

12TH AVENUE APARTMENTS
4106 12TH AVENUE NE & 1210 NE 41ST STREET



LOOKING EAST AT 12TH AVENUE NE AND NE 41ST STREET

EARLY DESIGN GUIDANCE
DPD #3013699

4302 SW ALASKA STREET
SEATTLE, WA 98116
206.933.1150
www.nkarch.com



PROJECT DESCRIPTION



SITE LOCATION

ADDRESS: 4106 12th Avenue NE and 1210 NE 41st Street
 DPD PROJECT #: 3013699
 OWNER: Triad Capital Partners
 APPLICANT: Nicholson Kovalchick Architects
 CONTACT: Tom Steidl - AIA, LEED AP

DEVELOPMENT OBJECTIVES

The property owner’s objective is to construct a new 7-story apartment building and basement with approximately 102-107 units. The project incorporates sustainable design strategies to achieve a LEED Silver or Built Green 4-Star rating. Consistent with the green density goals of an Urban Village Center, the project eliminates parking and encourages bicycle and transit use.

The project provides needed student housing within a 5 minute walk from the heart of campus and is immediately adjacent to multiple new dormitory buildings being constructed by the University of Washington. This building will be a positive addition to a student housing hub that is developing right next to campus.

PROJECT PROGRAM

Number of Residential Units:	Approximately 102-107
Number of Parking Stalls:	None
Area of Residential Uses:	Approximately 38,000-39,000 sf
Area of Bike Parking	Approximately 800-1000 sf
Total Area:	Approximately 39,000-41,000 sf

EXISTING SITE

The site is composed of 2 tax parcels located at the corner of 12th Avenue NE and NE 41st Street. The parcel is rectangular and measures 80 feet wide by 103 feet deep with an alley to the rear. The site slopes towards the southwest with a change in grade of approximately 7 feet across the length of the site.

The site currently contains one existing apartment building containing 5 units.

ZONING AND OVERLAY DESIGNATION

The project site is within the University District Northwest Urban Center Village. The parcels are on the southern edge of an MR Zone that extends several blocks north, east and west and is flanked by zones designated NC3-65 and C1-65. A zone designated M10-105 starts directly to the south of the property and includes all the new dormitory development along NE Campus Parkway.

NEIGHBORING DEVELOPMENT

The proposed site is located within the University District, which is largely comprised of mid-size to large multi-family buildings, dormitory buildings and other University of Washington institutional developments as well as townhomes and single family homes. Additionally, there are several commercial pockets and streets located north and east of the project. University Way NE, which is located two blocks east of the project, is a major arterial with a variety of shops and eateries, and NE Campus Parkway is located only one block to the south of the project and is a hub for transit service between the U-District and Downtown. Interstate-5, the main north-south transportation corridor through Washington State, is located several blocks to the west. The site is within walking distance of the University of Washington and the proposed light rail station to be built at NE 43rd & Brooklyn.

The project site is located on a corner shared with two large dormitory buildings (Cedar & Elm Halls) recently completed by the University of Washington and the looming concrete structure of Condon Hall. The area to the south, across NE 41st, and to the east comprises many tall dormitory and institutional buildings associated with the campus. This area is near the primary neighborhood intersection of Campus Parkway NE and University Way NE; a major connection/entry point to campus. The site is at the transition between the new dormitory construction and a variety of low-rise apartment buildings from various eras and a scattering of single family homes. To the west, the area is hemmed in by major arterials, Eastlake Avenue NE, 11th Ave NE and Roosevelt Avenue. This neighborhood is bounded and bisected by many major arterials.

PARCEL #: 1142001585 & 1142001580
 ZONING: MR
 OVERLAYS: University District Northwest Urban Center Village
 LOT AREA: 8,240 sf

23.45.504 PERMITTED USES

Permitted outright: Residential

23.45.510 FLOOR AREA RATIO

Base FAR: 3.2
 Maximum FAR: 4.25
 * Maximum FAR per sustainable design and affordability incentives (SMC 23.45.516, SMC 23.45.526, SMC 23.58A.014)

23.45.514 STRUCTURE HEIGHT

Allowed Maximum Base Height: 60'-0"
 Maximum bonus height per incentives: 75'-0"
 * Maximum height bonus per sustainable design and affordability incentives (SMC 23.45.516, SMC 23.45.526, SMC 23.58A.014)
 - 4' additional allowed for parapets: 79'-0"
 - 15' additional allowed for stair penthouse: 90'-0"
 - 16' additional allowed for elevator penthouse: 91'-0"

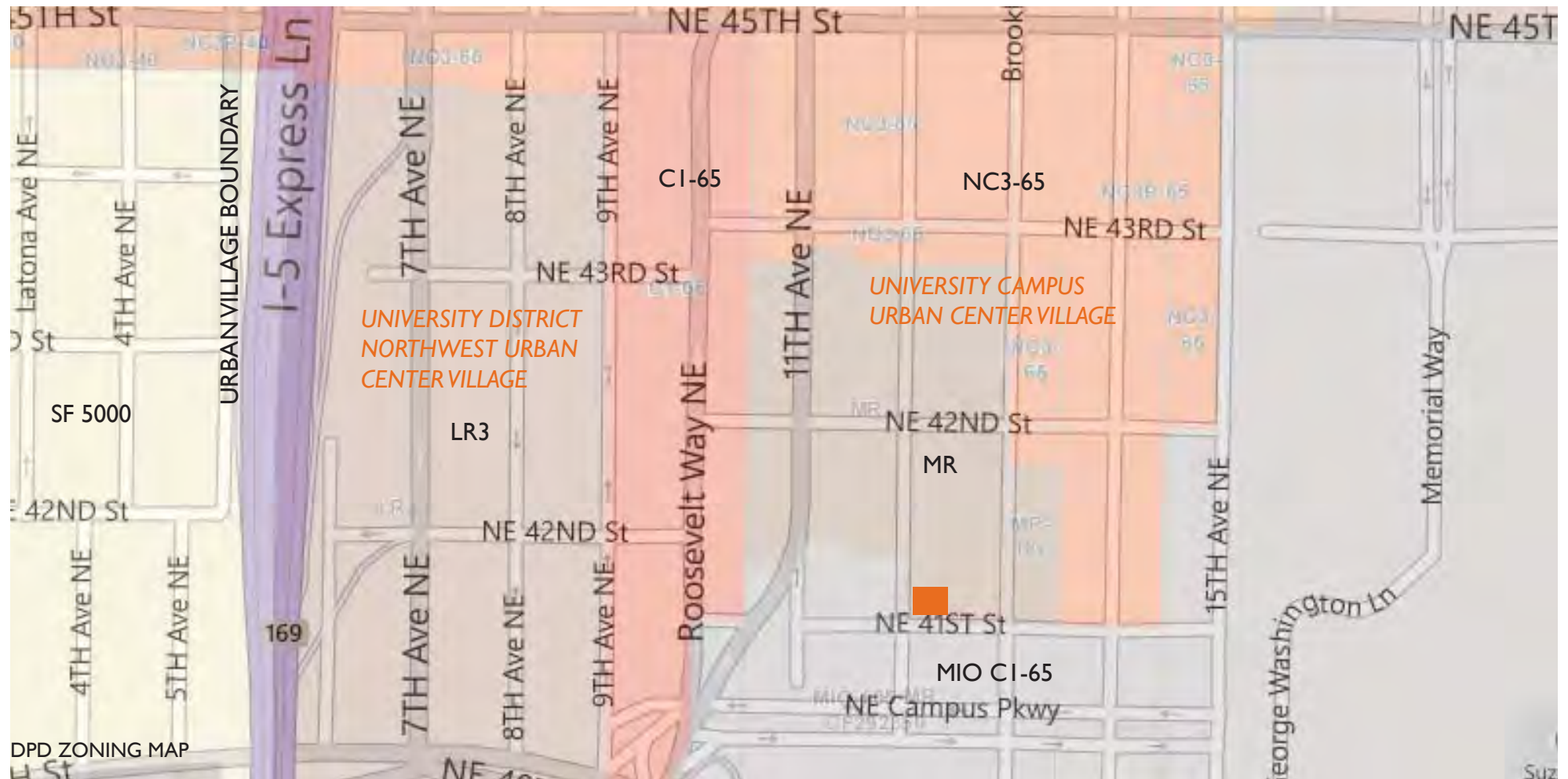
NOTE: ALL 3 PROPOSED SCHEMES ARE SEEKING THE FAR BONUS OF 4.25 AND ACCOMPANYING HEIGHT BONUS OF 75' FOR PROVIDING AFFORDABLE INCOME HOUSING AND MEETING LEED SILVER OR BUILT GREEN 4-STAR STANDARDS.

23.86.006 STRUCTURE HEIGHT MEASUREMENT

The height of a structure is the difference between the elevation of the highest point of the structure not excepted from applicable height limits and the average grade level ('average grade level' means the average of the elevation of existing lot grades at the midpoints, measured horizontally, of each exterior wall of the structure or at the midpoint of each side of the smallest rectangle that can be drawn to enclose the structure)

23.45.518 SETBACK REQUIREMENTS

Front setback:
 - 7' average, 5' minimum
 - No setback required if a courtyard abuts street, and the courtyard is minimum 30% width of abutting street frontage or 20' whichever is greater, and minimum 20' deep measured from street
 Rear setback:
 - 10' if abutting an alley
 Side setback from interior lot line:
 - For portions 42' high or less, 7' average setback and 5' minimum setback
 - For portions higher than 42', 10' average setback and 7' minimum setback
 Additional setbacks:
 - Cornices, eaves, gutters, roofs and other forms of weather protection



may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.

23.45.522 AMENITY AREA

Required: 5% of gross floor area in residential use
 Option 1: 5% X 38,250 sf = 1,913 sf required
 Option 2: 5% X 37,500 sf = 1,875 sf required
 Option 3: 5% X 38,500 sf = 1,925 sf required

General requirements:
 - All units shall have access to private or common amenity area
 - No more than 50% of the amenity area may be enclosed, and this enclosed area shall be provided as common amenity area
 - No minimum horizontal dimension for private amenity areas, except 10' at non-street side lot lines

Requirements for apartments, rowhouses, and townhouses:
 - No common amenity area shall be less than 250 sf in area, and common amenity areas shall have a minimum horizontal dimension of 10'
 - Min. 50% of common amenity area at ground level shall be landscaped
 - Seating, lighting, outdoor protection, art, et al. shall be provided
 - Common amenity area req'd at ground level will be accessible to all units

23.45.524 LANDSCAPING REQUIREMENTS

Green Factor score minimum 0.5 required

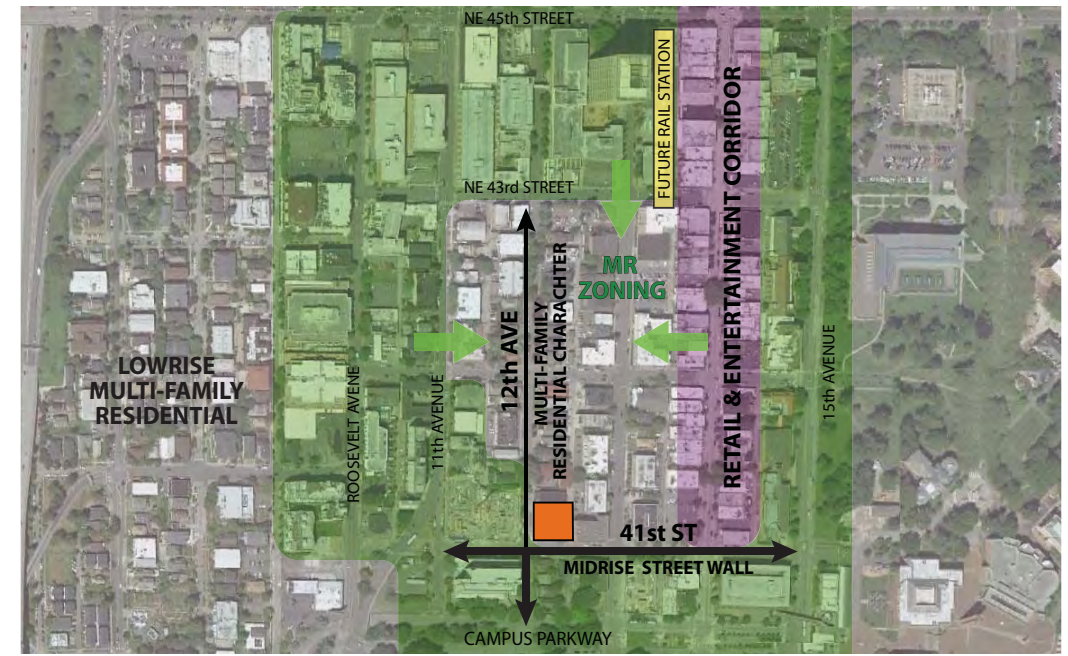
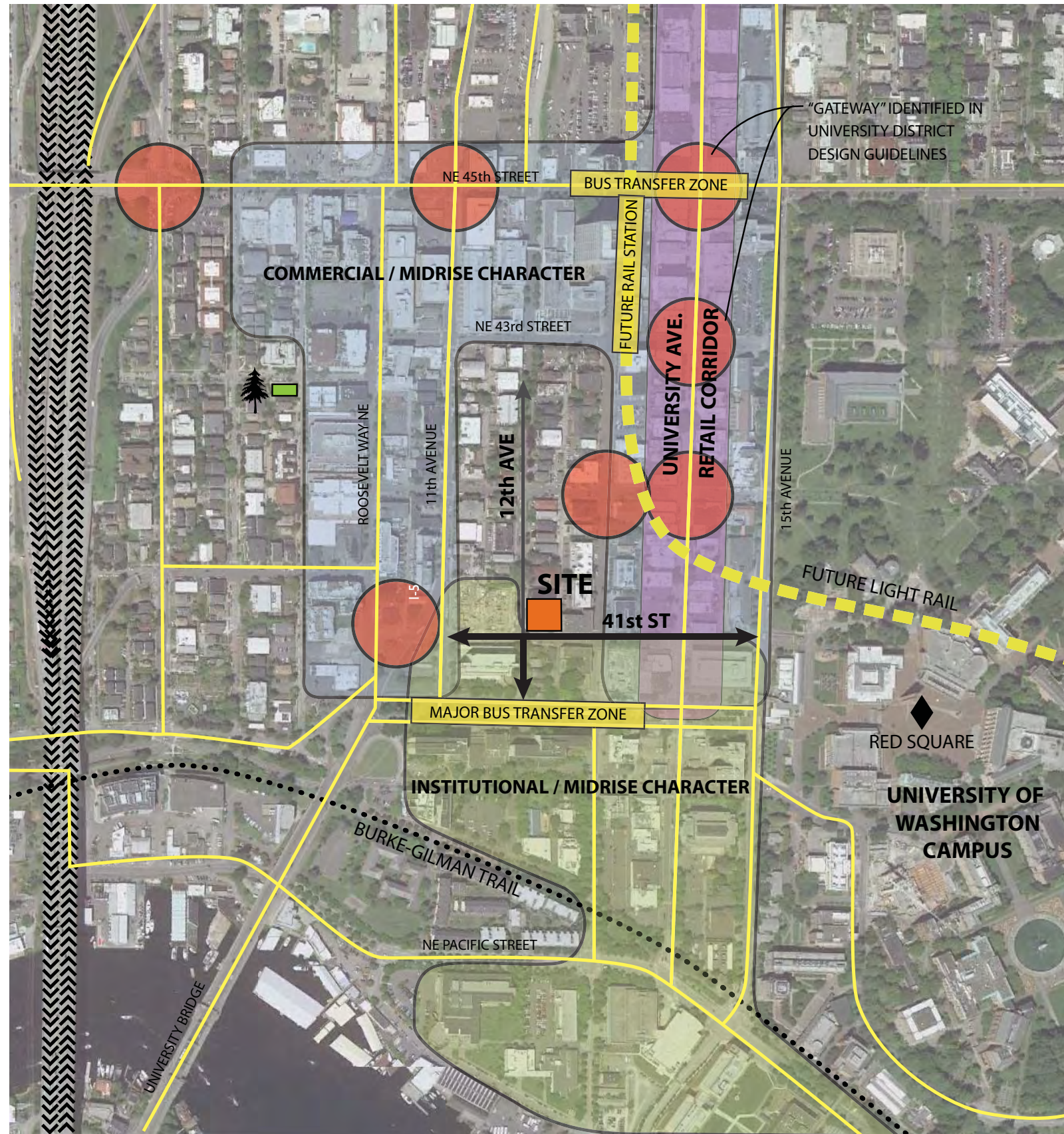
23.54.015 REQUIRED PARKING

No parking is required for uses in multi-family zones located in urban centers
 Bicycle long-term parking: 1 per 4 units.

23.54.040 SOLID WASTE & RECYCLABLE MATERIALS STORAGE AND ACCESS

More than 100 units:
 - 575 SF, plus 4 SF for each additional unit above 100
 - Min. storage area may be reduced 15% if min. horizontal dimension is 20'

REQUESTED DEPARTURE	OPTION 1	OPTION 2	OPTION 3 (PREFERRED)
#1 FRONT SETBACK			X
#2 REAR SETBACK (AT ALLEY)			X



DENSITY/MASSING TRENDS DIAGRAM

OPPORTUNITIES & CONSTRAINTS

Responding to Development & Zoning Trends

The project site is located in a rapidly changing area of the university district. The immediate neighborhood, roughly bounded by 41st St, 11th Ave, 43rd St and Brooklyn Ave, is characterized by an eclectic variety of student housing structures of various size and style. It is located in the heart of the University Urban Center Village and surrounded by midrise commercial and institutional uses. The project site is located at the southern edge of this pocket, directly across the street from two new 7-story UW dormitories and the 9-story Condon Hall. Located 1 block north of the multiple bus lines that stop along Campus Parkway and 2 blocks from the future light rail station, this immediate area has been identified for transit-oriented growth. The proposed project has the opportunity to further enhance this trend.

Contextual Matching of Building Massing & Street-Wall Condition

The adjacent 7-story UW dormitory projects are massed along the front property lines and create a strong street presence along NE 41st Street and briefly turning the corner and running north along 12th Ave NE. Further north along 12th Ave, the student apartment buildings and smaller in scale and are setback from the street edge. The project has the opportunity to help the transition from the strong street walls established by the new UW dorm buildings to the scaled-down apartment buildings to the north along 12th Ave NE.

Streetscape Character

While the new dormitory buildings to the west and south create a strong street wall condition, lower floors are recessed in certain areas. In addition, changes in materials and glazing are used to create interest along the street edge for passers-by. These dormitories feature large, glazed building entries at the corner as well as ground floor units, though they are raised slightly above street level. Immediately to the east, across the alley, a 4-story brick apartment building with ground-level units is built out to the property line along 41st Street as well. Along 12th Avenue to the north, ground floor units are more sheltered – setback from the street and screened by landscaping in many instances. The project has the opportunity to reinforce positive aspects of these adjacent projects – raised ground floor units along 41st and setback ground floor units along 12th Ave NE. Care should be paid to provide privacy for these units through landscaping and screening.

Responding to Demand

The project has the opportunity to provide affordable housing options w/ valued amenities (kitchenette, washer dryer, private individual units) that are in high demand by students and full-time residents of the U-District. These tenants often covet secure, covered bike parking and projects located in close proximity to multiple transit options over automobile parking. They also seek amenities that matter: roof deck & courtyard open areas that provide a sense of communal gathering and/or retreat over in-building amenities such as fitness centers with the university's facilities so close by.

IMMEDIATE SITE CONTEXT



① CEDAR APARTMENTS EAST (UW)



② LOCKE APARTMENTS



③ CAMPUS APARTMENTS



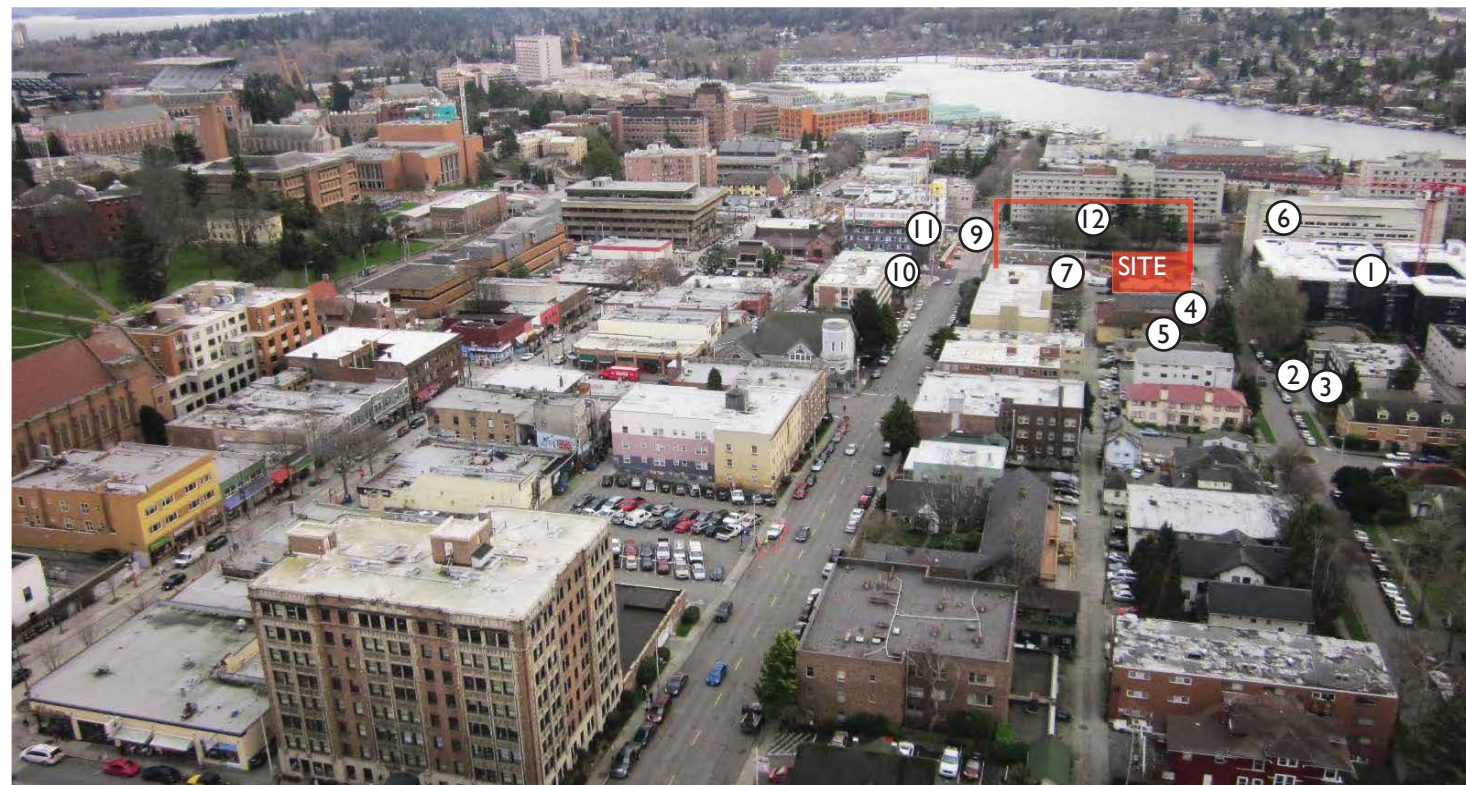
④ DEL CAPRI APARTMENTS



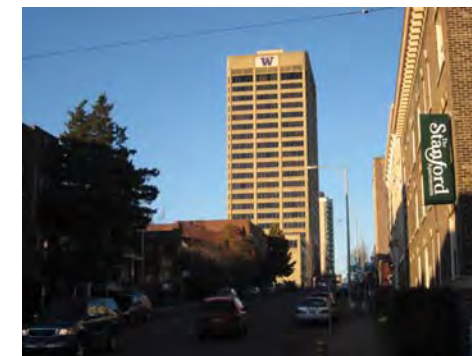
⑤ CASA DEL REY APARTMENTS



⑥ CONDON HALL (UW)



⑦ THE LEVERE APARTMENTS



⑧ UW TOWER



⑨ CAMPUS PARKWAY



⑩ VILLA CAMINI APARTMENTS



⑪ POPLAR HALL DORMITORY (UW)



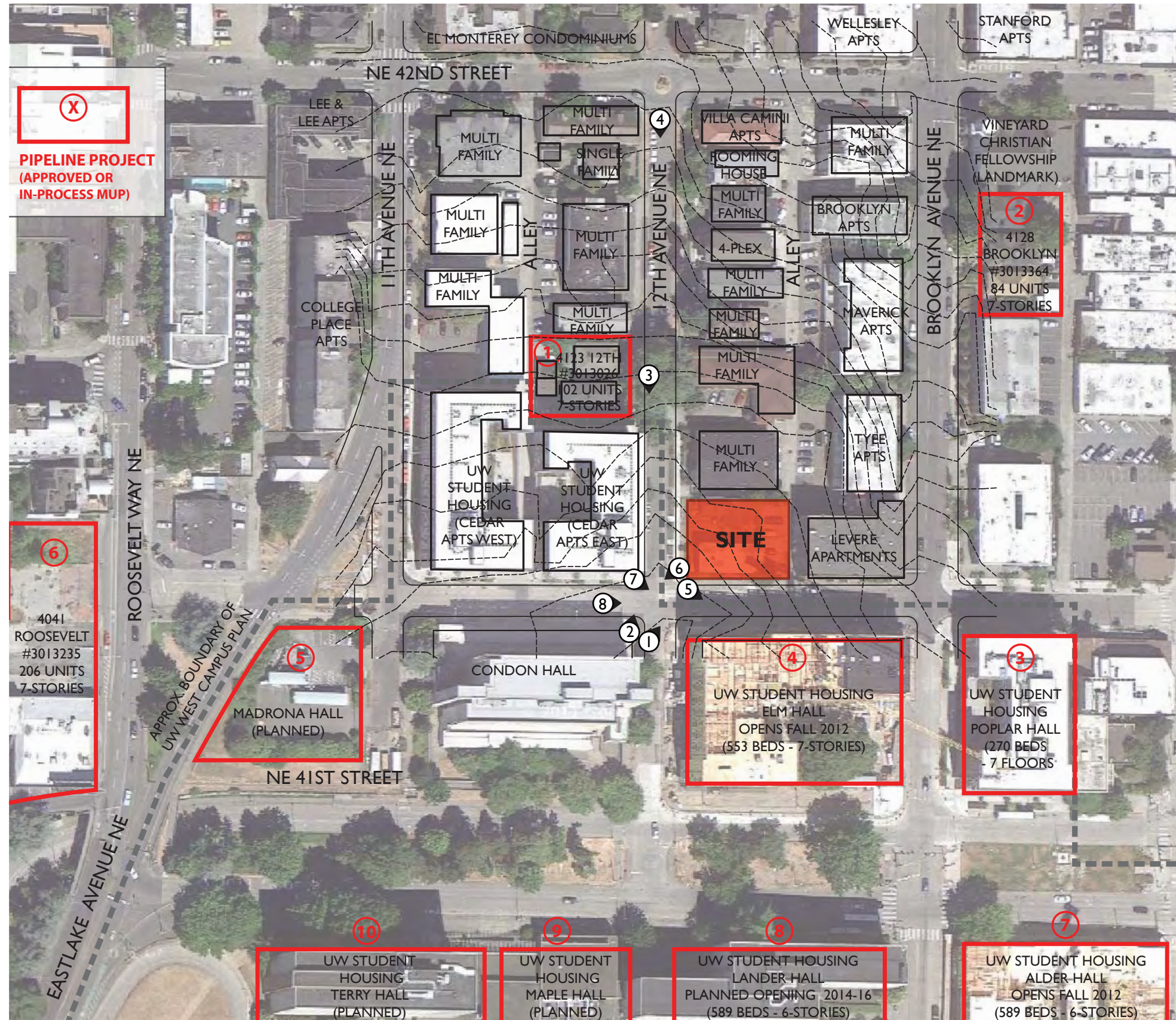
⑫ ELM HALL DORMITORY (UW)
(NOT SHOWN IN AERIAL VIEWS)

VIEWS SOUTHWARD FROM UNIVERSITY OF WASHINGTON TOWER (FORMER SAFECO TOWER) AT 45TH & BROOKLYN

12TH AVENUE APARTMENTS - DPD #3013699

EARLY DESIGN GUIDANCE

EXISTING SITE PLAN



① SOUTHWEST CORNER OF PROJECT SITE



② LOOKING NORTH UP 12TH AVENUE NE



③ LOOKING SOUTH ALONG 12TH AVENUE NE



④ LOOKING SOUTH ALONG 12TH AVENUE NE



⑤ LOOKING WEST ON NE 41ST STREET FROM PROJECT SITE



⑥ CONDON HALL FROM PROJECT SITE



⑦ ELM HALL



⑧ LOOKING EAST ALONG NE 41ST STREET

RELEVANT DESIGN GUIDELINE PRIORITIES

* Denotes Relevant 'University Community Design Guideline' Priorities

- A-2* Streetscape Compatibility
 - Re-inforcing pedestrian streetscape established by recently completed UW dormitory projects.
- A-3* Entrances Visible from the Street
 - Building entrances visible from the street encouraging pedestrian interaction.
 - Residential entries promote visual access and security.
- A-7* Residential Open Spaces
 - The preferred project proposal provides an exterior landscaped courtyard and building entry at the street corner in addition to landscaping fronting both streets and the alley.
 - Additional sideyard setbacks along the northerly property line increase privacy and reduce visual impacts to neighboring properties.
 - Ground-level open space will provide a landscaped front yard, providing a transition between public and private realms.
 - Rooftop decks will integrate sustainable landscape design elements.
- A-10* Corner Lots
 - The preferred scheme creates a prominent building massing at the street corner above a landscaped, double-height entry plaza.
 - The building massing above will be articulated and differentiated from the rest of the building to create a “distinguishable” element.
- B-1* Height, Bulk, and Scale Compatibility
 - The midsize scale of project provides a transition from the massive dormitory buildings to the south and the lowrise buildings to the north.
 - Building massing responds to street-front massing of recently completed UW dormitory buildings across street.
- C-4* Exterior Finish Materials
 - Project materials will be durable and attractive.
- D-1* Pedestrian Open Spaces and Entrances
 - Pedestrian entry ways will link the building to the sidewalk and will provide personal safety.
 - Ground level open space provided will improve the quality of the pedestrian environment.
- E-2 Landscaping to Enhance the Building and/or Site
 - Landscape design will enhance the character of the building and link the project to the neighborhood.
 - By setting back the lower two floors along NE 41st St and providing a deep planing strip along 12th Ave NE and the Alley

STREETSCAPE



① 12TH AVENUE LOOKING WEST



MONTAGE KEY MAP



② 12TH AVENUE LOOKING EAST



③ ALLEY LOOKING WEST



④ ALLEY LOOKING EAST

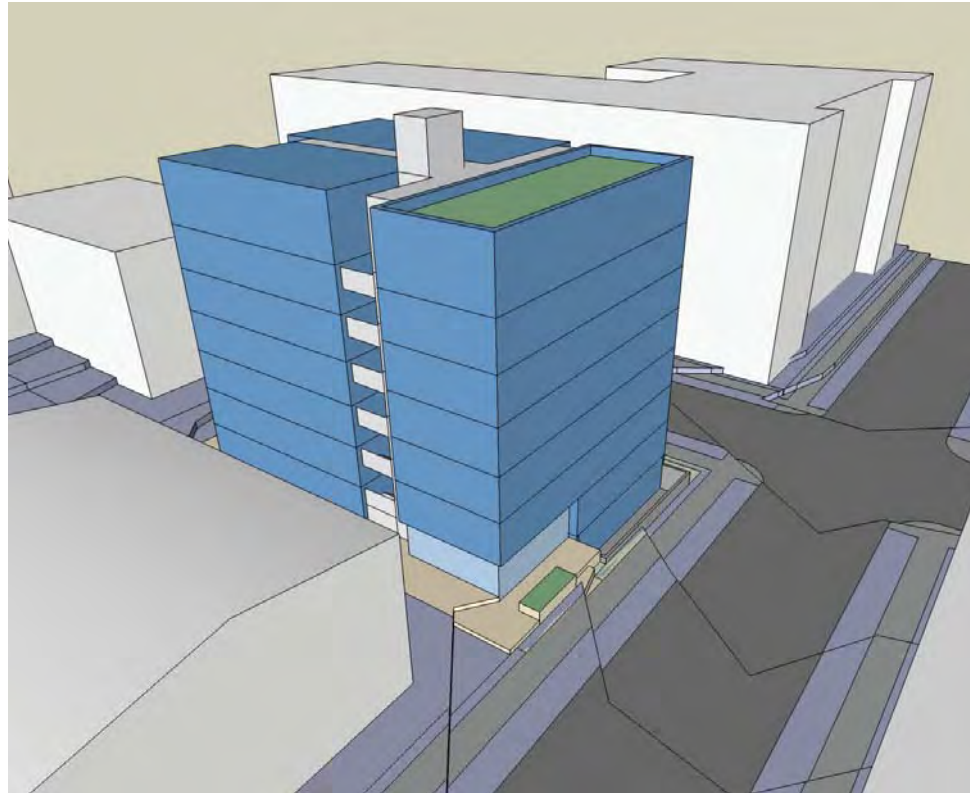


⑤ 41ST LOOKING NORTH



⑥ 41ST LOOKING SOUTH

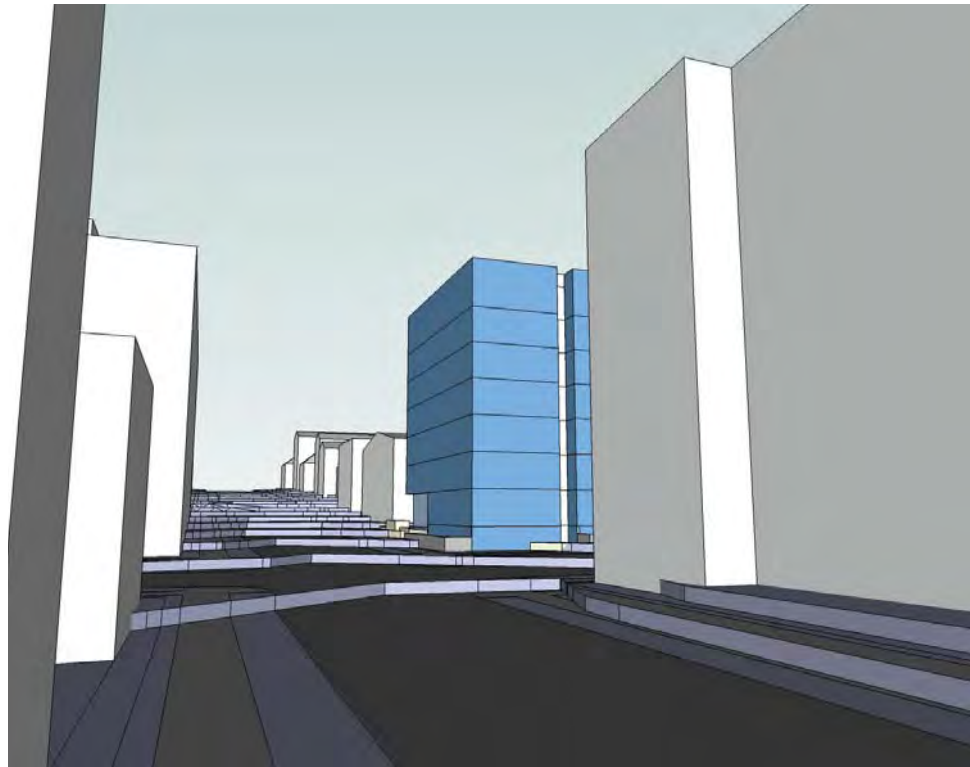
OPTION I (CODE COMPLIANT)



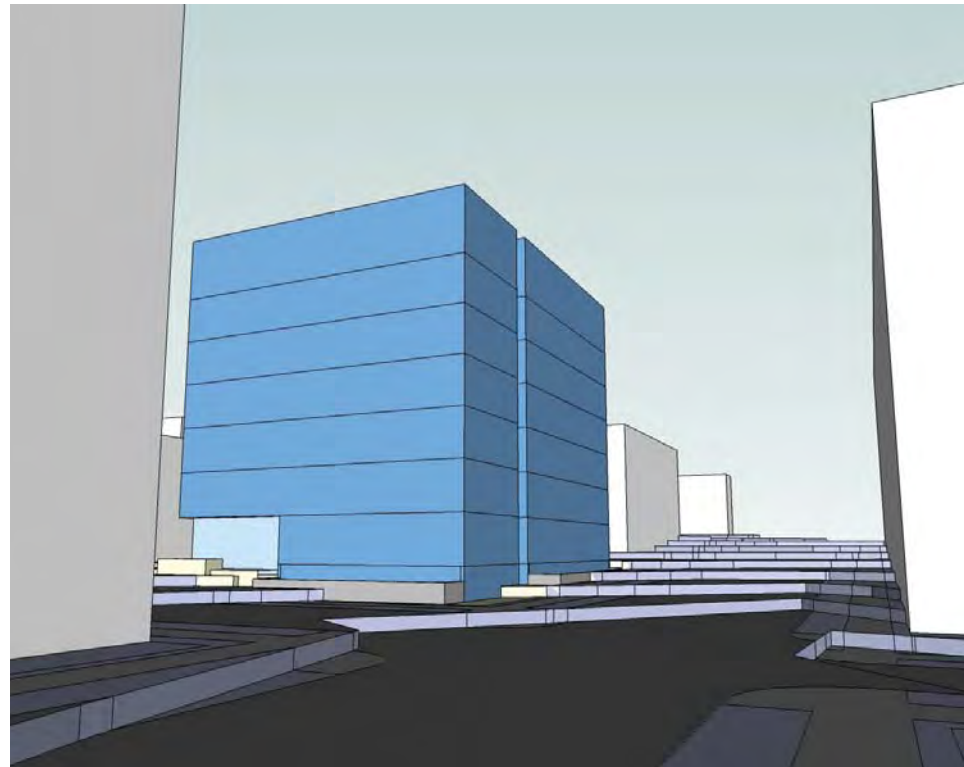
AERIAL VIEW: LOOKING SOUTHEAST FROM ABOVE SITE



AERIAL VIEW: LOOKING NORTHWEST FROM ABOVE SITE



STREET VIEW: LOOKING NORTH ALONG 12TH AVENUE



STREET VIEW: LOOKING NORTHWEST ALONG 41ST

DISTINGUISHING FEATURES

- Utilizes FAR and height bonus in MR zones by meeting LEED Silver (or equivalent) performance standards and low income housing standards.
- **102 units.**
- Building massed into 3 bars of units; interior corridors used to separate bars & brought to exterior of the building to provide natural light and ventilation.
- 8 partly below grade units with light wells and small patios fronting streets.
- Bike parking & additional resident storage stalls in basement.
- Roof top deck provided for amenity space.
- Building entry off of 12th Ave NE at NW corner of site.

PROS

- Scheme does not rely on any departures.
- Parti orients a significant number of units towards street.
- Repeated unit module at building front offers interesting opportunities for facade patterning.
- Views from roof deck (and from corridor of upper floors) towards Portage Bay
- Entry provided at grade from NE 41st St for bike riders to access bike parking on lower level without using elevator.

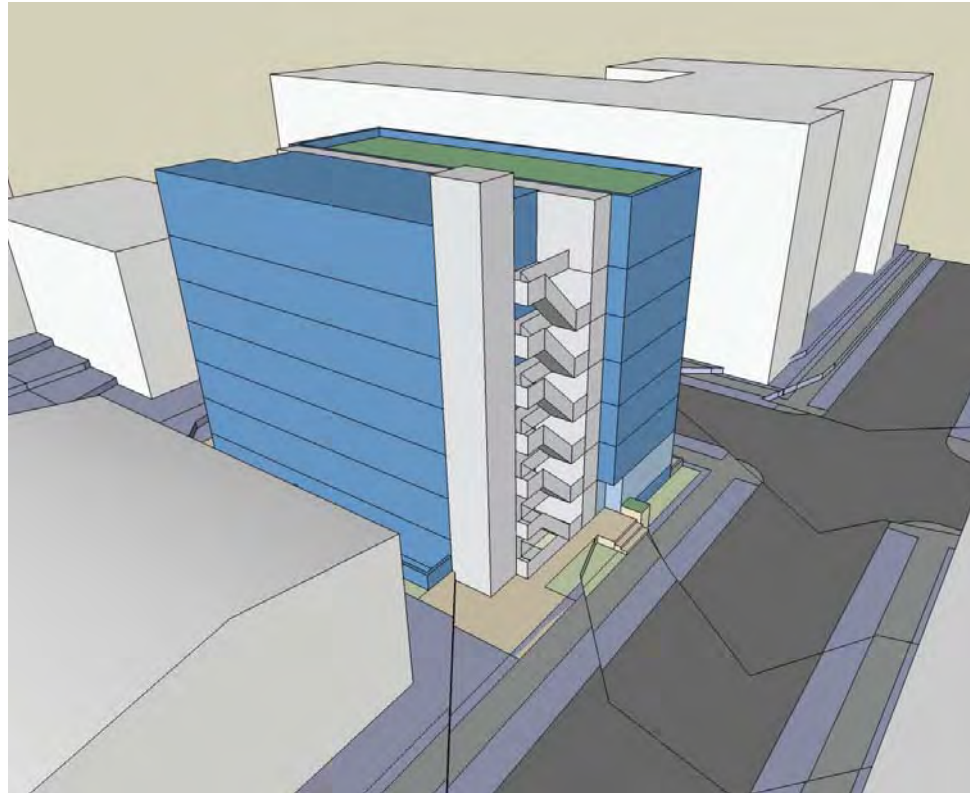
CONS

- Sunken patios of partially below-grade units face street, limiting privacy unless suitable screening is provided.
- Corner is not primary point of building entry.

REQUESTED DEPARTURES

- None

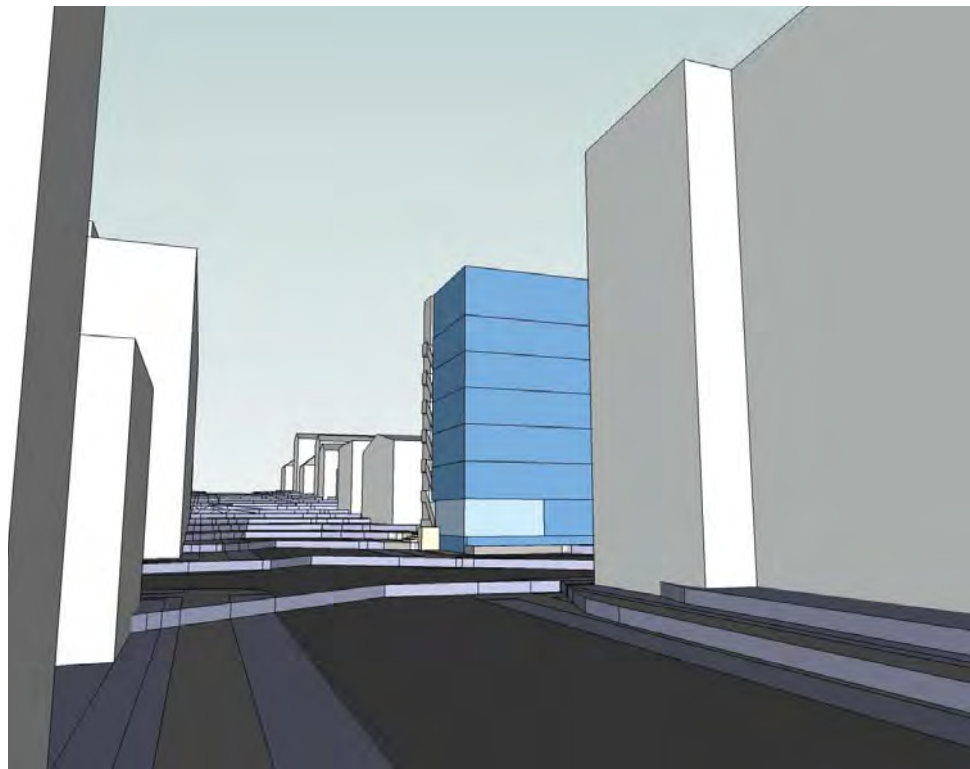
OPTION 2



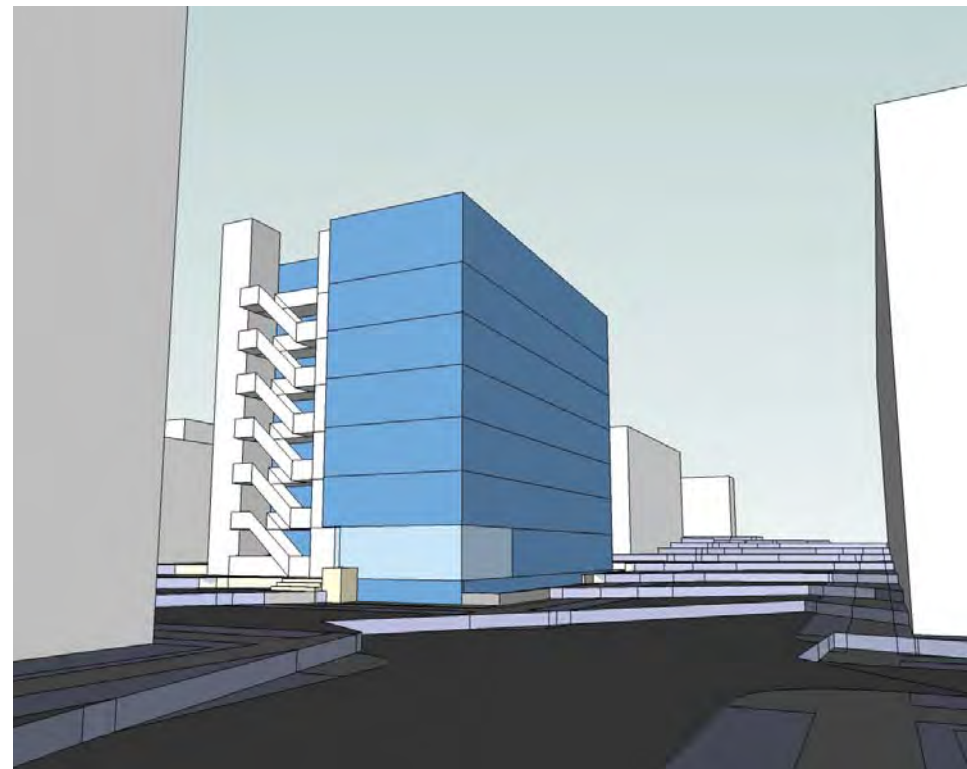
AERIAL VIEW: LOOKING SOUTHEAST FROM ABOVE SITE



AERIAL VIEW: LOOKING NORTHWEST FROM ABOVE SITE



STREET VIEW: LOOKING NORTH ALONG 12TH AVENUE



STREET VIEW: LOOKING NORTHWEST ALONG 41ST

DISTINGUISHING FEATURES

- Utilizes FAR and height bonus in MR zones by meeting LEED Silver (or equivalent) performance standards and low income housing standards.
- **107 units.**
- Units massed into 2 parallel bars running east/west. 8 units per floor oriented south toward NE 41st, 7 per floor oriented north toward sideyard.
- Prominent exterior stair & elevator tower facing NE 41st St.
- 7 partly below grade units with light wells and small patios fronting streets.
- Bike parking & additional resident storage stalls in basement.
- Roof top deck provided for amenity space.

PROS

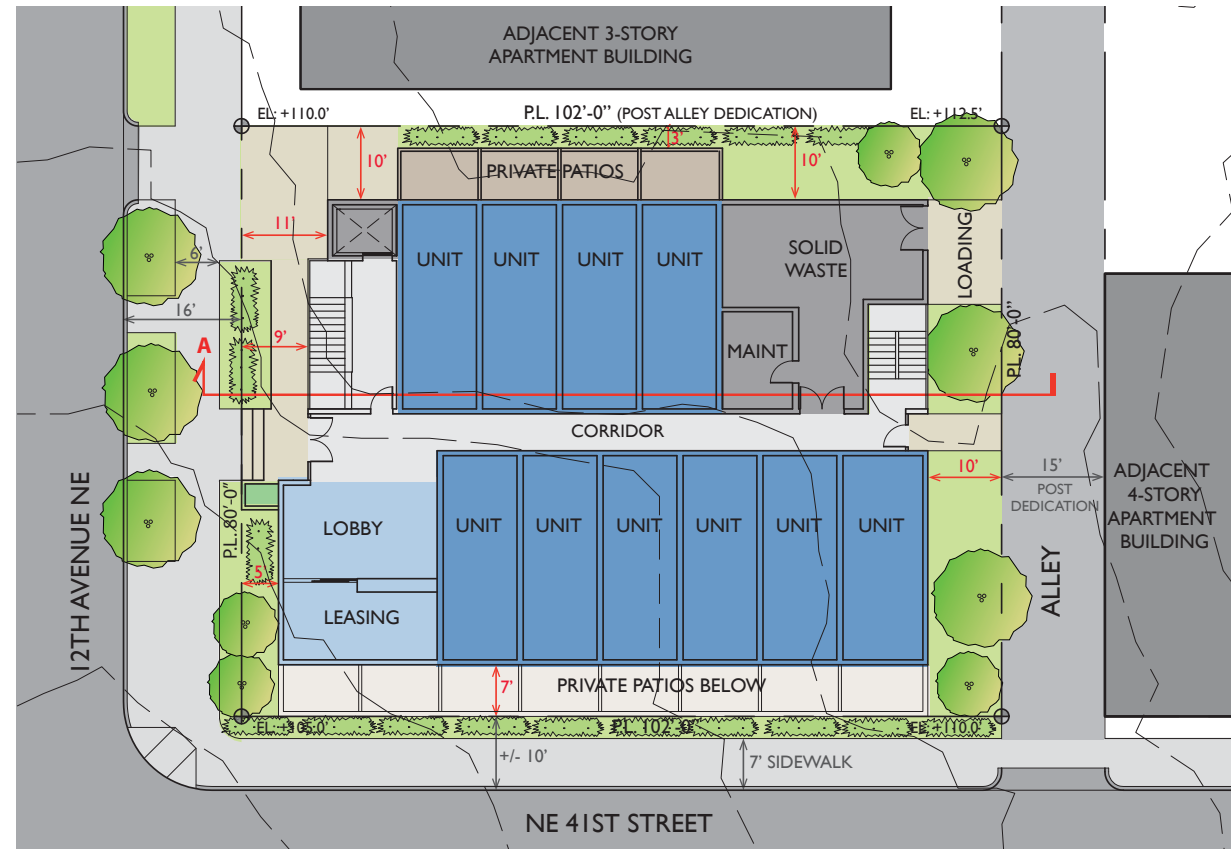
- Scheme does not rely on any departures.
- Stair & elevator tower could serve as an interesting design piece through screening and unique material use. This would encourage the use of the stairs by building occupants rather than using the elevator.
- Concentrates open space at front of property where it is both most usable and attractive
- Provides generous 9 feet wide side setbacks at all floors for side yard facing units (provides larger average setback than required by code)
- Removes side setback step above 42 feet in elevation and matches condition of adjacent dormitory buildings to the south
- Scheme orients a significant portion of units to streets
- Repeated unit module at building front offers interesting opportunities for facade design
- Views from roof deck towards Portage Bay

CONS

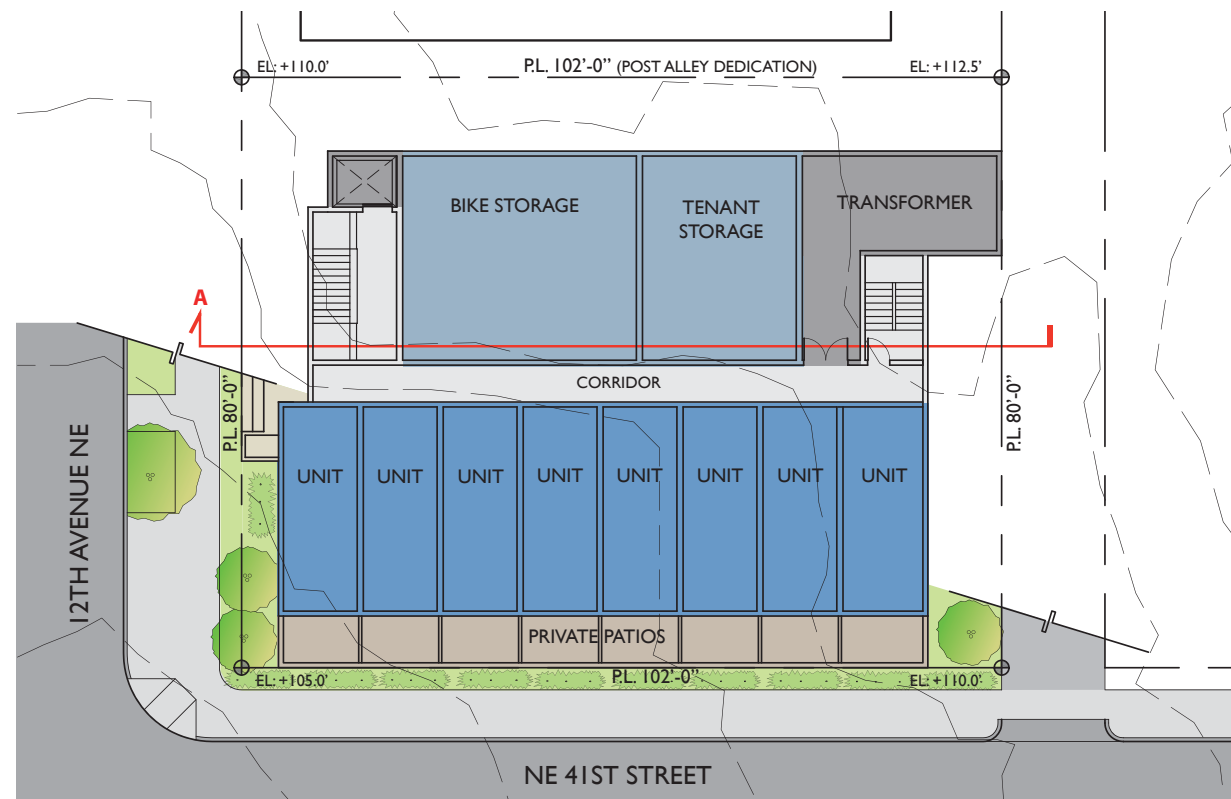
- Sunken patios of partially below-grade units face street, limiting privacy unless suitable screening is provided.
- Corner is not primary point of building entry, but lobby/leasing space is situated at corner and could be used to anchor corner design.

REQUESTED DEPARTURES

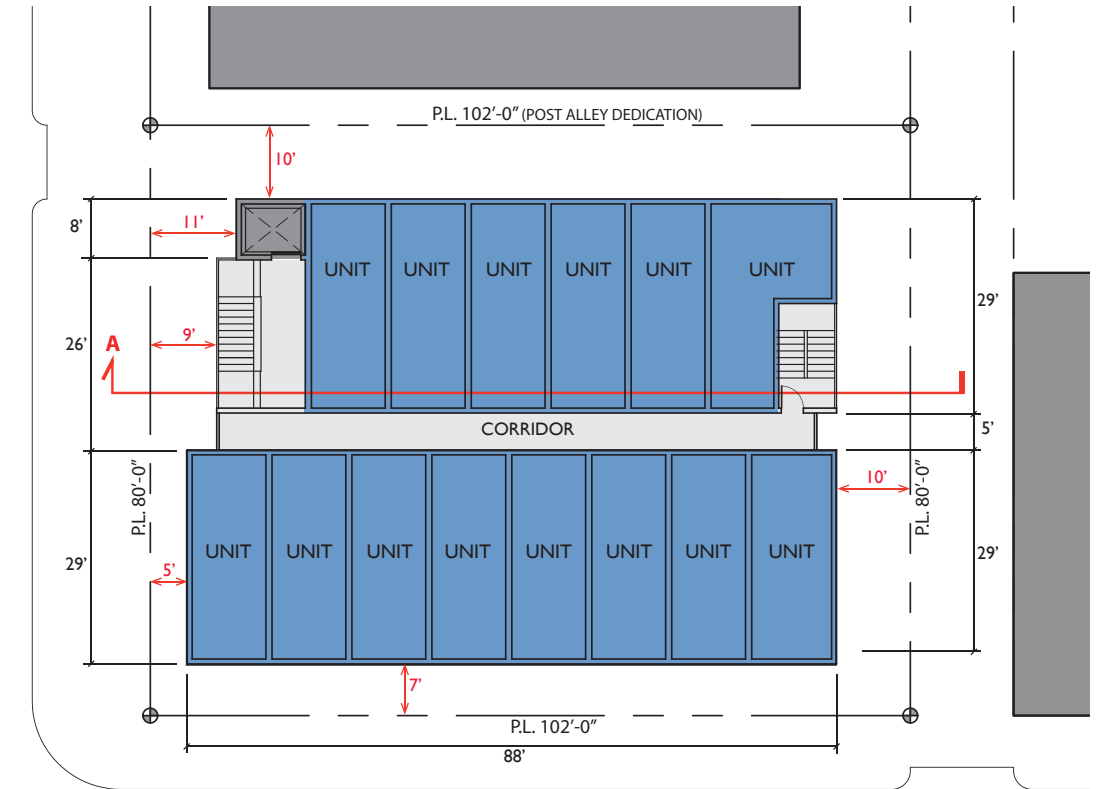
- None



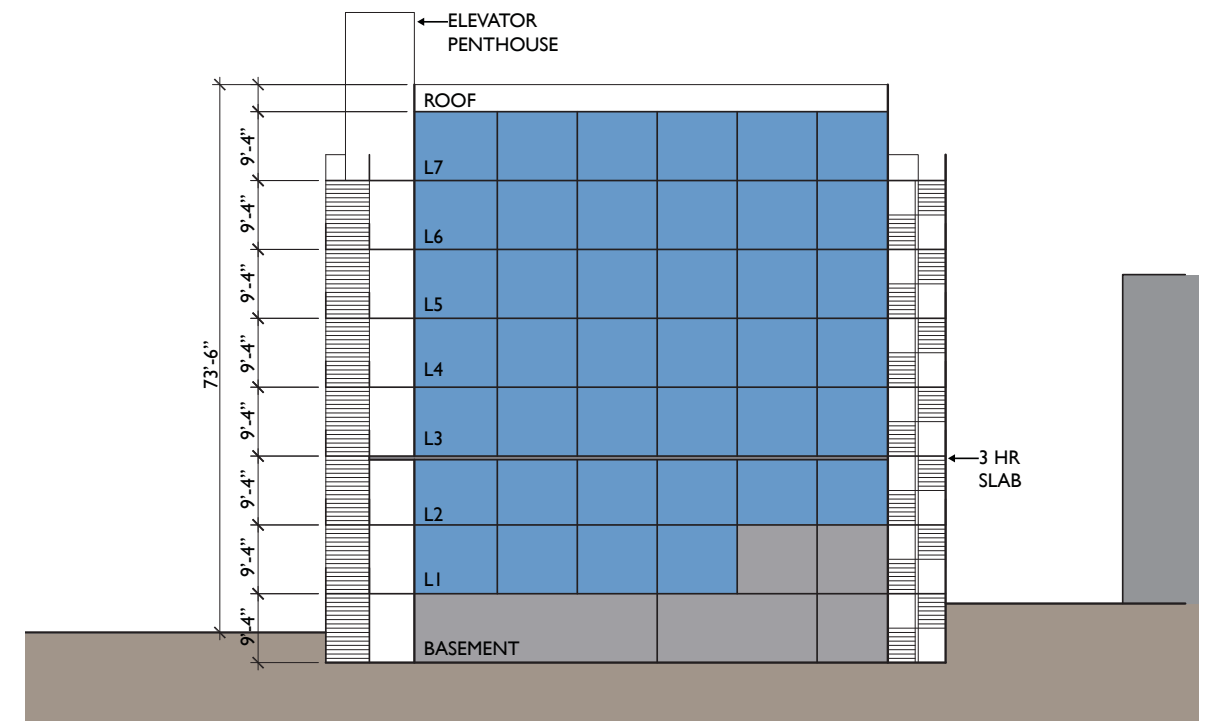
LEVEL 1



BASEMENT

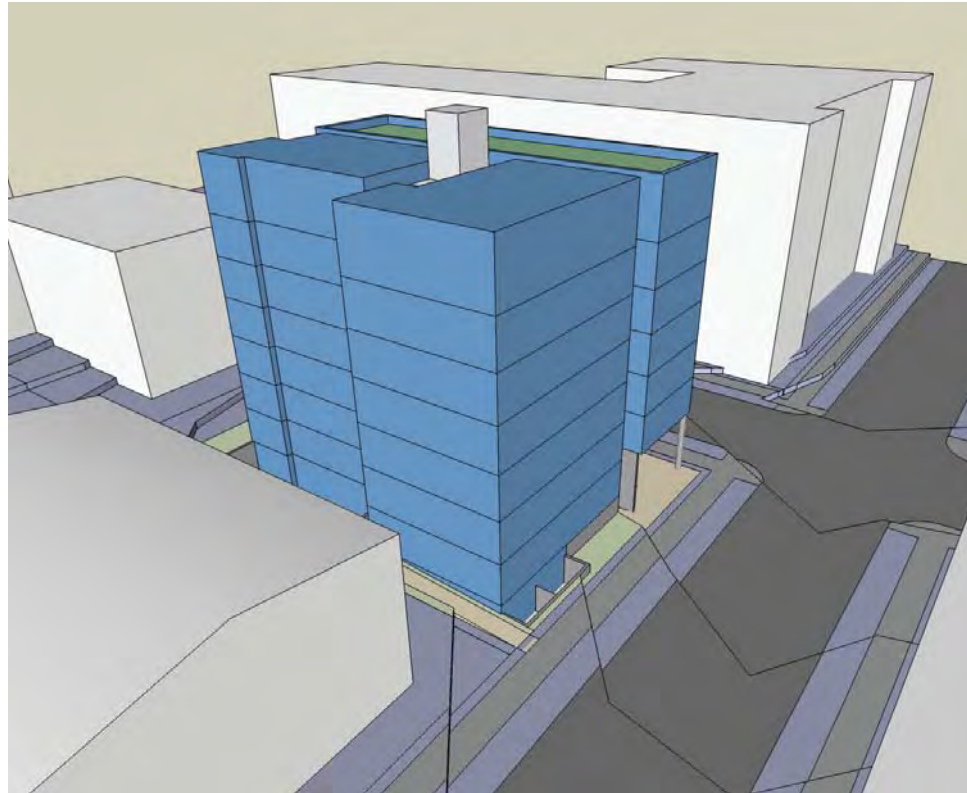


LEVELS 2-7

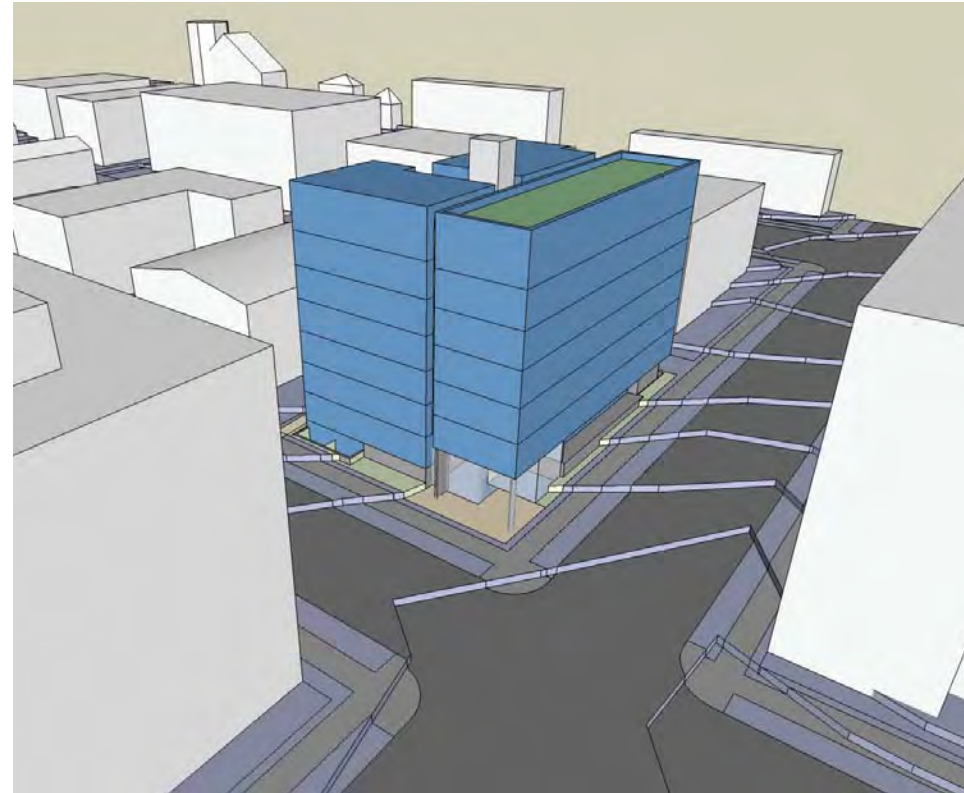


SECTION

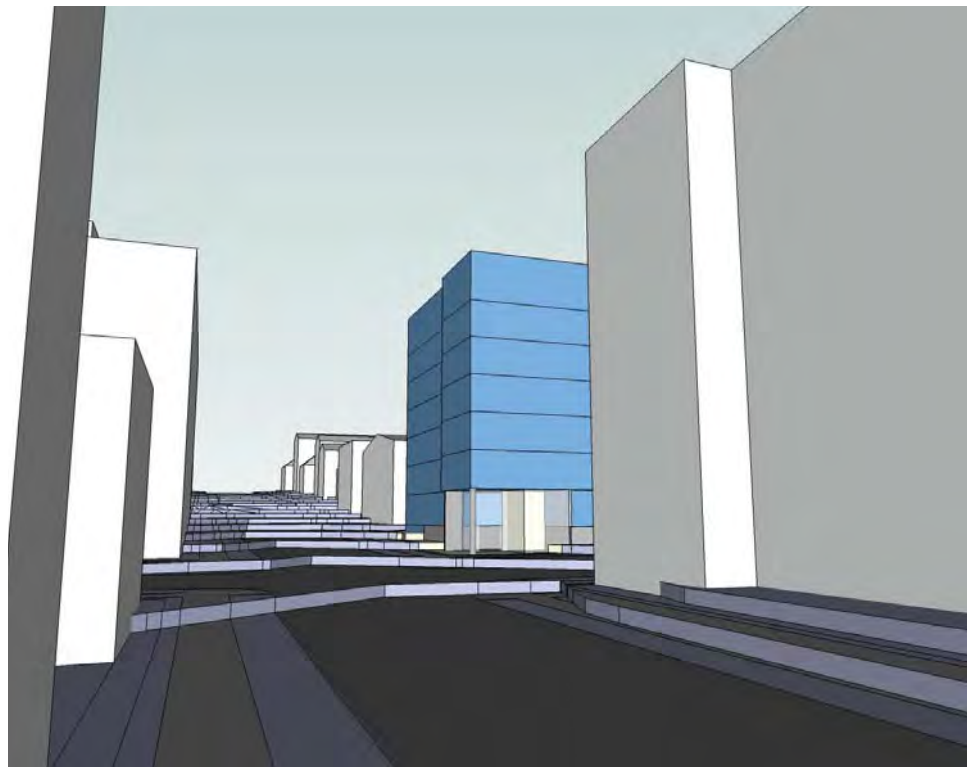
OPTION 3 (PREFERRED)



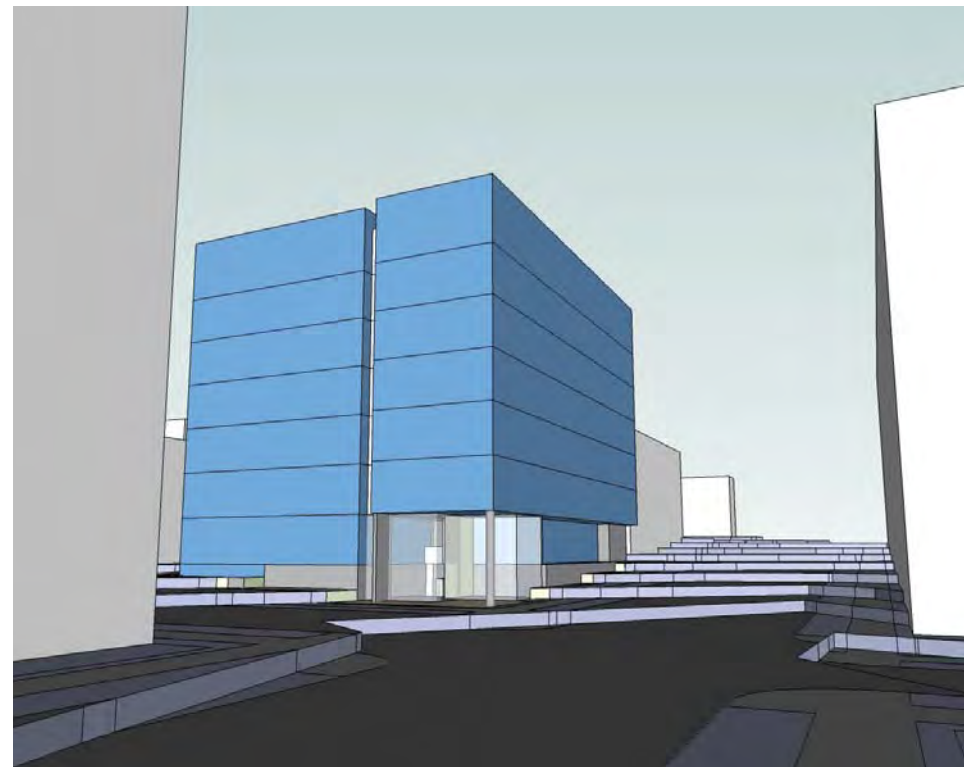
AERIAL VIEW: LOOKING SOUTHEAST FROM ABOVE SITE



AERIAL VIEW: LOOKING NORTHWEST FROM ABOVE SITE



STREET VIEW: LOOKING NORTH ALONG 12TH AVENUE



STREET VIEW: LOOKING NORTHWEST ALONG 41ST

DISTINGUISHING FEATURES

- Utilizes FAR and height bonus in MR zones by meeting LEED Silver (or equivalent) performance standards and low income housing standards.
- **106 units.**
- 3 bars of units, with most prominent bar running east/west fronting NE 41st Street.
- Follows massing & streetscape precedent established by adjacent dormitory buildings.
- Double-height corner plaza, entry and leasing office.
- Additional setback at northerly side yard.
- 6 partly below grade units with light wells and small patios along 12th Ave NE & the northerly side yard.
- Bike parking & additional resident storage stalls in basement.
- Roof top deck provided for amenity space.

PROS

- Creates prominent entry at the corner.
- Massing is pulled away from apartment building to the north. Uses larger side yard area for outdoor uses.
- Follows massing strategy of UW dorms: Upper floors pulled closer to the street edge while lower floors are recessed and designed to create interesting pedestrian environment.
- No partial sub-grade units along 41st street where most pedestrian traffic occurs. & only 2 street-facing basement units.
- Upper floors organized around central light court.

CONS

- Relies on departures to follow massing patterns established by UW dormitories.
- Slightly larger building footprint (approx. 200 sqft) than other schemes.
- Encroaches 3' into setback along alley (closer to adjacent brick apartment building.)

REQUESTED DEPARTURES

* Please see Departure Matrix and Diagrams on pages 14-16 for a full explanation of Departures.

- Front Yard Setback
- Rear Yard Setback at alley

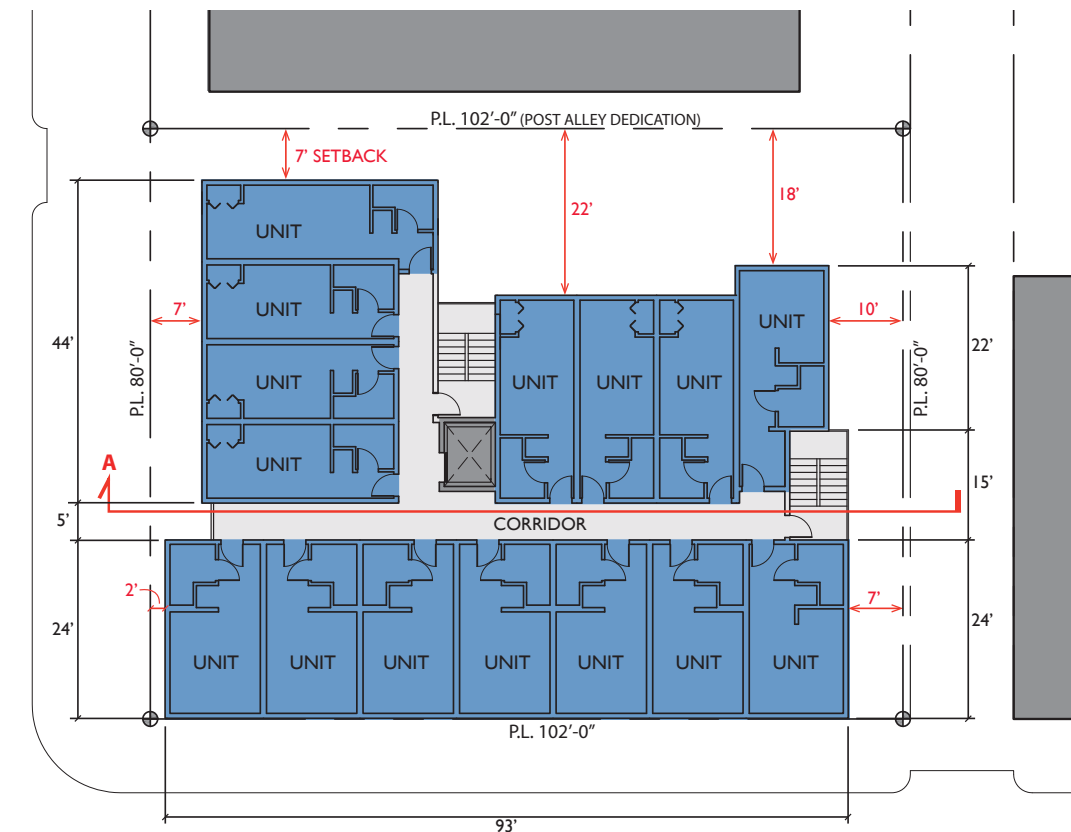
LANDSCAPE & STREETScape CONCEPT

- Utilizes ample side yard setback to create common outdoor area at grade that would incorporate planting (trees, shrubs, etc.) that could not be provided at the roof deck due to weight limitations.
- Planting would be used to partially screen the raised decks for the units fronting 41st St and sunken patio units fronting 12th Ave to create a sense of privacy and security.
- Decorative paving and seating, such as raised stone slabs, or concrete cubes, would be provided at the corner entry court.
- Tall planting would be used to screen the enclosed solid waste room located at the building corner along the alley. Grasscrete paving is proposed at a loading stall in the alley.

OPTION 3 (PREFERRED)



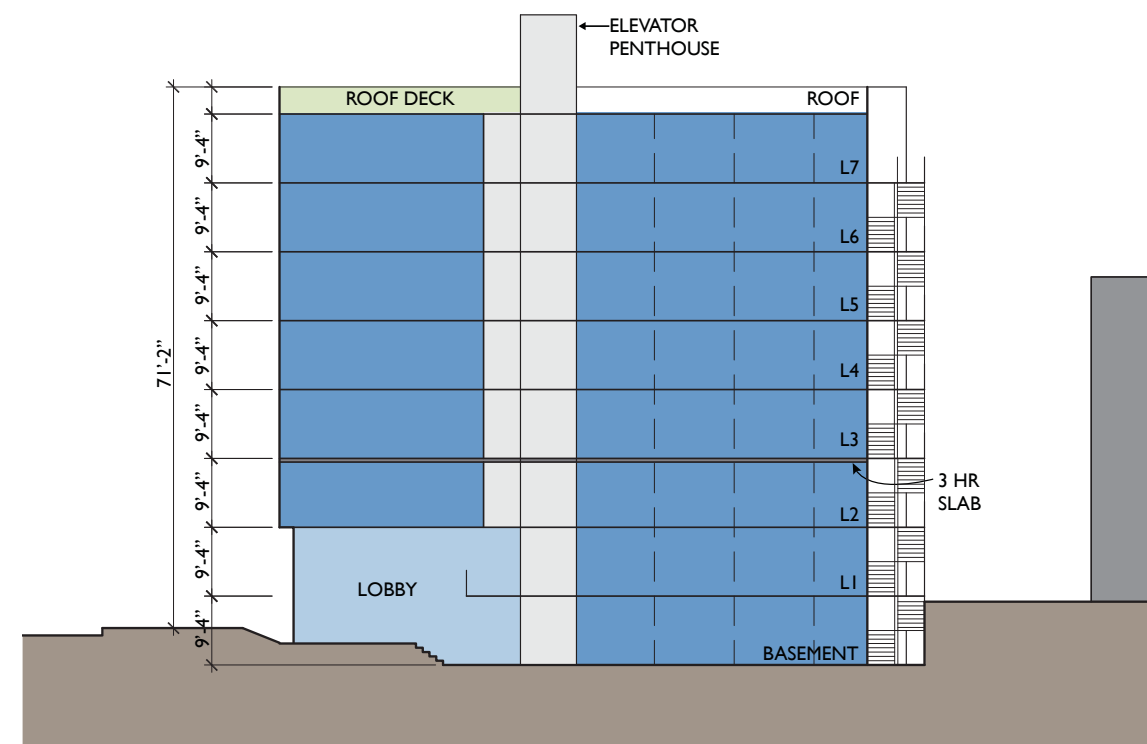
LEVEL 1



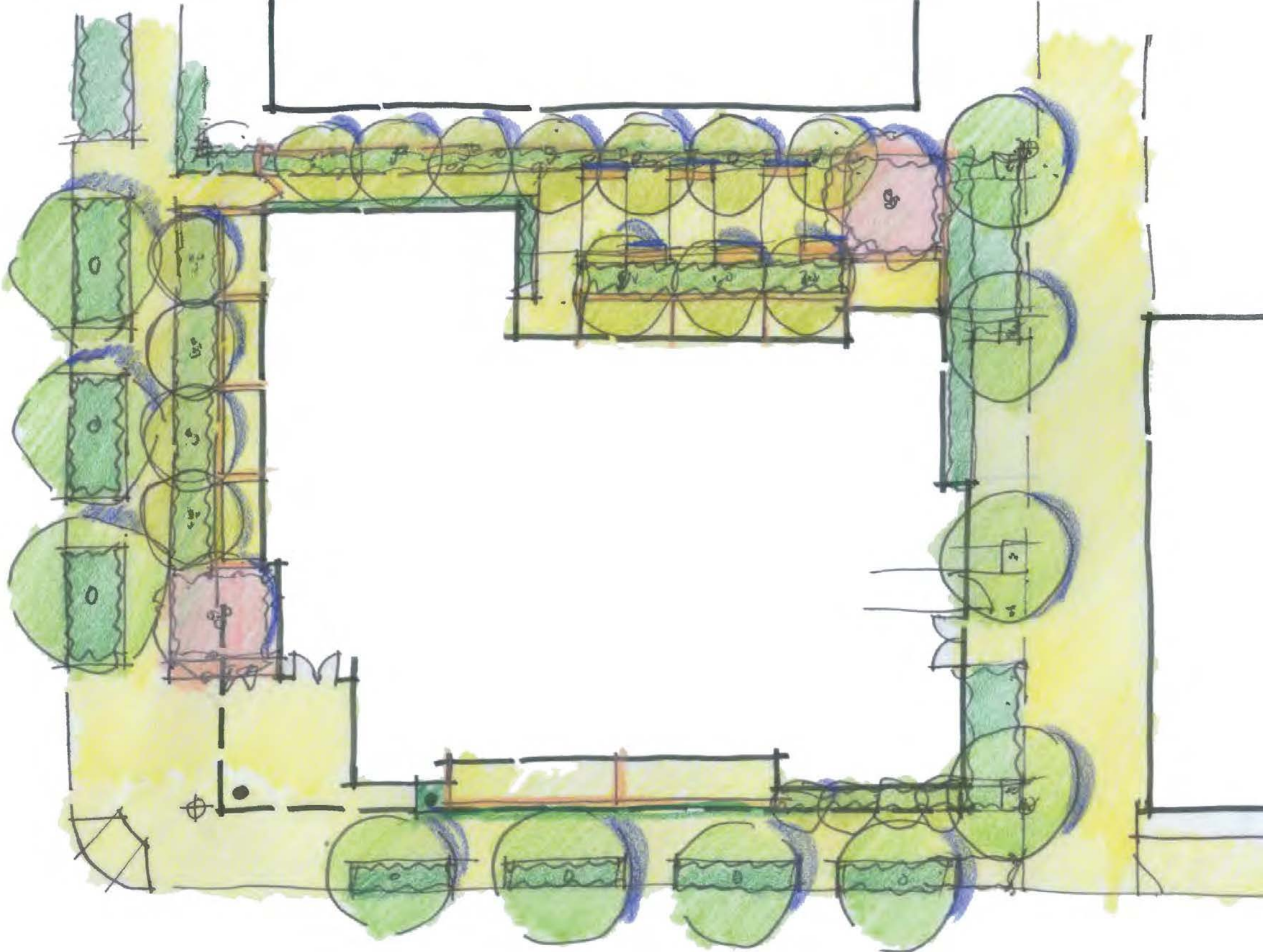
LEVELS 2-7



BASEMENT



SECTION



GREEN STRATEGIES

Primary Green strategies include:

Location & Linkages

- Infill site
- Existing Infrastructure
- Outstanding public transit options

Sustainable Sites

- Permeable pavers
- Green roof trays
- Very high density
- Large bicycle storage space

Water Efficiency

- High efficiency irrigation system
- High efficiency fixtures
- Water efficient appliances

Energy and Atmosphere

- Optimize energy performance through optimal insulation at exterior walls and efficient systems within building.
- Small and highly insulated units will require less heat in the cold months.
- Proper air barrier details and installation instructions will be included to eliminate excessive heat loss.

Materials and Resources

- Efficient framing
- Recycled materials
- Construction waste reduction

Indoor Environmental Quality

- Operable windows to be provided at lobby
- Operable windows to be provided at corridors and units
- Blower door testing will be conducted to ensure proper unit compartmentalization.



for Homes

LEED for Homes Mid-rise Pilot Simplified Project Checklist

Builder Name:	
Project Team Leader (if different):	
Home Address (Street/City/State):	4106 12th Avenue NE, Seattle, WA

Project Description:	Adjusted Certification Thresholds
Building type: Mid-rise multi-family	# of stories: 6 Certified: 35.0 Gold: 65.0
# of units: 106	Avg. Home Size Adjustment: -10 Silver: 50.0 Platinum: 80.0

Project Point Total	Final Credit Category Total Points				
Prelim: 53 + 16 maybe pts	Final: 22	ID: 2	SS: 8	EA: 0	EQ: 4
Certification Level		LL: 8	WE: 0	MR: 0	AE: 0
Prelim: Silver	Final: Not Certified	Minimum Point Thresholds Not Met for Final Rating			

date last updated :		Max Pts	Project Points			
last updated by :			Preliminary	Final		
Innovation and Design Process (ID) (No Minimum Points Required) OR Max Y/Pts Maybe No Y/Pts						
1. Integrated Project Planning	1.1 Preliminary Rating	1	Y	Y		
	1.2 Energy Expertise for MID-RISE	1	Y	Y		
	1.3 Professional Credentialed with Respect to LEED for Homes	1	0	0	N	0
	1.4 Design Charrette	1	0	0	N	0
	1.5 Building Orientation for Solar Design	1	0	1	0	0
	1.6 Trades Training for MID-RISE	1	0	1	0	0
2. Durability Management Process	2.1 Durability Planning	3	Y			
	2.2 Durability Management	3	Y			
	2.3 Third-Party Durability Management Verification	3	0	0		0
3. Innovative or Regional Design	3.1 Innovation #1	1	1	0		1
	3.2 Innovation #2	1	1	0		1
	3.3 Innovation #3	1	1	0		1
	3.4 Innovation #4	1	0	1		0
Sub-Total for ID Category:		11	6	3		2
Location and Linkages (LL) (No Minimum Points Required) OR Max Y/Pts Maybe No Y/Pts						
1. LEED ND	1 LEED for Neighborhood Development	10	0	0	N	0
2. Site Selection	2 Site Selection	2	2	0		2
3. Preferred Locations	3.1 Edge Development	1	0	0	N	0
	3.2 Infill	2	2	0		2
	3.3 Brownfield Redevelopment for MID-RISE	1	0	1		0
4. Infrastructure	4 Existing Infrastructure	1	1	0		1
5. Community Resources/ Transit	5.1 Basic Community Resources for MID-RISE	1	0	0	N	0
	5.2 Extensive Community Resources for MID-RISE	2	0	0	N	0
	5.3 Outstanding Community Resources for MID-RISE	3	3	0		3
6. Access to Open Space	6 Access to Open Space	1	1	0		0
Sub-Total for LL Category:		10	9	1		8
Sustainable Sites (SS) (Minimum of 5 SS Points Required) OR Max Y/Pts Maybe No Y/Pts						
1. Site Stewardship	1.1 Erosion Controls During Construction	1	Y			
	1.2 Minimize Disturbed Area of Site for MID-RISE	1	1	0		1
2. Landscaping	2.1 No Invasive Plants	1	Y			
	2.2 Basic Landscape Design	1	1	0		0
	2.3 Limit Conventional Turf for MID-RISE	2	2	0		0
	2.4 Drought Tolerant Plants for MID-RISE	1	1	0		0
	2.5 Reduce Overall Irrigation Demand by at Least 20% for MID-RISE	3	0	0	N	0
3. Local Heat Island Effects	3.1 Reduce Site Heat Island Effects for MID-RISE	1	1	0		0
	3.2 Reduce Roof Heat Island Effects for MID-RISE	1	0	1		0
4. Surface Water Management	4.1 Permeable Lot for MID-RISE	2	0	0.5		0
	4.2 Permanent Erosion Controls	1	1	0		0
	4.3 Stormwater Quality Control for MID-RISE	2	0	0	N	0
5. Nontoxic Pest Control	5 Pest Control Alternatives	2	1	0.5		0
6. Compact Development	6.1 Moderate Density for MID-RISE	2	2	0	N	0
	6.2 High Density for MID-RISE	3	0	0	N	0
	6.3 Very High Density for MID-RISE	4	4	0		4
7. Alternative Transportation	7.1 Public Transit for MID-RISE	2	2	0		2
	7.2 Bicycle Storage for MID-RISE	1	0	1		0
	7.3 Parking Capacity/Low-Emitting Vehicles for MID-RISE	1	1	0		1
Sub-Total for SS Category:		22	15	3		8

		Max Pts	Project Points			
			Preliminary	Final		
Water Efficiency (WE) (Minimum of 3 WE Points Required) OR Max Y/Pts Maybe No Y/Pts						
1. Water Reuse	1 Water Reuse for MID-RISE	5	0	0	N	0
2. Irrigation System	2.1 High Efficiency Irrigation System for MID-RISE	2	2	0		0
	2.2 Reduce Overall Irrigation Demand by at Least 45% for MID-RISE	2	0	0	N	0
3. Indoor Water Use	3.1 High-Efficiency Fixtures and Fittings	3	1	0		0
	3.2 Very High Efficiency Fixtures and Fittings	6	4	0		0
	3.3 Water Efficient Appliances for MID-RISE	2	1	0		0
Sub-Total for WE Category:		15	8	0		0
Energy and Atmosphere (EA) (Minimum of 0 EA Points Required) OR Max Y/Pts Maybe No Y/Pts						
1. Optimize Energy Performance	1.1 Minimum Energy Performance for MID-RISE	1	Y			
	1.2 Testing and Verification for MID-RISE	1	Y			
	1.3 Optimize Energy Performance for MID-RISE	34	0	0		0
7. Water Heating	7.1 Efficient Hot Water Distribution	2	0	0	N	0
	7.2 Pipe Insulation	1	0	1		0
11. Residential Refrigerant Management	11.1 Refrigerant Charge Test	1	Y			
	11.2 Appropriate HVAC Refrigerants	1	1	0		0
Sub-Total for EA Category:		38	1	1		0
Materials and Resources (MR) (Minimum of 2 MR Points Required) OR Max Y/Pts Maybe No Y/Pts						
1. Material-Efficient Framing	1.1 Framing Order Waste Factor Limit	1	Y			
	1.2 Detailed Framing Documents	1	0	1		0
	1.3 Detailed Cut List and Lumber Order	1	0	1		0
	1.4 Framing Efficiencies	3	0	0.5		0
	1.5 Off-site Fabrication	4	0	0		0
2. Environmentally Preferable Products	2.1 FSC Certified Tropical Wood	1	Y			
	2.2 Environmentally Preferable Products	8	2	2		0
3. Waste Management	3.1 Construction Waste Management Planning	1	Y			
	3.2 Construction Waste Reduction	3	1	1.5		0
Sub-Total for MR Category:		16	3	6		0
Indoor Environmental Quality (EQ) (Minimum of 6 EQ Points Required) OR Max Y/Pts Maybe No Y/Pts						
2. Combustion Venting	2 Basic Combustion Venting Measures	1	Y			
3. Moisture Control	3 Moisture Load Control	1	0	0		0
4. Outdoor Air Ventilation	4.1 Basic Outdoor Air Ventilation for MID-RISE	1	Y			
	4.2 Enhanced Outdoor Air Ventilation for MID-RISE	2	0	0		0
	4.3 Third-Party Performance Testing for MID-RISE	1	0	1		0
5. Local Exhaust	5.1 Basic Local Exhaust	1	Y			
	5.2 Enhanced Local Exhaust	1	0	0		0
	5.3 Third-Party Performance Testing	1	0	0		0
6. Distribution of Space Heating and Cooling	6.1 Room-by-Room Load Calculations	1	Y			
	6.2 Return Air Flow / Room by Room Controls	1	1	0		0
	6.3 Third-Party Performance Test / Multiple Zones	2	2	0		0
7. Air Filtering	7.1 Good Filters	1	Y			
	7.2 Better Filters	1	0	0		0
	7.3 Best Filters	2	0	0		0
8. Contaminant Control	8.1 Indoor Contaminant Control during Construction	1	1	0		0
	8.2 Indoor Contaminant Control for MID-RISE	2	0	0		0
	8.3 Preoccupancy Flush	1	1	0		0
9. Radon Protection	9.1 Radon-Resistant Construction in High-Risk Areas	1	N/A			N/A
	9.2 Radon-Resistant Construction in Moderate-Risk Areas	1	0	0		0
10. Garage Pollutant Protection	10.1 No HVAC in Garage for MID-RISE	1	Y			Y
	10.2 Minimize Pollutants from Garage for MID-RISE	2	0	0		0
	10.3 Detached Garage or No Garage for MID-RISE	3	3	0		3
11. ETS Control	11 Environmental Tobacco Smoke Reduction for MID-RISE	1	1	0		1
12. Compartmentalization of Units	12.1 Compartmentalization of Units	1	Y			
	12.2 Enhanced Compartmentalization of Units	1	0	1		0
Sub-Total for EQ Category:		21	9	2		4
Awareness and Education (AE) (Minimum of 0 AE Points Required) Max Y/Pts Maybe No Y/Pts						
1. Education of the Homeowner or Tenant	1.1 Basic Operations Training	1	Y			
	1.2 Enhanced Training	1	0	0	N	0
	1.3 Public Awareness	1	1	0		0
2. Education of Building Manager	2 Education of Building Manager	1	1	0		0
Sub-Total for AE Category:		3	2	0		0

DEPARTURE MATRIX

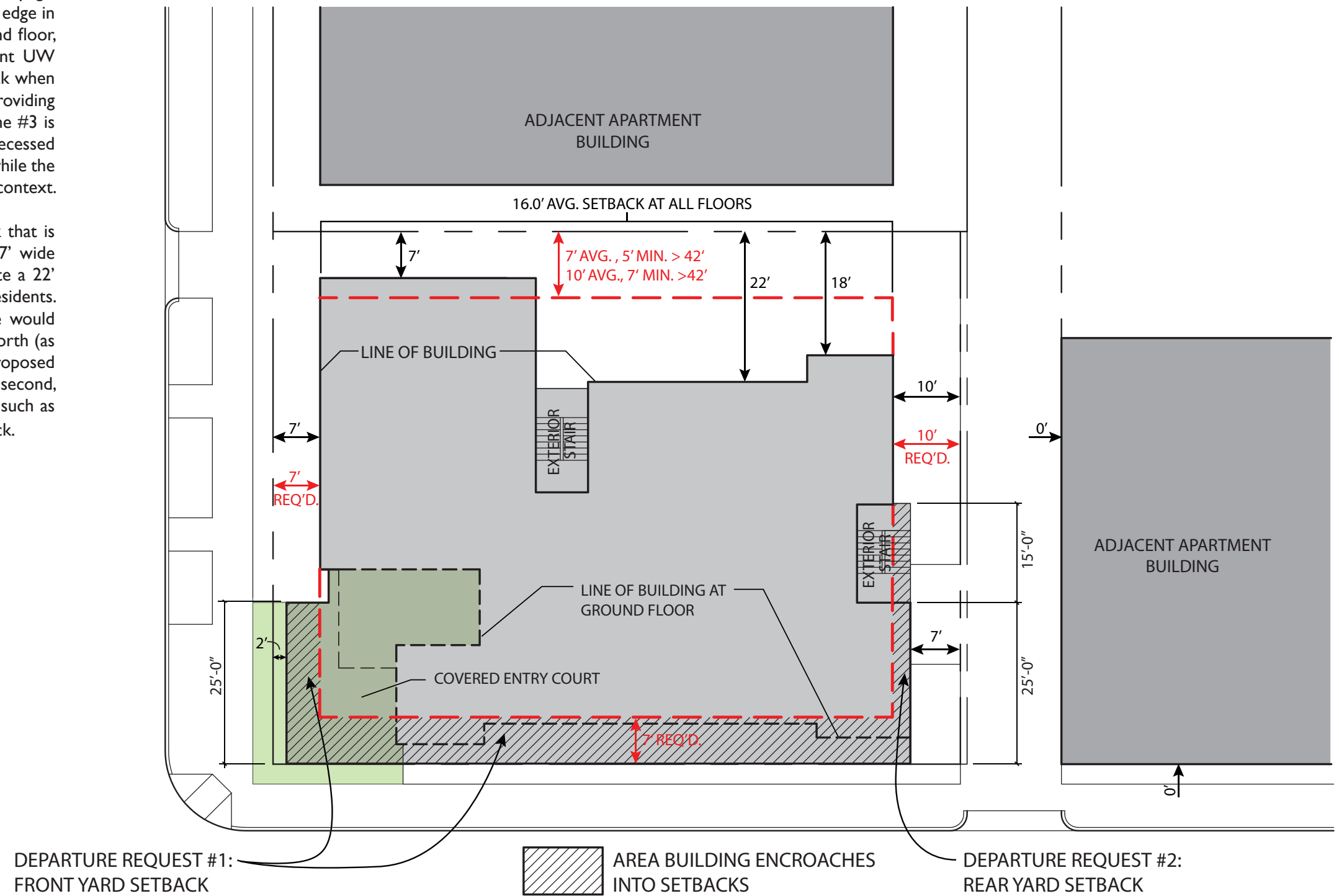
NOTE: DEPARTURE REQUESTS RELATE ONLY TO SCHEME #3

MR ZONING CODE	REQUIREMENT	PROPOSED	DEPARTURE AMOUNT	REASON FOR DEPARTURE	DESIGN REVIEW GUIDELINES
#1 FRONT SETBACK SMC 23.45.518	5'-0" min. & 7'-0" average. 0' for projects with a courtyard 20' deep and 30% of the street frontage.	Min. yard fronting NE 41st Street: - Upper Floors: 0'. - Ground Floor: 3' min, 5' avg. Min. yard fronting 12th Ave NE: - Upper floors: 2' within 25' of lot corner at street intersection, 7' for the remainder of the frontage (5'-3" average) - Ground Floor: 7' min., 9'-4" average, (exceeds code minimum) not including support columns at corner.	Along NE 41st St.: - Upper Floors: 7'-0" - Ground Floor: 4'-0" max., 2' avg. Along 12th Ave. NE: - Upper Floors: 5'-0" max., 1'-9" avg. - Ground Floor: N/A, not counting structural columns at corner.	The intersection of 12th Ave NE and NE 41st St. is dominated by the two new UW dormitory buildings at two corners and Condon Hall on the 3rd. The recently completed dorm buildings are characterized in part by being massed directly at the back of walk, in many cases with no front yard setback. At some points along the street front facades, the buildings setback 2' to 3' at the lower floors to provide for planting strips and glazed storefronts at building entries. While these projects are located on MIO zoned parcels, they do create a precedent along NE 41st Street for a strong building wall that is slightly recessed at certain points to create an interesting streetscape. Scheme 3 proposes a similar building massing. Along NE 41st Street, the upper floors will extend out to the street edge, while the lower floors will be recessed to provide for landscaping and raised residential decks. Most notably, a landscape, covered entry court is provided at the corner of NE 41st and 12th Ave NE to create a prominent building entry. Moving away from the intersection along 12th Ave, the building is setback 7' to respect the character of the properties to the north and to meet the regular provisions of the code.	A-2 Streetscape A-7 Open Space B-1 Hght, Bulk, Scale D-1 Pedestrian Space E-2 Landscaping
#2 REAR SETBACK SMC 23.45.518	10'-0" min. from rear alley property line	- 7'-0" within 40' of NE 41st Street frontage (following 1'-0" alley dedication) - 10'-0" for remainder of rear yard along alley	3'-0" for first 40' of alley frontage.	This departure request is related Departure #1 in that the request is related to creating a building massing that is comparable to the newly constructed UW Dormitory buildings and other buildings in the immediate area. To create a strong building massing along the street edge, we are requesting that the building massing extend to within 7' of the lot line fronting the alley. Both the UW dormitory buildings and the brick building located directly across the alley do not set back from the alley lot lines, creating a strong precedents for building walls continuously along the street edge. The 7' building setback within 40' of the street would allow for a proper sight triangle for vehicles existing the alley, landscaping and some relief for the corner units of the adjacent brick building. Further away from the street, the building steps back to a full 10' setback.	A-2 Streetscape B-1 Hght, Bulk, Scale

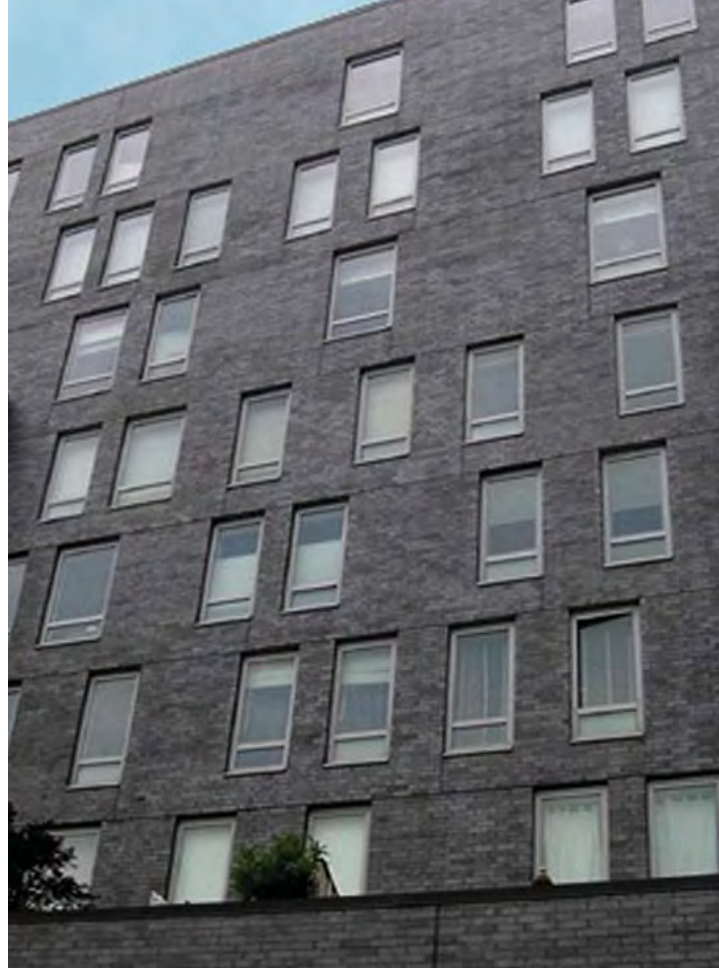
DEPARTURE RATIONALE

As mentioned in the departure matrix on the previous page, allowing the proposed building to be massed along the street edge in combination with the corner entry plaza and recessed ground floor, would respond to the character established by the adjacent UW dormitories. MR zoning does allow for a 0' front yard setback when a street-facing courtyard is provided, with the courtyard providing a sense of relief along the street edge. The preferred Scheme #3 is an adaptation of this concept: the covered entry plaza and recessed ground floor provides a similar sense of relief close to grade while the upper floors project out overhead in response to the nearby context.

A benefit of this approach is the increased sideyard setback that is created along the northerly property line. Rather than a 7' wide sideyard with limited use, the proposed project would create a 22' wide landscaped courtyard space for the use of all building residents. The approximately 32 units facing this sideyard would face would benefit from the added separation from the building to the north (as would the units in this adjacent building). In addition to the proposed roof deck, this ground-level courtyard would provide a second, differentiated outdoor common space with distinct features, such as deep planting, that could not be accommodated on a roof deck.



DESIGN INSPIRATION





WESTLAKE VILLAGE



222 VIEW APARTMENTS



CHELAN RESORT SUITES



THE DAKOTA



H2O APARTMENTS - LEED H MIDRISE PILOT GOLD TARGET



ARTHOUSE



BROADSTONE KOI APARTMENTS - LEED NC CERTIFIED TARGET



APERTURE OF FIFTH



MIST APARTMENTS - LEED NC SILVER TARGET

12TH AVENUE APARTMENTS - DPD #3013699

RECENT TRIAD PROJECTS



TRIO - BELLTOWN



PIER 70 - SEATTLE



PIER 70 - SEATTLE



CIVIC SQUARE - SEATTLE



NOMA - BALLARD



REGATA - WALLINGFORD



TRIO - BELLTOWN



POINT EDWARDS - EDMONDS



POINT EDWARDS - EDMONDS



CIVIC SQUARE - SEATTLE