 2. Casa Patron
 3. Bangkok Street
 4. Charm Thai Noodles & Bar
 5. Atlantic Crossing
 6. Bengal Tiger
 7. Chilitos
 8. Rain City Burgers
 9. Taco Del Mar
 10. India Bistro
 11. Royal Palm Thai
 12. Peak's Frozen Custard
 13. Thrive Cafe
 14. Olympic Pizza and Pasta
 15. Sunlight Cafe
 16. Teddy's Tavern
 17. Subway
- **Coffee**
 18. Bus Stop Espresso
 19. Wayward Coffeehouse
 20. Starbucks
- **Child Care / Schools**
 21. Roosevelt High School
 22. Kinder Kampus Preschool

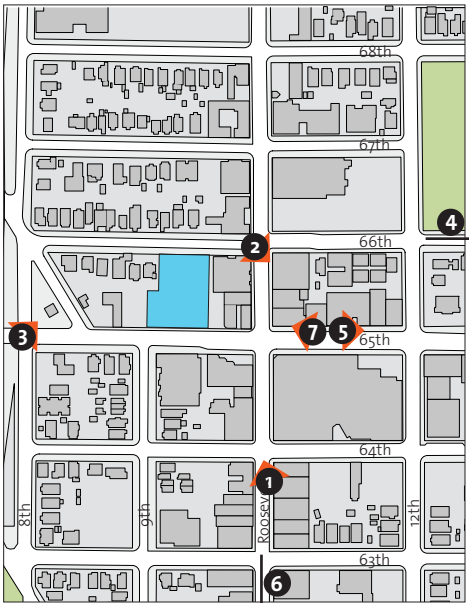
- **Health/Fitness**
 23. Action Reaction Physical Therapy
 24. Bowenwork Wellness Clinic
 25. Kettlebility
- **Retail**
 26. Whole Foods Market
 27. Speakerlab
 28. Derby Salon
 29. Ten Thousand Villages
 30. Spex in the City
 31. Caruh Salon & Spa
 32. Bank of America
 33. The UPS Store
 34. Dania Home Furnishings
 35. East/West Bookshop
 36. Seattle Auto Service
 37. Wells Fargo Bank
 38. Bartell Drugs
 39. Sport Clips
 40. Bamboo Home
 41. HOA Salon
 42. Ma Mo Jewelry Design
 43. New Eyedentity Optical
 44. Spectacle
 45. Oh Bella
 46. The Shoe Advantage
 47. Health Mutt
 48. Roosevelt Auto Parts
 49. Bella Marie Salon
 50. Sleep Country USA



Roosevelt Neighborhood: Pedestrian Environment

Designated as one of Seattle’s Urban Villages, the Roosevelt neighborhood is intended to be a walkable community. While highly-transparent retail spaces are dominant on the first floor of neighborhood buildings, sidewalks adjacent to existing buildings are narrow, leaving little physical and visual separation from the highly trafficked streets. New developments recognize this problem, and many are pushing back from the property line to allow space on the sidewalk for eating or resting. One block to the east of the site, two cafes have outdoor seating and planting along the public right-of-way on the sunny north side of the street.

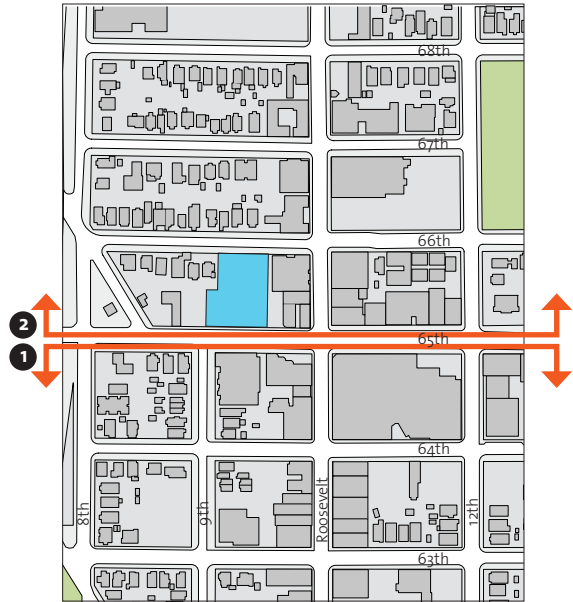
Numerous curb cuts and the narrow sidewalk in front of the site on NW 65th street do not currently allow for street trees in this area. One aspect of site improvements will be to introduce street trees along this busy arterial, continuing a pattern established to the east, and providing a more friendly environment for pedestrians in this area.



Site Context: NE 65th Street



1 Composite Elevation Looking South

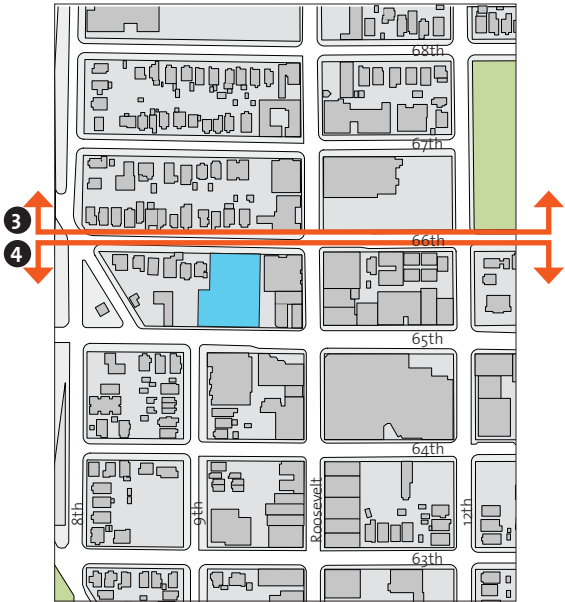


2a Composite Elevation Looking North



2b Composite Elevation Looking North - Detail

Site Context: NE 66th Street



3 Composite Elevation Looking North

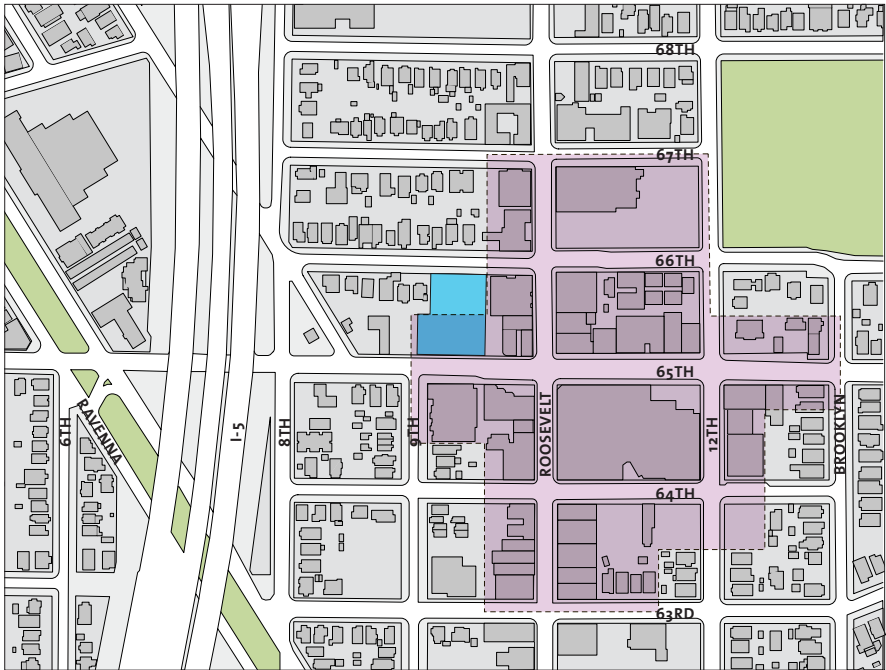


4a Composite Elevation Looking South



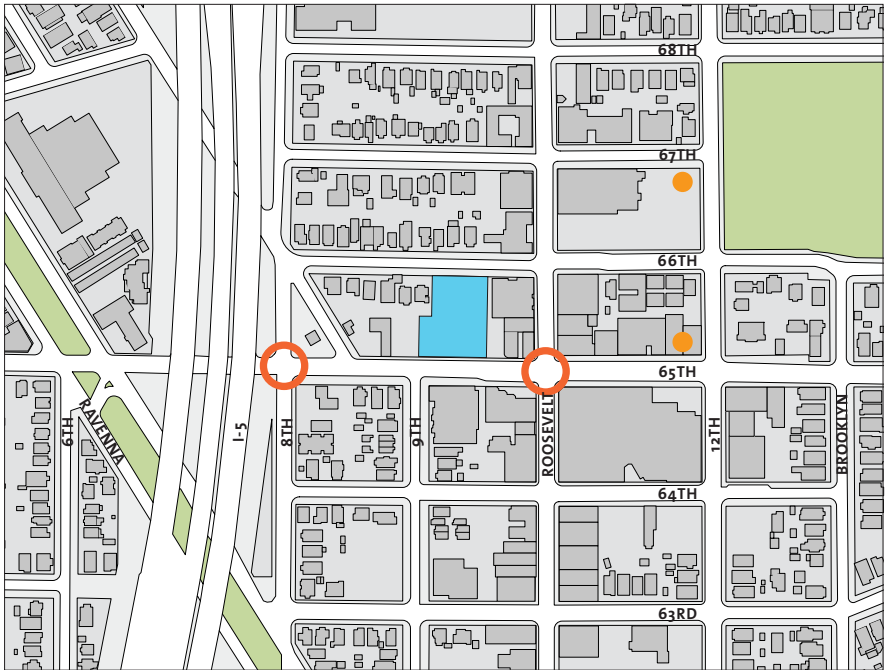
4b Composite Elevation Looking South - Detail

Site Analysis



Roosevelt Commercial District

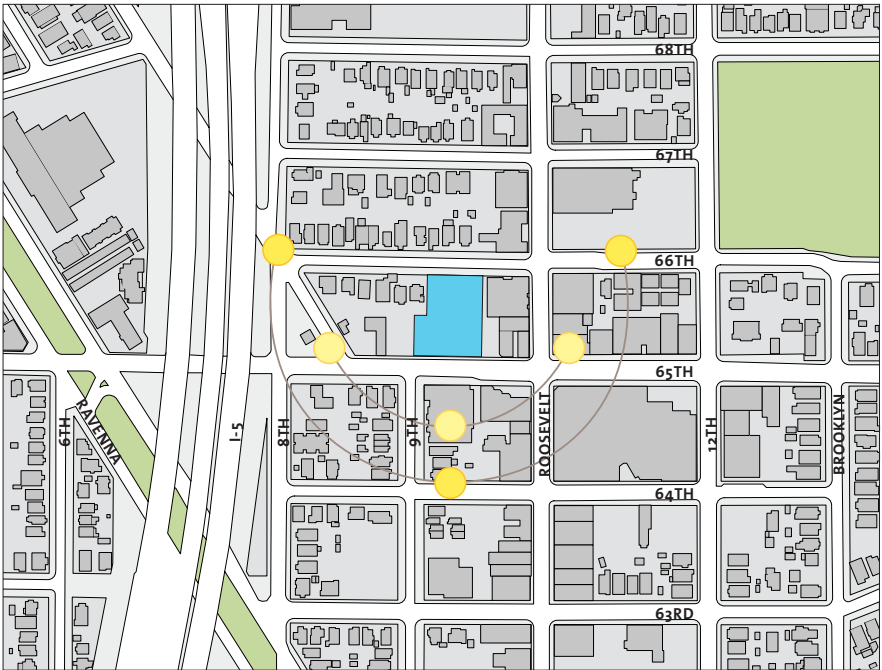
Commercial Business District per Roosevelt Design Guidelines



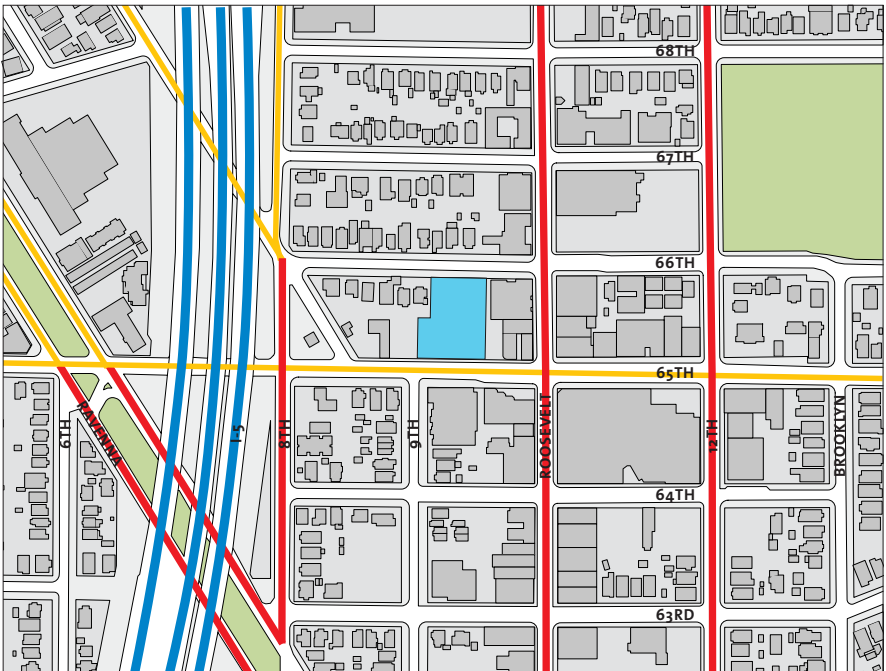
Roosevelt Neighborhood Gateways

Neighborhood Gateway per Roosevelt Design Guidelines

Pedestrian Entry to Future Light Rail Station



Solar Exposure



SDOT Street Classifications

Interstate Highway

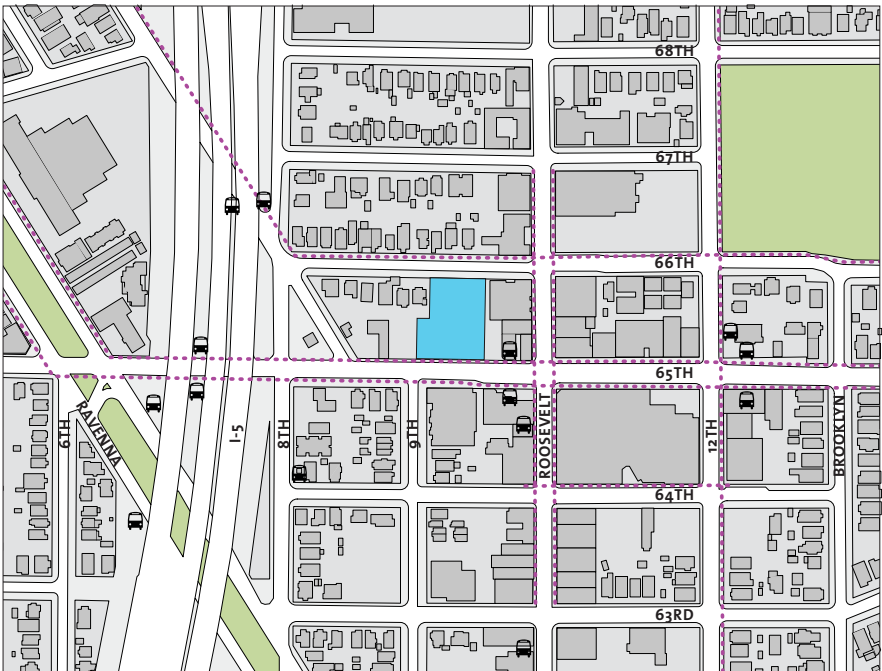
Major Arterial

Minor Arterial



Designated Bike Routes

On-Street Bicycle Lane per the 2012 Seattle Bike Map

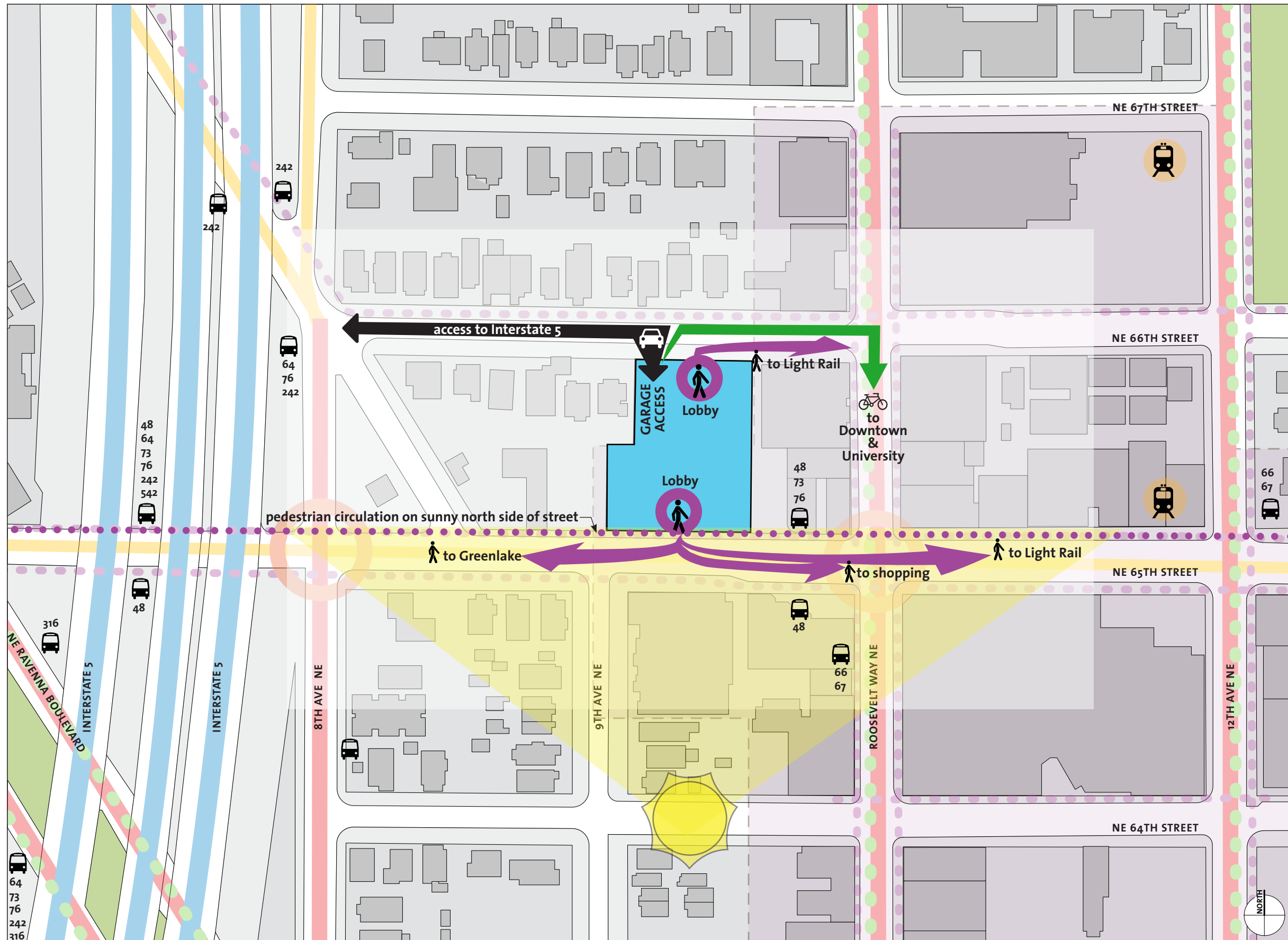


Pedestrian Routes

Pedestrian Travel Routes

Bus Stop

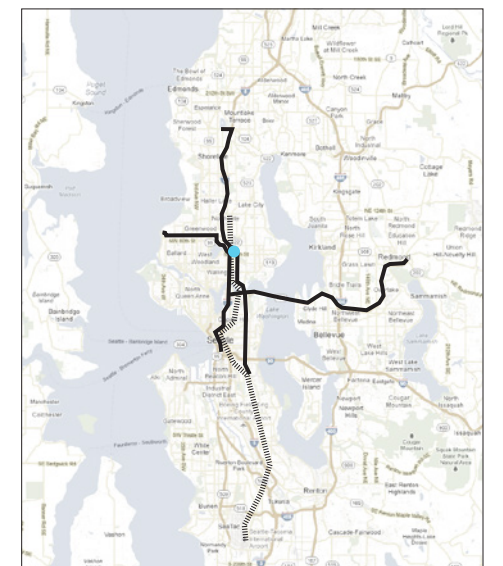
Site Analysis: Project Response



Ideally situated for Transit-Oriented Development, the site for the 66th Street Apartments is in the heart of the Roosevelt neighborhood. The project is located within the neighborhood commercial boundaries outlined in the Roosevelt Design Guidelines. Restaurants and retail are located steps from the project's front door.

Roosevelt serves as a transit hub both for regional busses as well as the future light rail line. Within a two-block radius from the project, tenants have direct transit lines as far north as Montlake Terrace, west to Golden Gardens, east to Redmond, and eventually, south as far as the SeaTac Airport using the Light Rail.

With most pedestrians from transit stops, Green Lake, and the High School walking along the sunny north side of 65th street, the project steps back at street level, creating a widened and weather-protected sidewalk. Removing vehicular access and curb cuts to the project from the heavy traffic of NE 65th Street creates a safer pedestrian environment. Garage access to the project is from 66th Street - vehicles turn west to reach Interstate 5, while cyclists head east a half-block to use the designated bike street to Downtown Seattle and the University District

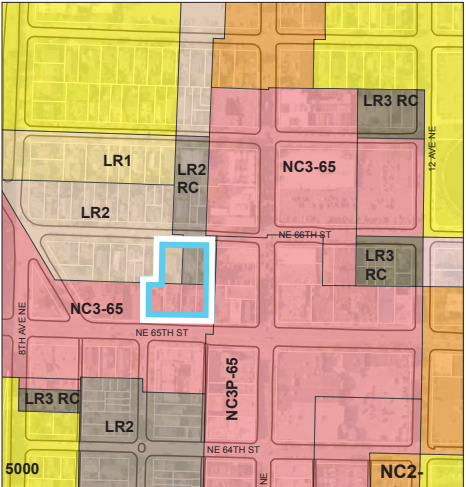
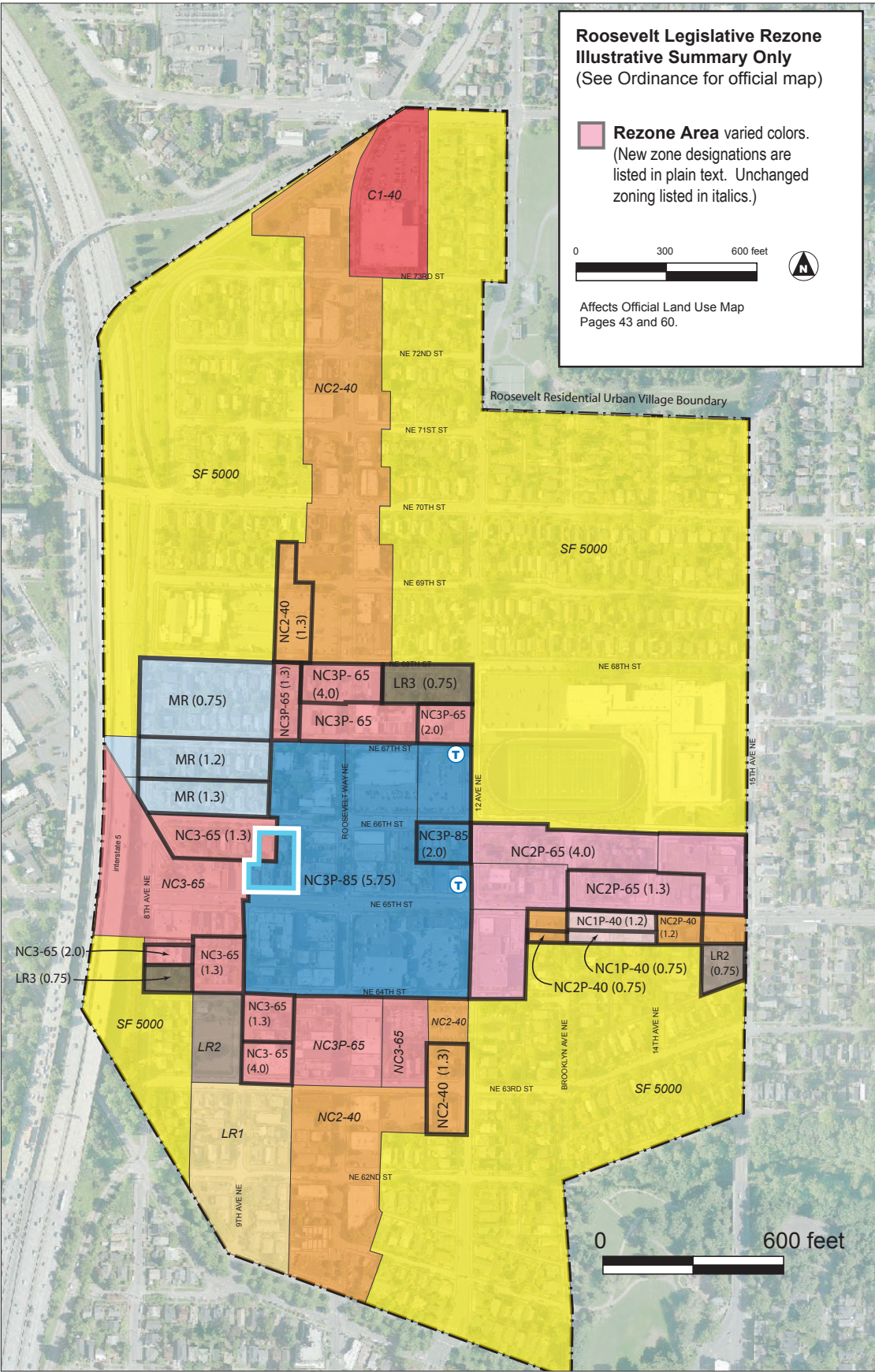


Transit Routes

Roosevelt Neighborhood: Zoning Analysis

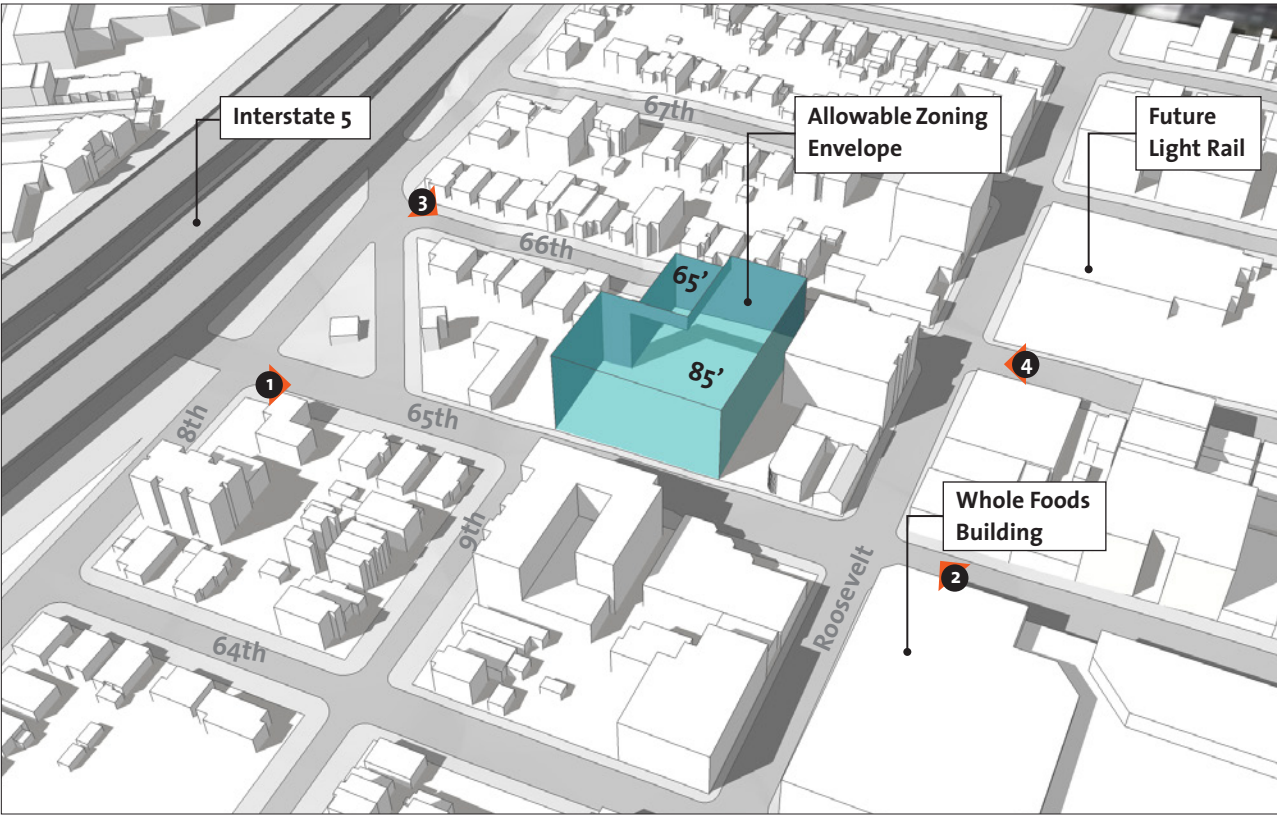
To promote high-density projects in Transit-Oriented development areas, the City of Seattle adopted a new zoning map for the Roosevelt neighborhood in 2012. Per the new zoning overlay, the site of the 66th Street apartments bridges two allowable zoning heights: an 85’ maximum height along NE 65th street and the eastern portion of NE 66th street, and a 65’ maximum height on the northwest corner of the project site. This change in allowable building height acknowledges the neighborhood’s plan to keep the tallest units concentrated to within 1/4 mile radius of the future light rail station.

The design alternatives presented in this package acknowledge and adapt to the varying heights allowed on the NE 66th Avenue Apartments site.



zoning in November, 2011

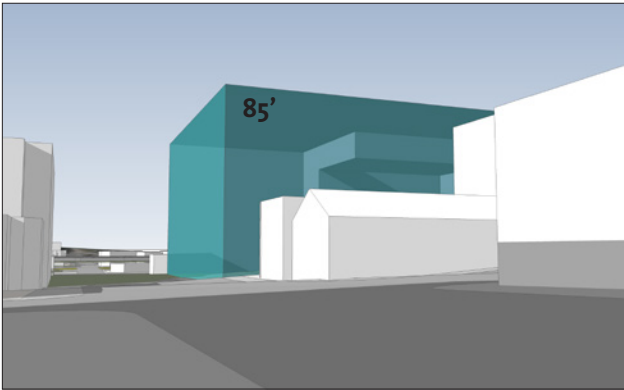
current site zoning: adopted 2012



Allowable Zoning Envelope from Southeast



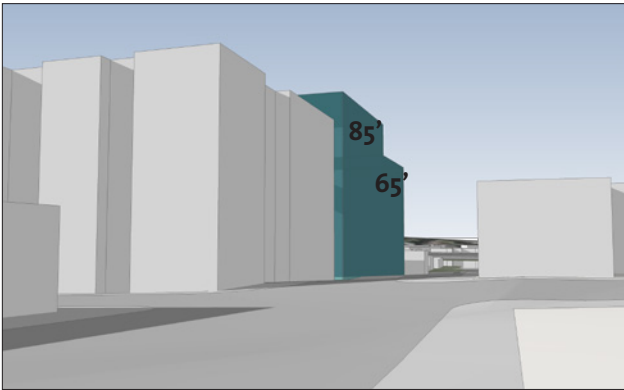
1. Allowable Zoning Envelope from Southwest



2. Allowable Zoning Envelope from Southeast

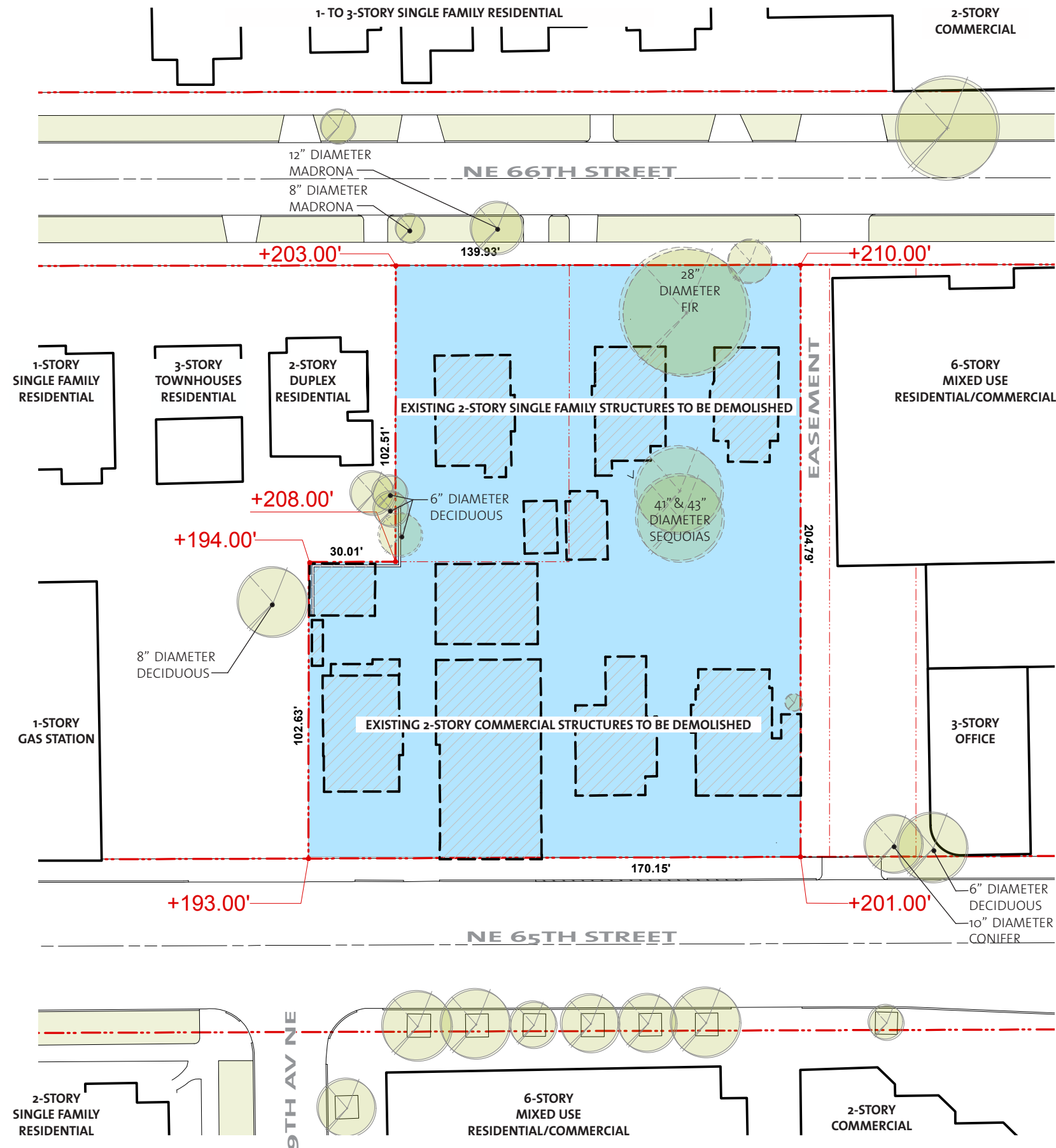


3. Allowable Zoning Envelope from Northwest



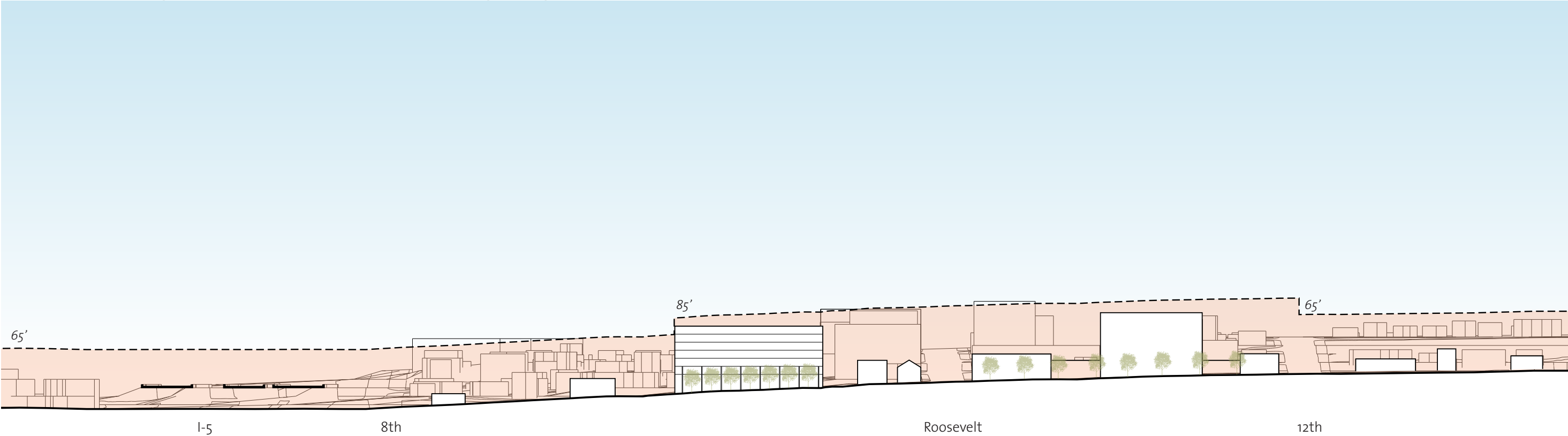
4. Allowable Zoning Envelope from Northeast

Development Objectives

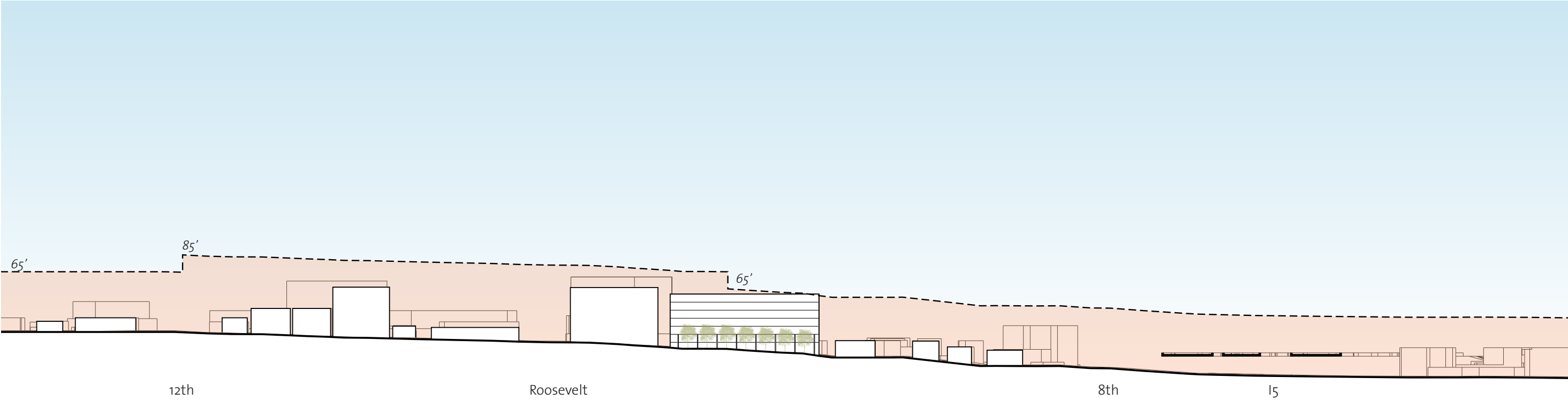


- 1 Provide lively, inviting environment for urban residents and retail establishments in a new mixed use project.
- 2 Develop efficient massing that is compatible in scale with new buildings along the NE 65th Street corridor
- 3 Enhance the quality of the streetscapes with an appropriately scaled facade that reinforces the street edge and acknowledges the urban nature of the neighborhood.
- 4 Enhance the pedestrian experience along NE 65th Street with a widened, covered sidewalk fronting lively retail spaces, providing public open space at street level accessible to everyone. Decrease conflicts between pedestrians and auto traffic by eliminating curb cuts and broken facades.
- 5 Enhance the pedestrian experience along NE 66th with a landscape plan that reinforces its status as a green street.
- 6 Be a good neighbor. This will inform the the project in terms of
 - Commercial level streetscape design
 - Landscape design and material selection
 - Exterior lighting design
 - Parking access
 - Trash and recycling storage

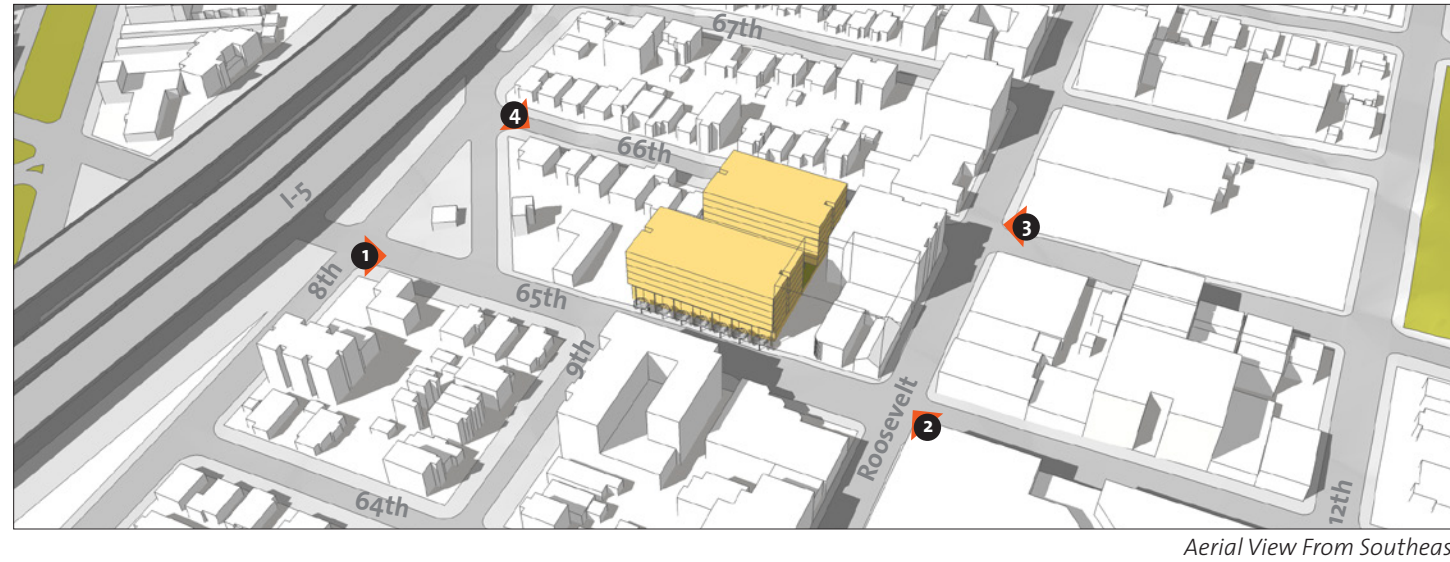
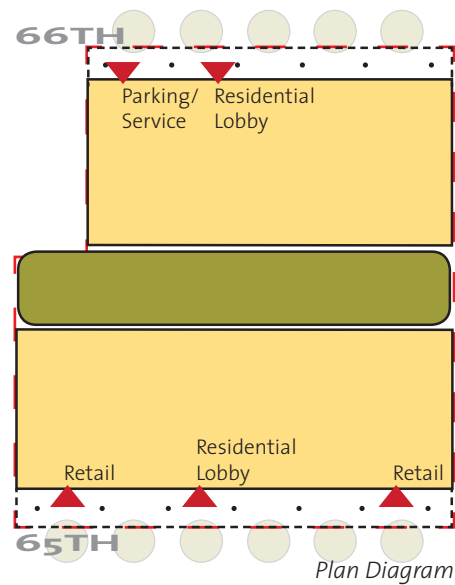
Preferred Design Proposal: Allowed Building Heights



Allowed Building Heights - NE 65th Street



Allowed Building Heights - NE 66th Street



Preferred Design Proposal: Alternate 3

Design Alternate 3 is the preferred scheme due to unit layout efficiencies, access to light and air for all residents, and urban response to the Roosevelt context. The design holds the street edge on both NE 66th Street and NE 65th street, resulting in a 40' courtyard between the two building forms. A double-height covered walkway is provided on both street-facing facades, providing additional space for pedestrian travel on the retail-driven NE 65th, while allowing for a generous landscape buffer on NE 66th Street.

Project Statistics:

195 Units
65' Maximum Height
89% of allowable FAR

Development Objectives:

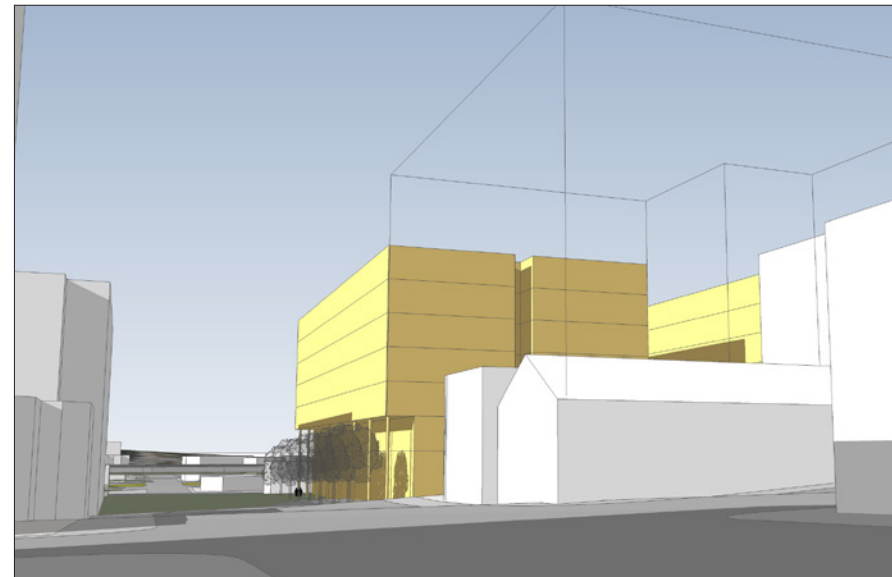
- | | | |
|---|---|--------------------------------------|
| ✓ 1
provide an enlivened street environment | ✓ 2
comparable in scale | ✓ 3
reinforce street edges |
| ✓ 4
enhance pedestrian experience [NE 65th] | ✓ 5
enhance pedestrian experience [NE 66th] | ✓ 6
be a good neighbor |

pros:

- a widened sidewalk and retail on NE 65th street promote a lively pedestrian environment
- 65' maximum height respects existing and future developments along NE 66th Street
- the streetwall is held on both street frontages
- an undercut of the building along NE 66th street allows for a generous landscape buffer between the sidewalk and structure
- massing gives the appearance of two smaller buildings



1 View from I-5 and NE 65th looking East



2 View from NE 65th and Roosevelt looking West

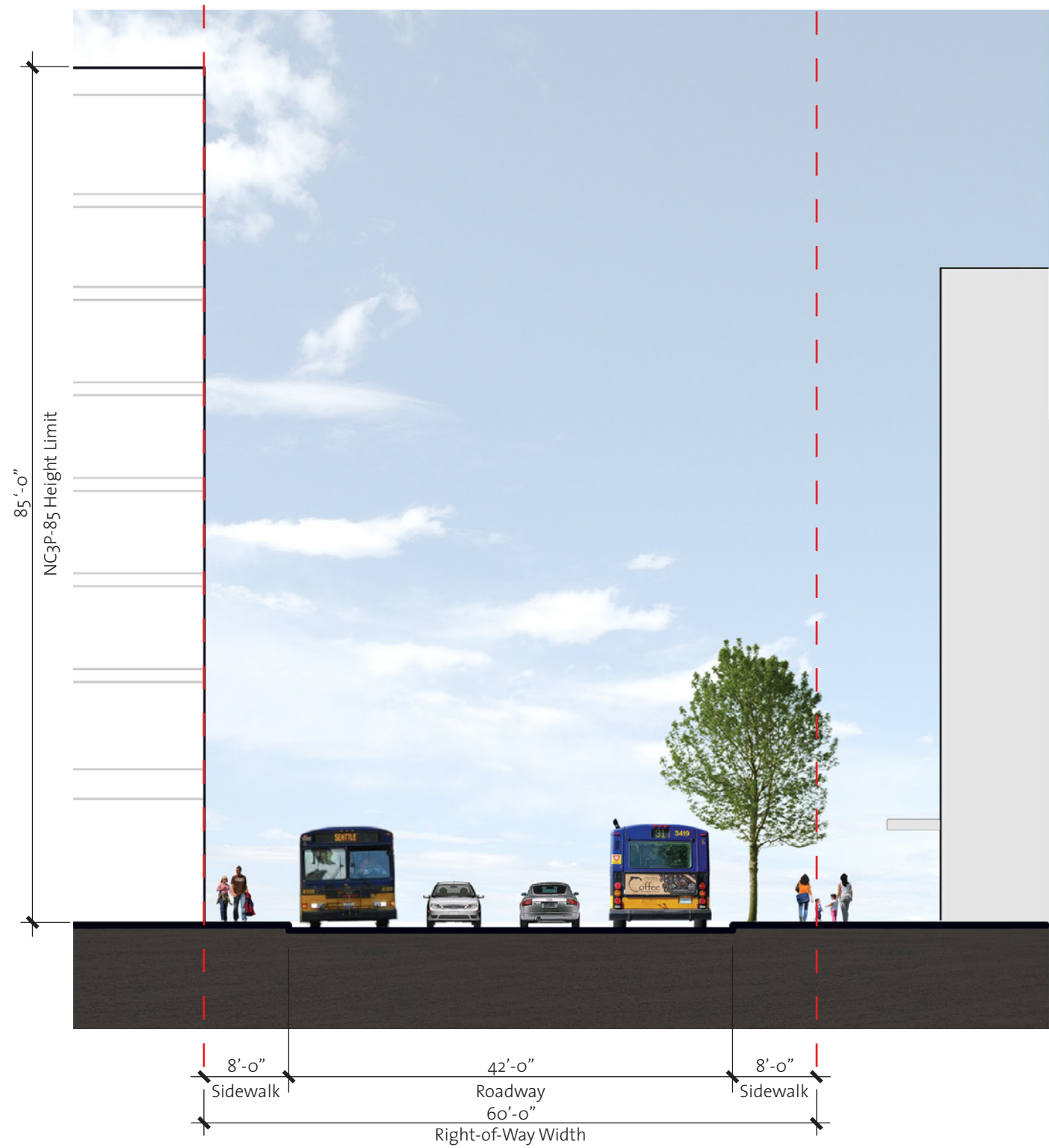


3 View from NE 66th and Roosevelt looking West

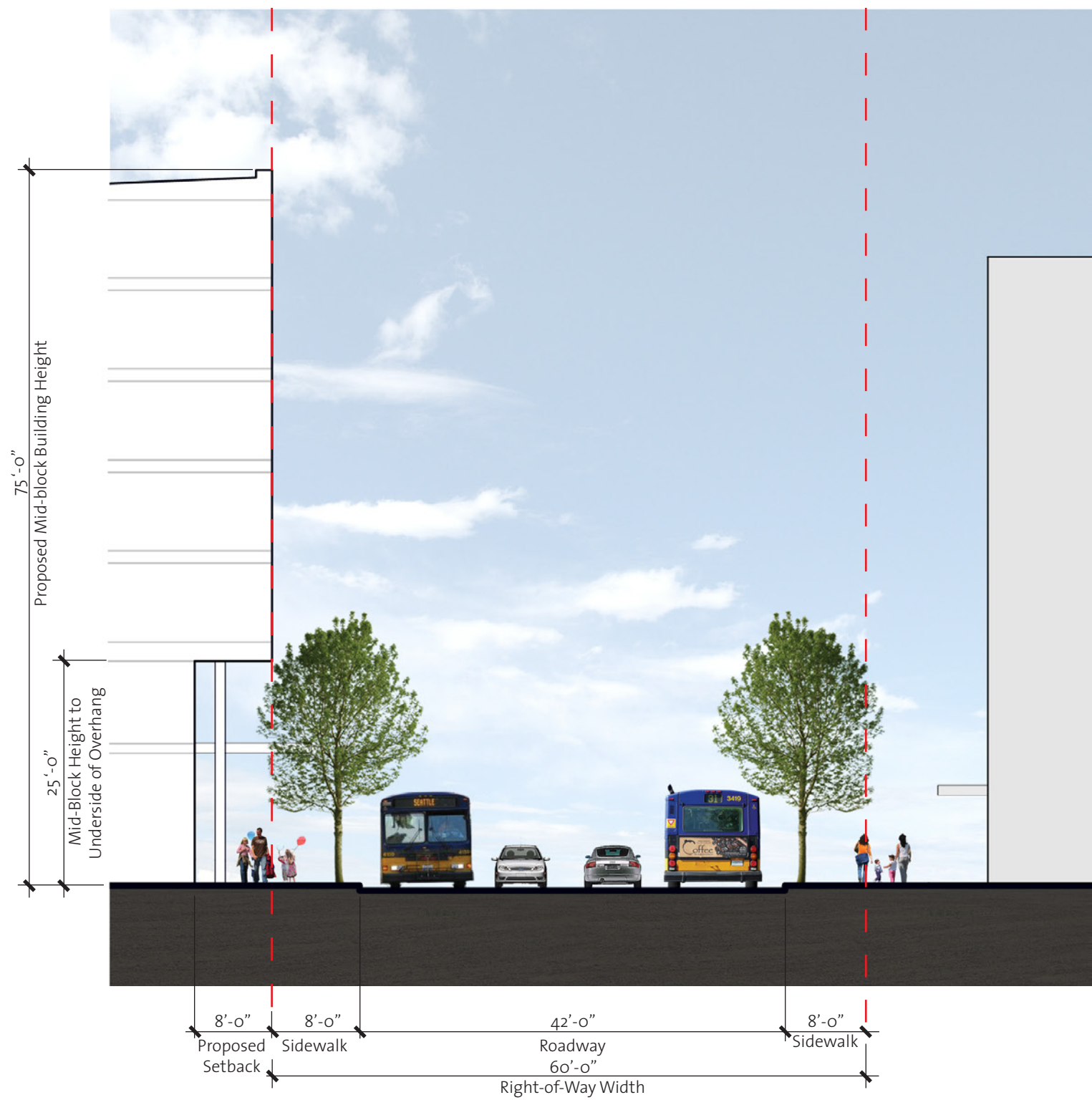


4 View from NE 66th and 8th looking East

Preferred Design Proposal: Street Sections at NE 65th Street

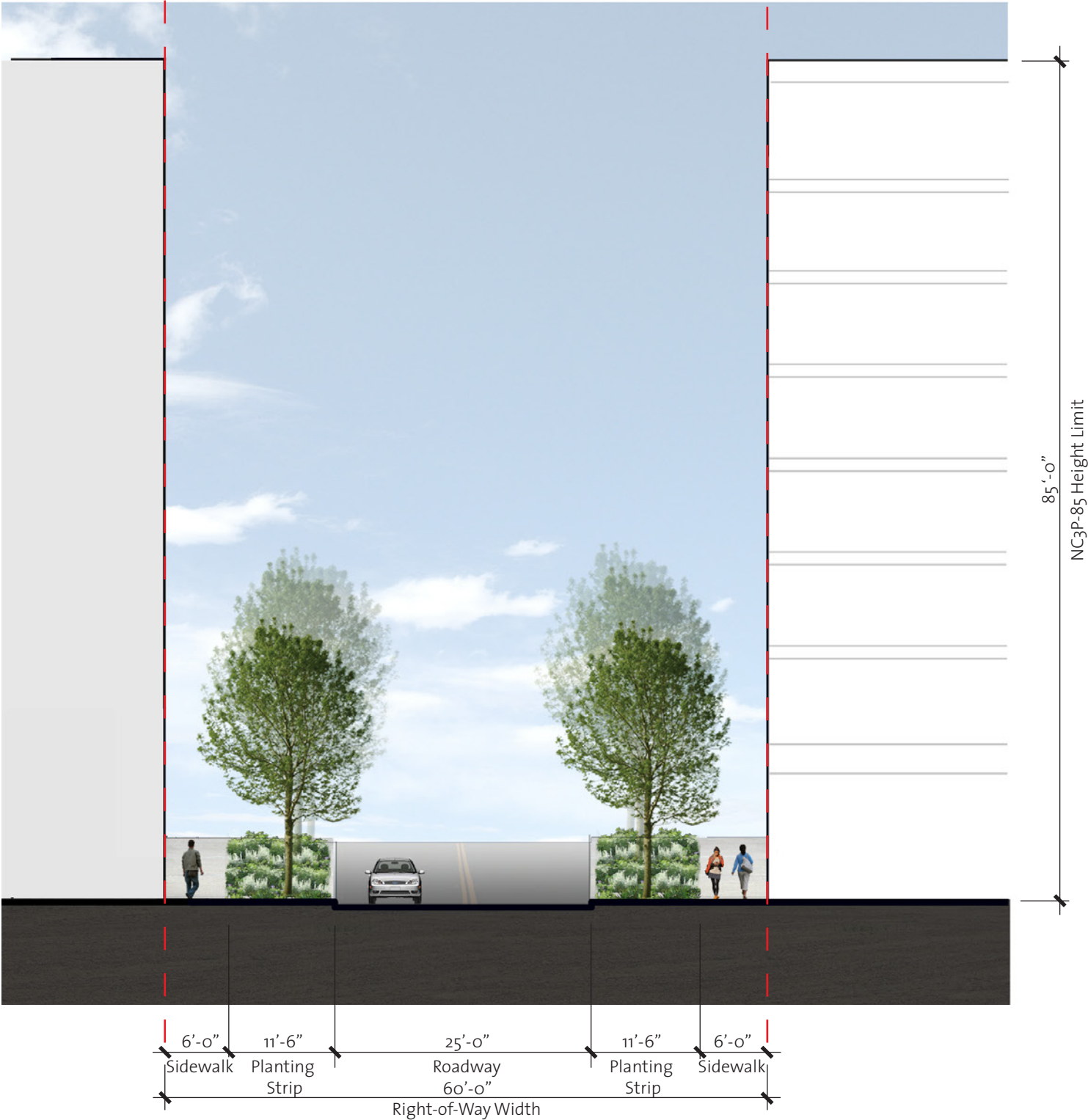


Allowed Building Mass at Street - NE 65th Street

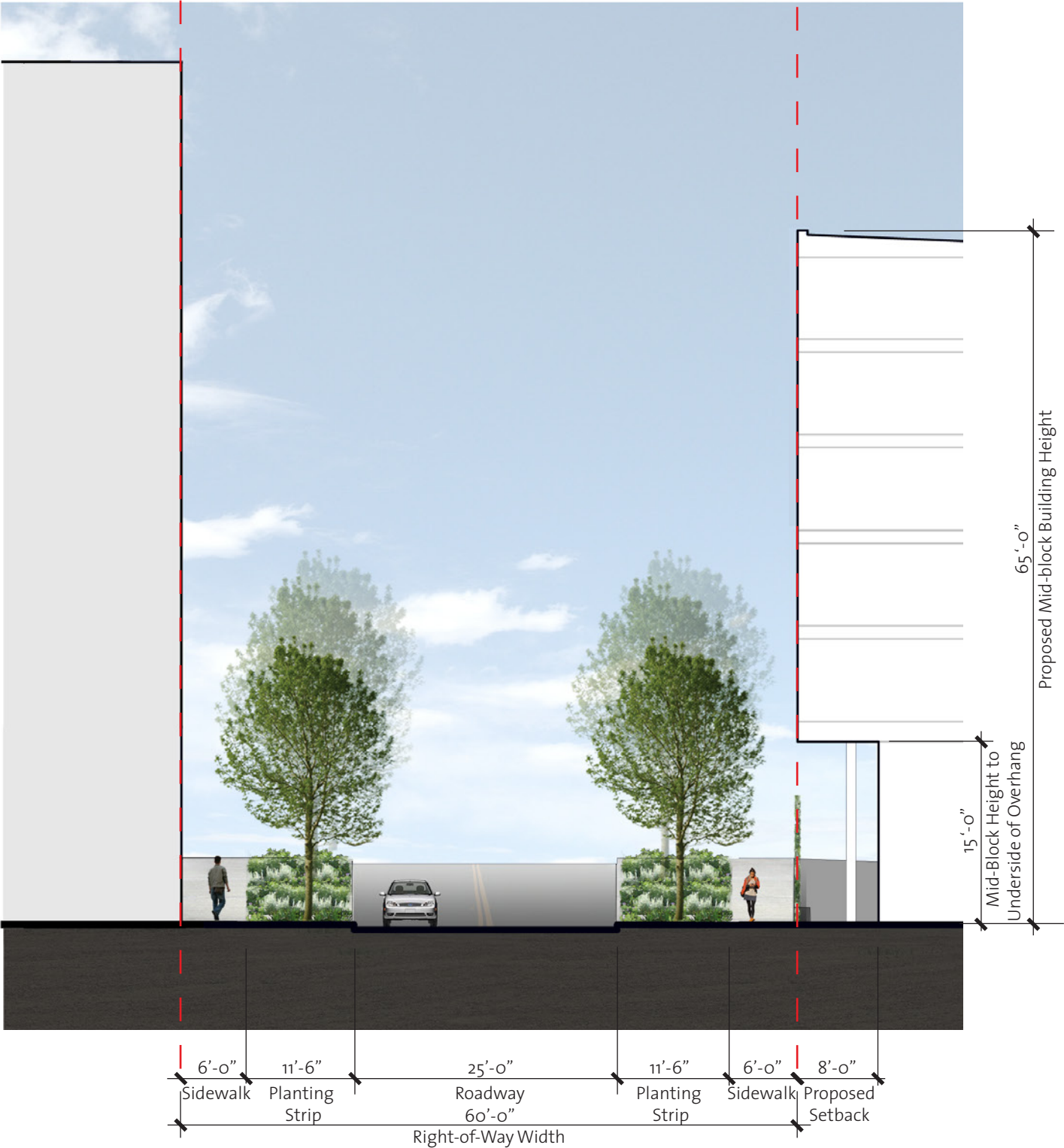


Proposed Building Mass at Street - NE 65th Street

Preferred Design Proposal: Street Sections at NE 66th Street



Allowed Building Mass at Street - NE 66th Street



Proposed Building Mass at Street - NE 66th Street

High Priority Design Guidelines and Responses

GUIDELINE		EARLY DESIGN GUIDANCE	RESPONSES TO GUIDANCE
A-3	Entrances Visible from the Street	Provide detailed elevations and eye-level perspectives of both streets to confirm compliance with this guideline, (the sketches suggest a fairly uniform curtain wall).	Detailed elevations and eye-level perspectives of both streets are included in the packet on pages 38 through 45.
A-4	Human Activity Encourage pedestrian activity along sidewalks within the Commercial Core.	Appreciation for the voluntary 8 ft setbacks and widened sidewalks on both streets. Request floor plans which clearly describe the adjacent uses, and ensure building floor levels step with the sidewalk slopes. See also C-3.	The 8-foot ground level setback has been maintained along NE 66th Street, and increased to 15 feet along NE 65th Street to provide commercial uses with exterior space in front of the building. Proposed commercial uses and residential lobbies activate the sidewalks. Floor plans on pages 23-24 and street-level sections and perspectives on pages 38 and 40 illustrate the relationship of ground level spaces to adjacent rights-of-way.
A-5	Respect for Adjacent Sites Siting should respect adjacent buildings	Support for 65 ft max. height along NE 66th. Applicant encouraged to include carefully placed windows that respect privacy at west side walls. Provide material treatment of textures, plane shifts and/or material variety to create scale & visual interest. Vertical reveals shown in preferred option massing diagram support this guidance.	Windows where feasible have been placed on the building’s east and west walls. Materials on these sides consist of fiber-cement panels and concrete. Reveal joints that coinciding with regulating horizontal lines that articulate building stories, and human-scale vertical panel breaks are present in both materials. See elevations on pages 29 and 31.
A-6	Transition Between Residence and Street Provide security and privacy for residents and encourage social interaction among residents and neighbors.	Agreement that commercial uses are most appropriate to activate NE 65th, and residential uses along the emerging green street of NE 66th was promising if the privacy layering is carefully handled - detailed plans and sections are needed. Encouragement for easy pedestrian access from each street through the courtyard to opposite bar of units to maximize movement desire lines and social opportunities. Residents should be able to traverse the site and exit to either street without having to go through parking levels.	High bay commercial spaces with multiple at-grade entry points & covered outdoor seating are provided along NE 65th Street, reinforcing the street’s commercial character (pages 23 and 38-39). Along NE 66th Street residential uses dominate the ground level, where the building mass is set back 9'-9" feet from the sidewalk, and floor plates are approximately 4 feet above and below sidewalk elevation to provide separation and privacy for residential uses (pages 24 and 40-41). A planting strip and guardrail at the eastern half of the north elevation provides additional privacy for residents while contributing to the emerging green street character of NE 66th Street. Generous residential lobbies are provided on both streets at ground level. After careful consideration, we propose providing common open space at the more desirable roof level location. A roof large terrace & vegetated roof with territorial views are provided for use by all building residents (pages 48 - 49). Providing through-access at the courtyard level has several disadvantages, including loss of privacy for the courtyard units, reduction in available planting area for tree canopy restoration, and a minimum of two elevator trips for any resident traveling from one street entry to units on the opposite side. Direct, well-marked through access has been provided at level P1 (pages 23 and 57).
A-7	Residential Open Space Individual gardens , Roof-tops	Discussion about the proposed courtyard of Preferred Option as an essential open space for a large unit count. It must be designed with a mix of functional + visual landscape elements, with special care to the narrow, deep proportion, and the shade created. Suggestion that perhaps the north edge of the south bar can be stepped back to afford more daylight. Dimensioned sections with accurate shadows at equinox-noon required. A complete landscape design must be provided, including a lost/proposed canopy tabulation. A graphical Exceptional Tree Analysis must be provided, showing parking and unit/floor area impact of retaining the 3 exceptional trees, in plan and in sections. Note: the Board supported the concept of 2 story townhouses lining the courtyard.	The South wall of the courtyard is broken - “serrated” to allow greater light penetration and visual interest for the residents on the courtyard. Private patios contain a mixture of usable hardscape areas and tree plantings. A row of columnar trees bisects the courtyard recovering lost tree canopy and providing privacy between residential units. The following illustrations describe the nature of the courtyard: <ul style="list-style-type: none">• Courtyard Section drawings with accurate shadows at equinox-noon• Exceptional Tree Analysis• Lost/Proposed canopy tabulation A large usable roof terrace has been designed for this purpose, and will provide ample access to sunlight, views and activity space. The courtyard will provide semi-private patios for townhouse occupants and will encourage families with children to live in the building.
A-8	Parking and Vehicle Access Locate driveways so they are visually less dominant.	Strong support for no vehicle access from NE 65th. Preference for proposed parking and service access on NE 66th, located as far east as possible. Presentation materials should graphically demonstrate how the added approx. 7 ft slope affects parking	The proposed parking and service access to the site is on the west end of NE 66th Street. The topography of the site makes access from the east end of NE 66th Street impractical, and would reduce the residential density and parking significantly. Dumpsters are stored in two

GUIDELINE	EARLY DESIGN GUIDANCE	RESPONSES TO GUIDANCE
	design; show where dumpsters and all other required service elements will be hidden on site; and where dumpsters are placed on the sidewalk at pick up times to minimize pedestrian conflicts / mitigate noise to adjacent residents.	trash rooms on level P1 and are completely hidden from public view. On collection dates, the dumpsters will be moved up to the NE 66th Street right-of-way, and parked in the median between the curb and the sidewalk. Once emptied, the dumpsters will be returned to the trash rooms below. See floor plans pages 23-24 and illustration page 66.
B-1 Height Bulk and Scale Projects should be compatible with scale of development anticipated by the applicable Land Use Policies for the surrounding area.	Strong support for 8 ft setbacks and tall “undercut” massing steps as shown and described. Support for the 2 bar scheme of Option 3. Acknowledgment that scheme is lower than the maximum allowed height, and adjacent parcels are not significantly lower density or height zones than the subject site, thus not requiring further bulk mitigation. Request to see design studies of possible adjustments to the north edge of the north bar, to moderate scale and afford more daylight to NE 66th. These studies should inform the proposed design solution, and be included in the Recommendation booklet.	The massing shown in Option 3 at EDG has been maintained. The overall building height of the south bar (including parapet) varies along NE 65th Street, and is 15 feet below the maximum allowable height limit. The overall height of the north bar (including parapet) varies along NE 66th Street and maintains the 65 feet height limit of the zoning on the west end of this frontage. This results in a building height 20 feet below the maximum allowable height on the east end of the NE 66th Street frontage (zoned for 85 feet height limit). See exterior elevations and building sections pages 28 - 37. The distance between the two building volumes at the courtyard varies from 28’ to 37’-4” with an overall building height above the courtyard of approximately 70 feet. See section drawing on page 47 and experiential perspective page 46. Shadow studies for the NE 66th Street side are on pages 54-56.
C-2 Architectural Concept and Consistency Building design elements, details & massing should create a well-proportioned, unified building form + exhibit an overall architectural concept. Exhibit form & features identifying functions within the building. The top of the structure clearly distinguished from facade walls. Important architectural features include multiple building entries, a building base, and courtyards	More complete and detailed drawings of the architectural proposal are required at the Recommendation stage, including: large scale, color-rendered elevations with dimensions and material notes; several (4 minimum) photo-realistic eye-level perspectives of the entire building in context; and multiple cross sections with dimensions, landscaping and uses labeled.	The Architectural concept of the building is a courtyard building consisting of two wrapped volumes that the rest upon transparent, glass bases. The courtyard form maximizes opportunities for transparency, natural light and ventilation. The ‘wrap’ is a fiber-cement clad surface that surrounds the residential units above, below, east and west. The north and south facades are dominated by windows and infill fiber cement panels in two contrasting colors. Wood screens and railings provide a third order of material and add warmth and human scale to the overall concept. Colored elevations appear on pages 28 - 30. Experiential eye-level perspectives of the building are on pages 42 - 45, and perspective renderings are on pages 19 - 21. Building sections appear on pages 32 - 35.
C-3 Human Scale Incorporate architectural features, elements + details to achieve a good human scale.	Overlaps with Guideline A-4 at the street level. While the preferred Option suggests very stark boxes, it is assumed the final detailed design will incorporate scale and material character demonstrated in comparable projects on pg 23 and implied in the street perspectives on pg 20 and 21 of the EDG packet.	The project provides a human scale rhythm of overhead canopies, columns, entries and glazing elements at street level. The volumes at upper levels are modulated by recesses and a warm palette of wood slatted panels and neutral-toned fiber cement panels. See also responses to guidelines A-4 and C-4.
C-4 Exterior Finish Materials • Building exteriors should be constructed of durable, maintainable materials.	Present color and materials board at the Recommendation meeting, with actual material samples where possible. A Signage Plan is required that show well-integrated signs in relevant sections, elevations and perspectives.	Proposed exterior finish materials include concrete, aluminum curtainwall, fiber cement panels, vinyl windows and wood (possibly ipe) slatted screens / railings. These materials are presented on pages 58 - 59. A materials board will be prepared for the Design Review Recommendation submittal. The signage strategy for commercial spaces consists of blade

High Priority Design Guidelines and Responses

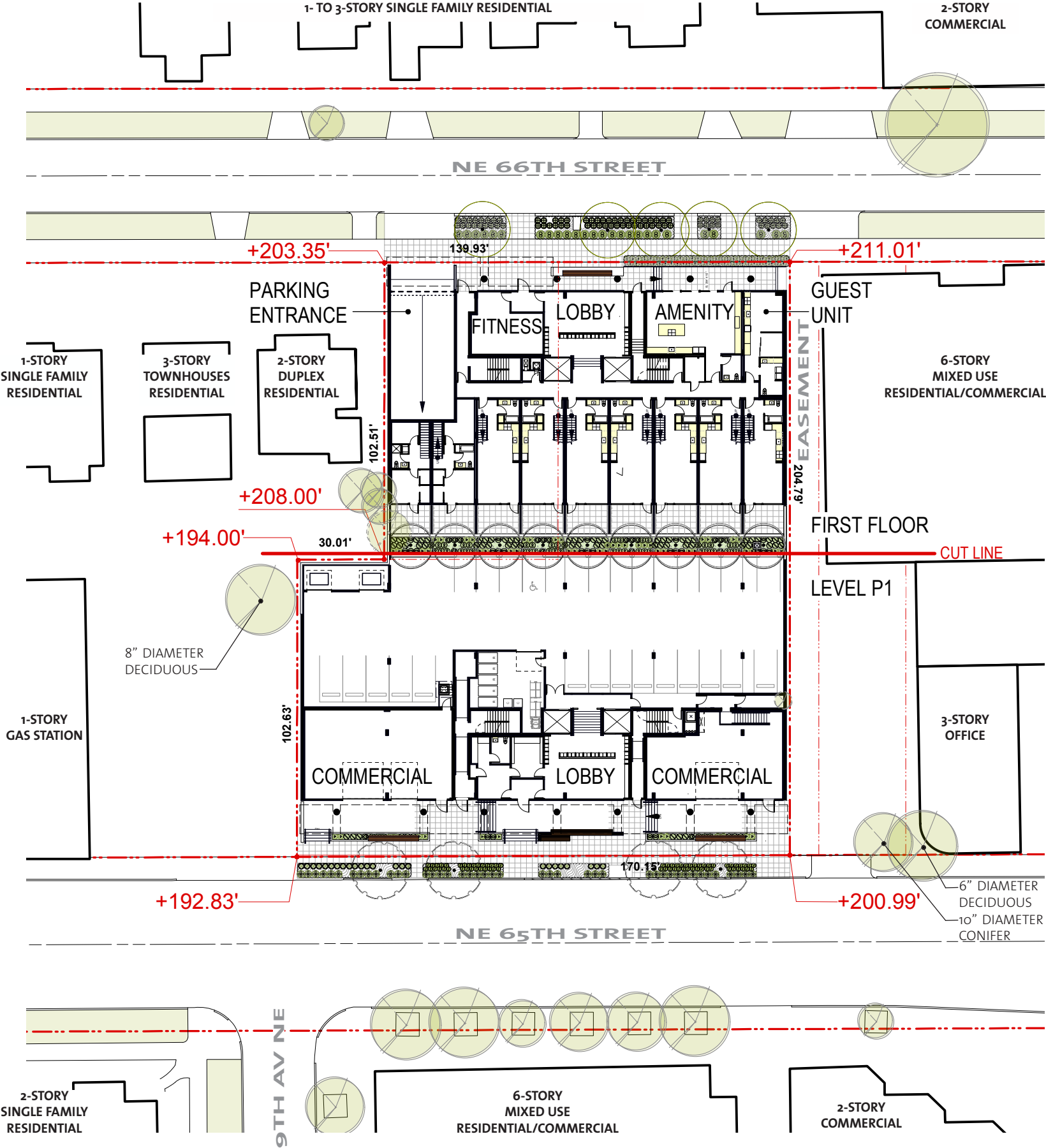
GUIDELINE		EARLY DESIGN GUIDANCE	RESPONSES TO GUIDANCE
<ul style="list-style-type: none">Developments should accommodate places for signage in keeping with building’s architecture + overall sign program.			signage at the building face and monument signage at the sidewalk. Residential entries will be marked by large address numbers above doors and monument signage adjacent to the sidewalk, as well as interior signage and graphics visible inside the lobby glass. Concepts are presented on pages 62 - 63, but are subject to change depending on commercial tenancy.
C-5	Structured Parking Entrances Presence + appearance of garage entrances should be minimized so they do not dominate the building street frontage.	The parking entrance should be a minimal portal and sidewalk crossing, and wrapped by quality materials, yet provide for excellent sight lines onto the narrow NE 66th Street.	The parking entrance on NE 66th Street is set back from the main facade of the building and is at the far west end of the frontage. This allows for the greatest amount of safety for pedestrians entering and leaving the building. The garage door is proposed as a perforated steel sectional door that provides visibility and will match the aluminum curtainwall glazing on the ground floor of the building. See floor plan page 24 and exterior elevation page 30.
D-1	Pedestrian Open Space and Entrances <ul style="list-style-type: none">Convenient + attractive access to the building’s entry should be provided.Pedestrian amenities are encouraged where appropriate along sidewalks within the Core Commercial Area.	Confirmation that 8 ft setbacks will afford widened and adequate sidewalk space on these busy sidewalks; but verification of commercial and lobby entrance spacing, and the location of stepped floor slabs will be required at Recommendation. Support for overhead glass canopies along NE 65th, but request for 10-15 ft height to provide protection. Canopies shown along the shaded side of NE 66th may be less critical, depending on the final height of the “undercut”.	The project proposes 9’-9” and 18-foot setbacks from the property line on NE 66th and NE 65th Streets respectively. This setback effectively widens the sidewalks and provides opportunities for activation at street level. The widened areas will follow sidewalk slopes for multiple points of entry into the building. Overhead canopies with clear cedar planks on the underside are continuous along NE 65th Street, and vary in height between 12 and 14 feet above the covered walkway (pages 23 and 38-39). Canopies over the residential lobby and garage entries along NE 66th Street vary in height between 8 and 11 feet above the sidewalk (pages 24 and 40-41).
D-6	Screening of Dumpsters, Utilities, Service Areas Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from street front where possible.	The Board discussed how these elements shall be screened, and utility vaults underground and/or in the parking levels. Also see A-8.	The location of the trash rooms is appropriately remote from view by the public. Trash rooms are located on Level P2 in the structured parking garage below street level. On pick up days, the dumpsters will be carted to the NE 66th Street garage entry for collection. See solid waste strategies illustrated on page 66.
D-7	Personal Safety and Security Project design should consider opportunities for enhancing personal safety + security.	Discussion about how this vicinity requires maximum transparency and eyes-on-the-street, and required a Lighting Plan at Recommendation.	Both street facing facades contain large areas of glass to maximize eyes on the street. Street level uses activate and provide ambient light at the sidewalks. Lighting strategies optimize wayfinding and visibility, and are presented on pages 60 - 61.
E-2	Landscaping to Enhance Building and/or Site Landscaping should be appropriately incorporated into the design of the project.	A complete planting and landscape plan of the courtyard, street planting strips, and any other locations are required at Recommendation meeting.	Planting and landscape plans are designed to reinforce the building architecture and enhance the residential, commercial and pedestrian experiences at the building. Illustrations for the street levels, courtyard and roof are provided on pages 48, 50 and 51.



Design Proposal: NE 66th Street View

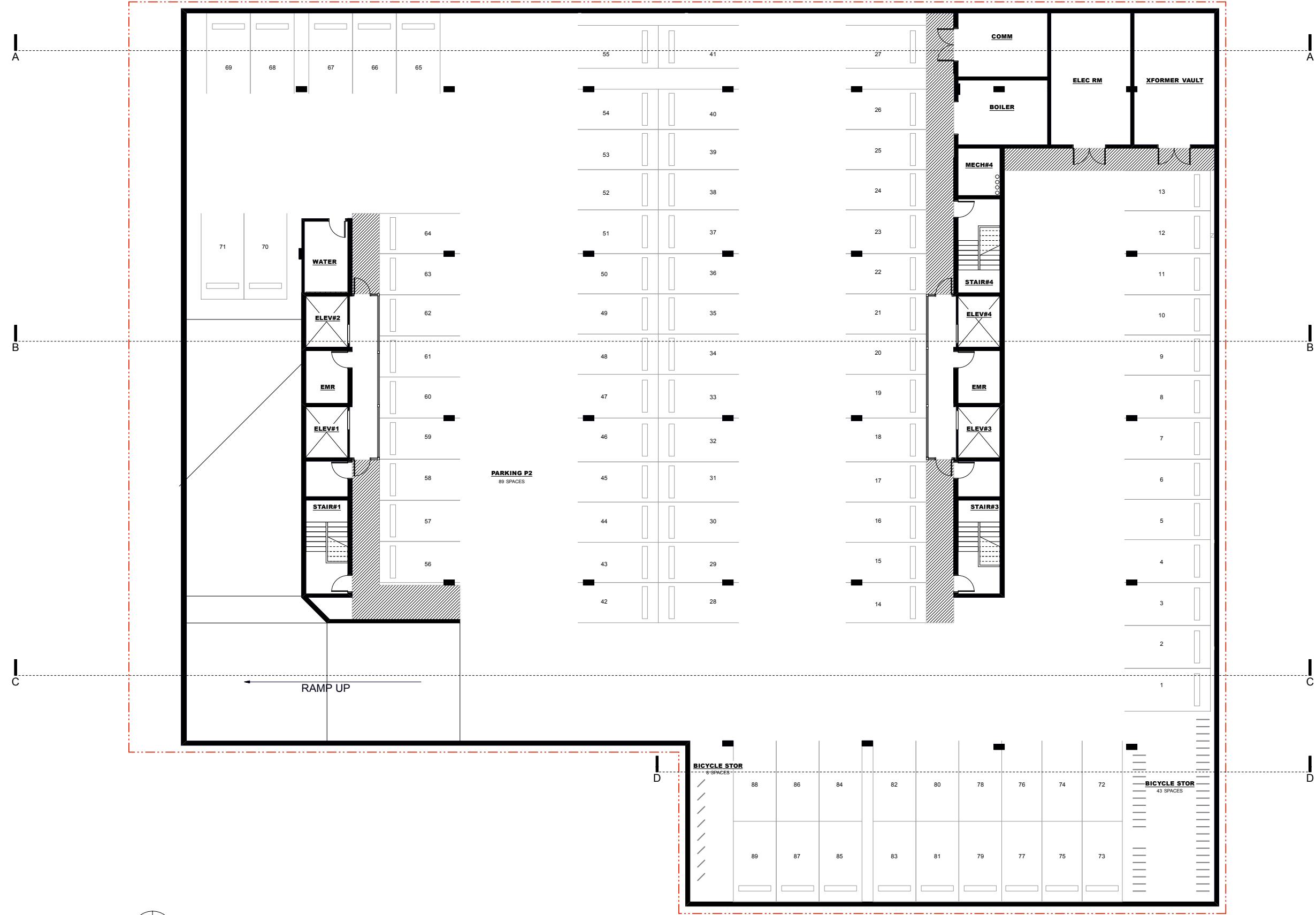






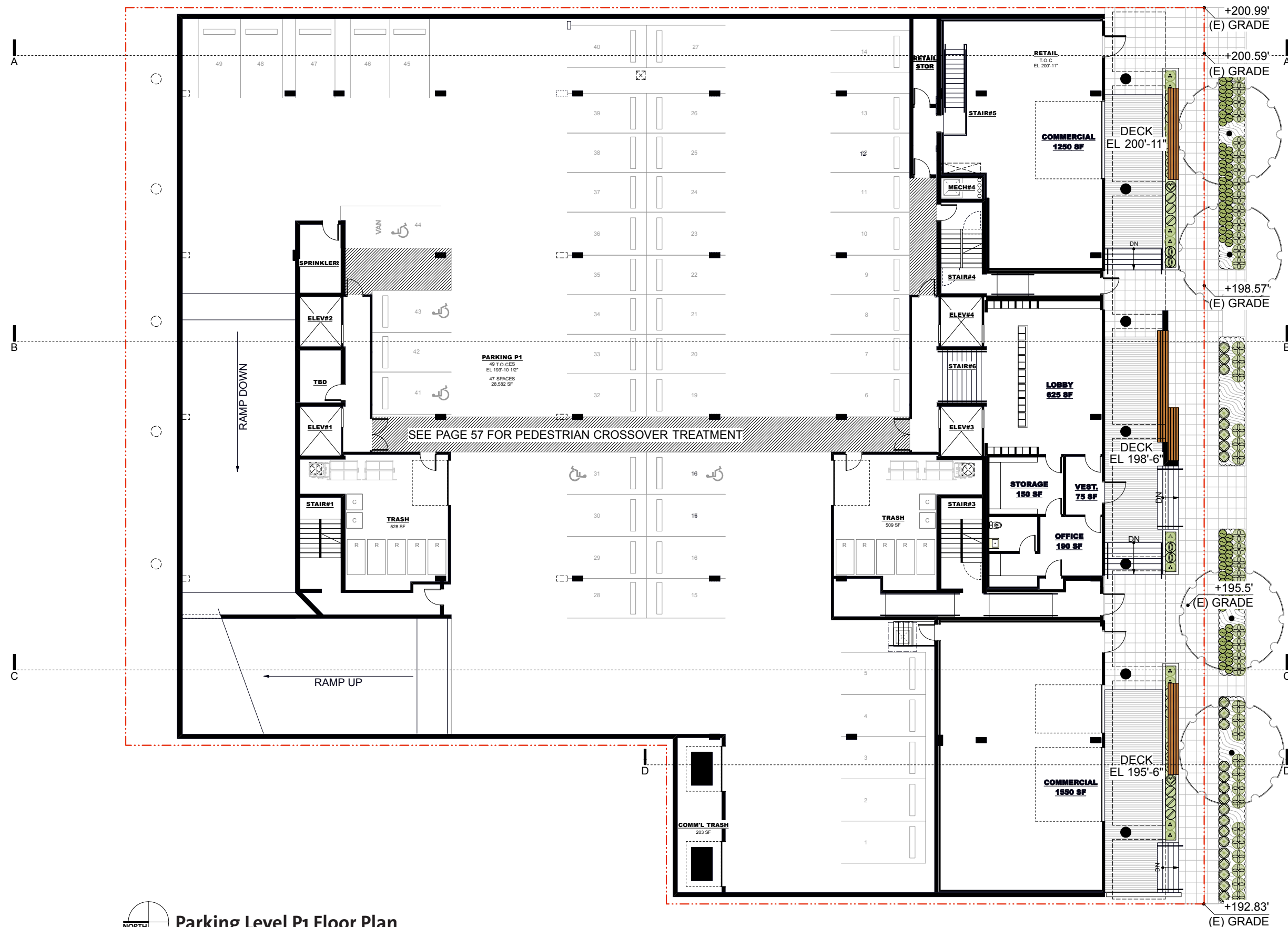
Composite Site Plan showing street-level building interiors at NE 65th and NE 66th Streets

Design Proposal: Floor Plans



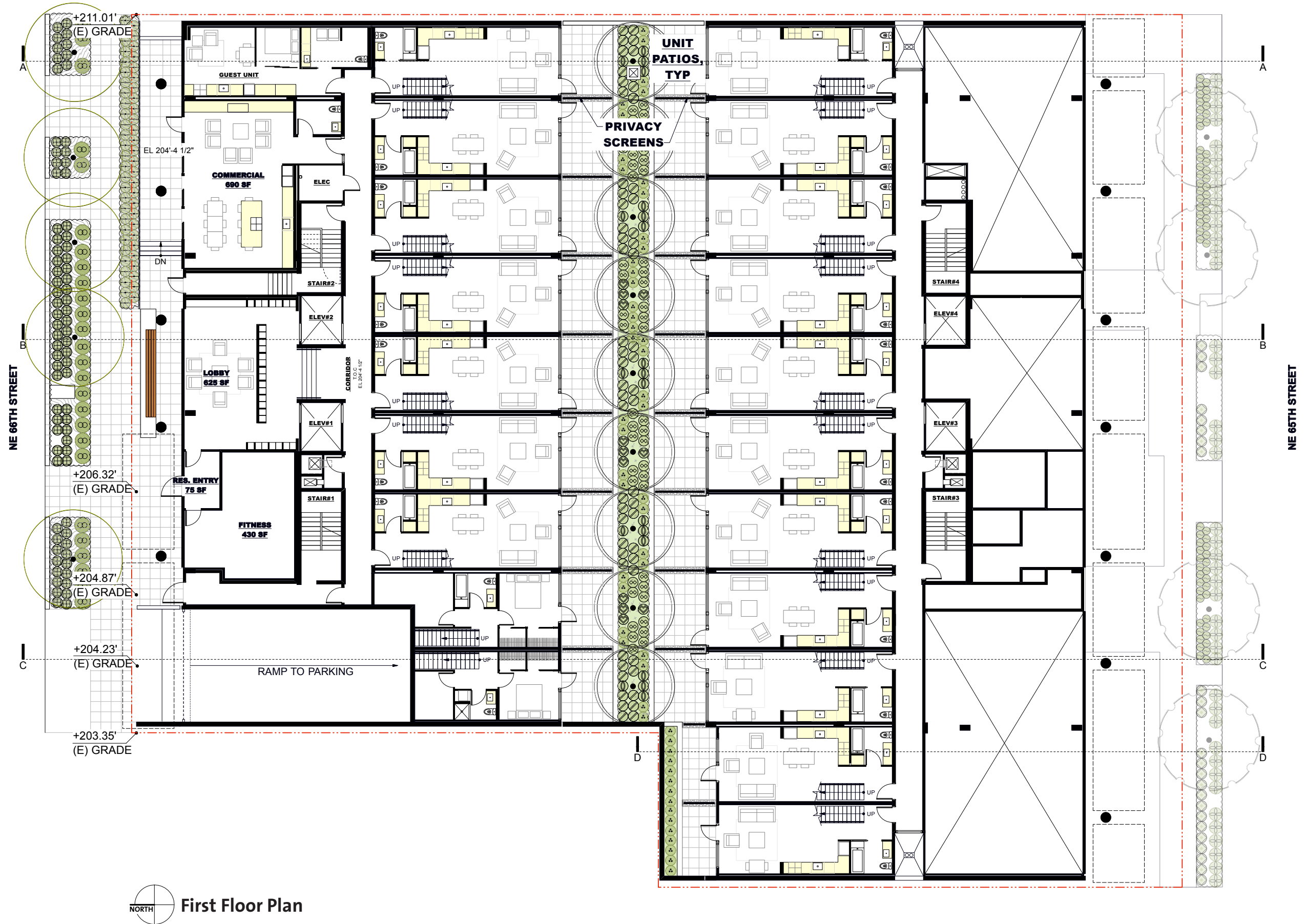
 Parking Level P2 Floor Plan

Design Proposal: Floor Plans



Parking Level P1 Floor Plan

Design Proposal: Floor Plans



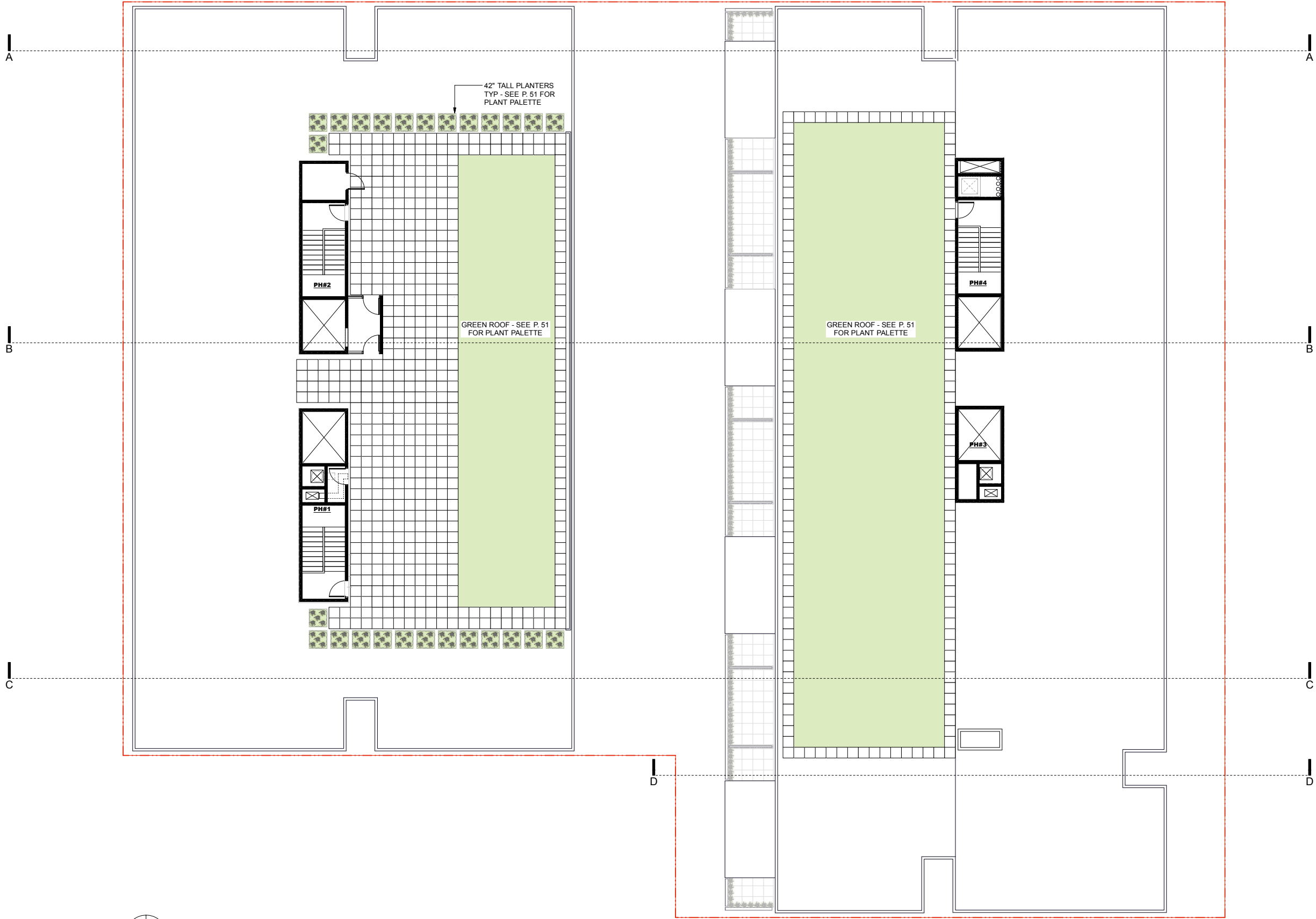


 **Second Floor Plan**

Design Proposal: Floor Plans



Residential Levels 3 - 7 Floor Plan



 **Roof Plan**



South Elevation (NE 65th Street Frontage)



East Elevation



North Elevation (NE 66th Street Frontage)



West Elevation

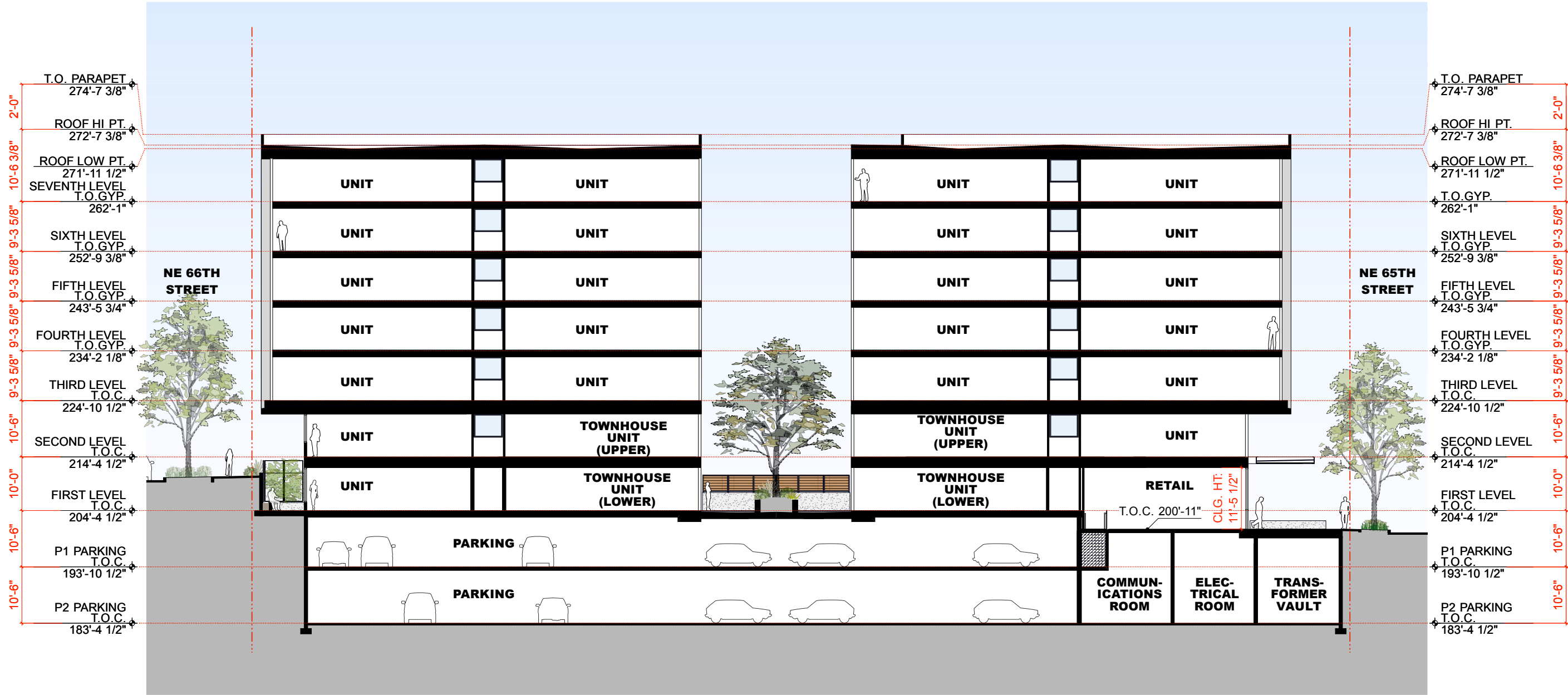


Courtyard North Elevation

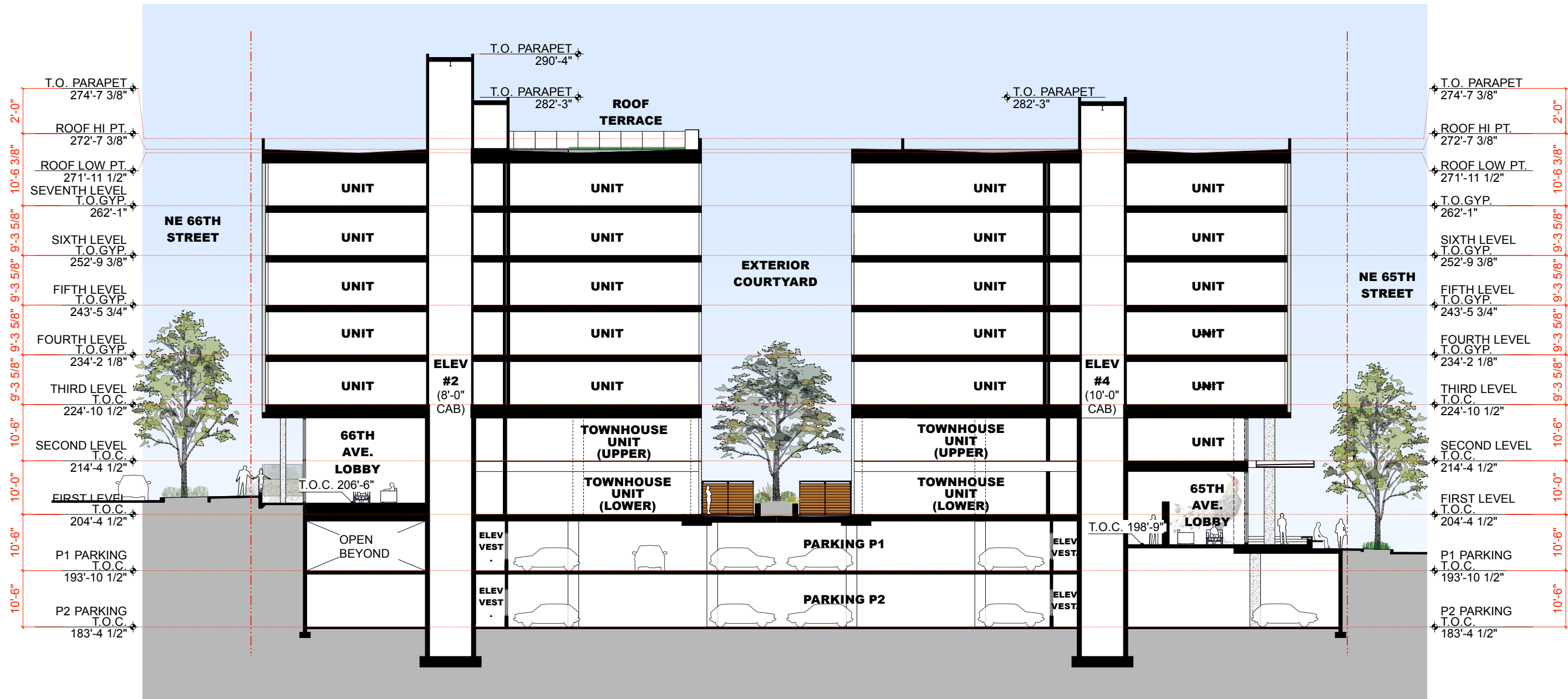


Courtyard South Elevation

Design Proposal: Building Sections

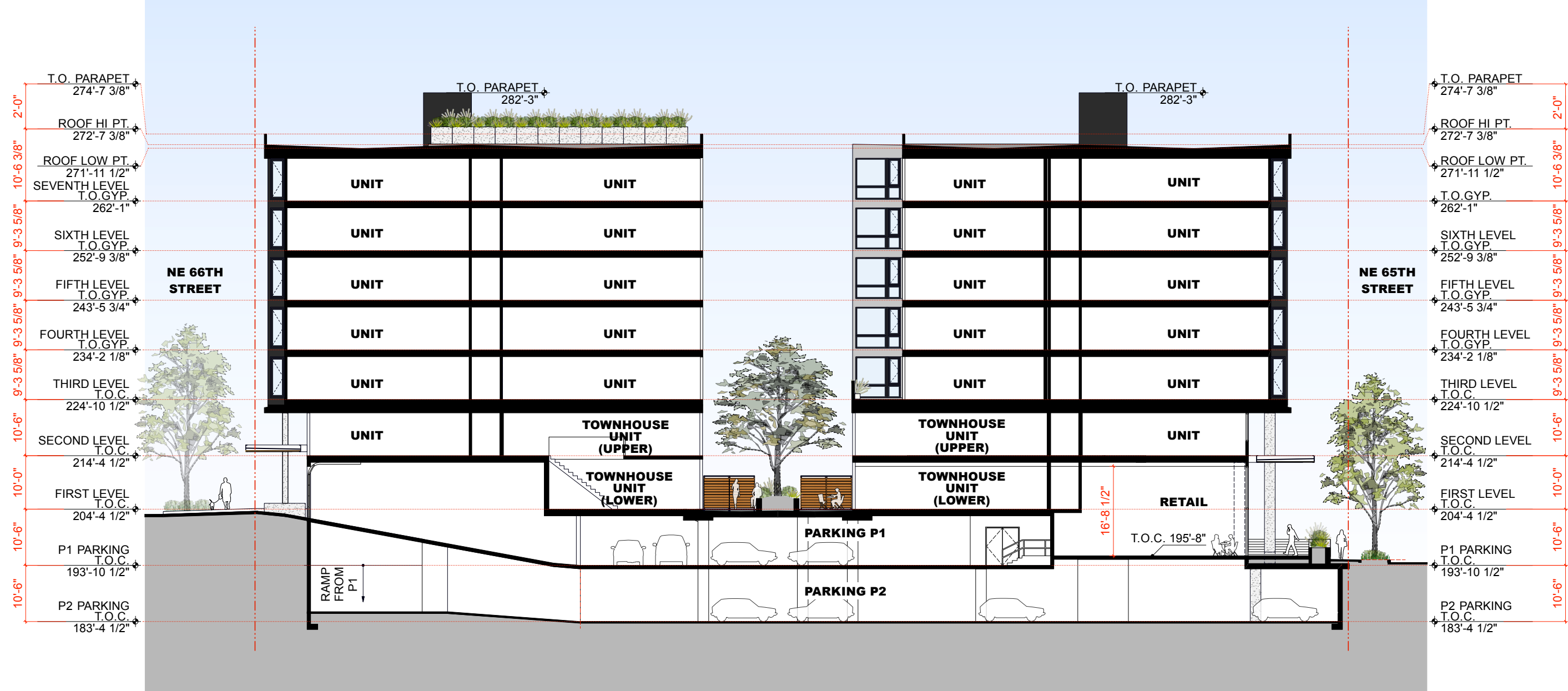


Building Section A



Building Section B

Design Proposal: Building Sections

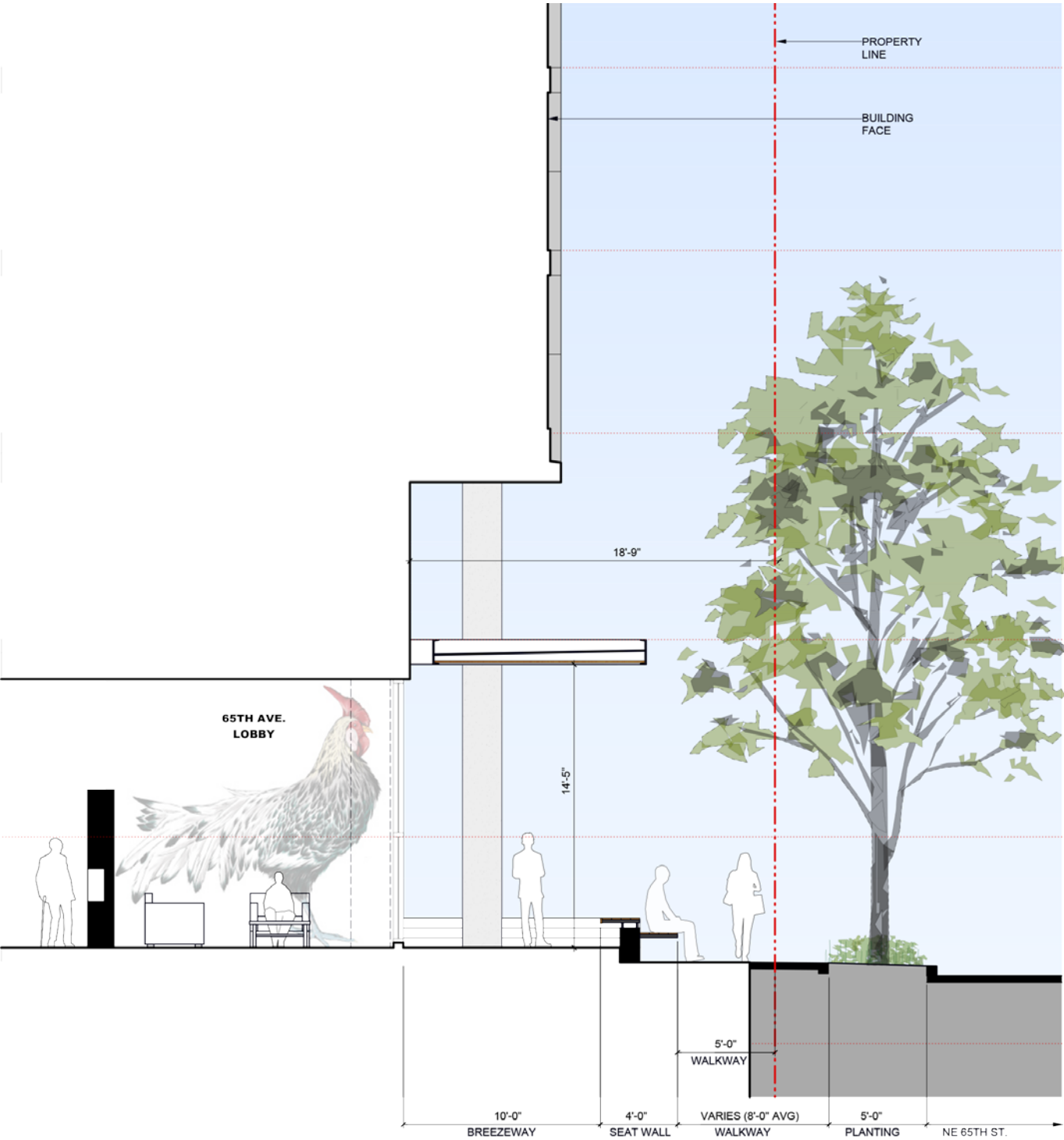


Building Section C

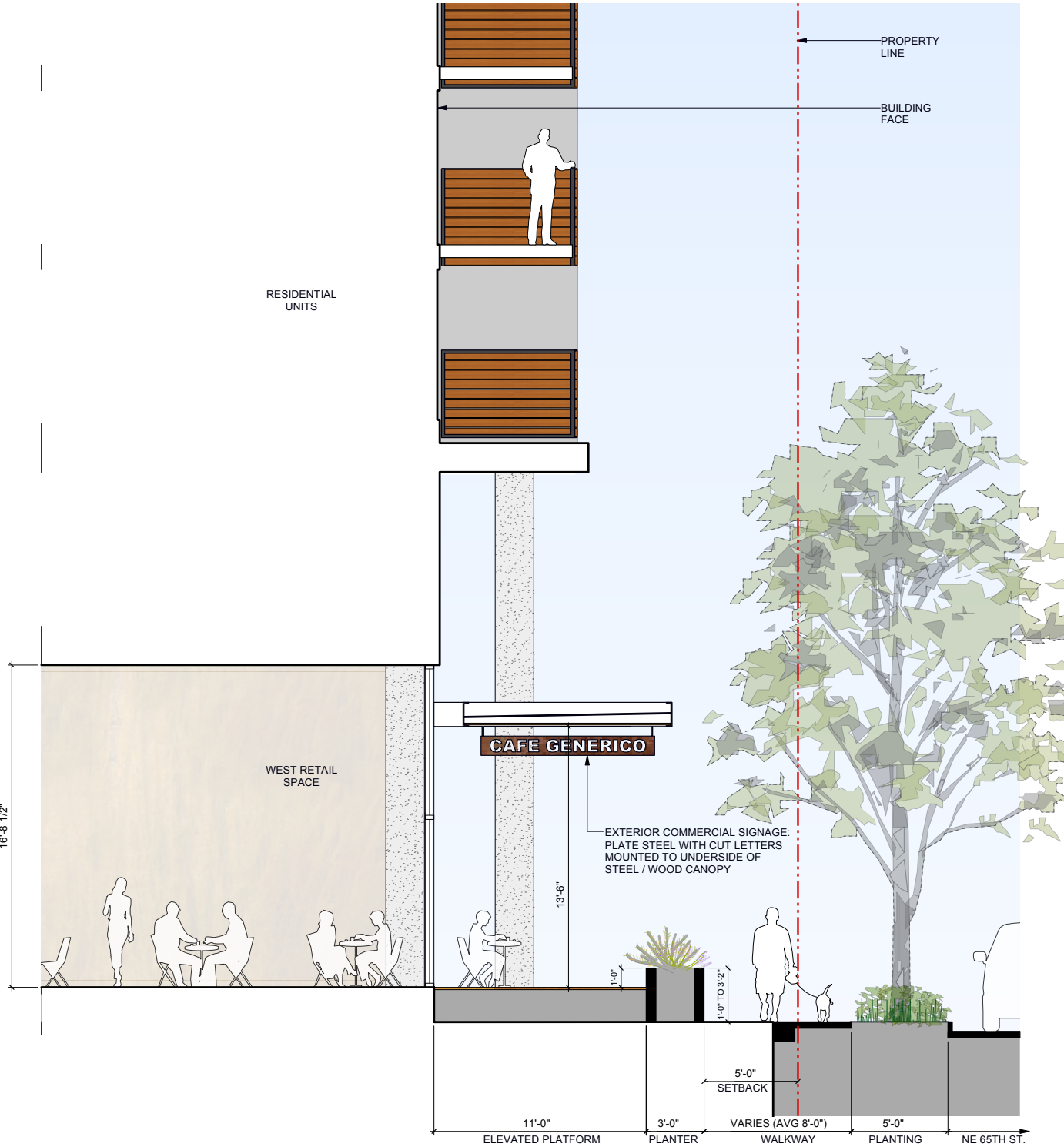


Building Section D

Design Proposal: Street Level Sections - NE 65th Street



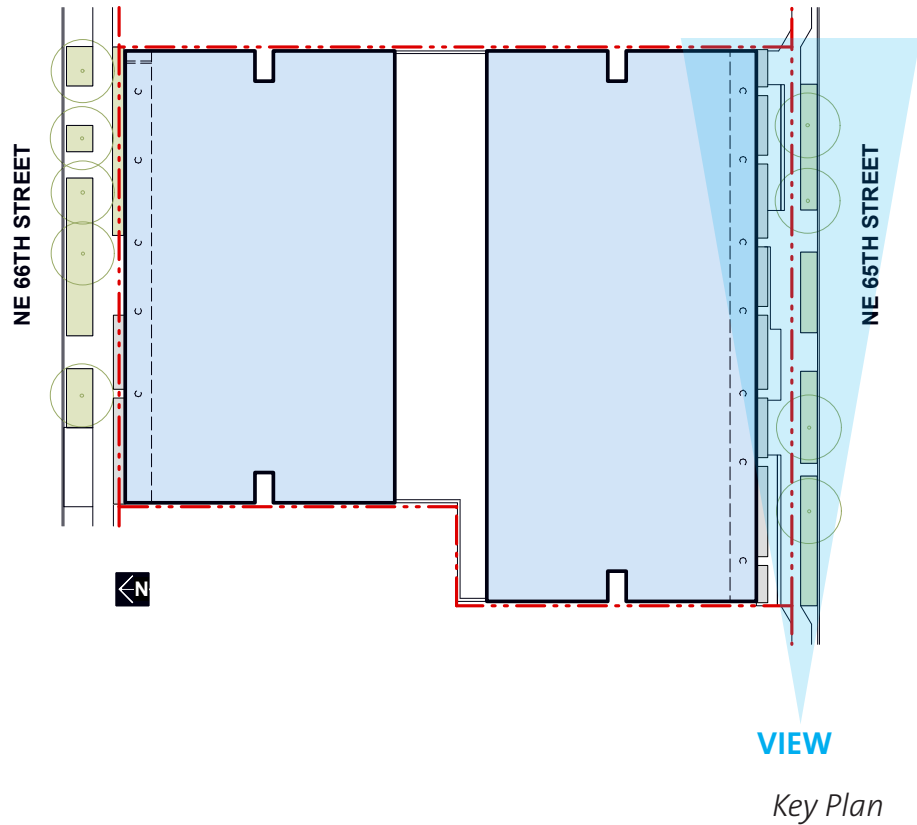
Street Level Through Residential Lobby



Street Level Through West Commercial Space

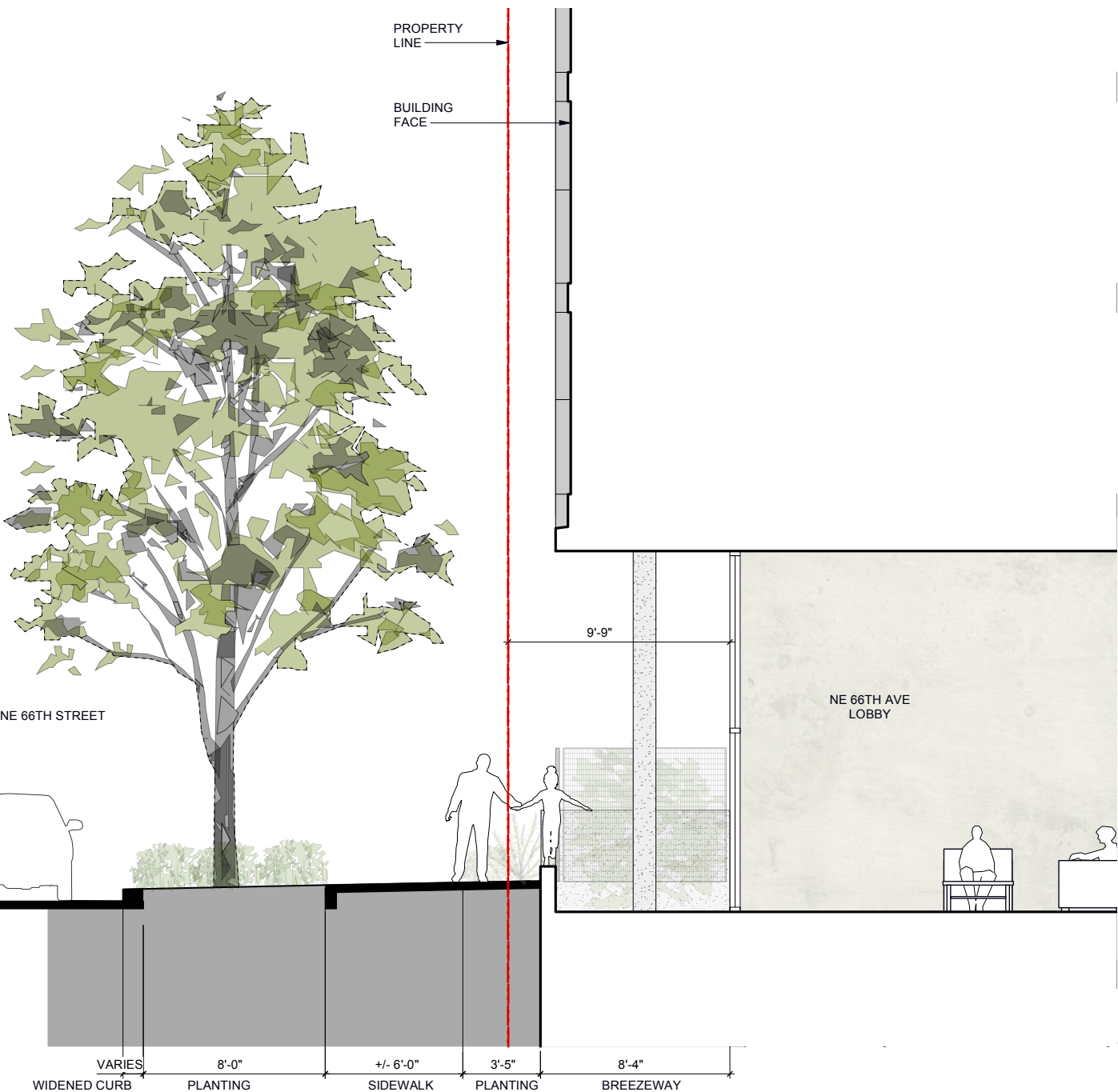
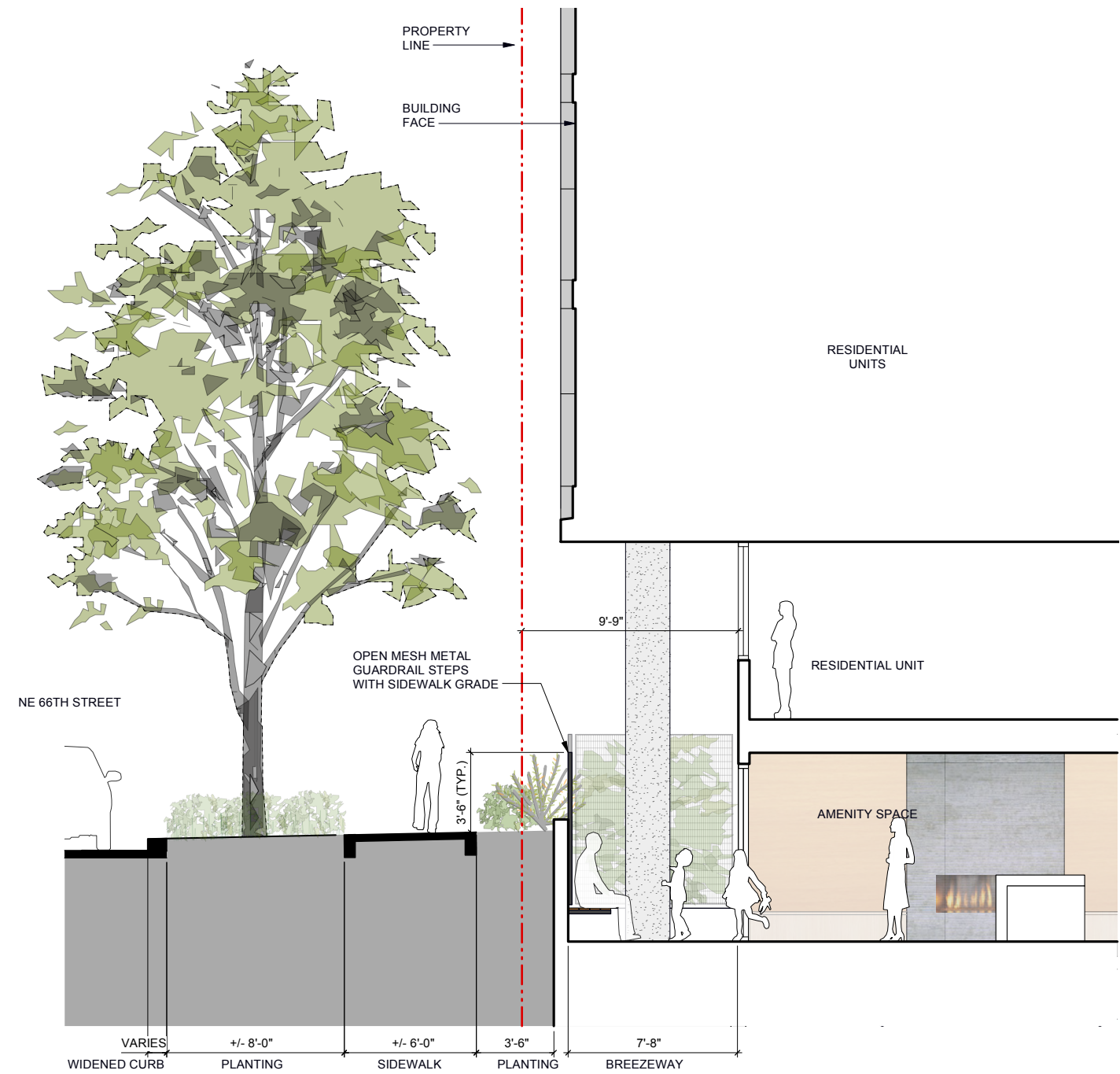


Existing conditions on NE 65th Street - looking East



Pedestrian experience and lower level retail on NE 65th Street - looking East

Design Proposal: Street Level Sections - NE 66th Street

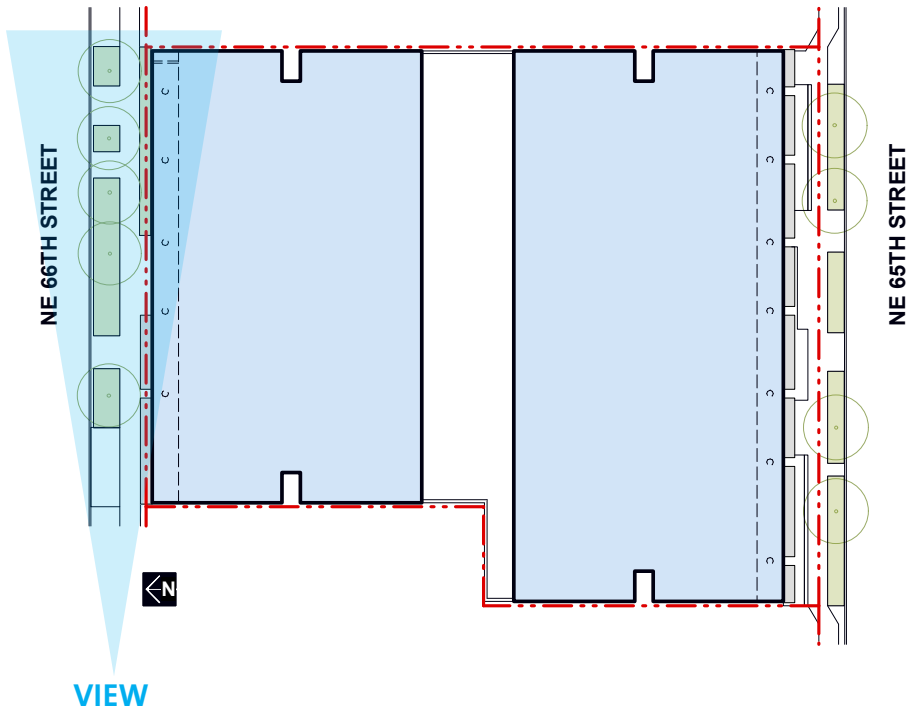


Street Level At Amenity Space

Street Level Through Residential Lobby



Existing conditions on NE 66th Street - looking East



Key Plan

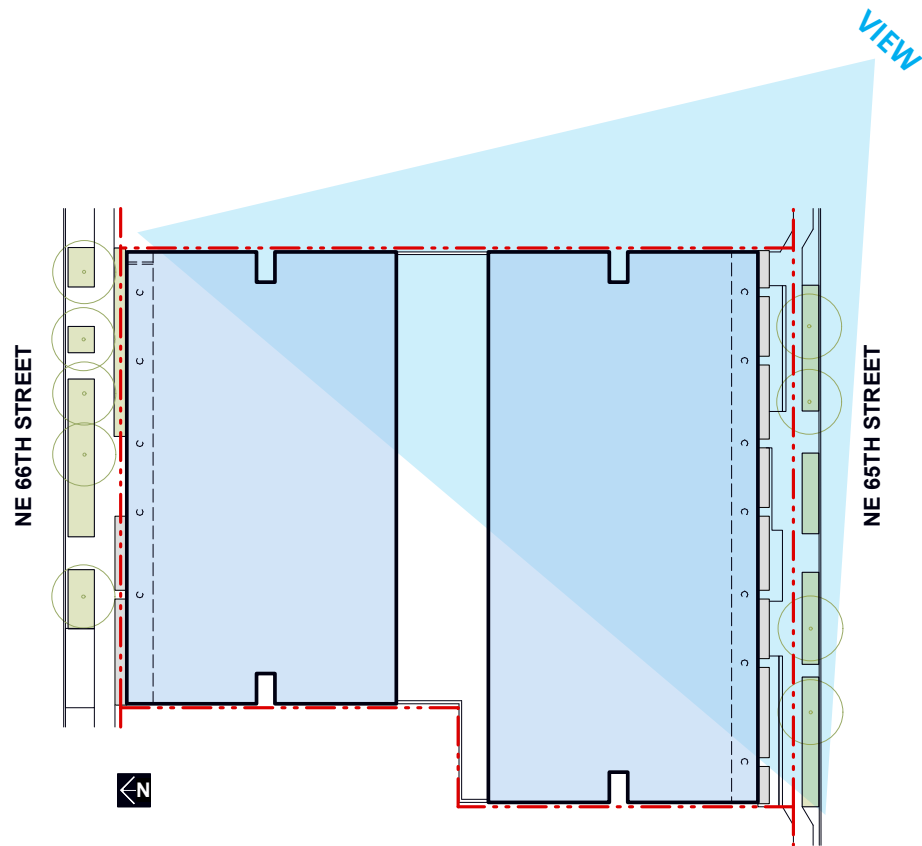


Pedestrian experience on NE 66th Street - looking East

Design Proposal: Experiential View Looking West - NE 65th Street



Existing conditions on NE 65th Street - looking West



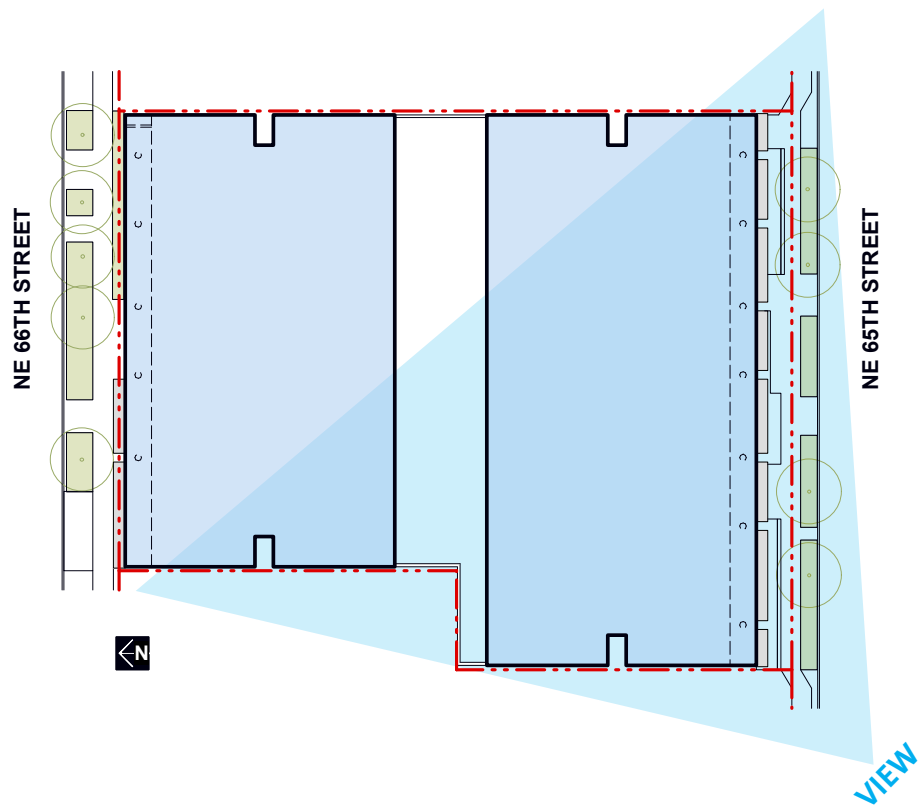
Key Plan



Pedestrian experience on NE 65th Street - looking West



Existing conditions on NE 65th Street - looking East



Key Plan

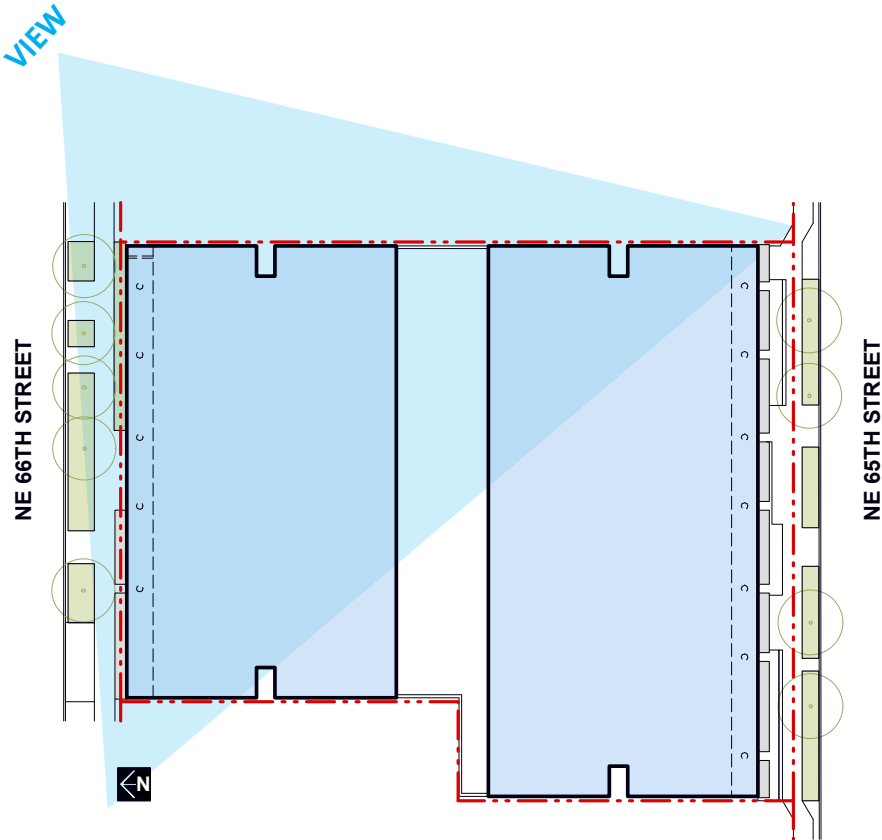


Pedestrian experience on NE 65th Street - looking East

Design Proposal: Experiential View Looking West - NE 66th Street



Existing conditions on NE 66th Street - looking West



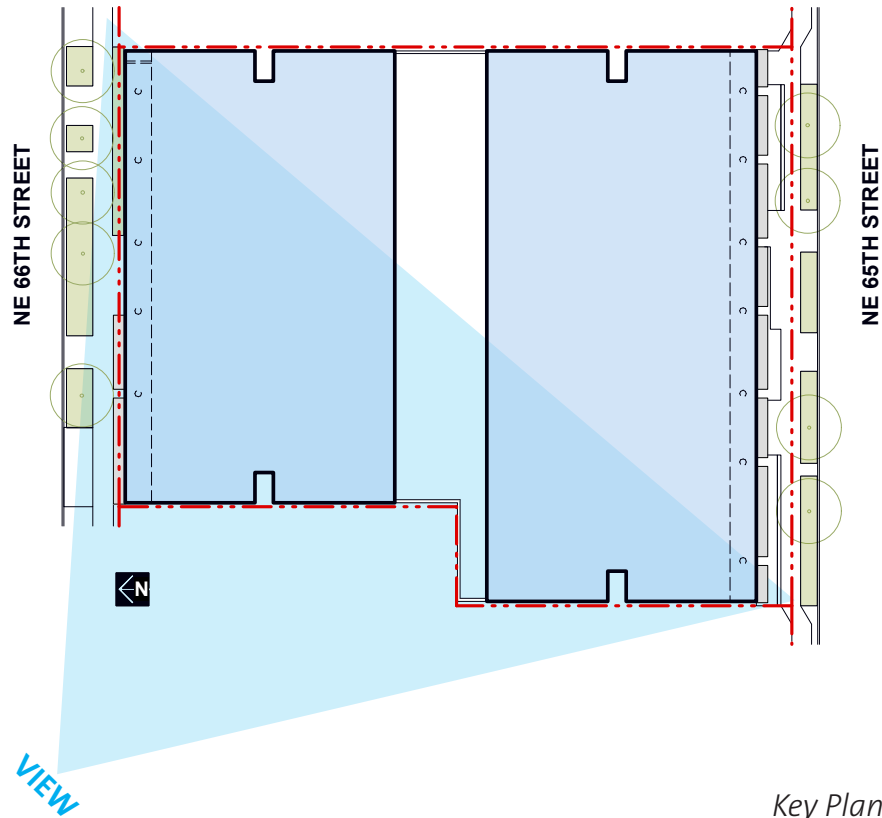
Key Plan



Pedestrian experience on NE 66th Street - looking West



Existing conditions on NE 66th Street - looking East



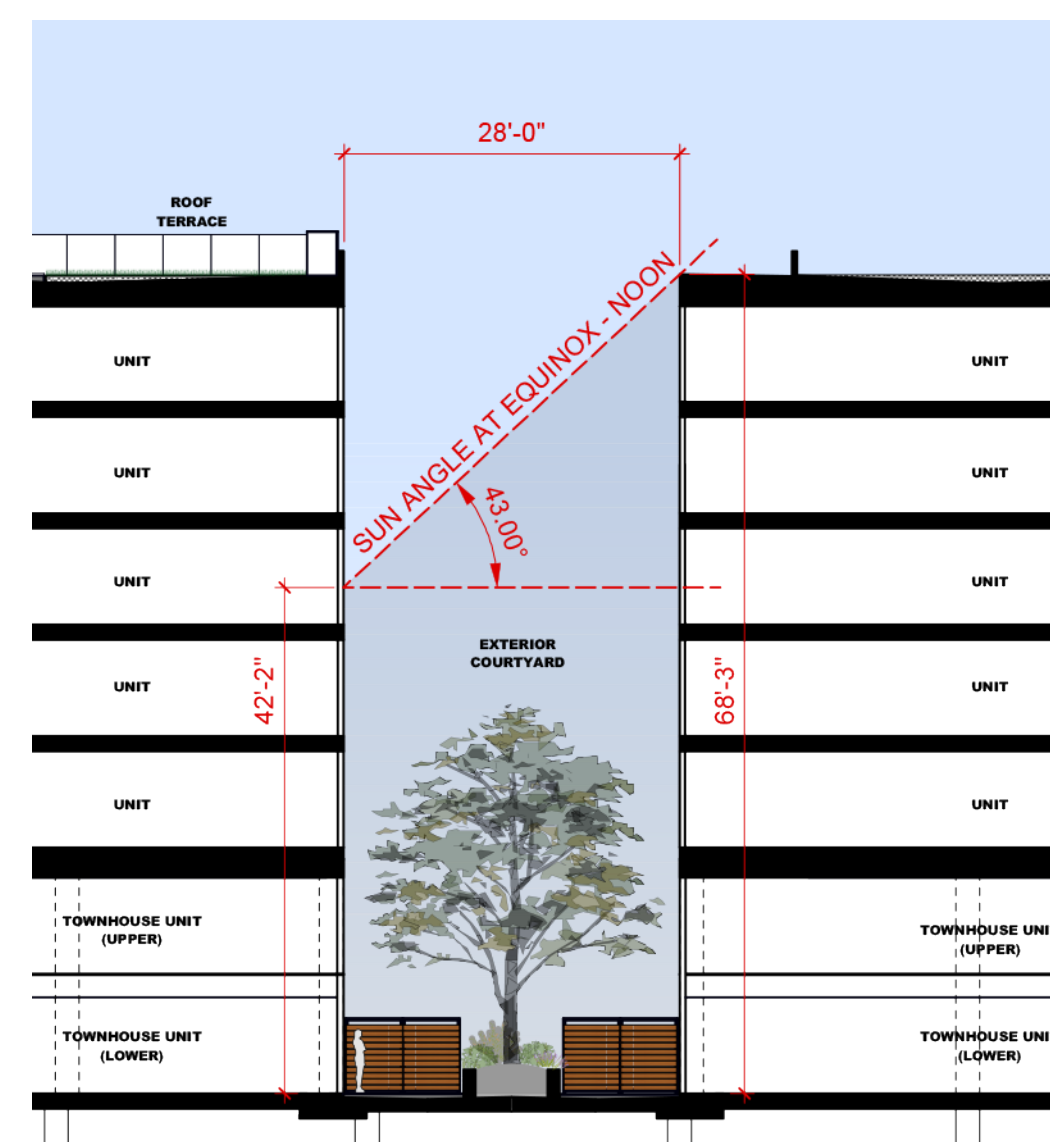
Key Plan



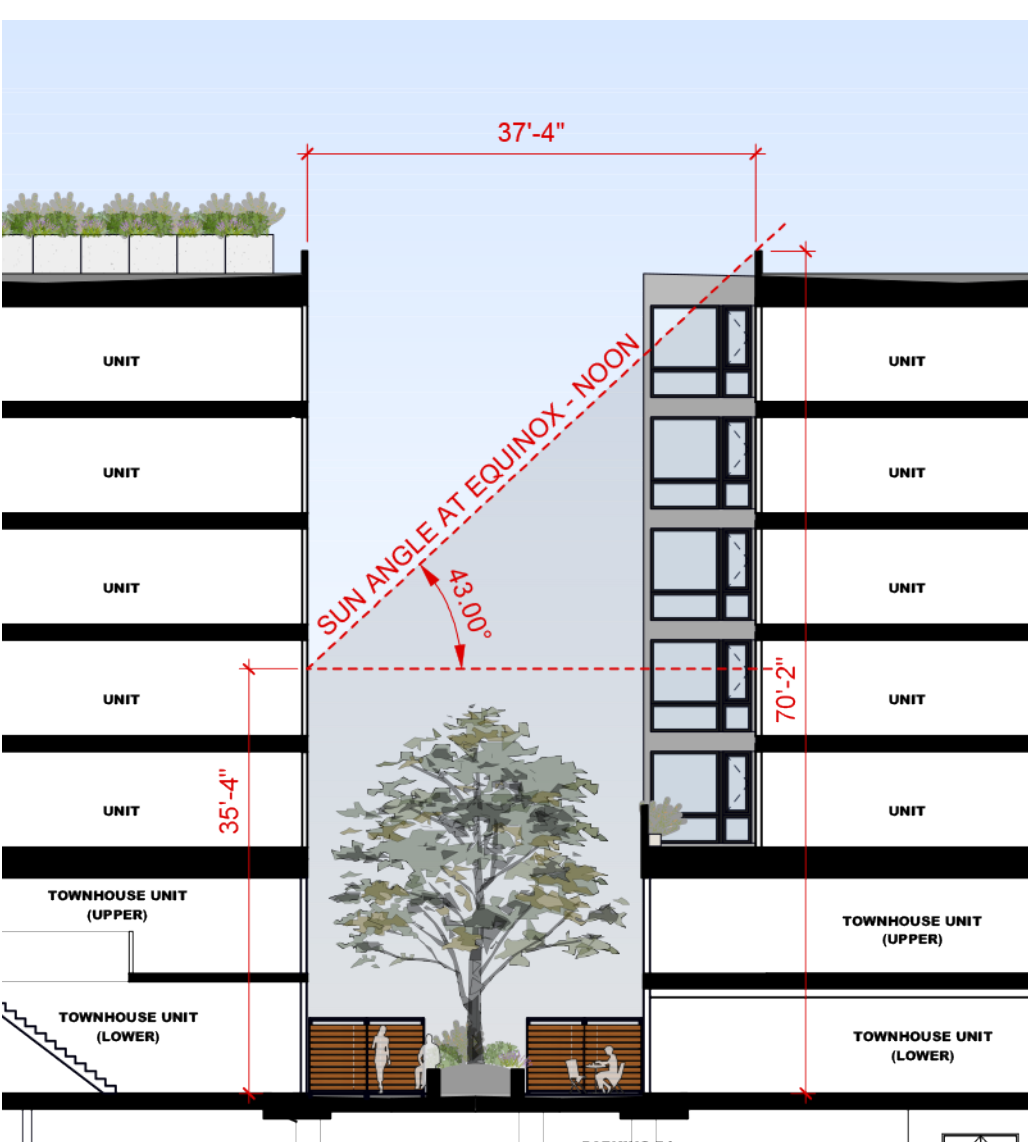
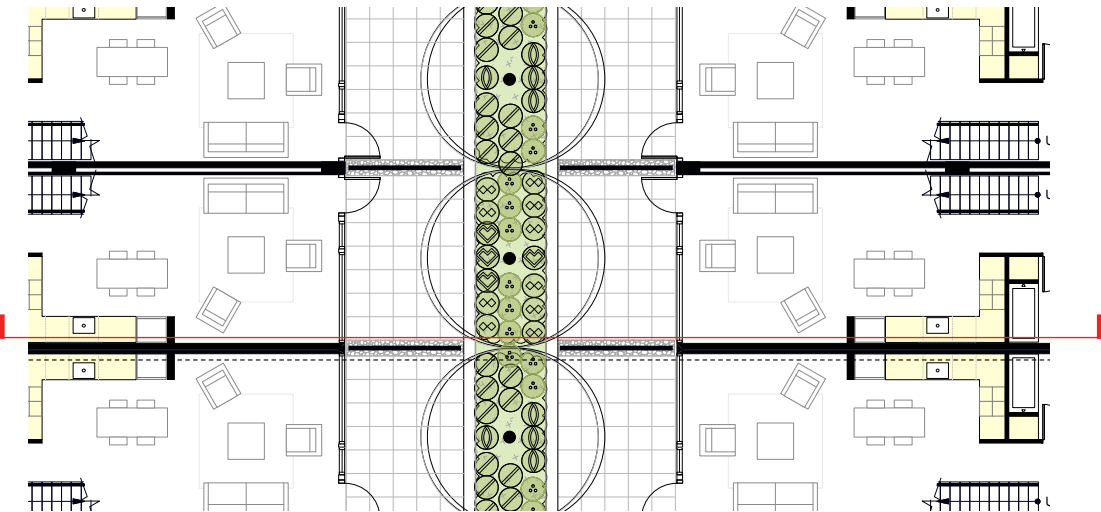
Pedestrian experience on NE 66th Street - looking East

Design Proposal: Open Spaces - Courtyard Experience

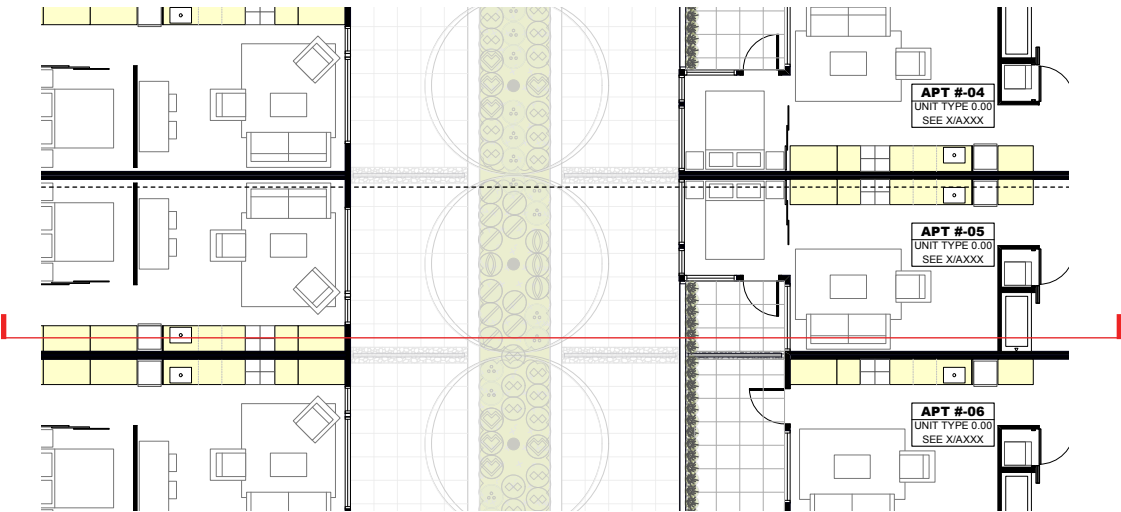




BUILDING SECTION AT COUTRYARD THROUGH BAYS



BUILDING SECTION AT COUTRYARD THROUGH UPPER LEVEL BALCONIES



Design Proposal: Landscape Roof Plan





Composite Wood Fiber Roof Deck with furnishings



Pedestal Paver Roof Deck with planters and furnishings

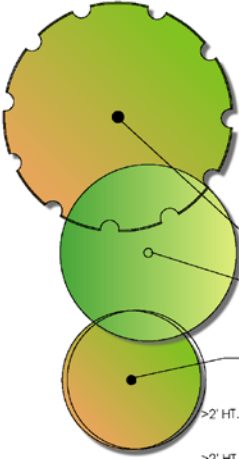


Pedestal Paver Roof Deck with perimeter planters and furnishings.



View of proposed Roof Deck.

Design Proposal: Landscape Plant Palette



PLANT LIST

* DROUGHT TOLERANT PLANTS PER SEATTLE GREEN FACTOR PLANT LIST

** DROUGHT TOLERANT PLANT REFERENCES:
-SUNSET WESTERN GARDEN BOOK & GREAT PLANT PICKS - ELISABETH C. MILLER BOTANICAL GARDEN

SYMBOL	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	SPACING
STREET TREES					
	ACER RUBRUM 'BOWHALL' (APPROVED BY SDOT ARBORIST, BILL AMES 02/28/2103)	'BOWHALL' MAPLE	2-1/2" CAL.	B&B	PER PLAN
	CRATAEGUS X LAVALLEI (APPROVED BY SDOT ARBORIST, BILL AMES 05/28/2103)	LAVALLE HAWTHORN	2-1/2" CAL.	B&B	PER PLAN
TREES					
	CERCIDIPHYLLUM JAPONICUM	KATSURA	2" CAL.	B&B	PER PLAN
SHRUBS					
>2' HT.	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY**	'GREEN BEAUTY' JAPANESE BOXWOOD	5 GAL.	CONT.	24" O.C.
>2' HT.	ILEX CRENATA 'NORTHERN BEAUTY**	'NORTHERN BEAUTY' JAPANESE HOLLY	5 GAL.	CONT.	24" O.C.
>2' HT.	LONICERA PILEATA**	BOXLEAF HONEYSUCKLE	5 GAL.	CONT.	36" O.C.
	NANDINA DOMESTICA 'WOOD'S DWARF**	'WOOD'S DWARF' HEAVENLY-BAMBOO	1 GAL.	CONT.	18" O.C.
	ROSA FLOWER CARPET 'RED VELVET'	'RED VELVET' FLOWER CARPET ROSE	2 GAL.	CONT.	24" O.C.
>2' HT.	RHOD. 'HINO CRIMSON**	'HINO CRIMSON' AZALEA	1 GAL.	CONT.	24" O.C.
>2' HT.	SPIRAEA JAPONICA 'ALPINA**	'ALPINA' SPIRAEA	5 GAL.	CONT.	24" O.C.
>2' HT.	VIBURNUM DAVIDII	DAVID'S VIBURNUM	5 GAL.	CONT.	30" O.C.
>2' HT.	RHODODENDRON 'DORA AMATEIS'	'DORA AMATEIS' RHODODENDRON	5 GAL.	CONT.	24" O.C.
>2' HT.	NANDINA 'GULF STREAM'	'GULF STREAM' NANDINA	5 GAL.	CONT.	24" O.C.
	PIERIS 'LITTLE HEATH'	'LITTLE HEATH' PIERIS	5 GAL.	CONT.	24" O.C.

GROUND COVER & PERENNIALS

50% EPIMEDIUM ALPINUM*
25% ASTILBE X ARENDsii 'PEACH BLOSSOM'
25% POLYSTICHUM MUNITUM**

50% EPIMEDIUM
25% 'PEACH BLOSSOM' ASTILBE
25% SWORD FERN

50% EPIMEDIUM ALPINUM*
25% ASTILBE X ARENDsii 'PEACH BLOSSOM'
25% DRYOPTERIS ERYTHROSORA*

50% EPIMEDIUM
25% 'PEACH BLOSSOM' ASTILBE
25% AUTUMN FERN

PLANTER POTS

EACH 3'X6' PLANTER TO BE PLANTED WITH THE FOLLOWING:
(5) NANDINA DOMESTICA 'MOON BAY' 'MOON BAY' HEAVENLY BAMBOO
(27) OPHIOPOGON PLANISCAPUS 'NIGRESCENS' BLACK MONDO GRASS

GREEN ROOF PLANTING:
SEDUM TILE PRE-VEGETATED MATS *, COLOR MAX.
AVAILABLE FROM ETERA, CONTACT DAVID GILMORE 360.661.2767

EXCEPTIONAL TREE NOTES

1. PER SMC 25.11.09:
A. EACH EXCEPTIONAL TREE AND TREES OVER TWO (2) FEET IN DIAMETER THAT IS REMOVED IN ASSOCIATION WITH DEVELOPMENT IN ALL ZONES SHALL BE REPLACED BY ONE OR MORE NEW TREES, THE SIZE AND SPECIES OF WHICH SHALL BE DETERMINED BY THE DIRECTOR; THE TREE REPLACEMENT REQUIRED SHALL BE DESIGNED TO RESULT, UPON MATURITY, IN A CANOPY COVER THAT IS AT LEAST EQUAL TO THE CANOPY COVER PRIOR TO TREE REMOVAL. PREFERENCE SHALL BE GIVEN TO ON-SITE REPLACEMENT. WHEN ON-SITE REPLACEMENT CANNOT BE ACHIEVED, OR IS NOT APPROPRIATE AS DETERMINED BY THE DIRECTOR, PREFERENCE FOR OFF-SITE REPLACEMENT SHALL BE ON PUBLIC PROPERTY.

EXISTING EXCEPTIONAL TREES:
SEQUOIA SEMPERVIRENS /COASTAL REDWOOD (#1) CANOPY = 16'
SEQUOIA SEMPERVIRENS /COASTAL REDWOOD (#2) CANOPY = 13'
TOTAL EXCEPTIONAL TREE CANOPY = 29' RADIUS

REPLACEMENT TREES
SEE ANALYSIS PAGE 53.

EXISTING EXCEPTIONAL CONIFEROUS TREE TO BE REMOVED

EXISTING EXCEPTIONAL TREES, AS PER ARBORIST REPORT IDENTIFIED BELOW:

TREE I.D. #	COMMON NAME	SCIENTIFIC NAME	DBH
1	COASTAL REDWOOD	SEQUOIA SEMPERVIRENS	50"
2	COASTAL REDWOOD	SEQUOIA SEMPERVIRENS	50"



Bowhall Maple
Acer rubrum 'Bowhall'



Lavalles Hawthorn
Crataegus x lavalii



Katsura
Cercidiphyllum japonicum



'Green Beauty' Japanese Boxwood
Buxus 'Green Beauty'



Northern Beauty Japanese Holly
Ilex 'Northern Beauty'



Boxleaf Honeysuckle
Lonicera pileata



Nandina domestica 'Wood's Dwarf'
'Wood's Dwarf' Heavenly Bamboo



'Red Velvet' Flower Carpet Rose
Rosa Flower Carpet 'Red Velvet'



'Hino Crimson' Azalea
Rhododendron 'Hino Crimson'



'Alpina' Spiraea
Spiraea japonica 'Alpina'

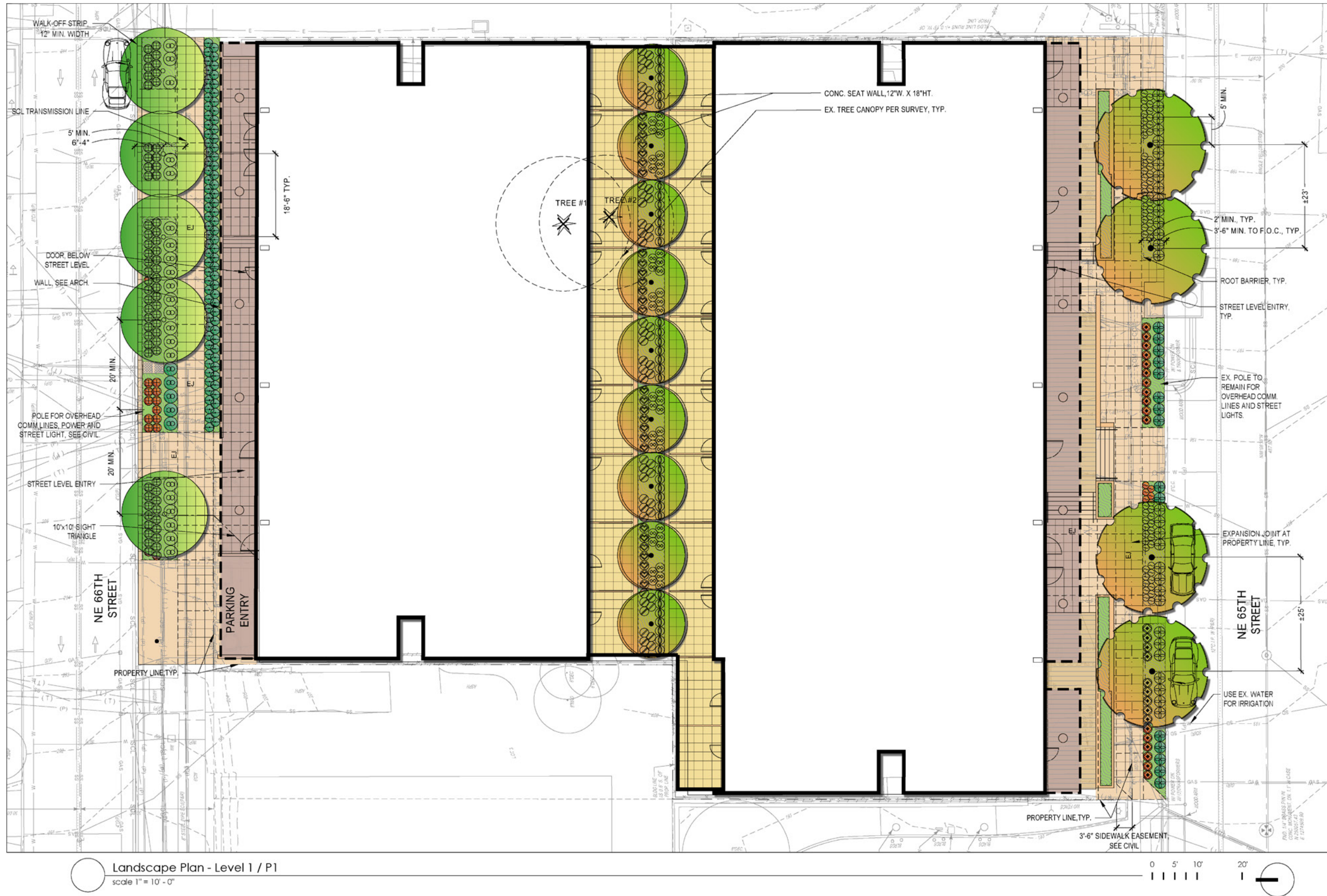


David's Viburnum
Viburnum davidii

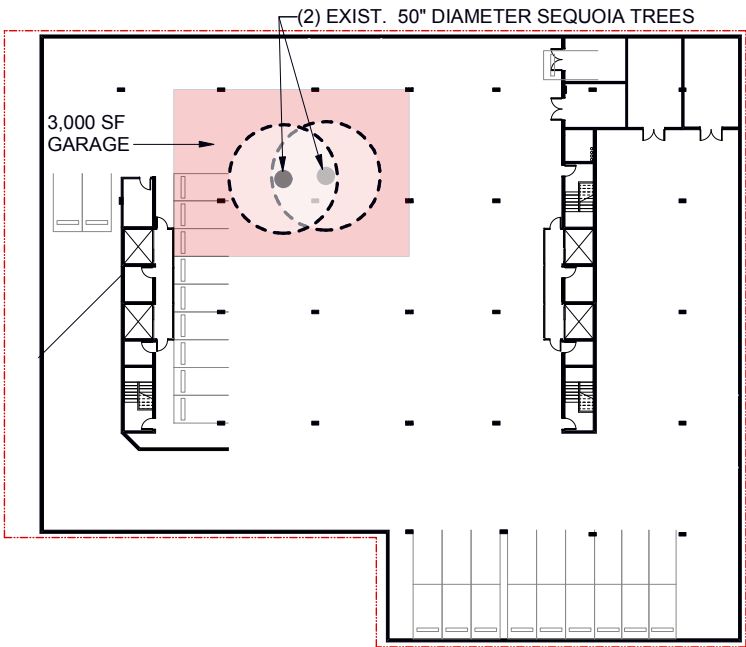


'Cavatine' Pieris
Pieris 'Cavatine'

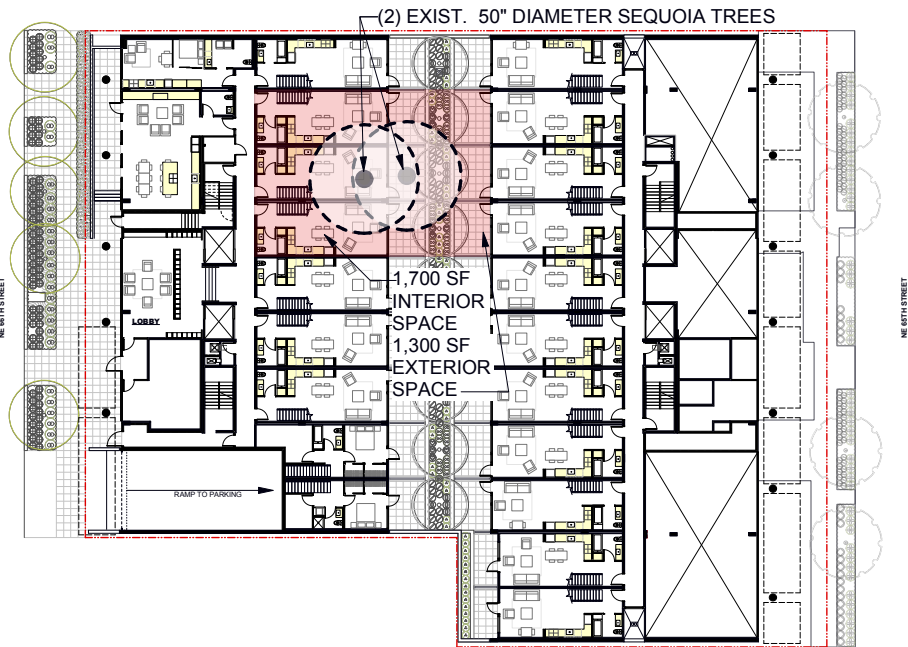
Design Proposal: Ground Level Landscape Plan



Design Proposal: Exceptional Tree Analysis



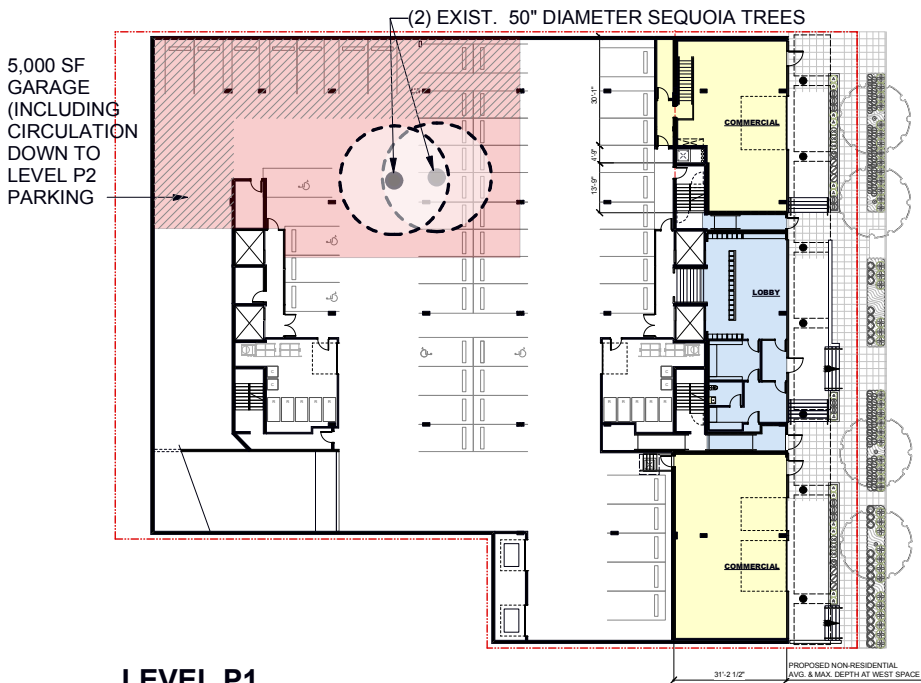
LEVEL P2



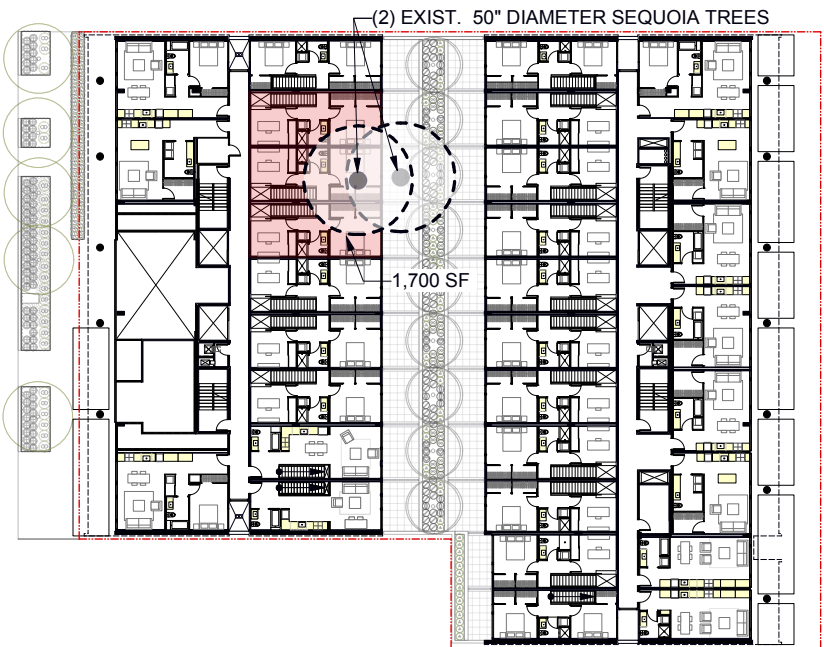
LEVEL 1



LEVELS 3 - 7



LEVEL P1



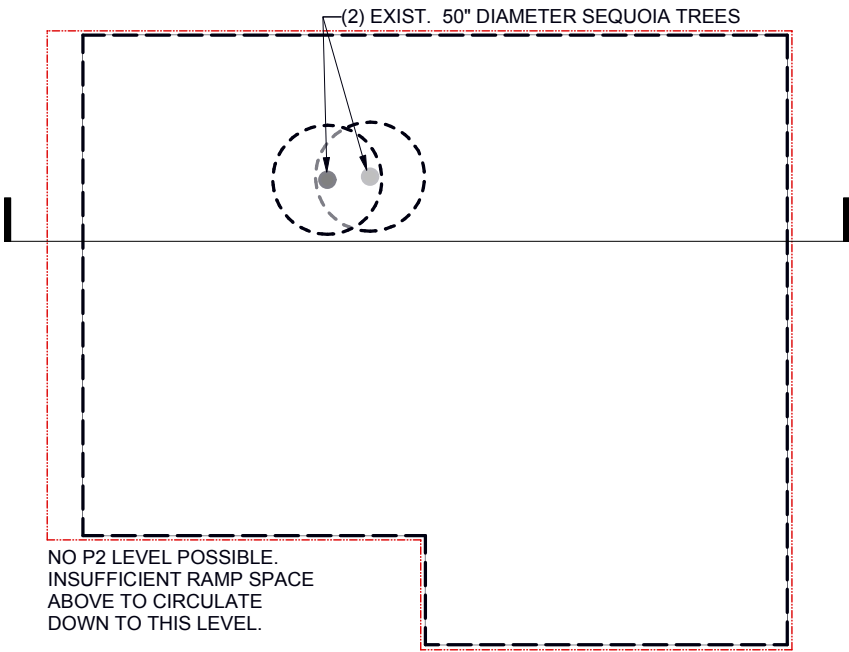
LEVEL 2

EXCEPTIONAL TREE ANALYSIS - DEVELOPMENT IMPACT

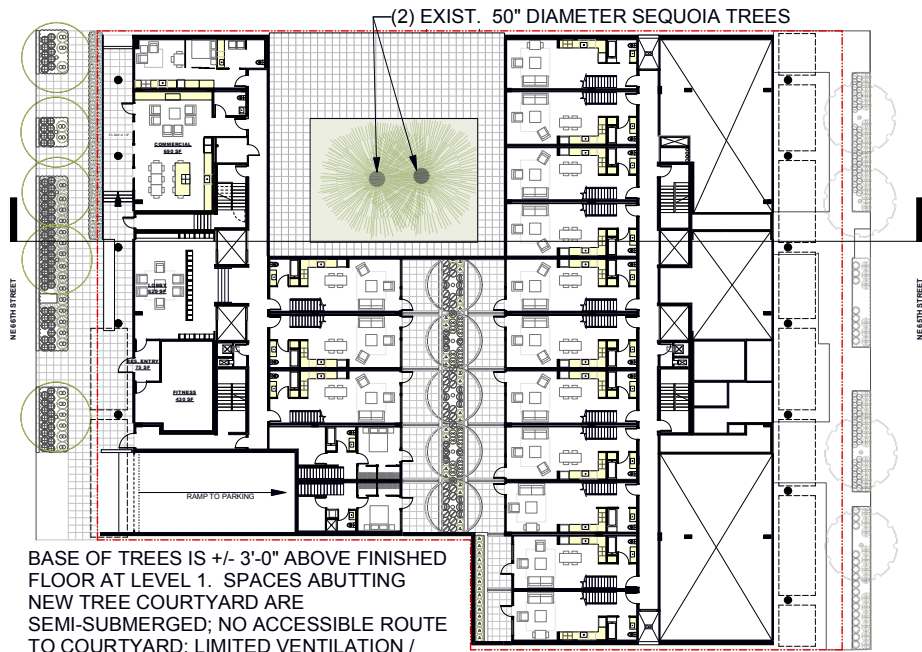
LEVEL	INTERIOR AREA	EXTERIOR AREA
P2	3000 SF	
P1	5000 SF	
1	1700 SF	1300 SF
2	1700 SF	
3 THRU 7	1,700 X 5 STORIES = 8,500 SF	
TOTAL	19900 SF	1300 SF

TREE CANOPY REPLACEMENT ANALYSIS

REMOVED TREE CANOPY		REMOVED TREE RADIUS	
#1 SEQUOIA SEMPERVIRENS (COASTAL REDWOOD)		16	FT
#2 SEQUOIA SEMPERVIRENS (COASTAL REDWOOD)		13	FT
TOTAL REMOVED TREE CANOPY		29	FT
REPLACEMENT TREES - RIGHTS-OF-WAY		REPLACEMENT TREE RADIUS	
65TH ST: ACER 'WARRENRED'		4 @ 9 = 36	FT
66TH ST: CRATAEGUS X LAVELLEI LEVALLE HAWTHORN		5 @ 7.5 = 37.5	FT
TOTAL RIGHT-OF-WAY REPLACEMENT CANOPY		73.5	FT
REPLACEMENT TREES - ON SITE			
CERCIDIPHYLLUM JAPONICUM (KATSURA)		9 @ 8' = 72	FT
TOTAL ON SITE REPLACEMENT CANOPY		72	FT
TOTAL REPLACEMENT CANOPY		145.5	FT



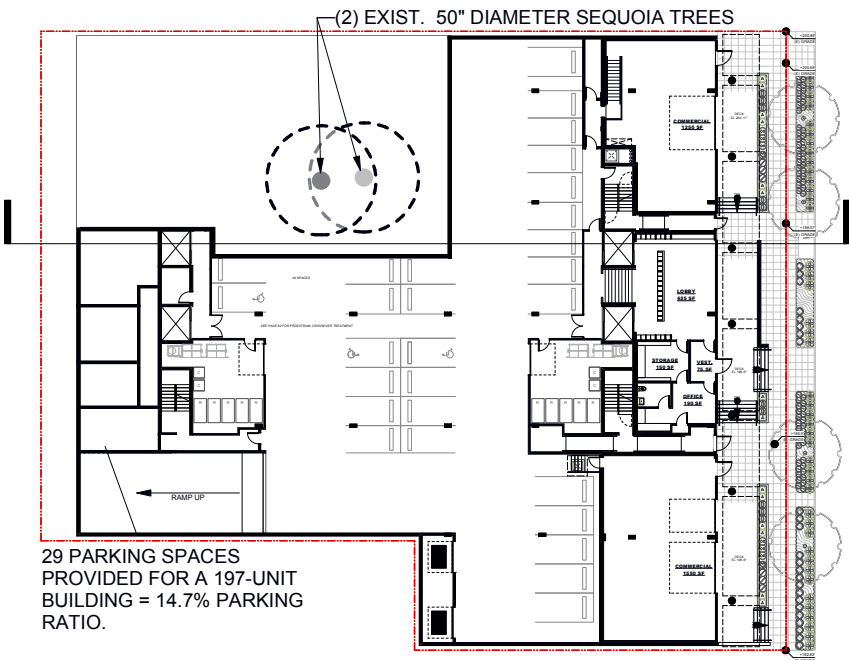
LEVEL P2



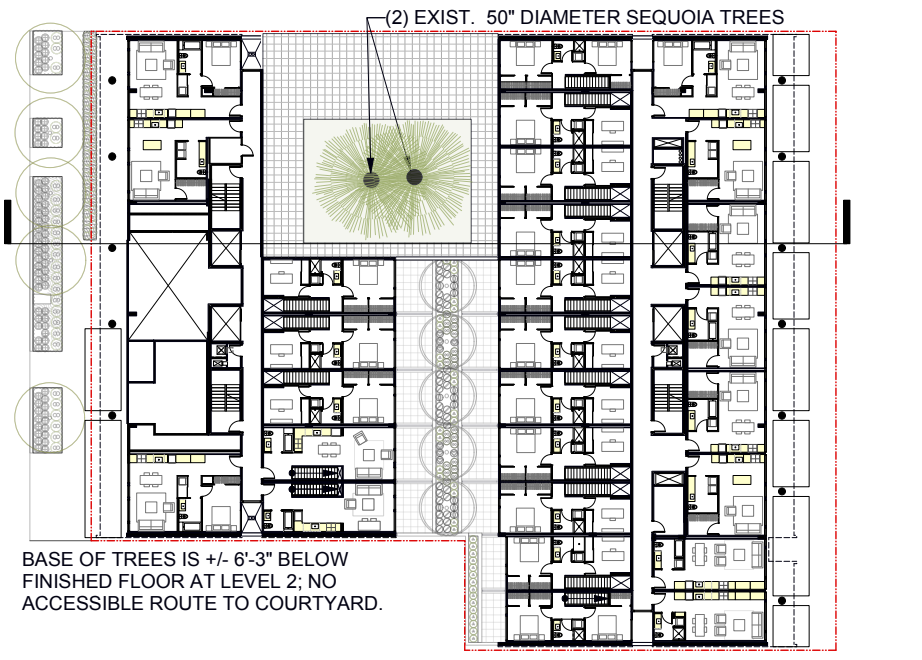
LEVEL 1



LEVELS 3 - 7



LEVEL P1

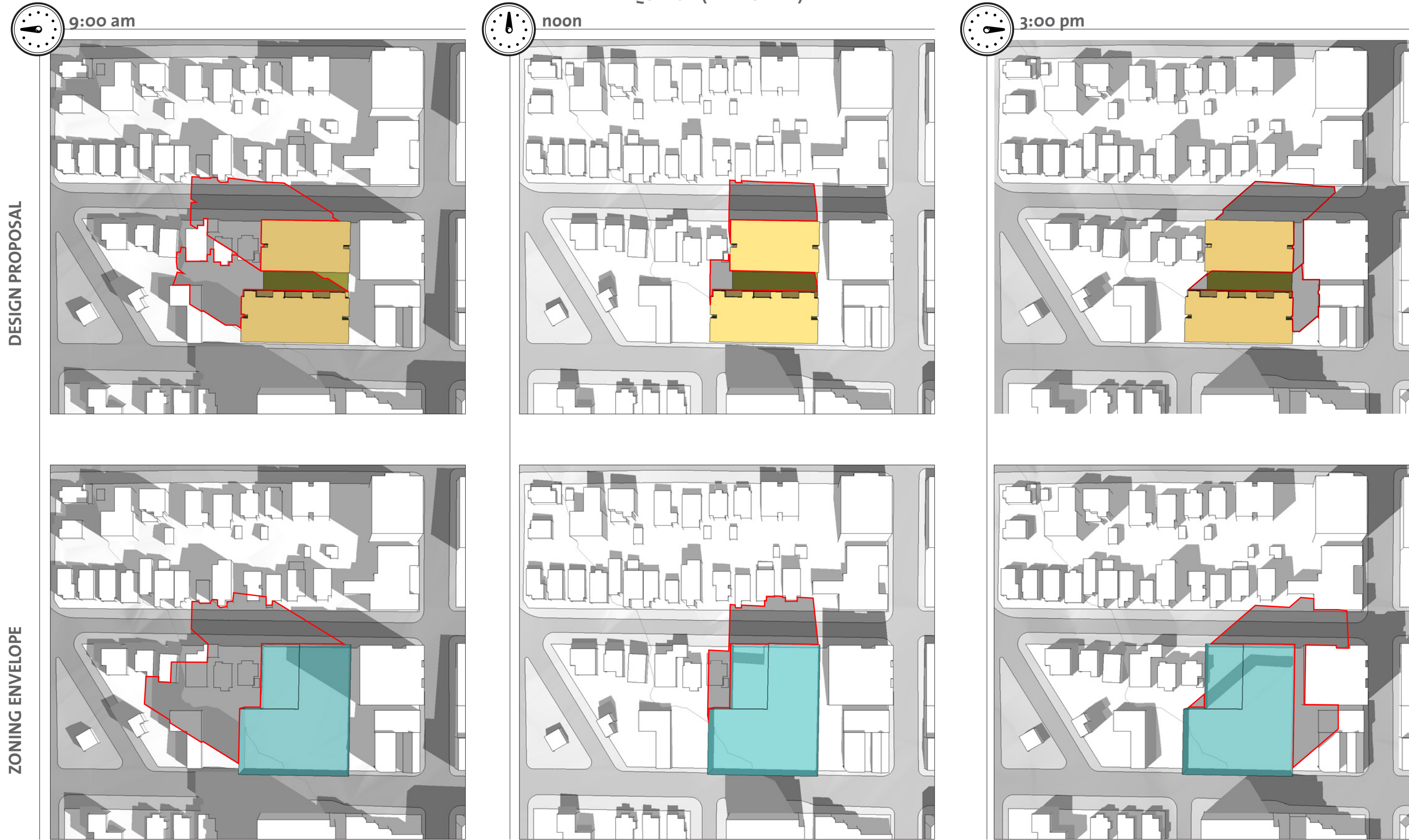


LEVEL 2



BUILDING SECTION

Design Proposal: Sun/Shadow Studies





9:00 am

DESIGN PROPOSAL



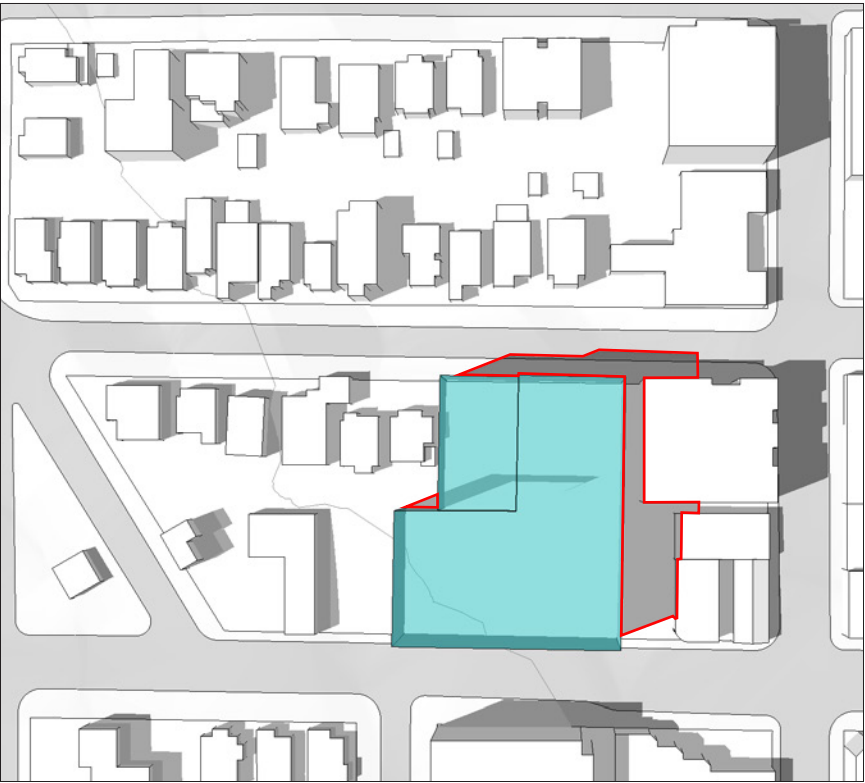
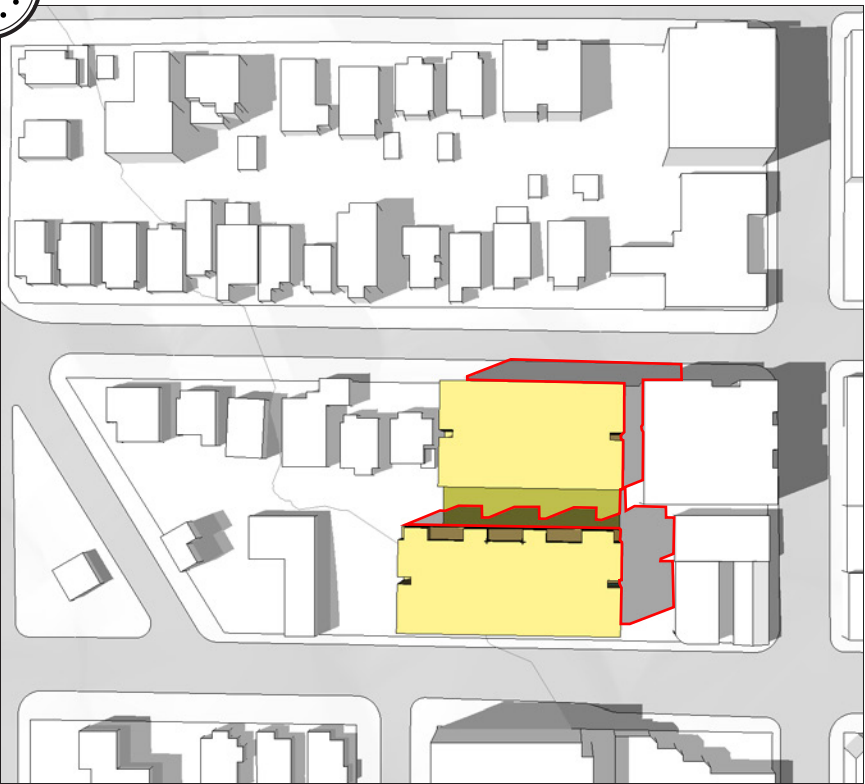
noon

SUMMER SOLSTICE (JUNE 21)

ZONING ENVELOPE



3:00 pm



Design Proposal: Sun/Shadow Studies

WINTER SOLSTICE (DEC 21)



9:00 am

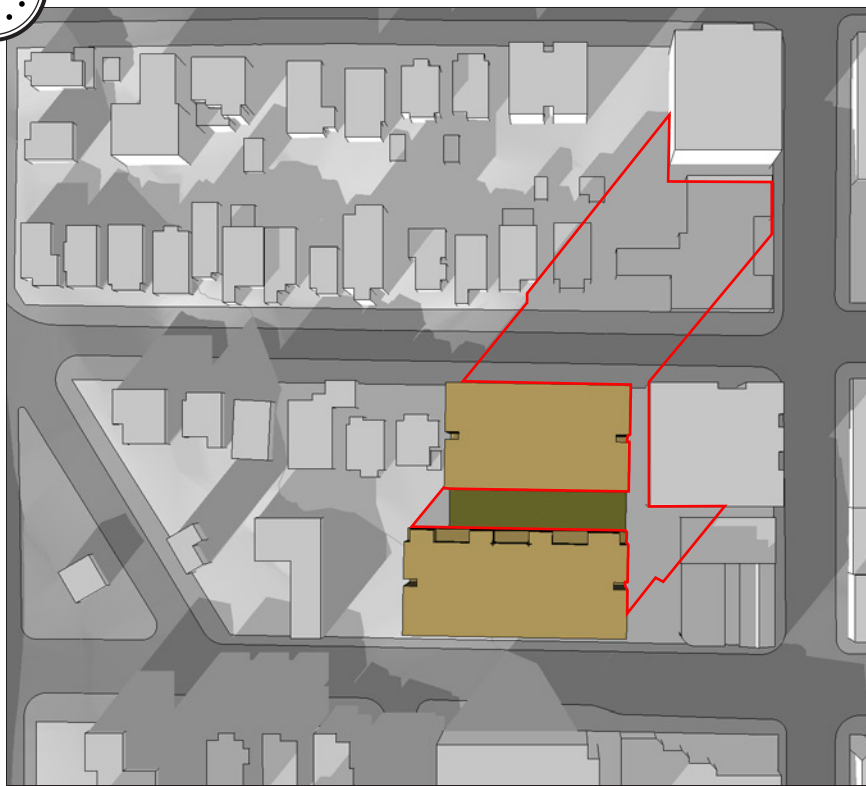
DESIGN PROPOSAL



noon



3:00 pm

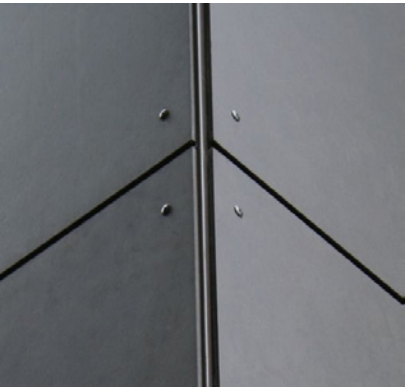


ZONING ENVELOPE





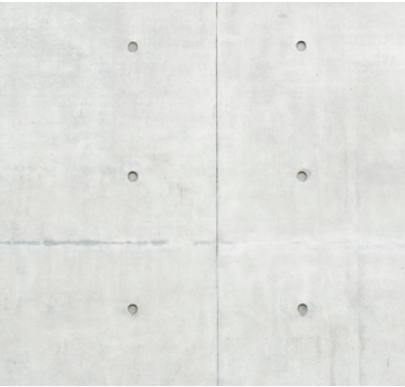
Design Proposal: Exterior Finish Materials



Smooth Fiber Cement Panel



Ipe Screen



Cast-in-Place Concrete

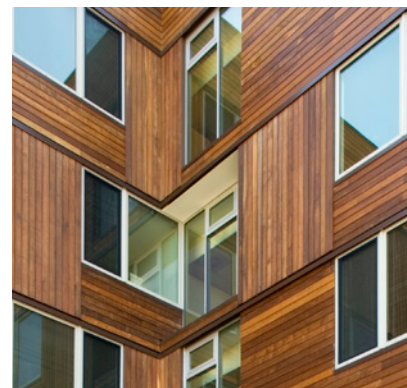


Black Storefront
Cedar / Steel Canopies

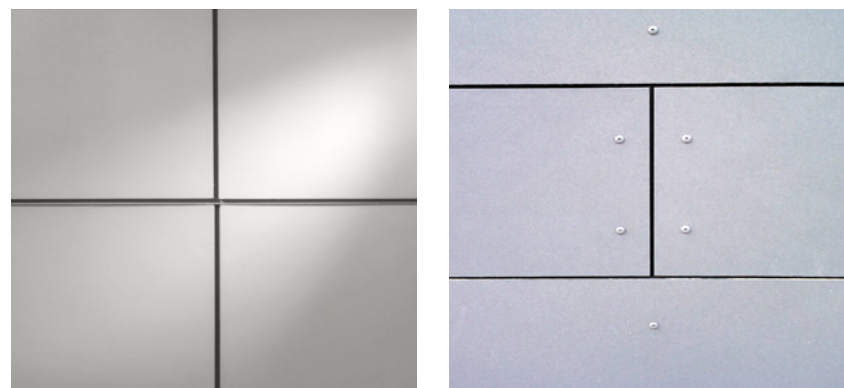
Vinyl Window



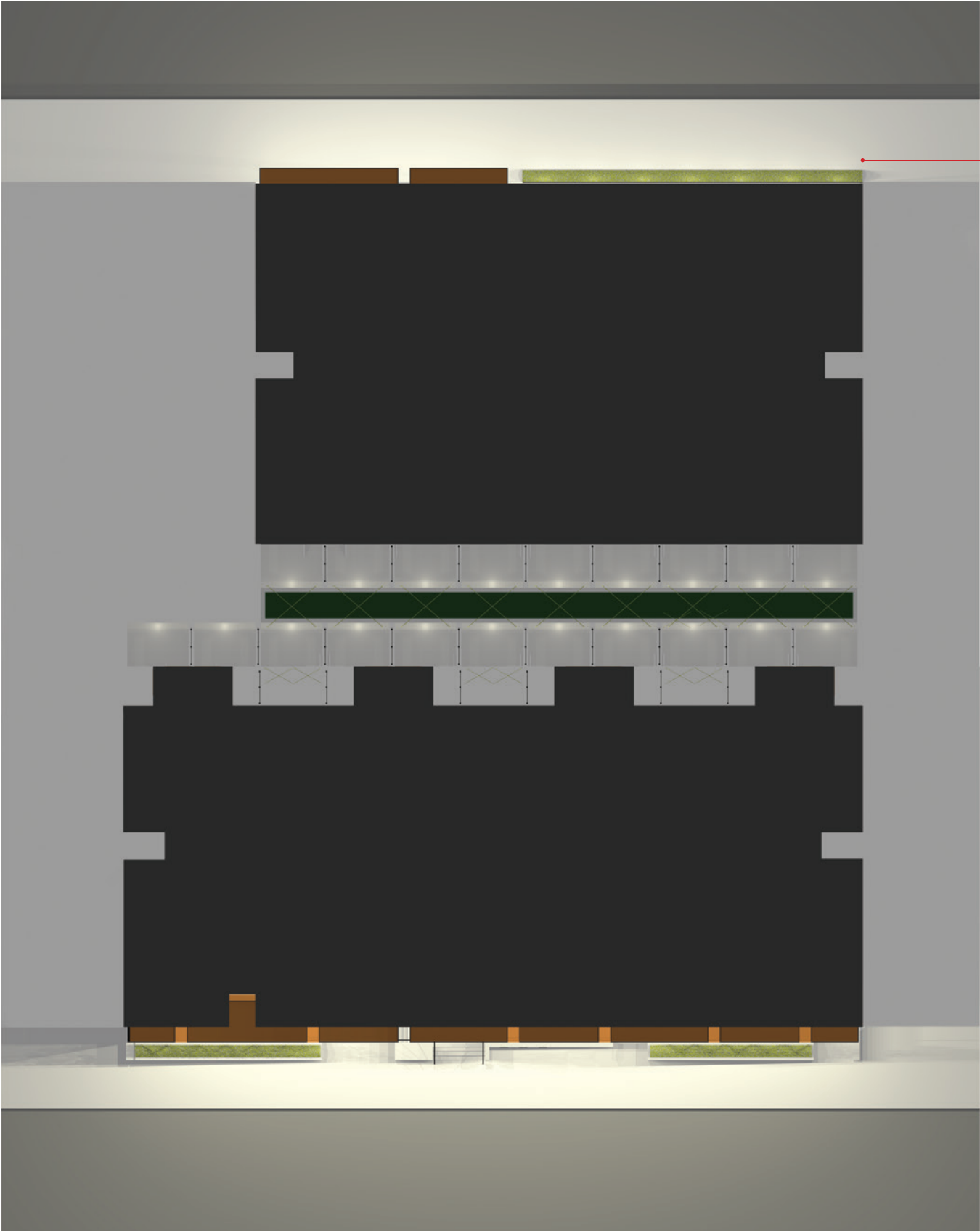
Wood Slat Panels



Smooth Fiber Cement Panel



Design Proposal: Lighting + Signage Strategies



Exterior lighting will be shielded and directed away from adjacent residential uses per SMC 23.47A.022

Evening Site Plan



Evening View along NE 65th Street


shaperlighting.com



682-WP SERIES

Exterior Wall Luminaire
"Floating" Wedge



**ARRA**

Shaper Lighting certifies that its products satisfy the requirements of Section 1605 of the American Recovery and Reinvestment Act (also known as the ARRA Buy American provision).

**DARK SKY**

Shaper offers a selection of exterior luminaires that are "Dark Sky Compliant". The IESNA (Illuminating Engineering Society of North America) defines Full Cut-Off as fixtures with light distributions of 0% candela at 90° and 10% at 80°. Full Cut-Off luminaires carry the endorsement of the International Dark-Sky Association (IDA) for their effectiveness in limiting the detrimental effects of sky glow, also referred to as "Light Pollution". Many exterior luminaires offer a clear, tempered glass option that meets the IES criteria for Full Cut-Off.

**QUICK SHIP (QS)**

Shaper's Quick Ship program features over thirty-four fixtures with finish options such as Satin Chrome, Natural Aluminum and Satin Brass, and a wide variety of lamp selections. All products ship in five days from receipt of order.

**SUSTAINABLE DESIGN**

Shaper has a long-standing history of offering environmentally friendly fixtures. The copper and bronze alloys used in our exterior luminaires feature up to 90% recycled content, contribute less undesirable air emissions compared to painted aluminum and are easy to recycle.

WINSCAPE™ Project _____

AspenLED • 12V LED 16

flood & accent



QUICK FIND # QF-3

WINSCAPE™ Project _____

Gem LED • 12V LED 16

architectural



QUICK FIND # QF-66

winlineLED Project _____

winline surface linear 207W/209W/21



adjustable mount fixed mount

GRAFIT WL



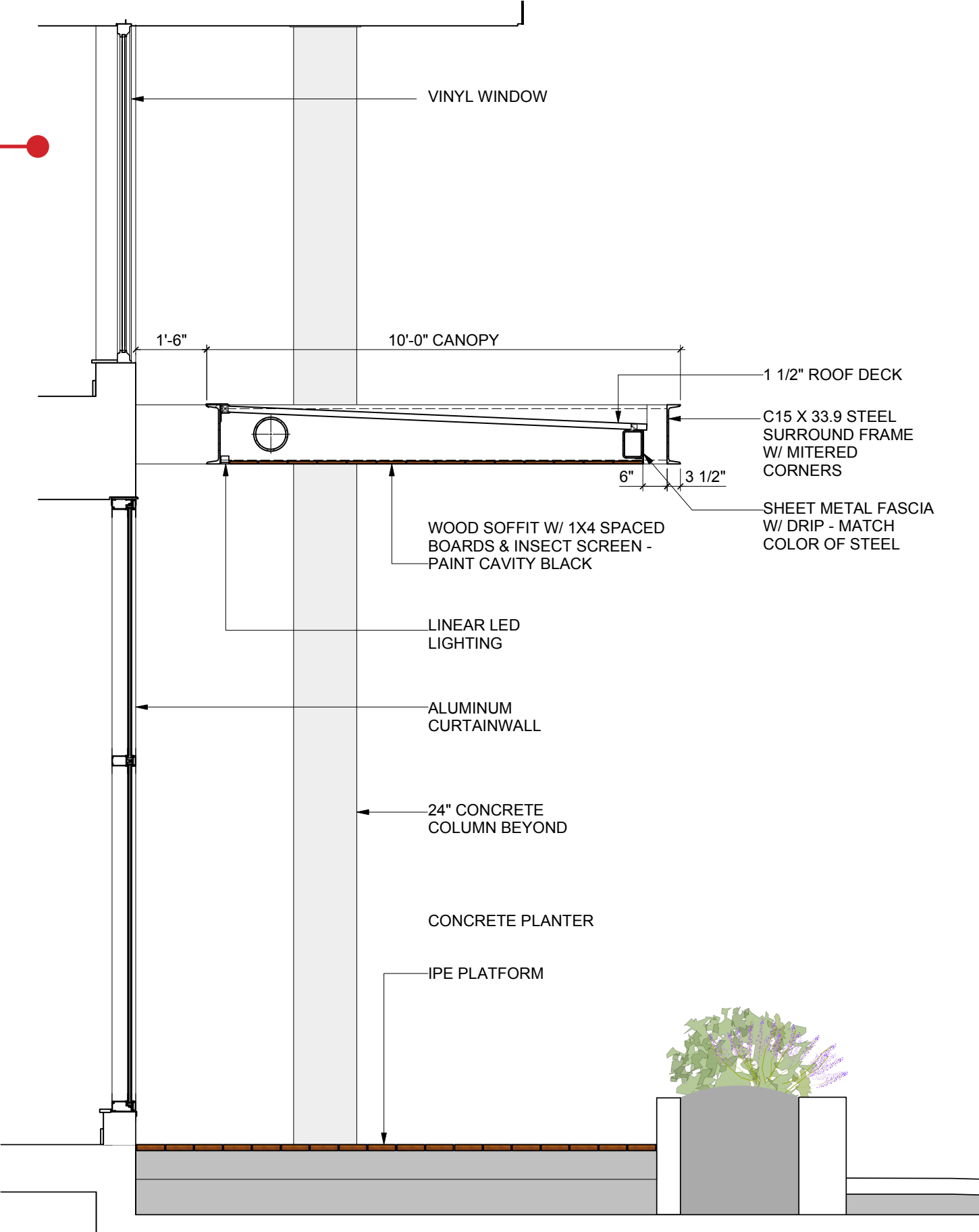
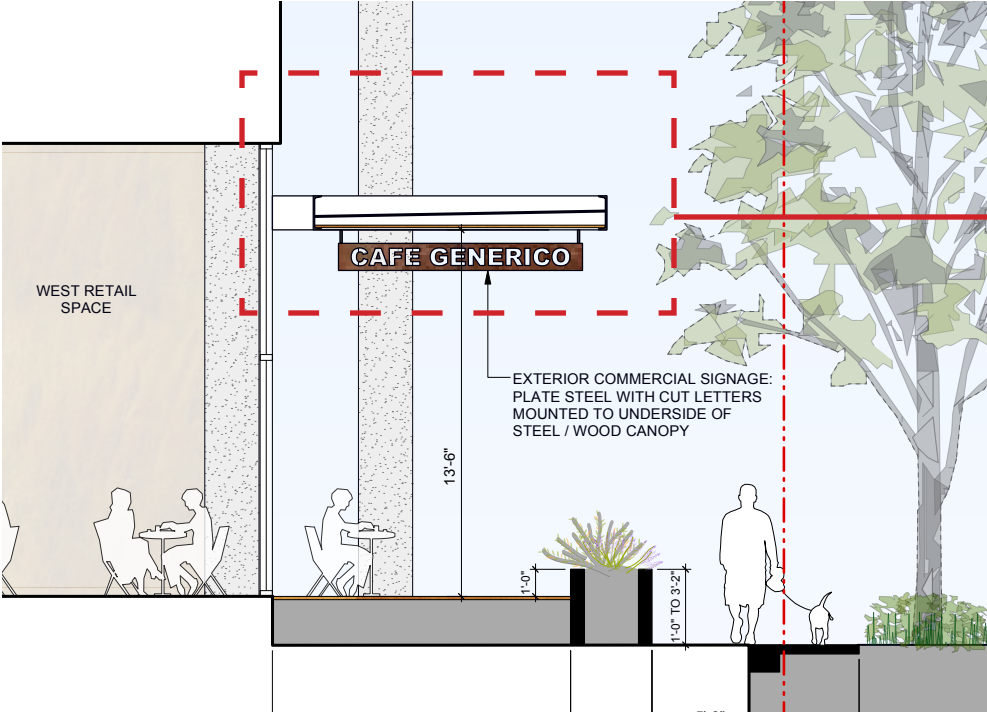
SLV®



Recessed wall luminaires with directed light



Design Proposal: Signage Strategy



Commercial Signage + Imagery



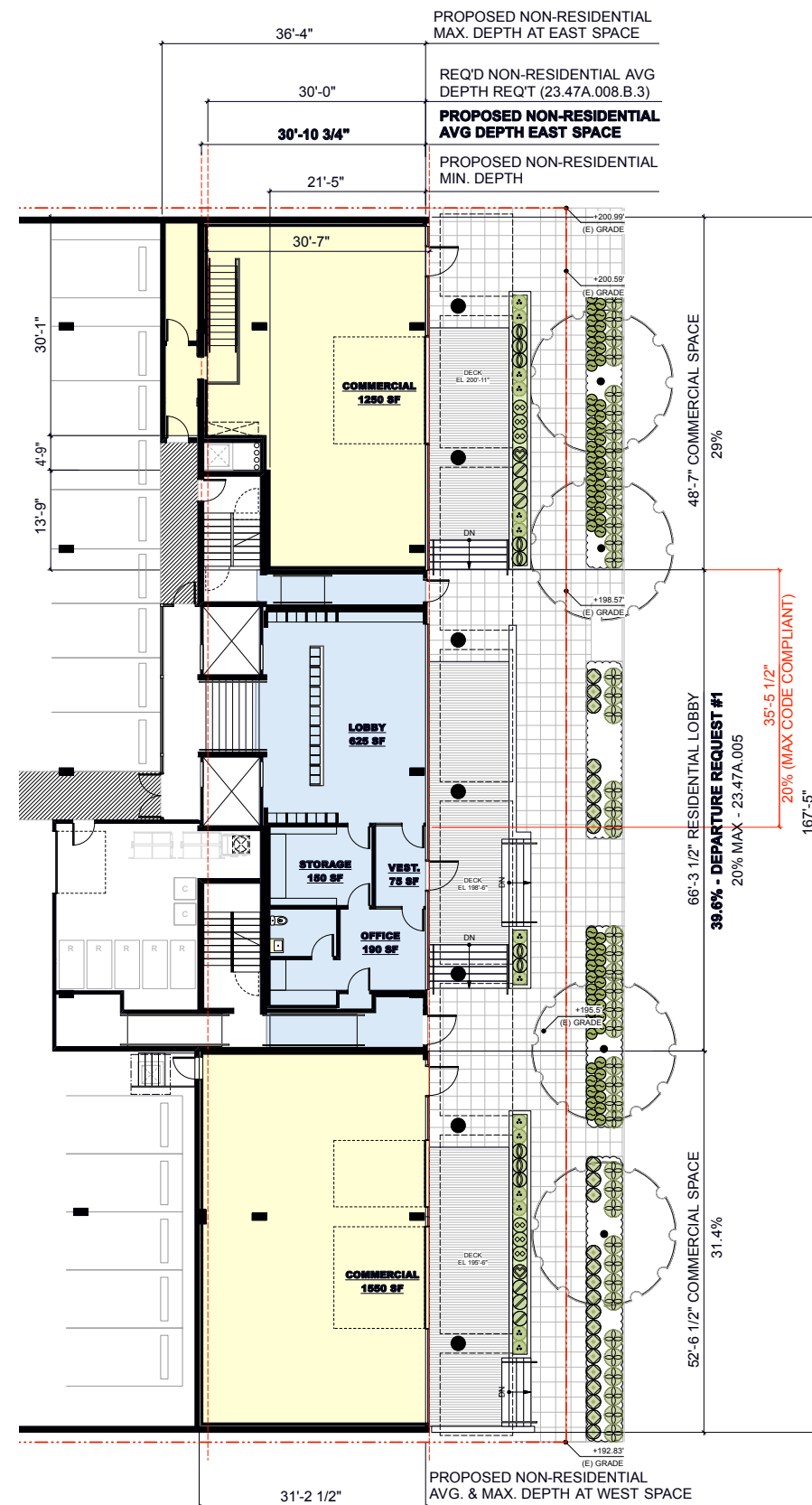
Residential Imagery + Signage



NE 65th Street Lobby Feature Wall

DEPARTURE #1

EXPLANATION:
Prominent residential lobby, mail and leasing office are desired in the building and per Design Guideline A-3. Non-commercial use is mitigated by 2-story tall commercial spaces on street level street-facing facade.



Pedestrian experience and lower level retail on NE 65th Street

DEPARTURE #4

LAND USE CODE REQUIREMENT:

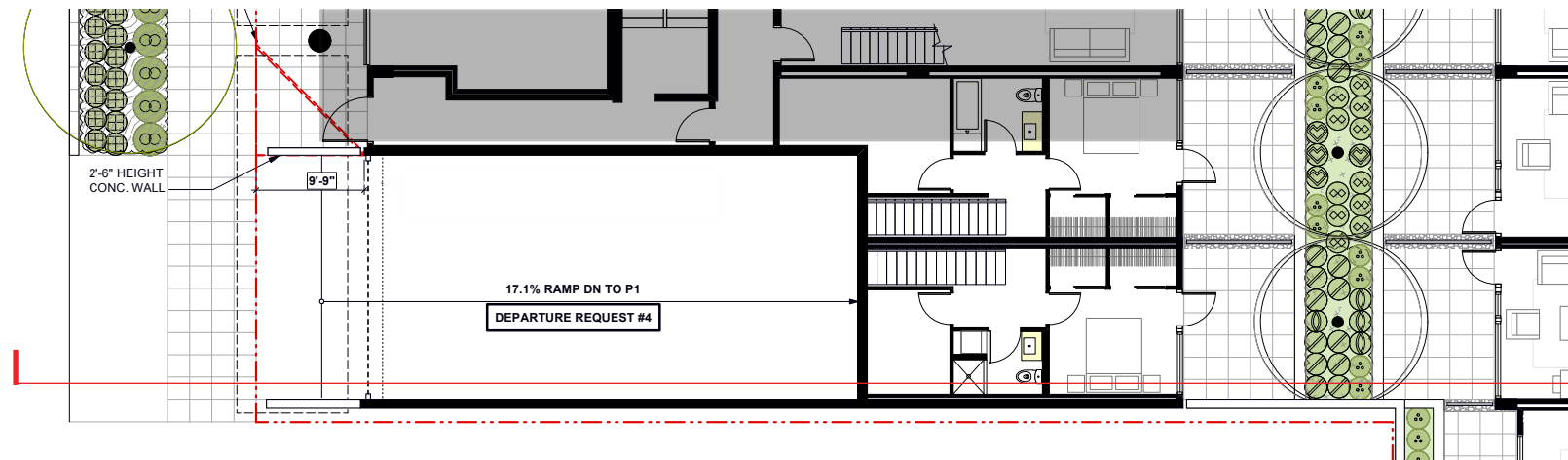
23.54.030.D.3 Driveway Slope. No portion of a driveway shall exceed a slope of 15%.

PROPOSAL:

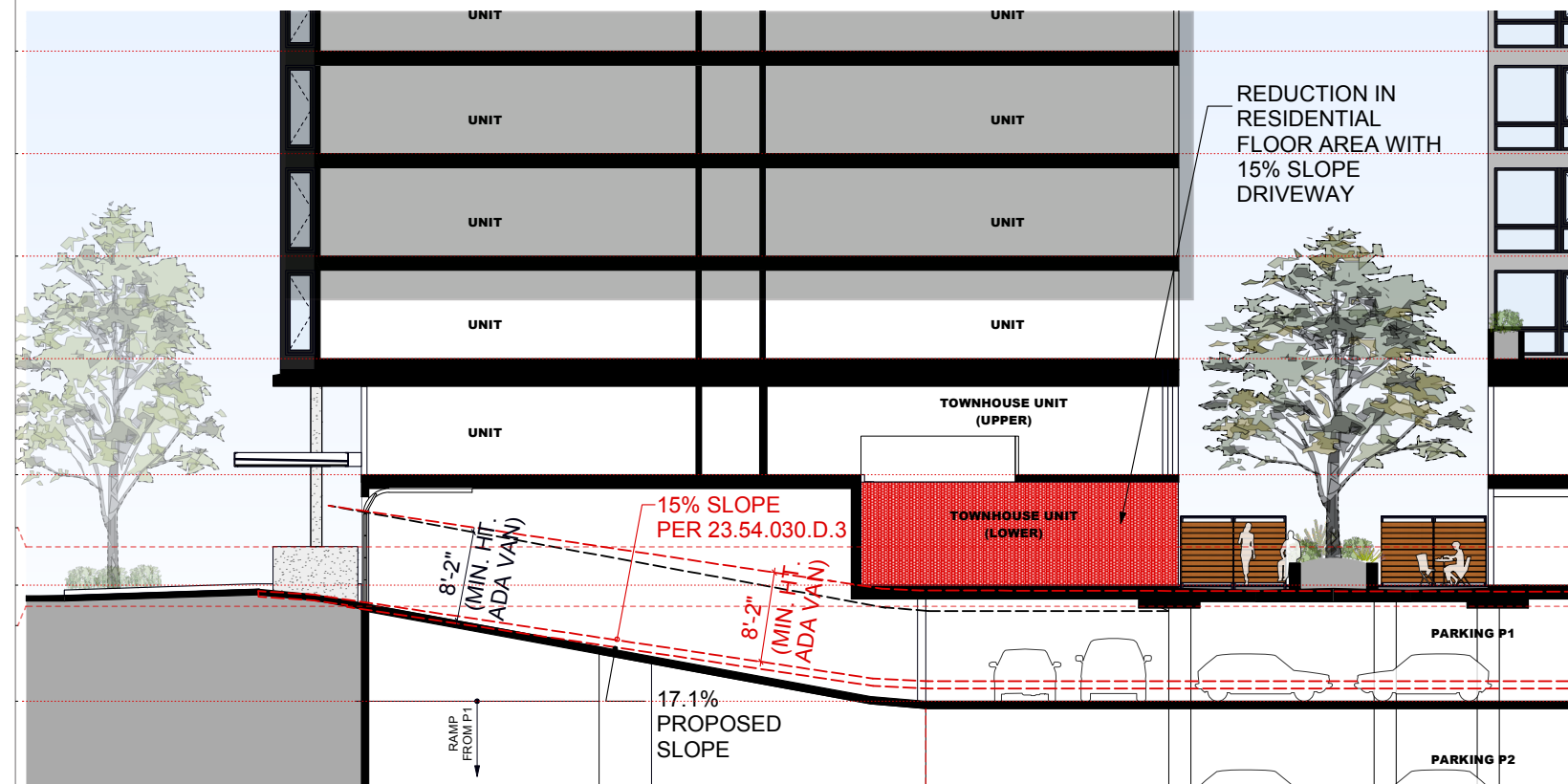
17.1% slope between the crest and the sag.

EXPLANATION::

Locating the driveway on NE 66th Street (at a higher elevation than NE 65th Street) requires the parking ramp to steepen in order to accommodate street level uses along NE 65th Street and maximize residential density.

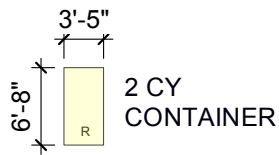
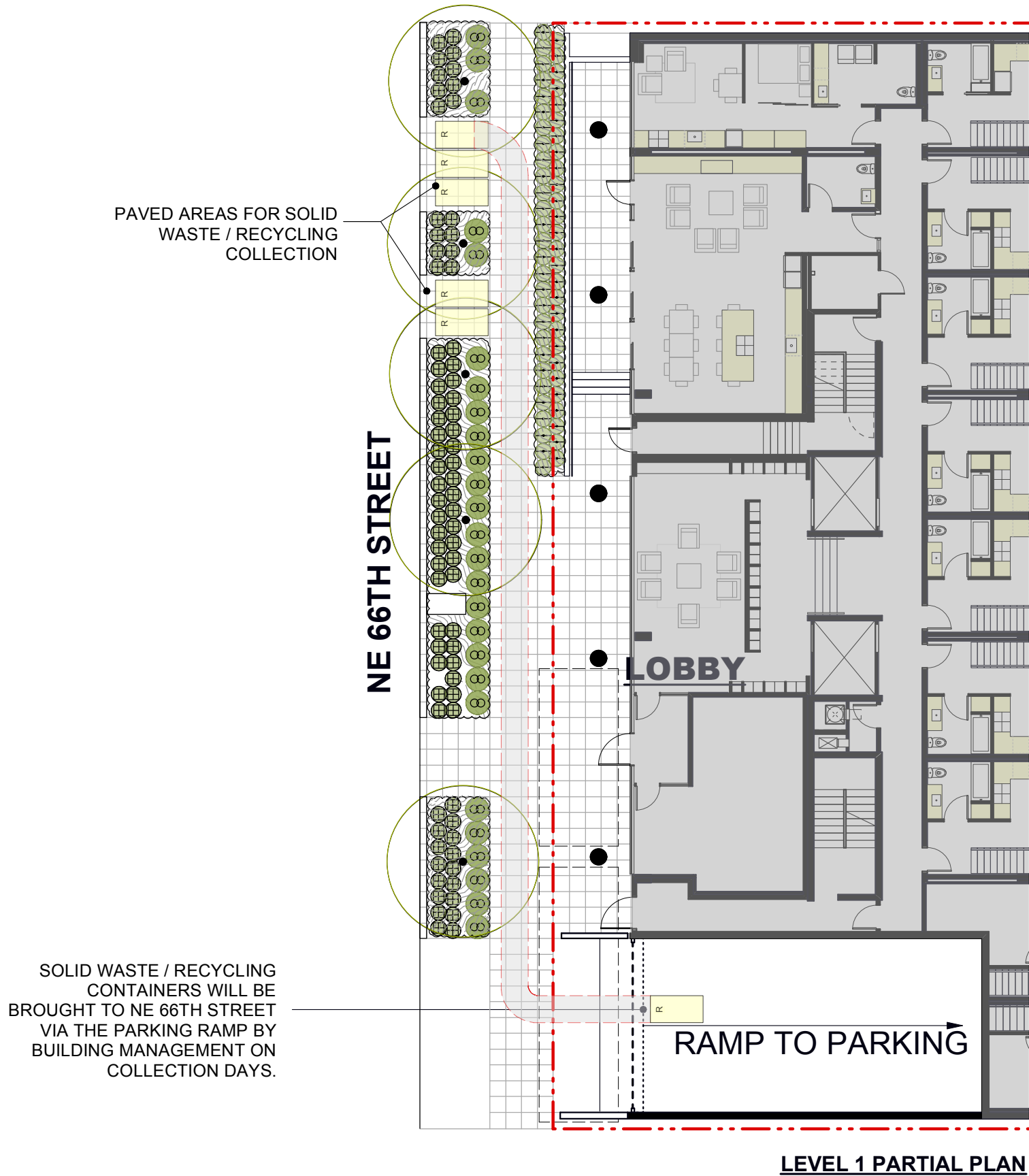


PARTIAL PLAN (NE 66TH ST LEVEL)



SECTION THROUGH DRIVEWAY

Design Proposal: Solid Waste Collection Strategy

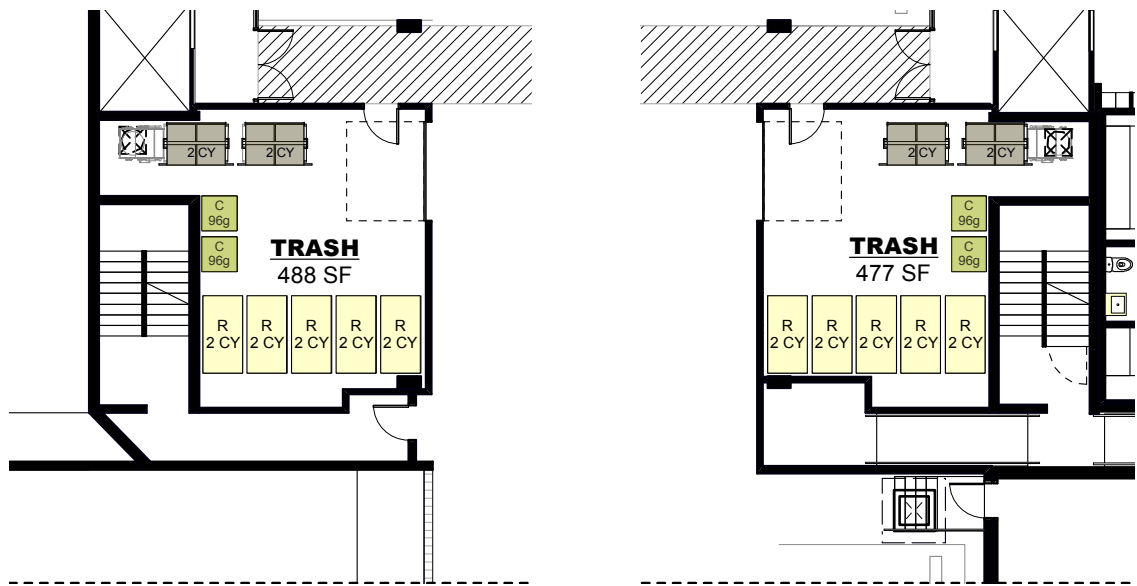


SOLID WASTE AND RECYCLING CAPACITY CALCULATIONS:

RESIDENTIAL SOLID WASTE (197 UNITS):			
QTY	CONTAINER SIZE	SERVICE	COLLECTION FREQUENCY
5	2-CY	RECYCLING	2 / WEEK (TOTAL 20 CY / WEEK)*
3	2-CY	COMPACTED GARBAGE	1 / WEEK
2	96-GAL	COMPOST	1 / WEEK

COMMERCIAL SOLID WASTE (2 SPACES TOTTALLING 3,000 SF):			
2	96-GAL	RECYCLING	1 / WEEK
1	96-GAL	GARBAGE	1 / WEEK
1	32-GAL	COMPOST	1 / WEEK (NON-RESTAURANT)
1	96-GAL	COMPOST	1 / WEEK (SMALL RESTAURANT)

*RECYCLING AND GARBAGE COLLECTED ON DIFFERENT DAYS. RESIDENTIAL RECYCLING IS THE LARGEST NO. OF CONTAINERS TO ACCOMMODATE AT ANY GIVEN TIME.



Representative Projects

Weinstein A|U is recognized as one of the Northwest’s leading design firms and has continually demonstrated design excellence on a broad array of projects for State, City, Federal, private, and not-for-profit clients. We are passionate about our city and the shaping of its urban neighborhoods through the integration of architecture and urban design is central to our practice.

Well-designed and thoughtful urban housing is a special concern of ours, and we have worked aggressively to advance the expectations of mixed-use projects in Seattle, both technically and aesthetically. While each project presents very specific challenges, a number of recurring themes inform much of our work and form the basis of our approach to housing design:

- All of our buildings are situational and are inseparable from their sites. They sit comfortably amongst their established neighbors, drawing from established precedents while looking to the future
- Well-designed unit plans are essential to the success of a housing project. While the functionality of each unit type is important, the organization of units across a floor plate and their influence on building elevations is equally important
- Appropriately located and proportioned open space is a significant design determinant for most mixed-use and urban housing projects
- We avoid arbitrary façade embellishment. Instead we utilize the organization of individual units and their aggregation to establish the pattern and rhythm of multi-family facades that is furthered informed by site organization and orientation. Plans correlate to elevations and variation occurs within an established system
- The constrained budgets for typical mixed-use projects demand careful consideration of a project’s primary orientation and configuration to provide cost effective sustainable design strategies
- The scale and proportion of new mixed-use buildings must address, but need not directly reflect, those of adjacent structures. Plan, section, and elevation strategies should be integrated to provide a comprehensible “read” of the building’s composition and organization



1 (with Lake Union Partners)



2



3



4



5



6



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8



9

- 1 19th & Mercer, 526 19th Avenue East
- 2 2026 E Madison Mixed-Use Building (un-built)
- 3 Willis Condos, 720 Queen Anne Ave N
- 4 Ventana at the Market, 2100 Western Ave
- 5 SCCA Patient House, 207 Pontius Ave N
- 6 Agnes Lofts, 1433 12th Avenue
- 7 Belroy Apartments, 703 Bellevue Ave E (under construction)
- 8 11th Ave Apartments, 1424 11th Avenue (un-built)
- 9 Banner Building, 2600 Western Avenue