

olive





①

panoramic view along 14th Ave. E, looking east



②

panoramic view along 14th Ave. E, looking west



③

panoramic view along E Olive St. looking north



④

panoramic view along E Olive St. looking south

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

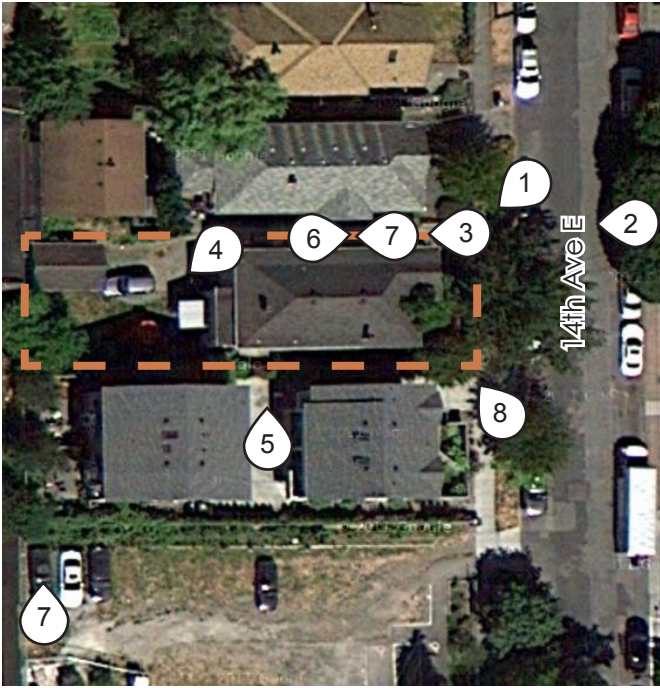
Site
1623 14th Avenue, our site, is located on the west side of 14th Avenue, three properties south of E Olive Street. Its dimensions are 128 feet east-west and 40 feet north-south. The site is bounded on both sides by sites which contain multifamily uses. Two properties to the south is a large open unimproved parcel that is used for off-street parking.

Uses
The lot contains an existing structure, built in 1909 that will be deconstructed.

Topography
The site is generally flat south to north, but slopes slightly downhill to the east, creating a 12-inch grade difference between 14th Ave and the rear of the site, at its west property line.

Access
14th Avenue, between E. Pine and E. Jackson, is a collector arterial. The site is located a half block north of E Pine, offering excellent vehicular, bus, bicycle and pedestrian access. 14th is basically flat, and it links Volunteer Park to the north and Rainier Avenue S to the south. Running east-west, and a half block south of the site is E Pine St, a minor arterial, with relatively low speed traffic, and provides excellent walking, bus, vehicular and biking access to the Pike /Pine corridor, Capitol Hill neighborhood, First Hill and downtown Seattle. In the area close to our site E Pine generally slopes downhill from east to west. Street parking is available along both sides of 14th Avenue in front of the site, only along the south side of E Olive Street, and both sides of E Pine Street. One block east of the site is 15th Ave, a minor arterial, providing easy access to the 15th Ave E shopping district and Volunteer Park. E Madison Street, two blocks south of the site is a principal arterial, providing both direct access to downtown and to Lake Washington.

There are nearby bus stops at E Pine Street and 15th Ave and 13th Ave, as well as at and E Madison Street and 14th Ave. These provide access to Metro bus lines numbers 10, 11 and 12. These routes serve Capitol Hill, downtown Seattle and Madison Park/Valley.



① Looking southwest from 14th Ave. E



② Looking west from 14th Ave. E



③ Looking west from 14th Ave. E



④ Looking south west from the site



⑤ Looking north from the adjacent property



⑧ Looking northwest from 14th Ave. E



⑥ Looking east from the north edge of the site



⑦ Looking west from the walkway

Site analysis summary:

14th Avenue E

- Slopes slightly downhill to the south, gradually levelling off towards E Madison St.

E Olive Street

- Slopes downhill to the west from 18th Ave E down to Cal Anderson Park with its steepest section between 14th and 15th Ave E.

E Olive Street traffic

- Minor residential street with parking allowed on the south side only. Connects 18th Ave E to the east with Cal Anderson Park to the west.

14th Avenue E traffic

- Minor residential street from E Pine St to the north beyond site. 14th Ave E is a collector arterial between E Pine St and E Jackson St to the south. Connects to E Pine Street and E Madison Street which provides access to Capitol Hill, Downtown Seattle, Madison Valley and Madison Park.

Solar access

- The site has good solar access to the east, southeast, south, southwest and west.

Building mass

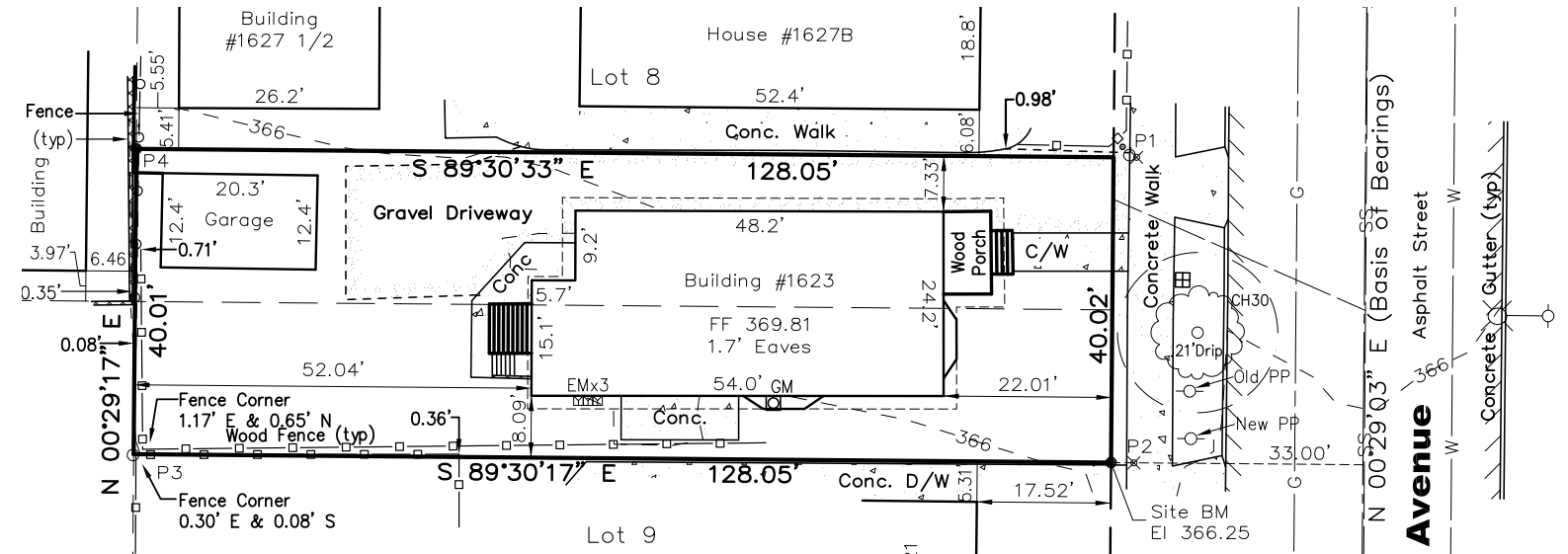
- The massing essentially runs east west, with all the homes organized to have direct southern exposure with some accessing a territorial view to the southwest. The overall approach to the massing is to provide a relatively conservative primary building mass that is interrupted by a multiple vertical contrasting elements. Modulation is created through these rhythmic elements along each façade and is used to clearly denote pedestrian access and entrances. Along the north property edge we create an active pathway that connects to a central courtyard. At the south edge a new driveway provides access to below grade parking for most of the homes. A centrally located stair provides direct access between the courtyard and parking. Homes access their roof decks from either an exterior stair or a stair penthouse, which is shaped to minimize impacts on adjacent properties.

Views

- There will territorial and possible downtown views from the units at the west edge of the property. All units will have territorial and possible downtown views from roof top decks.

Parking access

- Off-street parking will be accessed from the driveway at the southeast corner of the property. Parking will be below grade beneath the proposed building.



existing survey

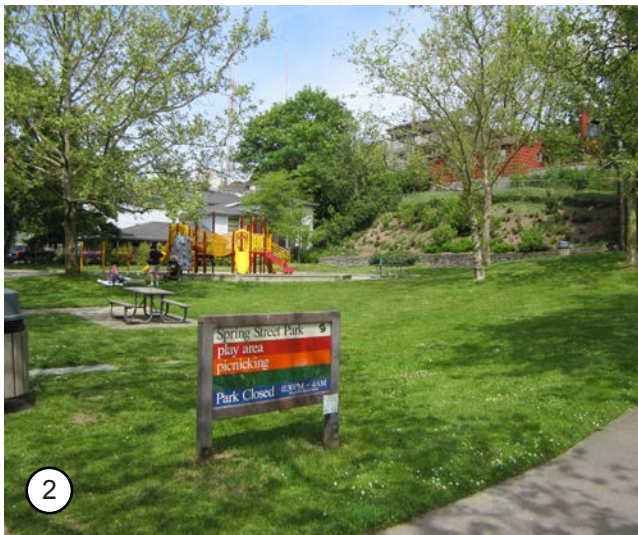


2. .Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.	
Site location:	1623 14th Avenue E 5120 square feet
Site Zoning:	Lowrise LR-3
SEPA Review: CAM 208	Required with construction of over 8 dwelling units in LR-3, Not required for this proposal; see density calculation below (23.45.008).
Permitted Uses: 23.45.004	Residential Use: Townhouse and Single Family
Height: 23.45.514	Table A. Structure Height for Lowrise Zones in Feet. Maximum height is 30 feet for Townhouse Developments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts. D3. In LR3 zones, for structures subject to a 30 foot height limit, the ridge of pitched roofs on principal structures may either: a. extend up to 10 feet above the height limit, if the height exception provided in 23.45.514.F is not used, and the number of full stories above grade is limited to three; or b. extend up to 5 feet above the height limit, if the height exception provided in 23.45.514.F is used. E1. Shed and butterfly roofs in LR zones. In LR zones, the high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in Table A for 23.45.514, provided that the low side(s) of the shed or butterfly roof are no higher than the height limit (see Exhibit A for 23.45.514). F. For apartments in LR2 zones, and for all residential uses in LR3 zones, the applicable height limit is increased 4 feet above the height shown on Table A for 23.45.514 for a structure that includes a story that is partially below-grade, provided that: 1. This height exception does not apply to portions of lots that are within 50 feet of a single-family zoned lot, unless the lot in the LR zone is separated from a single-family zoned lot by a street; 2. The number of stories above the partially below-grade story is limited to three stories for residential uses with a 30 foot height limit and to four stories for residential uses with a 40 foot height limit; 3. On the street-facing facade(s) of the structure, the story above the partially below-grade story is at least 18 inches above the elevation of the street, except that this requirement may be waived to accommodate units accessible to the disabled or elderly, consistent with the Seattle Residential Code, Section R322, or the Seattle Building Code, Chapter 11; and 4. The average height of the exterior facades of the portion of the story that is partially below-grade does not exceed 4 feet, measured from existing or finished grade, whichever is less
Height: Rooftop features: 23.45.514	J4. In LR zones, the following rooftop features may extend 10 feet above the height limit set in subsections 23.45.514.A and F, if the combined total coverage of all features does not exceed 15 percent of the roof area or 20 percent of the roof area if the total includes screened mechanical equipment: a. Stair penthouses, except as provided in subsection 23.45.514.J.6; b. Mechanical equipment; J6. Subject to the roof coverage limits in subsections 23.45.514.J.4 and 5, elevator penthouses may extend above the applicable height limit up to 16 feet. J7. For height exceptions for solar collectors, see Section 23.45.545
Floor Area Ratio: Table A for 23.45.010	B. Floor Area Ratios. Floor area ratio limits apply in LR zones as shown in Table A for 23.45.510. Table A. LR3, Inside an Urban Village, for Townhouse Developments 1.2 or 1.4. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C C. In LR zones, in order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided. E. The following floor area is exempt from FAR limits: 3. The floor area contained in structures built prior to January 1, 1982 as single-family dwelling units that will remain in residential use, provided that: a. no principal structure is located between the existing single-family dwelling unit and the street lot line along at least one street frontage. If the single-family dwelling unit is moved on the lot, the floor area of the dwelling remains exempt if it continues to meet this provision; and b. the exemption is limited to the gross square footage in the single-family dwelling unit as of January 1, 1982.
Density: Table A for 23.45.512	Table A. Density Limits in Lowrise Zones: 1/1600 or No limit for Townhouses in LR3 zone. For townhouses that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.

Structure Width: Table A for 23.45.527	Table A. LR3 inside Urban Villages, Urban Centers or Station Area Overlay Districts is 150 feet. B1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.		
Setbacks and Separations: Table A for 23.45.518	For All LR Zones: Setback Front Rear Side Setback for Facades 40 feet or less Side Setback for Facades 40 feet or greater <table><tr><td>Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.</td><td>Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.</td></tr></table>	Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.	Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.
Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.	Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.		
23.45.518	F1. Separations between multiple structures. In LR zones, the minimum required separation between principal structures at any two points on different interior facades is 10 feet		
Parking: 23.54.015 Required Parking 23.54.030 Parking Space Standards 23.45.536 Parking location, access and screening	Table B Residential Uses – Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District(1) - No minimum requirement. B1. If parking is required, it shall be located on the same lot as the use requiring the parking, except as otherwise provided in this subsection 23.45.536.B . B2. Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except: a. between a principal structure and a street lot line b. in the required front setback or side street side setback; and c. within 7 feet of any street lot line.		
Landscaping standards: 23.45.524	A1. All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings. A2a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score. B1. 1. Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B . 2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.		
Amenity Area: 23.45.522	A1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. A2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. A4. For apartments, amenity area required at ground level shall be provided as common space. D1. All units shall have access to a common or private amenity area. D3. Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade. D5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions: a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. b. Common amenity area shall be improved as follows: 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees. 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.		
Design standards: 23.45.529	B. Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses that do not undergo any type of design review pursuant to Chapter 23.41, except single-family dwelling units.		
Standards for certain accessory uses: 23.45.545	C3. Solar collectors on roofs. Solar collectors that meet minimum written energy conservation standards administered by the Director and that are located on a roof are permitted as follows: a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).		



View from E Olive St looking West



Spring Street Mini Park at 15th Ave and E Spring St.



Commercial Building on 14th Ave and E Pine St.



Madison Market at 16th Ave E and E Pine St.



The Oddfellows Building at 10th Ave and E Pine St.



Cal Anderson Park

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Zoning

The site, shown in orange on the adjacent page in the aerial photo and zoning map is located in the LR3 zone surrounded by NC3P-40 to the south and NC3-40 to the west. LR3 continues to the east and north with the NC zoned land including the Pike/Pine, 12th Avenue and E Madison corridors.

Uses and Physical Features

There exists a variety of three, four and six-story mixed-use buildings interspersed with two and three-story multi and single-family dwellings in the vicinity. Immediately adjacent to the south is a recently completed three-story auto-court oriented townhouse project. To the north is a single-story single-family structure and two-story structure in its backyard. This is a very dense neighborhood, located within the Pike/Pine Urban Center Village and immediately adjacent to the Capitol Hill Urban Center Village. Pike/Pine and Capitol Hill are vibrant commercial districts with a variety of uses including the cafés and restaurants, retail uses, yoga studios, the Northwest Film Forum, Elysian Brewing Company, schools, bed and breakfasts, temples and churches.

Existing Architecture

The architecture on 14th Avenue varies in scale and building type with most structures three-stories or taller. Across the 14th to the east of the site there are four-story mixed-use buildings adjacent to three-story multi-family structures. On the west side of 14th there are smaller multi-family and single-family structures. There are commercial buildings mixed with multi-family dwellings of varying ages along E Olive Street with a large surface parking lot at the corner of 14th and Olive. Along E Pine are commercial structures of varying ages with character structures and recent mixed-use development. There is no single dominant building typology or architecture, reflecting this mix of zones.

Views

There will territorial and possible downtown views from the units at the west edge of the property. All units will have territorial and possible downtown views from roof top decks.

Community Landmarks

Cal Anderson Park, nearly 7.5 acres, recognized by Forbes.com as one of the nation's best parks, is two and half blocks to the east of the site. It includes a fountain, texture pool and reflecting pool, promenade paths, landscaping, a shelterhouse, a plaza, a children's play area, a wading pool, a lighted sports field, and a number of oversize chess boards. This open park invites walking, sitting, reading, contemplation, informal sports in the meadow, and organized sports on the athletic field.



Multi Family development at 11th Ave and E Howell St.



A multi family building on at 15th Ave and E Pine St.



Single family houses just south of 14th Ave and E Howell St.



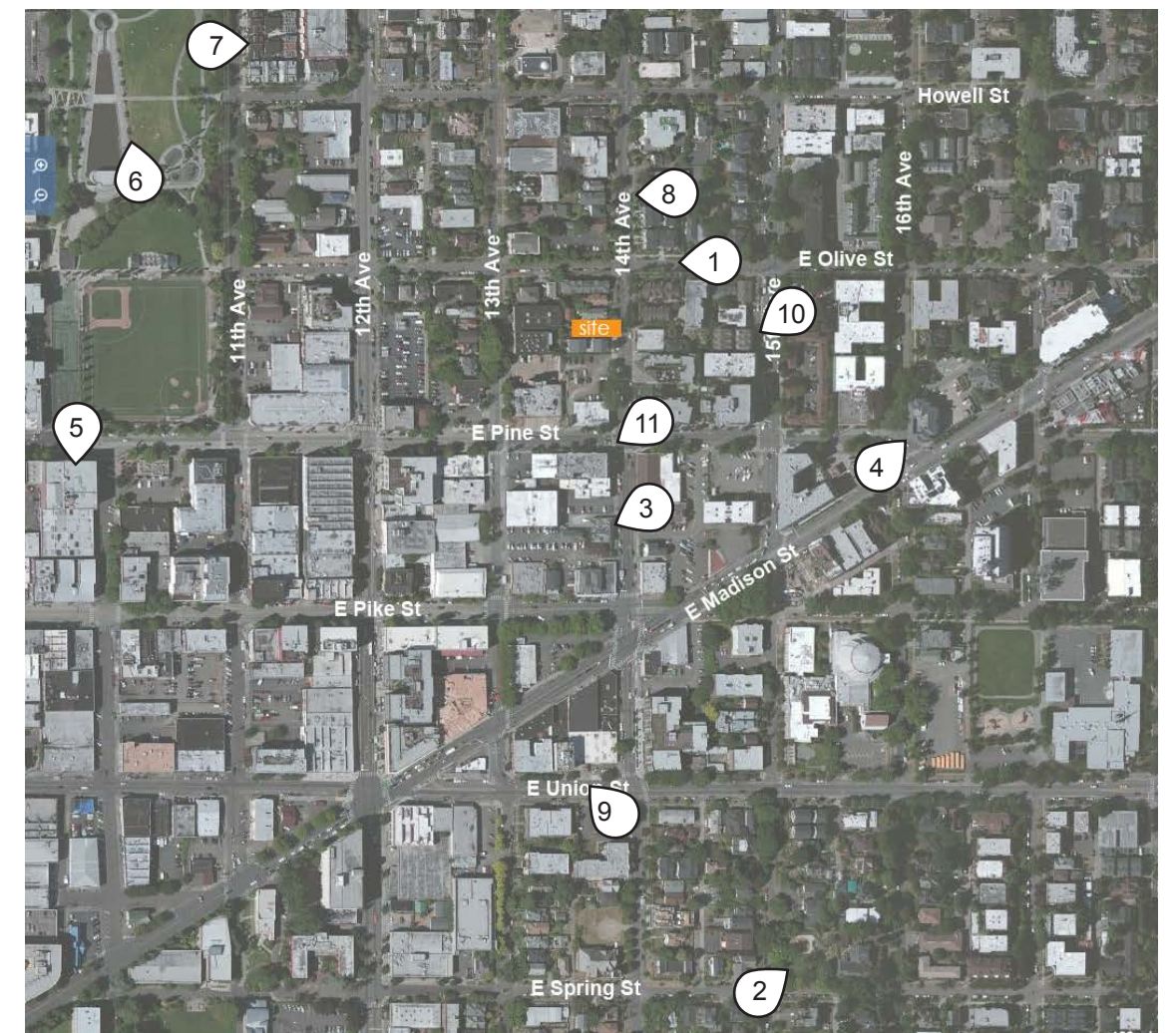
A mixed use building at 13th Ave and E Union St.



A mixed use building at 14th Ave and E Pine St.



Seattle DPD Zoning Map



1. Please describe the proposal in detail, including types of uses, size of structure(s), location of structure(s), amount, location and access to parking, special design treatment of any particular physical site feature, etc.

Development Objectives

We strive to create a compelling community of homes; homes that acknowledge the area and the times, while injecting fresh concepts and energy into an existing neighborhood.

We are proposing a group of six new attached townhomes. All homes shall have access to an outdoor, shared courtyard. The courtyard provides a communal space at the heart of the project and access via a communal stair to the shared below-grade parking structure. All homes will connect visually to a communal walkway along the north edge of the property with the street-facing unit connecting to 14th Avenue as well. The north facing façade will be the true front of the project with its second front facing 14th Ave. Private roof decks extend the interior living spaces and take advantage the south and southwest views. All but one of the townhomes will have access to daylight on three sides.

Desired Uses

Townhomes

Five townhomes at approximately 1300 square feet and one at 512 square feet each located in the heart of the Pike/Pine neighborhood in Capitol Hill will provide the opportunity for residents to easily access Cal Anderson and Volunteer Parks and Pendleton Miller Playfield. Just one block away is a Route 10, 11 or 12 bus stop providing access to downtown Seattle. The new Capitol Hill Light Rail stop will be located within a 10-minute walk from the site. The proposed design will orient the townhomes primarily south providing excellent access to daylight and territorial views of the park and downtown beyond. Roof decks providing private outdoor space and views will be accessed from within the units. Thoughtful fenestration, double-height spaces, and massing choices express progressive thinking and innovation. Further environmental consciousness will be expressed through material choices, building practices, and site planning. Thoughtful architecture and green building practices will demonstrate that these homes are informed by time and place. Further development of the building's exterior through modulation of the exterior wall combined with decks and variation in materials and window treatment will express individual spaces and reduce the mass of the building.

Structure Height

While the townhomes will use the maximum allowable height, stair penthouses will be limited and oriented to minimize impacts on adjacent sites.

Access and Parking

Given the site's location within the Pike/Pine Urban Center Village and immediate proximity to the Capitol Hill Urban Center Village, no on-site parking is required. The development proposes to provide parking for most of the townhomes in a common below-grade garage structure.



canopy trellis highlights street-facing townhome's entrance and shared entry walkway. creates a visual connection to all home's entrances per guideline A-3 entrances visible from the street

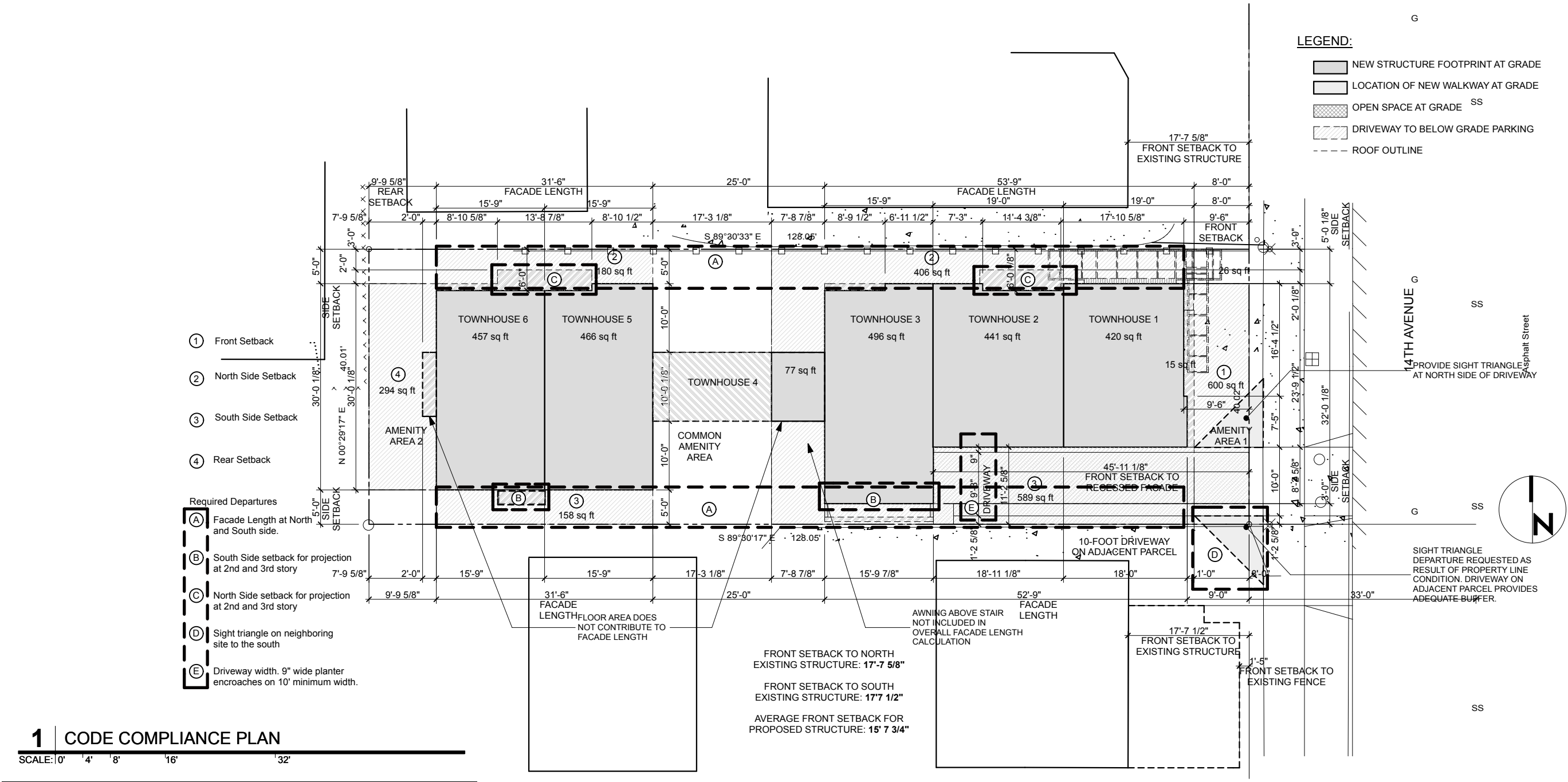
① view from 14th Ave E. looking southwest

wood fence along the north property line with changes in height and material expression at each home's entry per guideline A-5 respect for adjacent sites



② aerial view looking southwest

2. Please indicate in text and on plans any specific requests for development standard departures, including specific rationale(s) and a quantitative comparison to a code-complying scheme. Include in the MUP plan set initial design response drawings with at least four (4) colored and shadowed elevation drawings and site/landscape plan.





③ aerial view looking northeast

Potential Design Departures

Structure Width and Façade Length Limits in LR zones:

Due to the site constraints and a desire to create a dense community of ground-related housing, the design proposal slightly increases the proposed façade length beyond the allowable requirements in the code, per SMC 23.45.527.B.1. As such we are requesting a design departure for façade length on both sides of the parcel (north and south). The proposed aggregated façade length is described below:

Lot Depth: 128'-0 1/2"

Allowable Façade Length:

$65\% \times 128'-0 \frac{1}{2}'' = 83'-2 \frac{11}{16}''$

North Elevation:

$31'-6'' + 53'-9'' = 85'-3'' / 128'-0 \frac{1}{2}'' = 66.6\%$ **Departure Requested**

South Elevation

$31'-6'' + 53'-9'' = 85'-3'' / 128'-0 \frac{1}{2}'' = 66.6\%$ **Departure Requested**

A slender steel and lexan canopy providing shelter for the pedestrian connection to the shared below-grade parking structure projects into the 15-foot distance exempting structure from façade length measurements required in SMC 23.45.527.B.1. This canopy is 3 feet deep, 9 feet above the courtyard level and 2 inches tall. It is designed to minimize its presence while providing important shelter in the common amenity area. If included in the façade length calculation, the total façade length on the south elevation is increased by 14 feet to 77.5%.

Refer to page 14 in this packet for the façade length elevations. The massing along the all façades is modulated to reduce the scale and presence of each wall. Most of the additional façade length requested is for modulation to add visual interest and material contrast on each elevation.

In addition proposed windows respect the position of existing openings on the neighboring parcels (refer to page 15 in this packet for diagrams).

Setbacks and Separations:

Per SMC 23.86.012A.c., multifamily zone setback measurement “setbacks are measured horizontally from the lot line to the facade of the structure, at the point that the structure meets the ground.”

In order to minimize the bulk of the proposed structure as well as provide modulation and visual interest on all façades, we are requesting a minimal design departure for our north and south side setbacks. The required setback for the townhouse structure is 5-foot minimum with 7-foot average. Our proposed north side setback measured horizontally from the lot line to the façade of the structure at the point the façade meets the ground is an average of 6'-3 5/8". Two-story modulations between the second and third floors bring the structure into a minimum of 3 feet from the property line at two locations. The western location occurs at east end of the rear structure to the north. The eastern location occurs near the entry of the existing north structure. Both modulations serve as markers for entry into units below.

Our proposed south side setback is an average of 8 feet, more than the 7-foot average required. Two-story modulations come within a minimum setback of 3 feet at two locations. The eastern location is where the façade meets the ground and pulls the mass of the building over the driveway as a means of framing the entry to the garage. The western location is between the second and third floors only and provides added modulation and material variety to the mass.

All projections into the required setback provide minimal glazing in order to respect the privacy of adjacent properties.

Below is a description of the setback calculations:

Front Setback:

$(600 \text{ sf} / 32'-0 \frac{1}{8}'') = 18'-9''$ average, 9'-0" min. (7' average, 5' min. required) projection at 2nd/3rd floor extends to within 8'-0" of front property line

Side Setback North:

$(180 \text{ sf} + 406 \text{ sf}) / (31'-6'' + 7'-8 \frac{7}{8}'' + 53'-9'') = 586 \text{ sf} / 92'-11 \frac{7}{8}'' = 6'-3 \frac{5}{8}''$ average, 5'-0"min. 3'-0" min. for projection at 2nd/3rd floor. (7' average, 5' min. required) **Departure only required if setback is not measured per SMC23.86.012A.c, summarized above**

Side Setback South:

$(158 \text{ sf} + 589 \text{ sf}) / (31'-6'' + 7'-8 \frac{7}{8}'' + 53'-9'') = 747 \text{ sf} / 92'-11 \frac{7}{8}'' = 8'-0 \frac{3}{8}''$ average, 3'-0" min. 3'-0" min. for projection at 2nd/3rd floor. (7' average, 5' min. required)) **Departure requested**

Rear setback:

$(294 \text{ sf} / 30') = 9'-9 \frac{5}{8}''$ average, 9'-9 5/8" min. (7' average, 5' min. required)

Response to Design Guidance

Guideline A-3, Entrances Visible From The Street

The proposal has been modified to establish a stronger connection between the modulation on the street facing façade and the recessed entry for the townhouse abutting the street. In addition the wood siding at recessed entry has turned the corner and continues down the common walkway on the north side of the structure. This creates a strong visible connection with the canopy and directs owners and visitors to the front doors of the other homes and the shared courtyard at the project's center.

All homes entrances are recessed to provide shelter and continuity along the common walkway and courtyard. Wood siding and lighting highlights the entry for each home along the walkway and abutting 14th avenue. The "bridge" home at the center of the courtyard is purposely different as a contrasting architectural element. Although the street-facing unit's entry abuts the sidewalk, it purposely connects directly to the common walkway through the use of a larger wood entry recess as well as a generous wood front porch.



greenwall per guideline C-4 exterior finish materials and guideline E-2 landscaping to enhance the building/site

canopy trellis highlights street-facing townhome's entrance and shared entry walkway. creates a visual connection to all home's entrances per guideline A-3 entrances visible from the street

wood siding at recesses and entry doors painted citron yellow highlight unit entries per guideline A-3 entrances visible from the street

increased front setback, average of nearly 19 feet, minimum of 9 feet, and larger front porch per guideline A-2 streetscape compatibility

wood fence along the north property line with changes in height and material expression at each home's entry per guideline A-5 respect for adjacent sites

entry walkway provides an average setback of 6'- 3 5/8" from the north property line per guideline A-5 respect for adjacent sites

maintained sight lines with driveway on adjacent site providing adequate buffer per guideline A-8 parking and vehicle access

driveway provides a setback of 11.25 feet to the south property line abutting the eastern townhouse structure per guideline A-5 respect for adjacent sites

④ view from 14th Ave E. looking northwest

05. February. 2013

1623 14th Ave

Response to Design Guidance

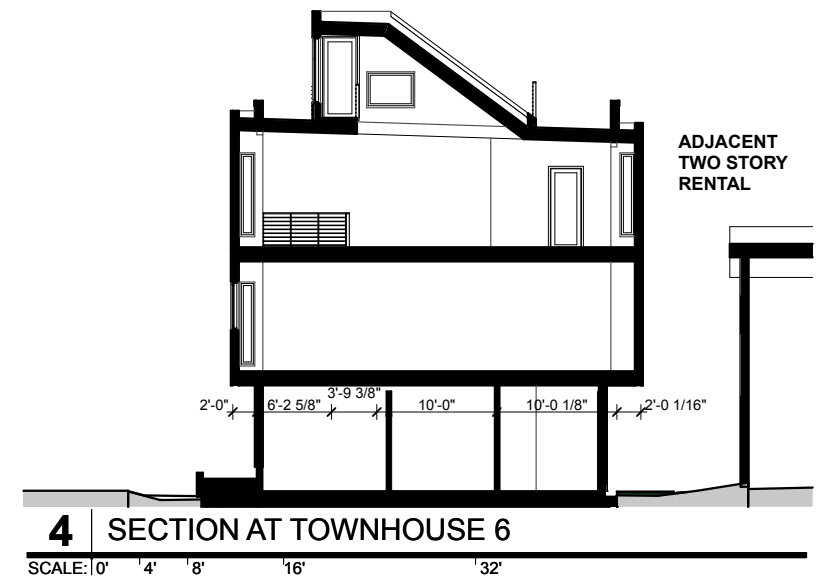
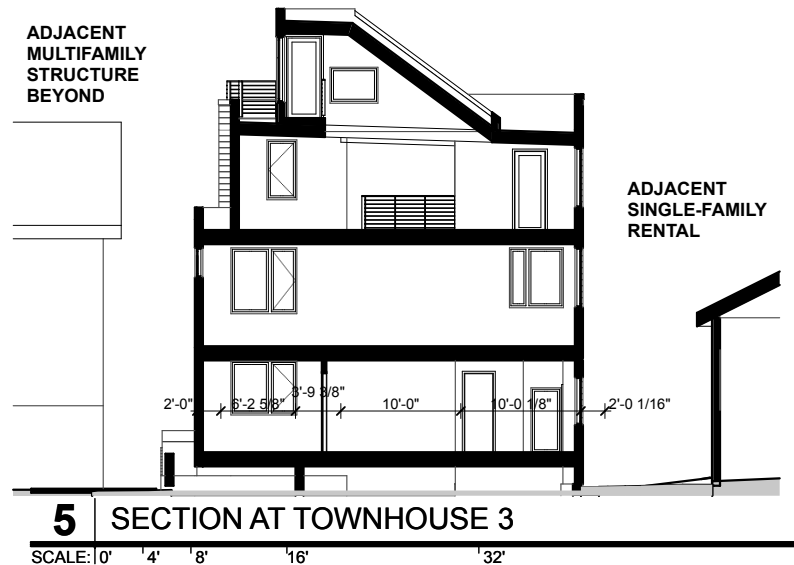
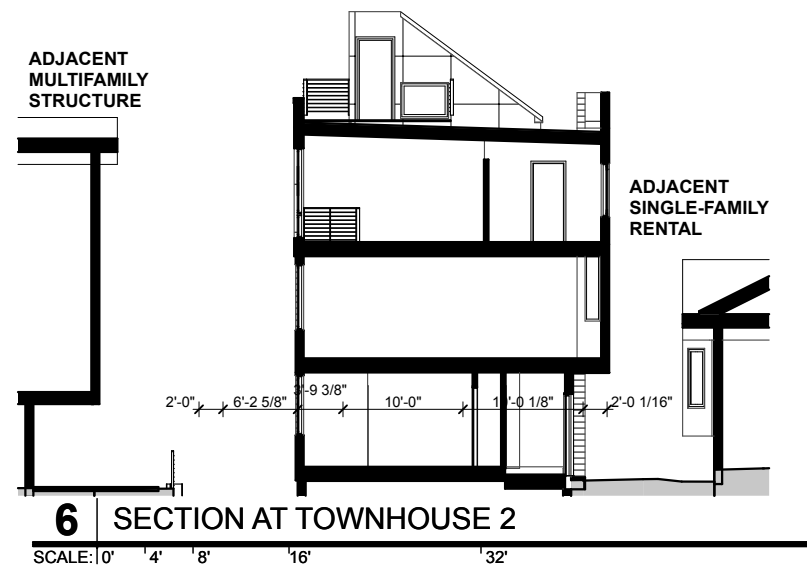
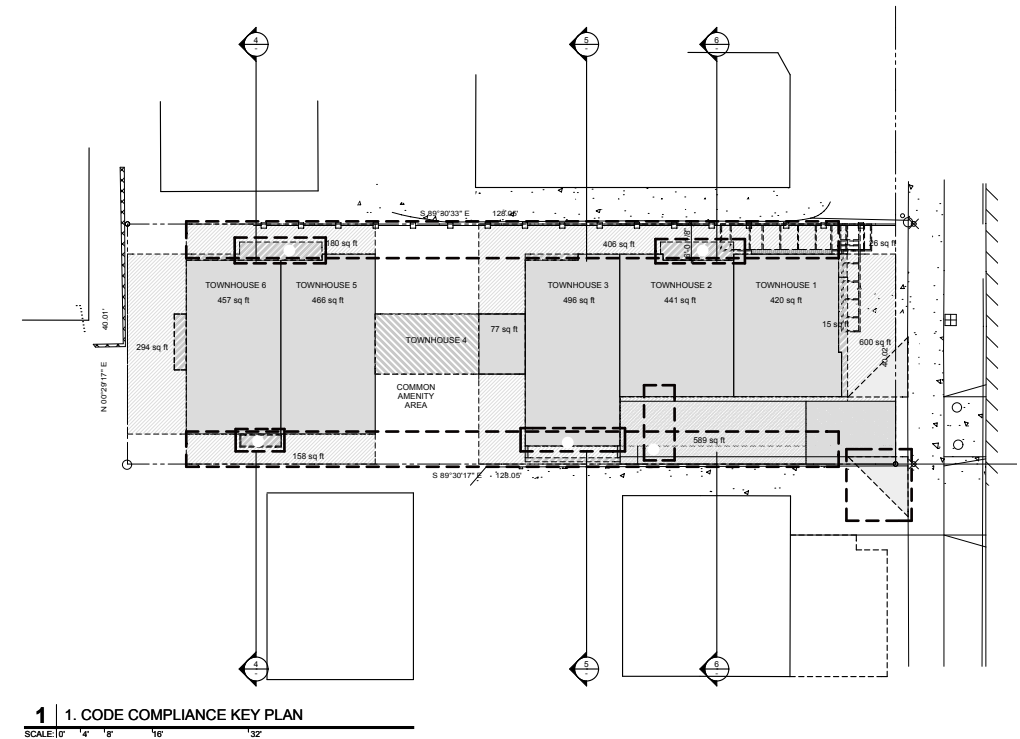
Guideline A-5, Respect For Adjacent Sites

The current proposal has larger front and rear setbacks along with reduced facade length. The departure request is now for 66.6% of the lot depth with 65% allowable by code. The two-story projection at the second and third floor from townhouse 6 to the south primarily aligns with the rear yard of the adjacent townhouse to the south. The two-story projection at grade into required south side setback now aligns with the parking court for the townhouse project to the south. The driveway for our proposal provides a setback of 11.25 feet to the south property line abutting the eastern townhouse structure. The two-story projections at the second and third floors to the north are designed to preserve privacy for the structures on the property to the north by limiting the number of very small windows. We have provided sections through the site and adjacent structures to demonstrate our reduction of the project bulk along all its edges.

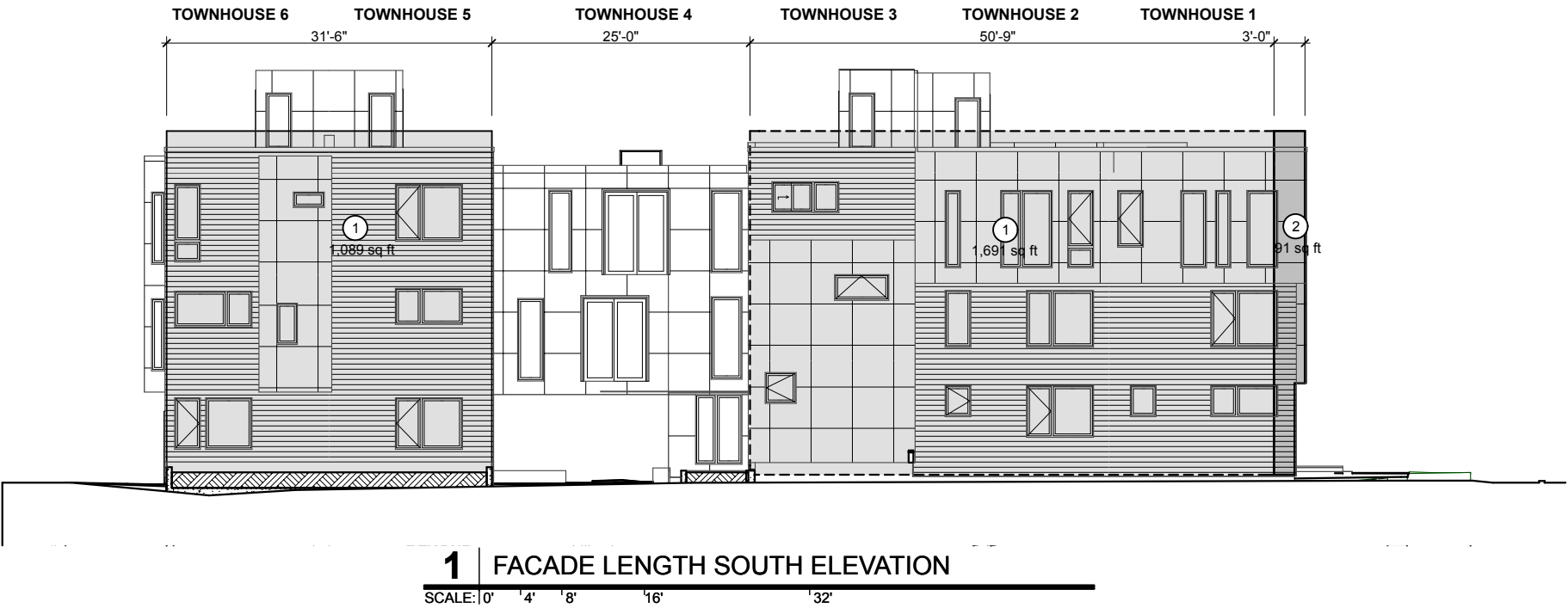
A wood and panel fence will run the length of the north property line with changes in height and material expression at each home's entry. In addition landscaping will provide texture to this screen for the length of the property. Separately we are in conversation with the property owner to the north to design a single, wider walkway for her site and ours. If she agrees to this change we agree that a wider landscaped path is better. Should she agree to this change we will inform you immediately.

All setbacks along with the central courtyard are designed to provide usable outdoor rooms for residents while providing transitions to adjacent uses. Window locations, landscaping and cut-off lighting enliven and activate these spaces while preserving necessary privacy. The common pathway along the north property line is designed to create a private separated walk from adjacent uses. Fencing, landscaping and cut-off lighting along the length of the walk, with covered recesses and downlighting at unit entries. Trees are proposed along the south and west property lines with a concentration of evergreen trees in the northwest corner to provide screening to the adjacent parcels.

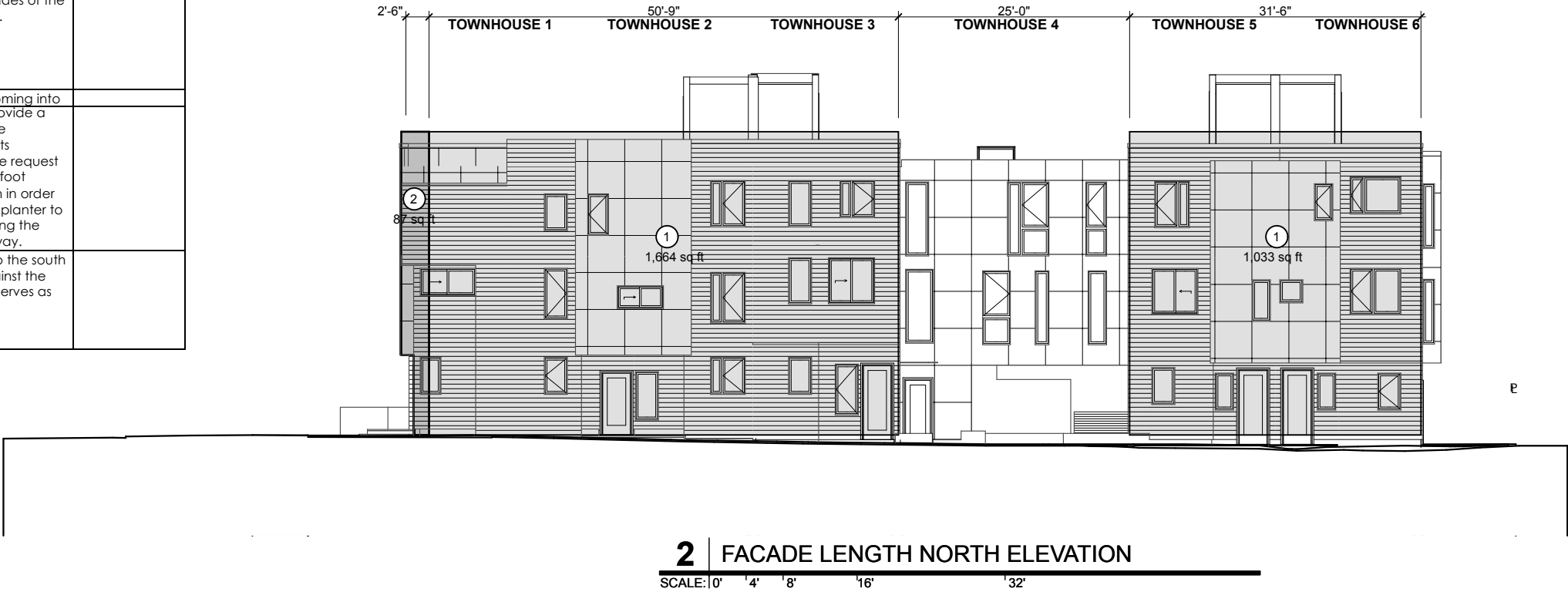
Windows in the proposed structure have been placed in such a way that respects the neighbors to the north, south and west (refer to sheet A1.6 for elevation diagrams). There are no direct relationships between adjacent windoww, thereby obscuring direct lines of sight across the property lines into adjacent properties. There are no blank walls in the proposed design and windows have been thoughtfully placed to allow appropriate amounts of daylight while respecting privacy.

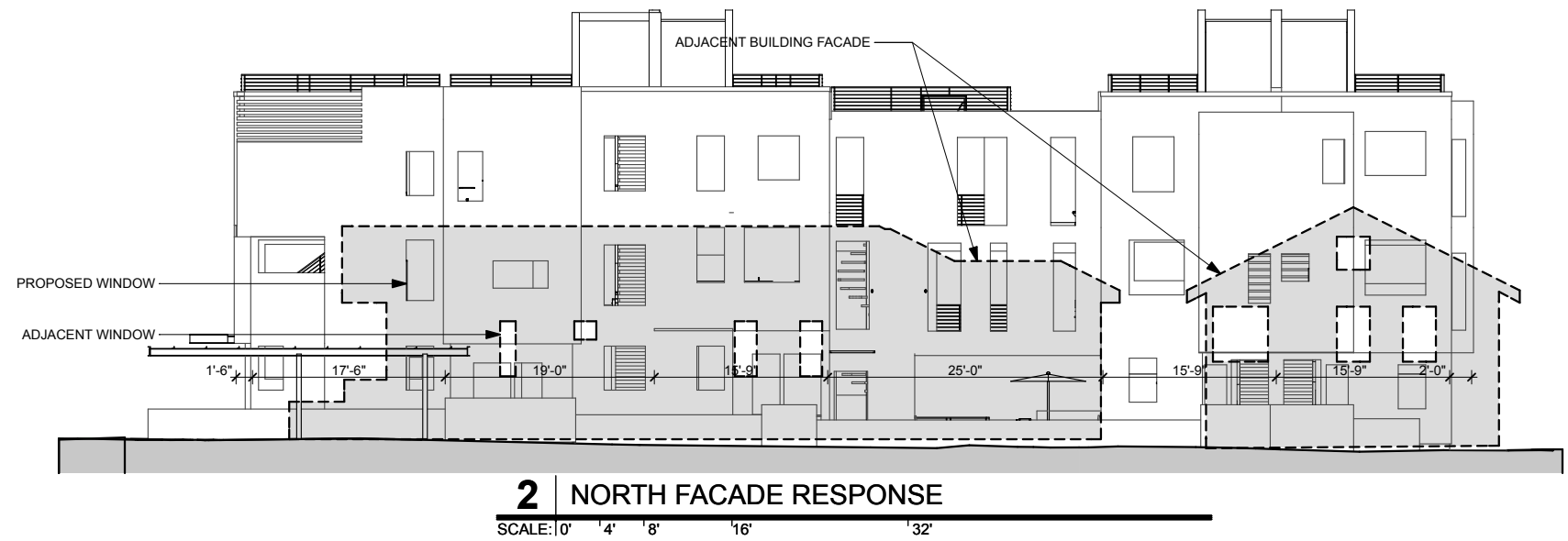


Development Standard	Requirement	Proposed	Comment/Rational BY Architect	Recommendation
1. Side Setback. 23.45.518.A	For façades greater than 40 feet in length for townhouse uses, the side setback shall be 7 feet average. 5 feet minimum.	6'-3 5/8" average, 3 feet minimum on north side 7'-4 3/4" average, 3 feet minimum on south side	In order to minimize the bulk of the proposed structure as well as provide modulation and visual interest on the north and south sides, we are requesting a design departure for our north and south side setbacks. The required setback for the townhouse structure is 5-foot minimum with 7-foot average. Our proposed north side setback is 5'-6 3/8" average with two-story modulations between the second and third floors that bring the structure into a minimum of 3 feet from the property line at two locations. The western location occurs at the gap between the two adjacent structures to the north. The eastern location occurs near the entry of the existing north structure. Both modulations serve as markers for entry into units below. Our proposed south side setback is over the 7 feet average required and comes within a minimum of 3 feet at two locations. The eastern location pulls the mass of the building over the driveway as a means of framing the entry to the garage. The western location provides added modulation to the mass.	
2. Façade Length 23.45.527.B	The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.	North side façade length is 85'-3" feet or 66.6% of the lot length and the south side façade length is 85'-3" or 66.6% of the façade length.	Due to the site constraints and scale of abutting uses, the design proposal reduces the height, bulk and mass for the depth of the lot. This reduction in these qualities increases the proposed façade length beyond the allowable requirements in the code, per SMC 23.45.527.B.1. As such we are requesting a design departure for façade length on both sides of the parcel (north and south).	
3. Driveway Width 23.54.030.D.1a	Driveways less than 100 feet in length that serve 30 or fewer parking spaces shall be a minimum of 10 feet in width.	9'-3" wide driveway.	In order to slow traffic coming into the garage as well as provide a visual buffer between the proposed structure and its neighbor to the south, we request a departure from the 10 foot minimum driveway width in order to provide a 2 foot wide planter to support a green wall along the north edge of the driveway.	
4. Sight Triangle 23.45.536.D	No fence or wall shall be located within any required sight triangle.	Sight triangle at southern edge is satisfied by void on adjacent site.	The adjacent property to the south has built a driveway against the property line edge and serves as an adequate buffer.	



- ① 3-STORY FACADE AREA BASED ON CODE COMPLIANT FACADE LENGTH
- ② PROPOSED 3-STORY FACADE AREA REQUIRES DEPARTURE REQUEST FOR FACADE LENGTH.





lowered parapet on bridge unit per
guideline B-1 height, bulk, and scale

wood fence along the north property line
with changes in height and
material expression at each home's entry
per guideline A-5 respect for adjacent sites



⑤ view from nothwest corner of site looking southeast

Response to Design Guidance

Guideline A-2, Streetscape Compatibility, Guideline B-1, Height, Bulk, And Scale

The proposal has been modified to greatly minimize its height, bulk and scale along all its edges. The current proposal has larger front and rear setbacks along with reduced facade length. The departure request is now for 66.6% of the lot depth with 65% allowable by code. In response to your specific suggestions we have maintained the bridge and greatly reduced the facade length. This provides greater open space and light at the site's perimeter and increases access to light and air for adjacent residential structures.

While the bridge element has been retained, it has evolved from floor area for the adjacent townhouses to a townhouse on its own with a small connection to the ground in the courtyard. This connection is very transparent and features a spiral stair that connects the bridge to the ground. In addition the bridge element has been shortened in height to reduce its mass in comparison to the rest of the structure. Its fenestration is regular with tall windows creating a pattern on both its sides to further reduce the single mass. There is one set of sliding doors with a railing flush against its exterior at each floor on the south side in order for it to activate that side of the courtyard from above and provide a means to move in furniture.

The facade length reduction has created a larger front setback, courtyard and rear setback. The front setback is increased to 9 feet at the ground floor with a 1-foot projection for modulation and material change at the second and third floors. The courtyard is now 25 feet deep from east to west. The rear setback, now 9'-9 5/8" at the ground has a small 2 foot bay projection that add modulation and material interest at the second and third floors only. Both of these spaces are more usable and respond better to adjacent sites as well. The front setback has also been increased to a minimum of 9 feet at the ground level with a 1.5-foot projection above. The average front setback is nearly 19 feet, with the adjacent structures on both sides providing setbacks of approximately 17.5 feet. In addition the southern abutting parcel provides a 6 foot tall fence that extends to within 1.5 feet of the property line. We propose to provide no fence along the front street edge.

The departure request has been greatly reduced for facade length in order to keep the bridge as an element that is conceptually important to the scheme. It is the genesis of all the vertical modulation elements along all four exterior facades and creates a place of shelter in the larger courtyard. Fenestration along the north and south sides of the structure has been rethought as the layout and design of the rear homes have changed. There are now only two homes west of the courtyard with bridge the sixth home for the project.

screening foliage along south property line per guideline A-5 respect for adjacent sites

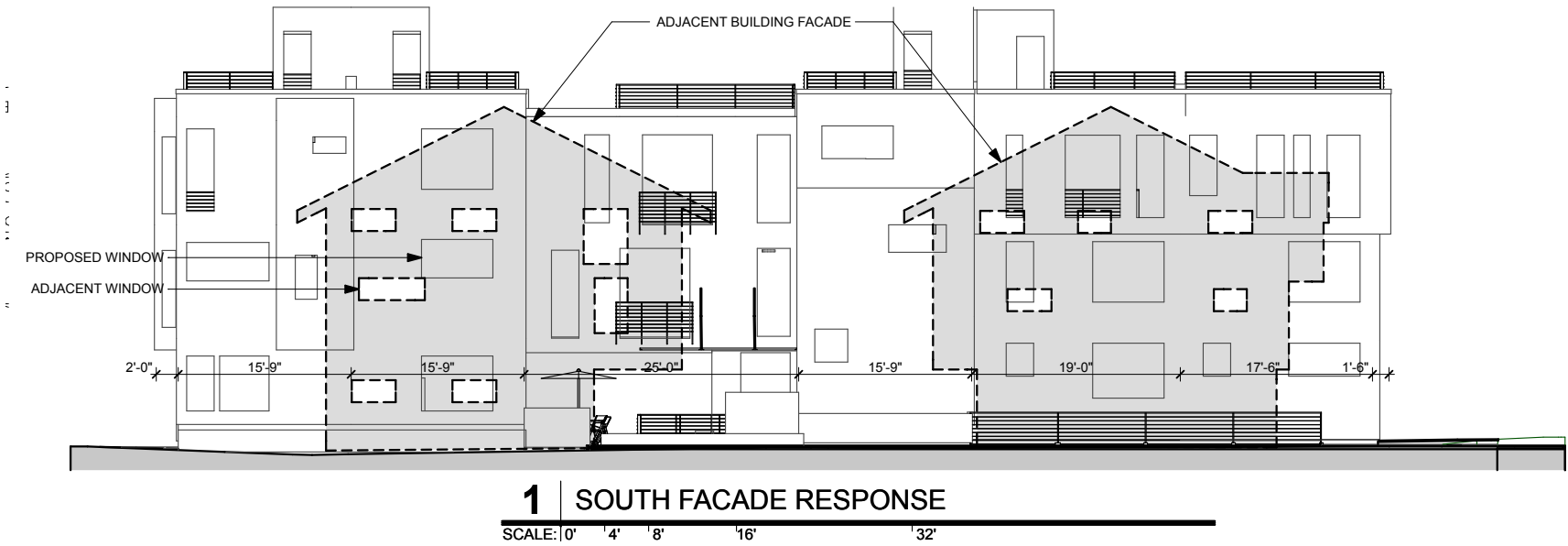


6 view from southwest corner of site looking northeast towards 14th Ave. E

greenwall per guideline C-4 exterior finish materials and guideline E-2 landscaping to enhance the building/site



7 view from 14th Ave E. looking northwest





Strip lighting beneath soffit to provide safe spaces, Guideline D-7 Personal Safety, see p.20

canopy cover for stairwell provides quality open space connection to garage per guideline A-7 residential open space

Screening foliage provided throughout Courtyard Space to enhance amenity area and also obscure line of site to adjacent uses, Guideline A-5, A-7. Omitted in foreground for clarity

Wood soffit under bridge, durable quality material consistently found at residential entries, Guideline C-4 Exterior Material Finish

seat walls for seating within courtyard amenity space per guideline A-7 residential open space

proposed mailbox for each unit located in courtyard per guideline A-7 residential open space

space for shared seating per guideline A-7 residential open space

⑧ view from courtyard looking northeast towards 14th Ave E.

wood soffit under
bridge, durable quality
material consistently
found at residential
entries per guideline C-4
exterior finish materials

entry canopy over
door per guideline A-3
entrances visible from
the street

addresses visible
from shared walkway
per guideline A-3
entrances visible from
the street

steel trellis over
walkway leading to
courtyard and the
other home's entrances
per guideline A-3
entrances visible from
the street

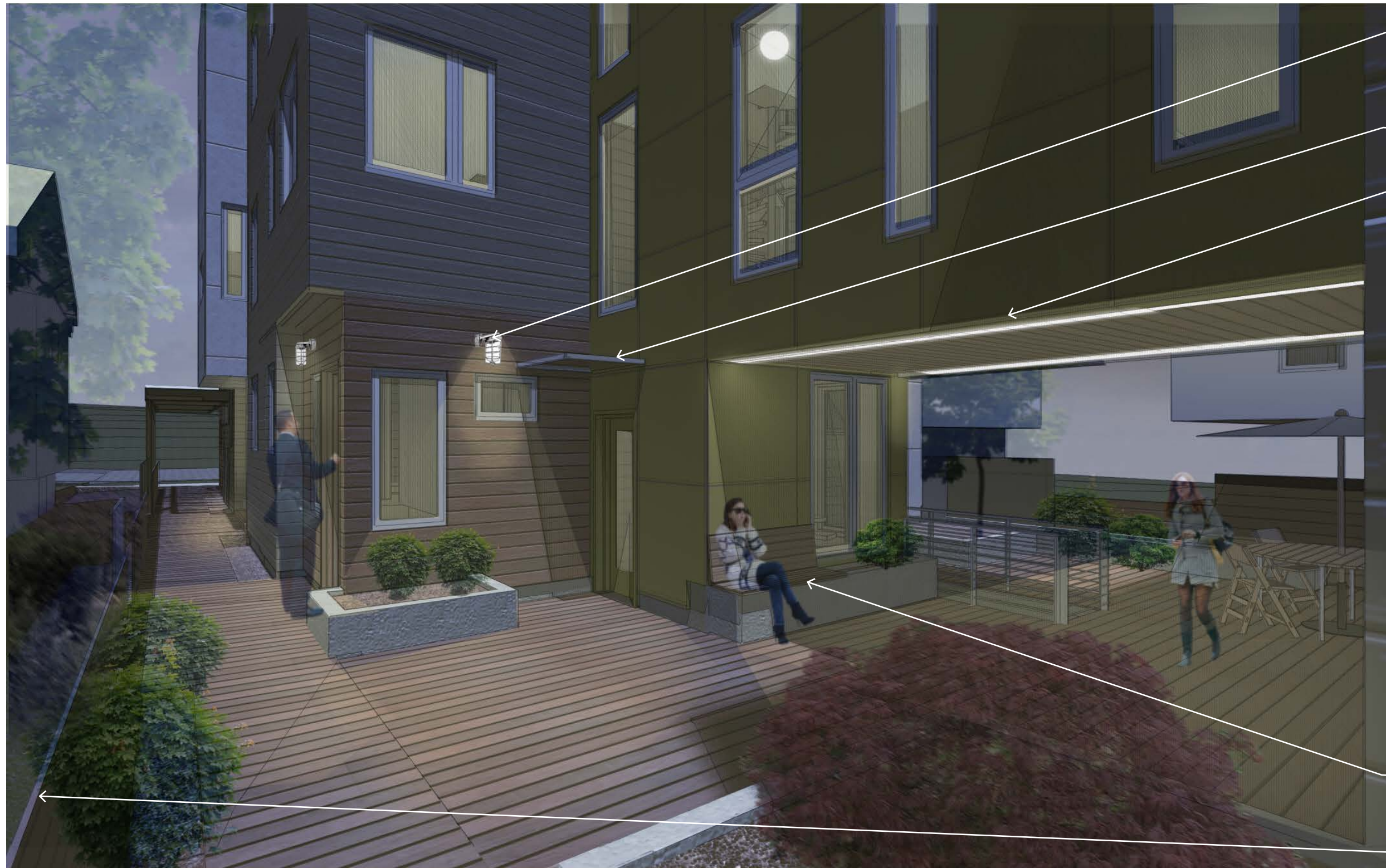
wood fence along the
north property line with
changes in height and
material expression at
each home's entry per
guideline A-5 respect
for adjacent sites

screening foliage
provided throughout
courtyard space to
enhance amenity area
and obscure line of site
to adjacent uses per
guideline A-5 respect
for adjacent sites and
A-7 residential open
space

planters double for
seating within courtyard
amenity space per
guideline A-7 residential
open space



⑨ view of the courtyard and communal walkway looking towards 14th Ave E.



"jelly jar" rab wall fixtures highlight each home's entry door per guideline D-7 personal safety and A-7 residential open space

entry canopy over door per guideline A-3 entrances visible from the street

strip lighting unter bridge to provide safe spaces per guideline D-7 personal safety and A-7 residential open space

planters double for seating within courtyard amenity space per guideline A-7 residential open space

wood fence along the north property line with changes in height and material expression at each home's entry per guideline A-5

⑩ night view of the courtyard and communal walkway looking towards 14th Ave E.

Response to Design Guidance

Guideline A-8, Parking And Vehicle Access

The design proposal provides access to the shared below grade parking structure along the south property line, adjacent to the abutting driveway on the parcel to the south. The site plan, building sections and elevations and perspective drawings demonstrate the proposed grade change, soldier pile wall and concrete retaining walls in this vicinity. A garage door is provided at the bottom of the driveway recessed beyond the building projection above. This creates a safe transition between the garage and courtyard as well as the driveway and 14th Avenue. The driveway space is 11.2 feet wide with a 9-inch wide landscape planting area at the foot of the south wall of the proposed structure. Our design includes a textured exposed steel soldier pile and wood lagging retaining system along the south side of the driveway that projects into the 11.2-foot width. This combined with the green wall on the south side of the structure (north side of the driveway) will create a well-scaled and green environment for pedestrians along the sidewalk at 14th avenue. A 3-foot tall cable steel guardrail will be provided on top of the shoring system at the property line with vines growing along it to create a safe and attractive environment. The guardrail transitions at the east edge of the soldier pile and wood lagging wall to a low concrete retaining wall. This creates a wider open space abutting the street and sidewalk allowing our development proposal and the existing townhouse development to the south greater visibility along the pedestrian sidewalk. Each site provides half the required sight triangle for the abutting site.

greenwall per guideline C-4
exterior finish materials and
guideline E-2 landscaping to
enhance the building/site

building projection into the
setback frames the entry
per guideline C-5 structured
parking entrances

garage door per guideline C-5
structured parking entrances

safety rail per guideline D-7
personal safety and security

wood material on wall per
guideline D-2 blank walls and
guideline D-3 retaining walls

drivable grass pavers per
guideline E-2 landscaping to
enhance the building/site

maintained sight lines with
driveway on adjacent site
providing adequate buffer
per guideline A-8 parking and
vehicle access

driveway location consistent
with adjacent site per
guideline A-1 responding to
site characteristics



11 view of driveway from 14th Ave. E

Response to Design Guidance Continued:

The projection of townhouse 3 frames the garage entry below and provides a contrasting material as a visual terminus from the street. Landscaping has been proposed to climb more than two stories up the south wall of the proposed structure along the driveway access. In addition, vines will be planted at the base of the south wall of the setback projection over the garage entry. They will be encouraged to grow up the wall abutting the southern neighbor's parking court for one story.

Lighting and window placement create a safe environment at the driveway and pedestrian stair access between the garage and courtyard spaces. See the Lighting Plan and Building Elevations and perspective drawings. The driveway surface abutting the sidewalk for approximately 20 feet into the site will be drivable grass paver system to slow drivers coming and going from the site. The grass grown between the pavers is a significant improvement for the pedestrian environment when compared to asphalt driveways on adjacent parcels.

The majority of the individual solid waste and recycling storage spaces are provided in the shared garage with one provided at the courtyard level, screened behind an ipe or similar fence. All are easily accessible from the driveway and pedestrian stairway. This treatment eliminates any visual impacts to existing and proposed residential units.

- greenwall per guideline C-4
exterior finish materials and
guideline E-2 landscaping to
enhance the building/site
- building projection into the
setback frames the entry
per guideline C-5 structured
parking entrances
- garage door per guideline C-5
structured parking entrances
- safety rail per guideline D-7
personal safety and security
- wood material on wall per
guideline D-2 blank walls and
guideline D-3 retaining walls
- drivable grass pavers per
guideline E-2 landscaping to
enhance the building/site



12 view of driveway from 14th Ave. E

Response to Design Guidance

Develop material palette.

The material palette consists of:

1. Ipe or similar wood decking for shared walkway and courtyard space
2. Sustainable hardwood siding for the entry recesses
3. White painted or integrally colored 4' x 4' panels for the contrasting vertical elements .

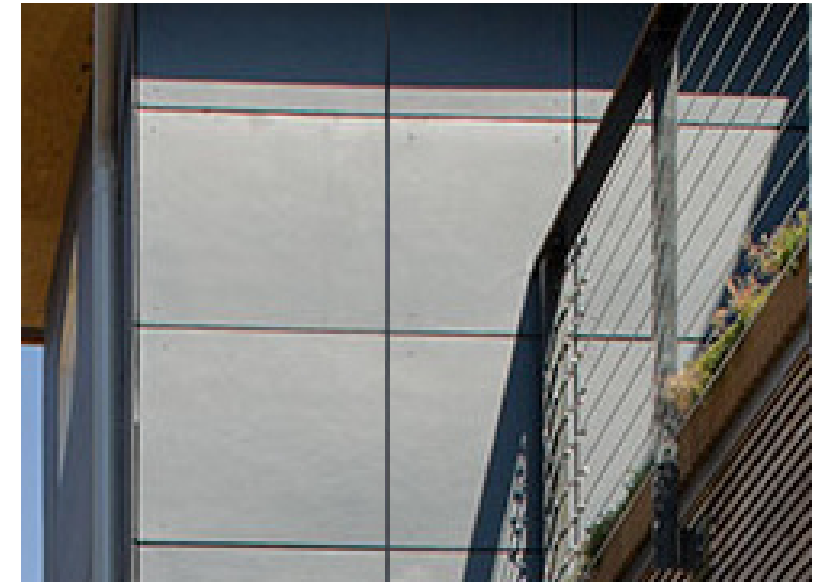
4. Gray painted horizontal ship-lap siding for the "common" more vernacular element.
5. "Citron" painted or integrally colored 4' x 4' panels for the contrasting bridge unit.
6. "Citron" painted single-lite entry doors for all homes.
7. White windows
8. Gray painted steel railings behind roof deck parapets.
9. Galvanized metal coping at the top of the parapets
10. The materials specified are durable and a good complement to the existing neighborhood material context.



bridge panel example



wood decking/siding example



light gray panel example



1 GREEN FACTOR PLAN

SCALE: 0' 4' 8' 16' 32'



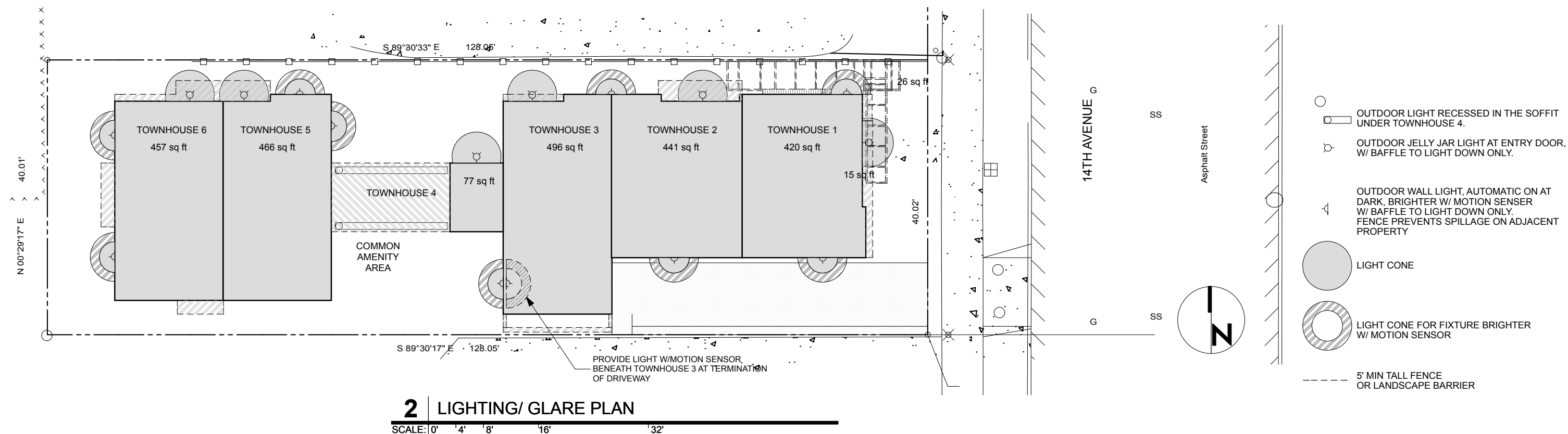
gray ship lap siding example



steel railing example



painted steel trellis example





2 | RENDERED WEST ELEVATION

SCALE: 10' 2' 4' 8' 16'



1 | RENDERED EAST ELEVATION

SCALE: 10' 2' 4' 8' 16'



1 | RENDERED SOUTH ELEVATION

SCALE: 0' 2' 4' 8' 16'



1 | RENDERED NORTH ELEVATION

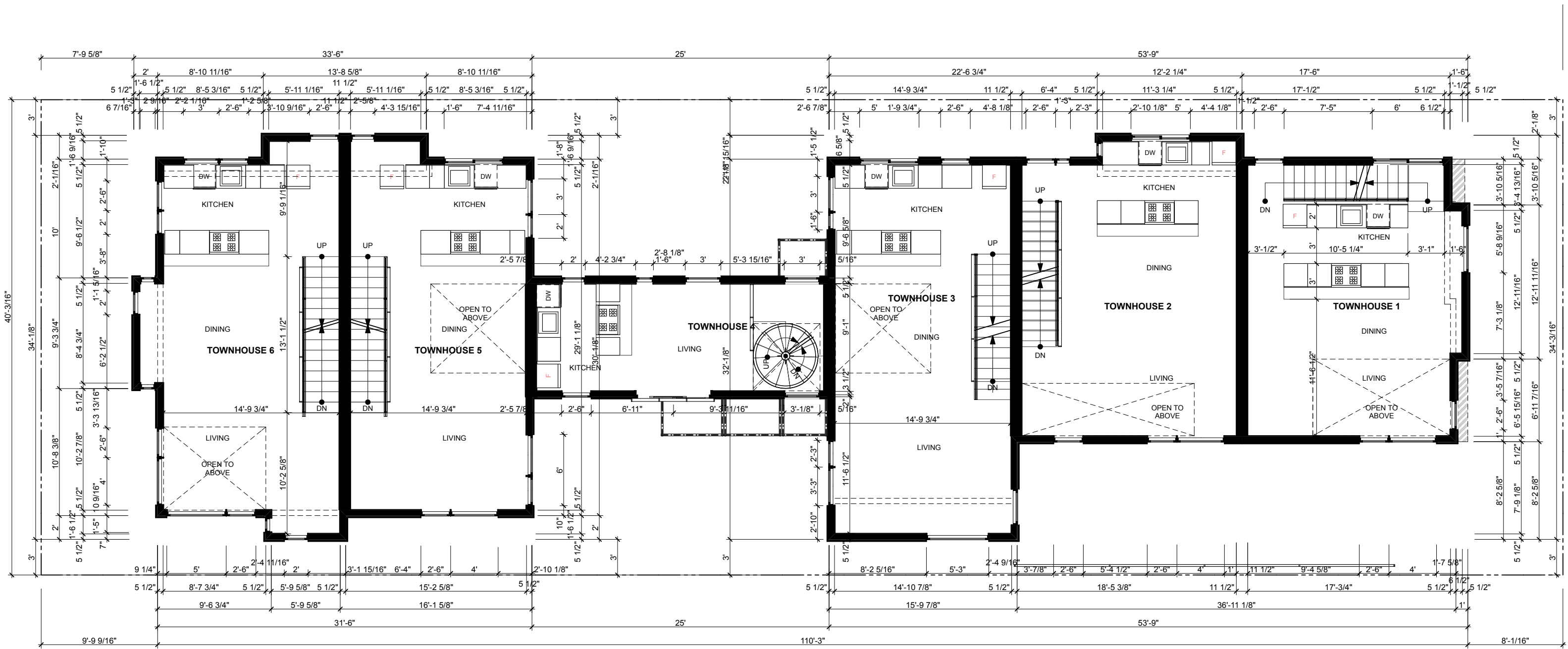
SCALE: 0' 2' 4' 8' 16'



2 RENDERED COURTYARD EAST ELEVATION
SCALE: 0' 2' 4' 8' 16'

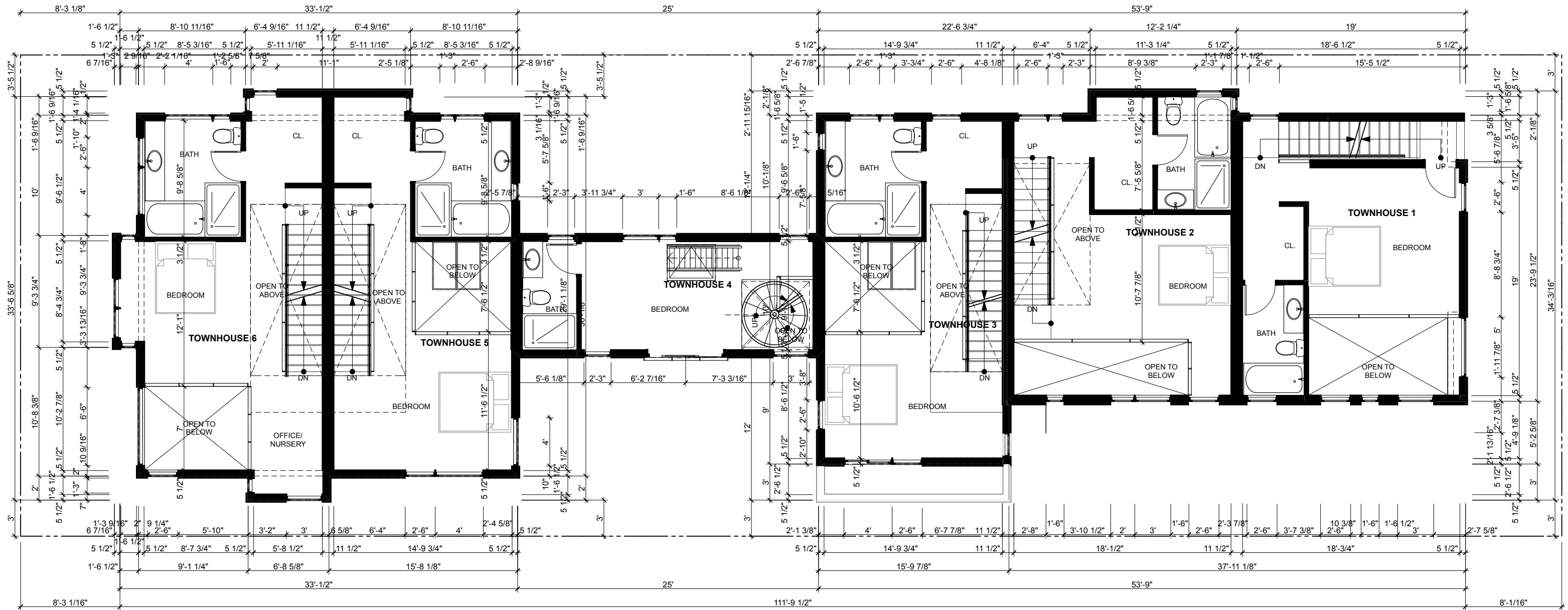


1 RENDERED COURTYARD WEST ELEVATION
SCALE: 0' 2' 4' 8' 16'



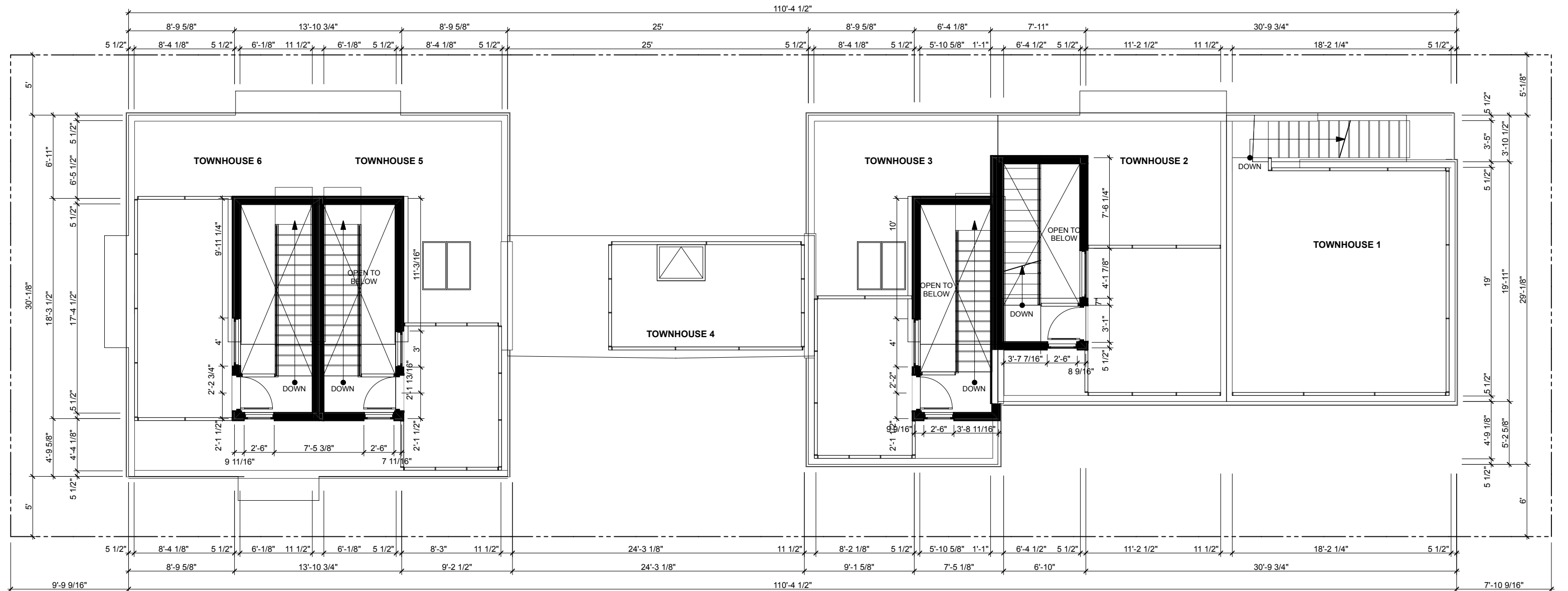
1 | SECOND FLOOR PLAN

SCALE: 0' 2' 4' 8' 16'



1 | THIRD FLOOR PLAN

SCALE: 0' 2' 4' 8' 16'



1 | 4. ROOF PLAN

SCALE: 0' 2' 4' 8' 16'

roof plan