



8TH & COLUMBIA

RECOMMENDATION MEETING | DPD #3013479 | AUGUST 21ST, 2013

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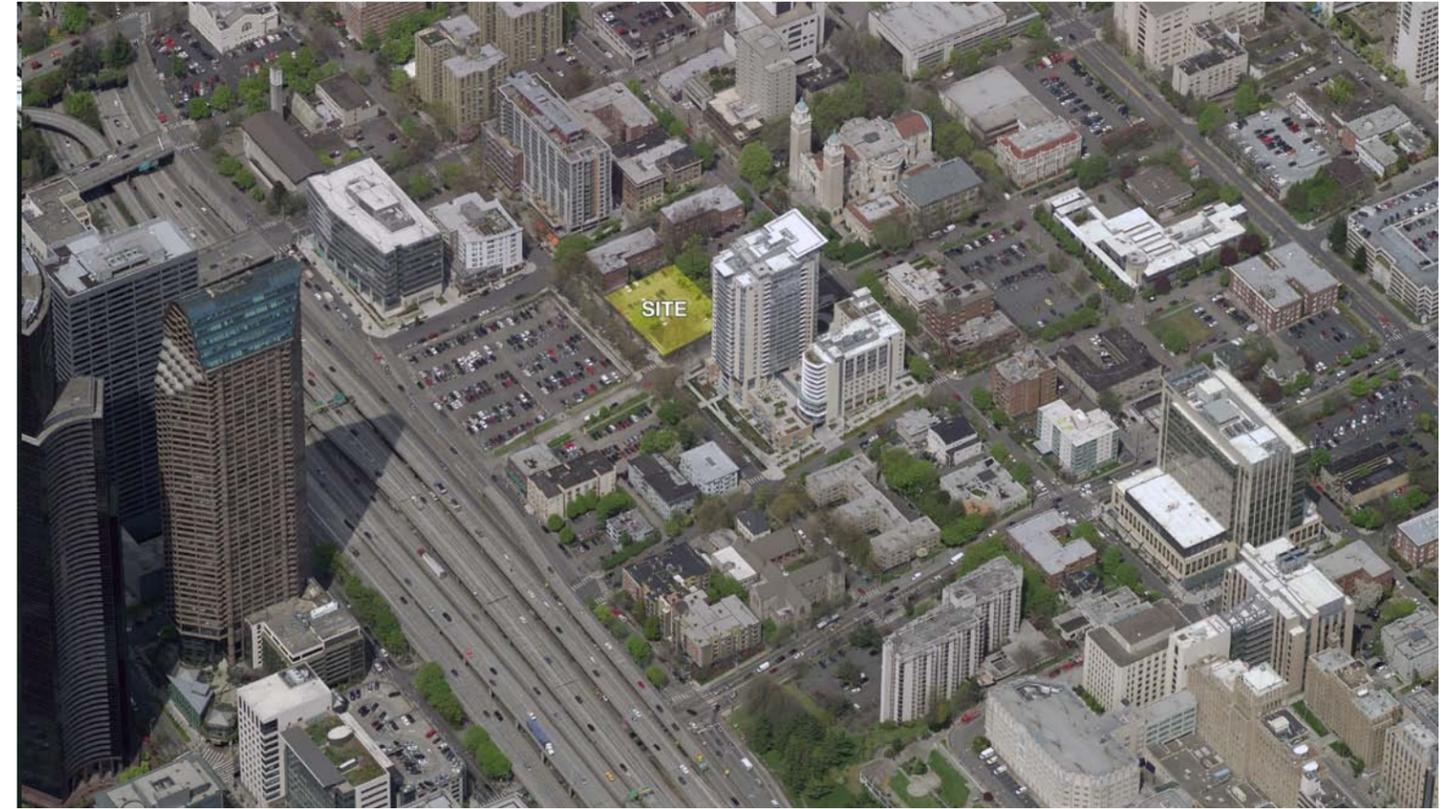
THE BUILDING

The project site is surrounded by major employment centers and located on the northeast corner of the intersection at 8th Avenue and Columbia Street, which is near the western edge of the First Hill neighborhood. The site is on a city block located two blocks north of the Harborview Medical Center Campus, two blocks southwest of the Swedish Medical Center Campus, two blocks south of the Virginia Mason Medical Center Campus and six blocks west of the Seattle University Campus. The site is also one block south of Madison Street and following Madison Street two blocks to the west (over I-5) is the eastern edge of Seattle's downtown office core which is the largest employment center in the Pacific Northwest.

Surrounded by these major employment centers, the project vision is to provide high density housing targeting those looking generally for a convenient downtown residential location as well as the employees from these nearby campuses and the office core in an attractive 30 story high-rise residential building. This project will offer that population the opportunity to commute by walking to and from the campuses and downtown core. The access to the building lobby and garage will be located on the middle and northern part of the site fronting on 8th Avenue.

High density housing at this site will be readily accessible to other parts of the city by a variety of public transportation services including: numerous Metro bus routes with frequent stops within one block of the site,

A main feature of the project will be the creation of a significant park-like public open-space on the northeast corner of 8th Avenue and Columbia Street.



THE OPEN SPACE

The project includes a Neighborhood Open Space: nearly 9000 square feet that faces southwest with excellent solar exposure. The open space takes a challenging steep slope along Columbia Street and creates two levels of parklike space. The larger area is nearly level at the Eighth Avenue elevation in this heavily landscaped but retains some open seating area with both fixed and movable furniture. This larger open space has a water wall at the east end cascading down from a upper level parklike space. These two open spaces are then connected by a stairway following the slope; the upper spaces are designed for more active lawn type activities.

It is anticipated that this Eighth and Columbia Neighborhood Open Space will be a delightful amenity to the neighborhood as well as the residents of the new adjacent tower.



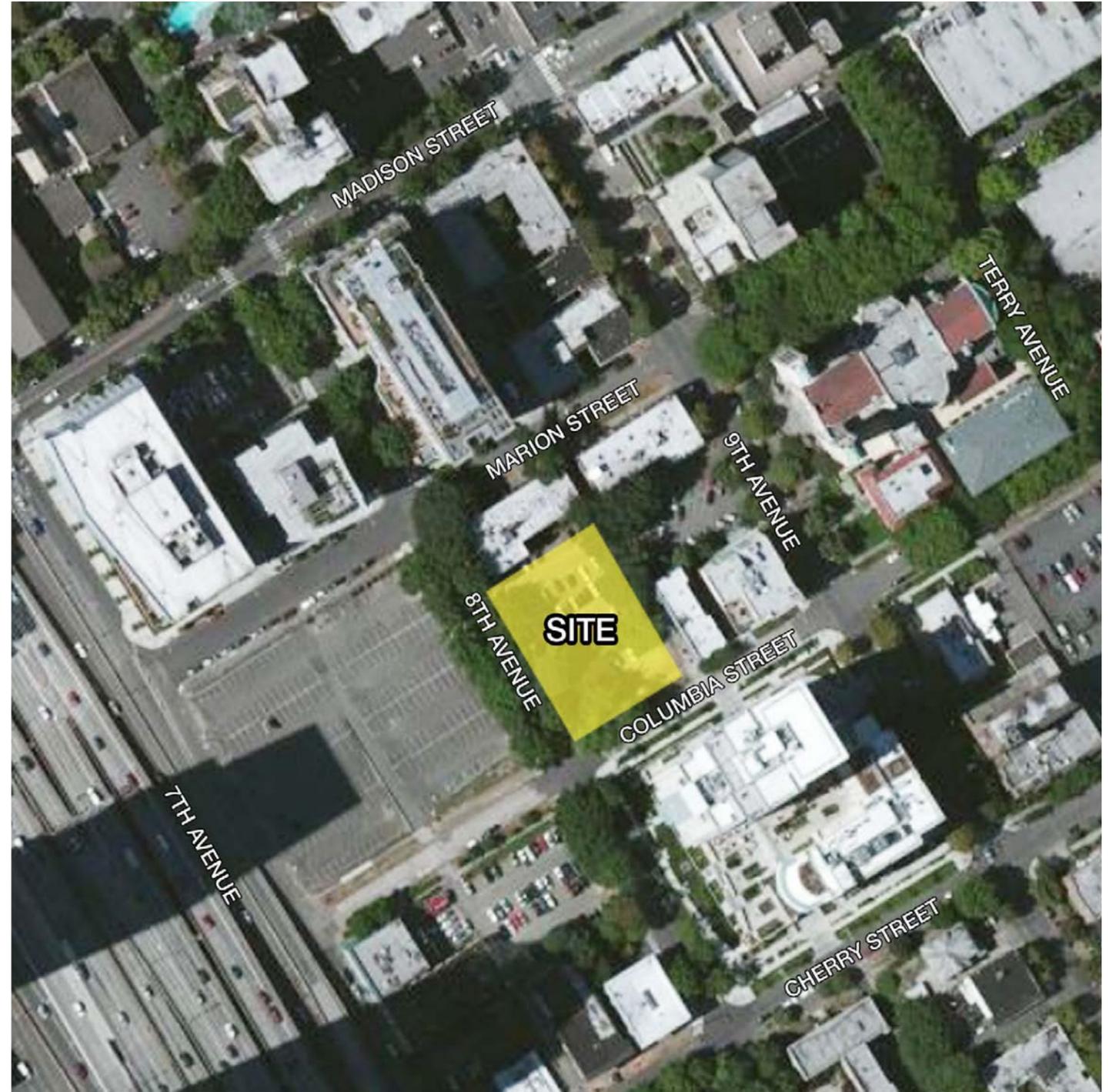
PROJECT OBJECTIVES

ADDRESS	8th & Columbia
RESIDENTIAL USES	287 residential units; a mix of studio, 1 and 2 bedroom units
USE DISTRIBUTION BY FLOOR	BASEMENT: Parking 3 – 4 floors (0.8 stalls per unit) LEVEL 1: Residential Lobby / Fitness LEVEL 2: Loading / Services LEVEL 3-30: Residential ROOF: Roof Deck, Garden & Amenity
HEIGHT	300' (+45' Mechanical and Amenity Space)
TOTAL AREA (FAR)	273,152 gsf
PARKING	234 stalls (.8 stalls/unit)

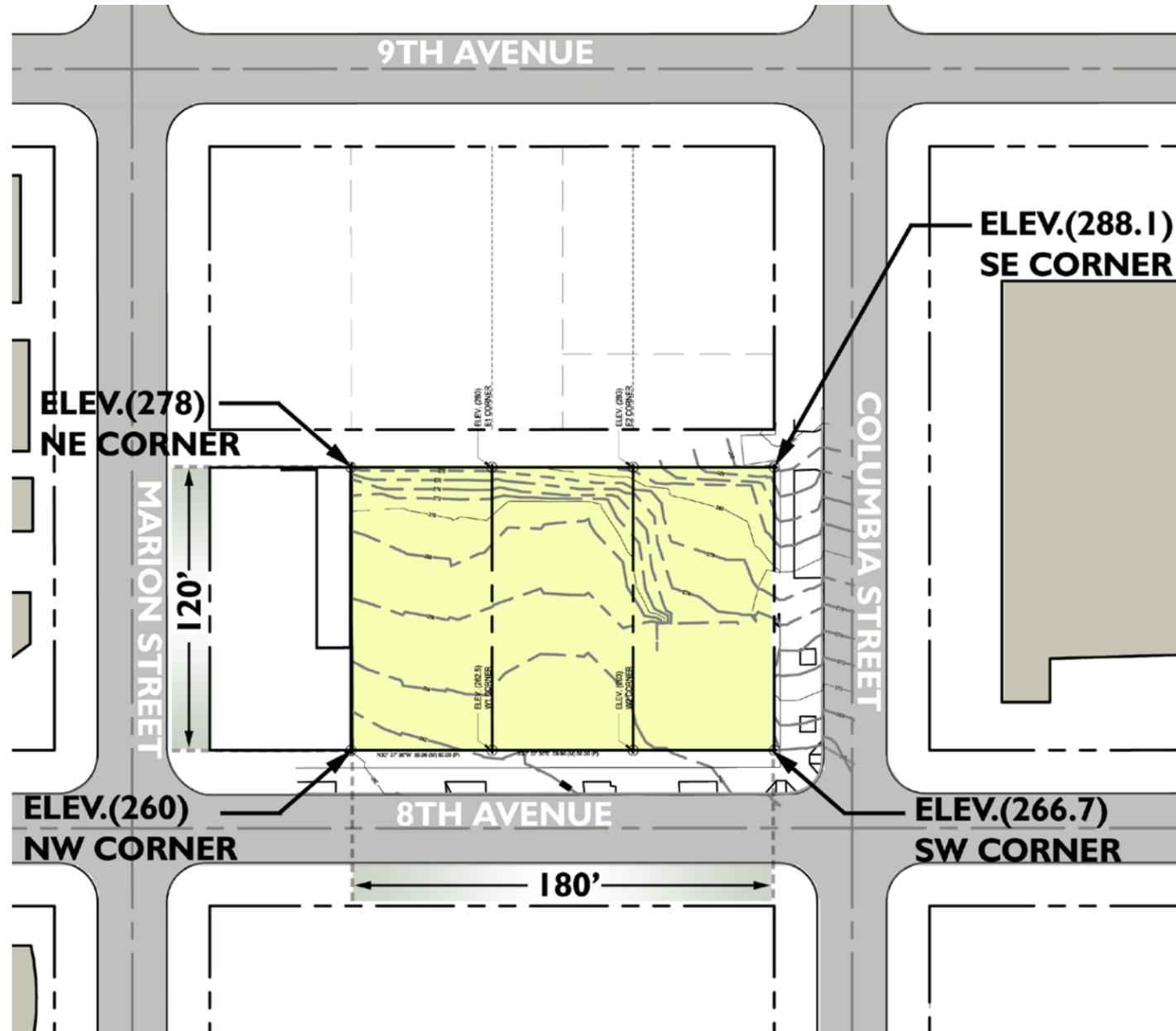
F.A.R.

Allowed F.A.R.:	14 (Structure over 240') Lot area x 14 = 21,600 x 14 = 302,400 SF
Total Proposed F.A.R.:	283,859 SF – 3.5% (MECH) = 273,152 SF

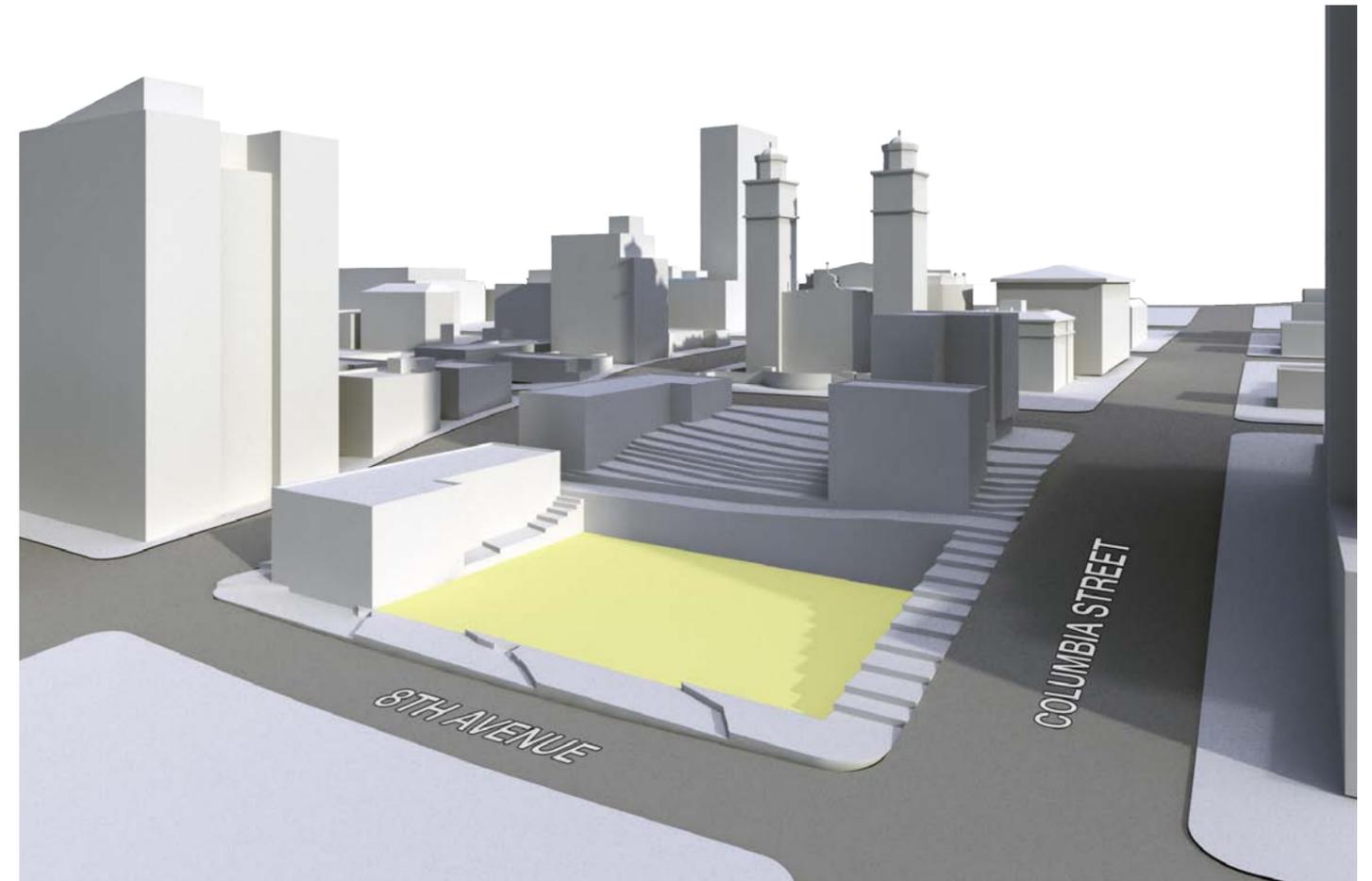
Amenity/Area	Interior	Exterior	
LI NORTH	o	1,516 SF	} TOTAL OPEN PUBLIC SPACE: 9,485 SF
LI SOUTH (open space)	3,951 SF	6,207 SF	
L2	444 SF	2,783 SF	
L3-4	o	208 SF	
L5	o	1,190 SF	
L6-23	o	3,725 SF	
RI	4,748 SF	4,752 SF	
	9,143 SF	20,381 SF	



SITE DETAILS



SITE DESCRIPTION: The site is located at the southwest corner of Eighth Avenue and Columbia Street. The site occupies the southwest portion of the block, just north of Skyline at First Hill and south of M Street Apartments. An existing parking lot currently occupies the site. The site slopes downward approximately 25 feet from the southeast corner of the site to the southwest corner along Columbia Street. The site occupies 180' of street frontage along Eighth Avenue and 120' along Columbia Street.



EIGHTH AVENUE:

- Two-way traffic
- Two-lane street with parallel parking on the east and west curbs
- Class one pedestrian street
- Fairly level elevation change

COLUMBIA STREET:

- Two-way traffic
- Class one pedestrian street
- Original cobblestone street
- Steep elevation change



SITE PHOTOS



1. CORNER OF 8TH AVENUE AND COLUMBIA STREET

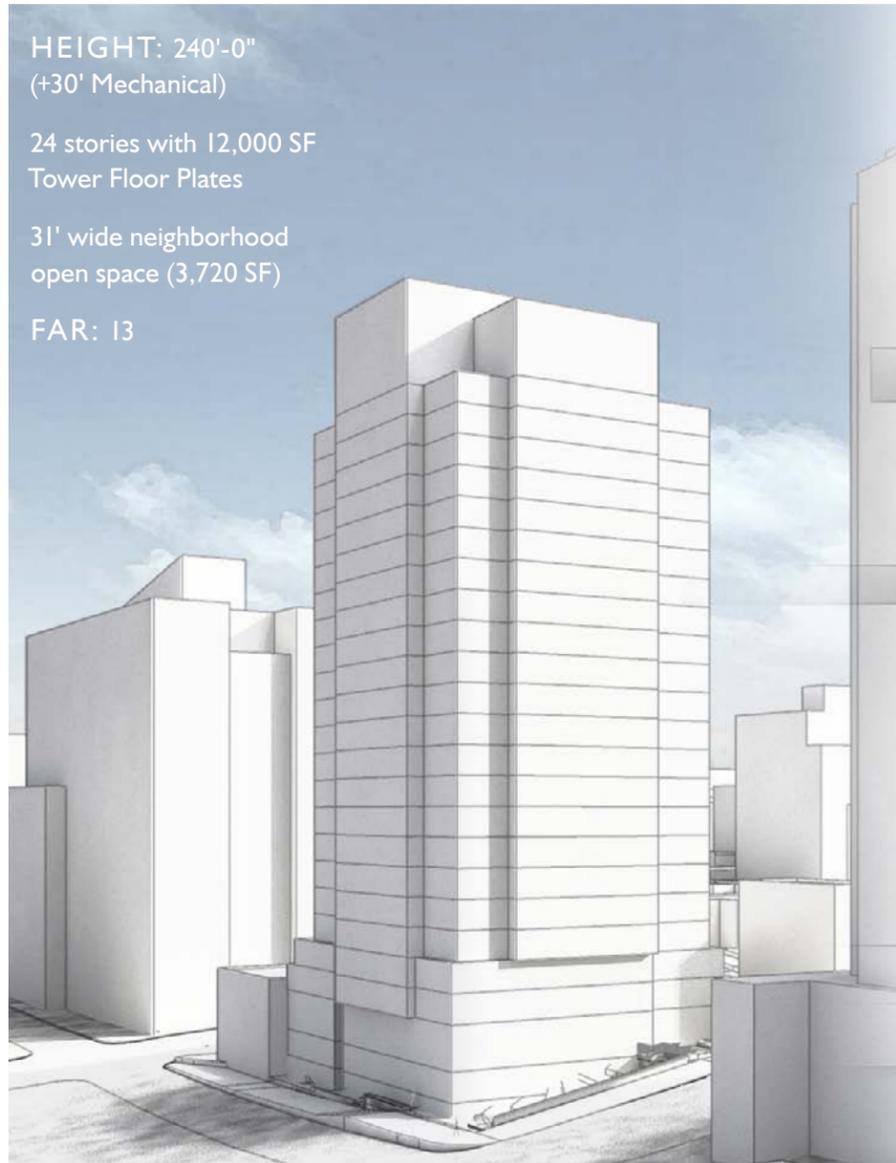


2. MID BLOCK ON MARION STREET



EDG MASSING OPTIONS _____

MASSING OPTION **1**



HEIGHT: 240'-0"
(+30' Mechanical)

24 stories with 12,000 SF
Tower Floor Plates

31' wide neighborhood
open space (3,720 SF)

FAR: 13

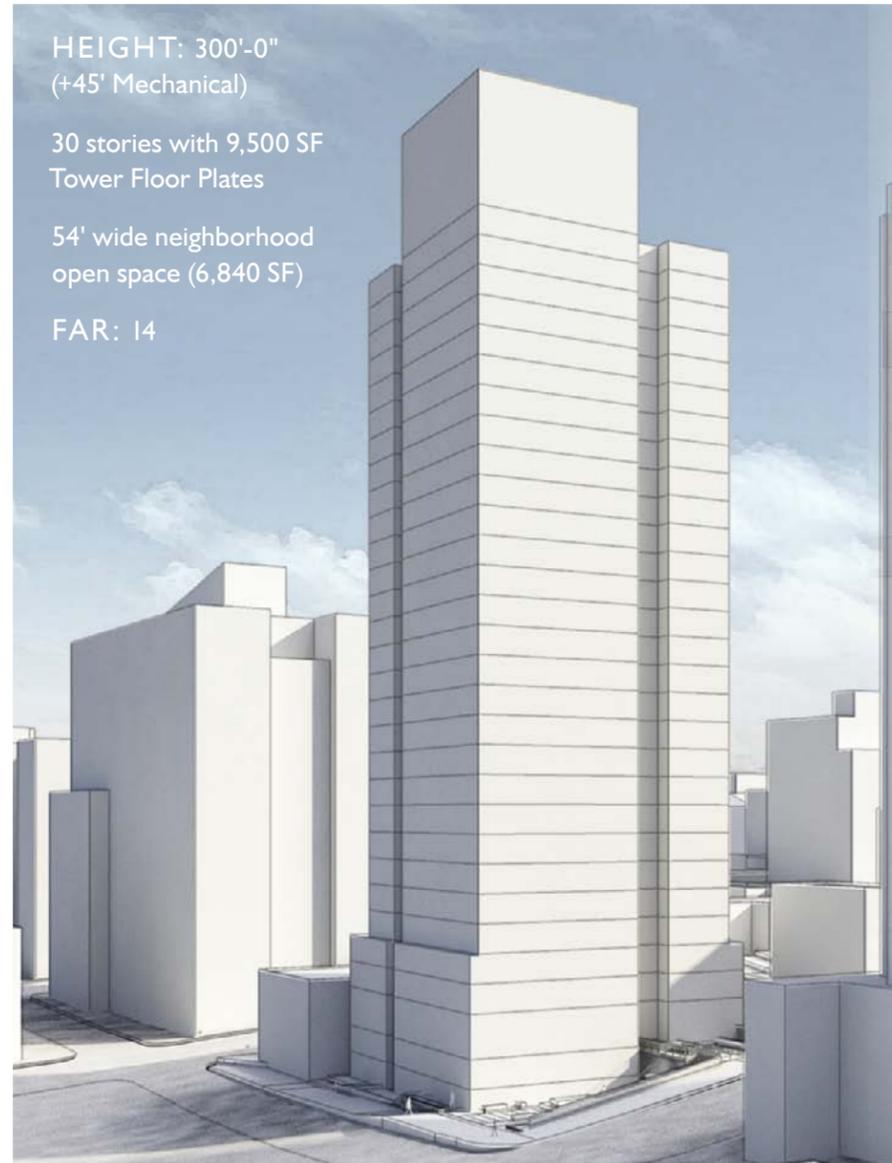
PROS:

- + Code Compliant
- + Least Expensive
- + Most Efficient

CONS:

- Smallest open space
- Podium doesn't hold street edge
- Wide Proportions (Bulky)
- Greatest View blockage to and from St. James Cathedral and Skyline
- Proximity to Skyline at First Hill

MASSING OPTION **2**



HEIGHT: 300'-0"
(+45' Mechanical)

30 stories with 9,500 SF
Tower Floor Plates

54' wide neighborhood
open space (6,840 SF)

FAR: 14

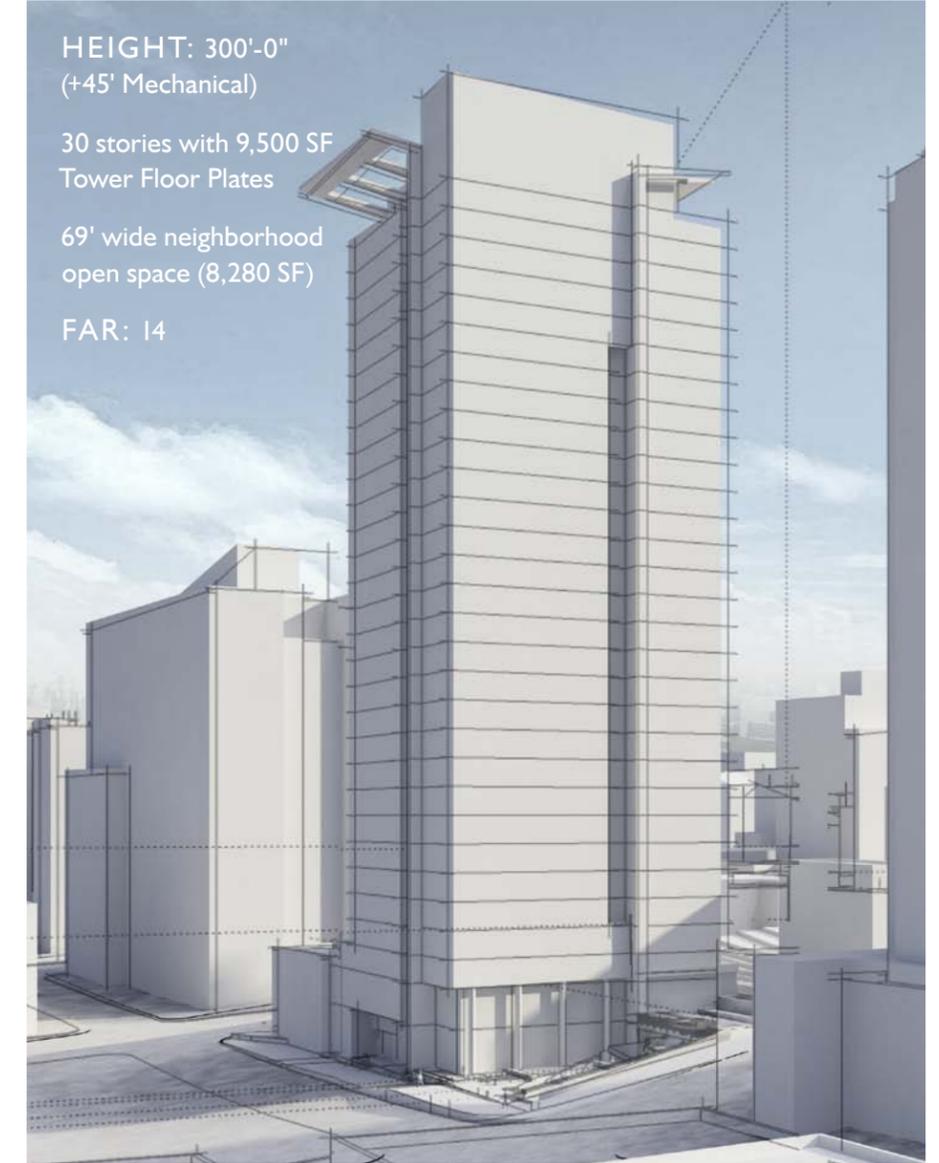
PROS:

- + Most Square Footage
- + Code Compliant
- + Taller more slender than option 1

CONS:

- 2nd smallest open space
- Podium doesn't hold street edge
- Massing doesn't respond to the neighborhood open space

MASSING OPTION **3** **PREFERRED**



HEIGHT: 300'-0"
(+45' Mechanical)

30 stories with 9,500 SF
Tower Floor Plates

69' wide neighborhood
open space (8,280 SF)

FAR: 14

PROS:

- + Most relief given between skyline and south facade
- + Largest open space
- + Visually more slender than other options
- + Hold common neighborhood sidewalk edge
- + Iconic Rooftop
- + Responds to neighborhood open space
- + Opens up the view to St. James Cathedral

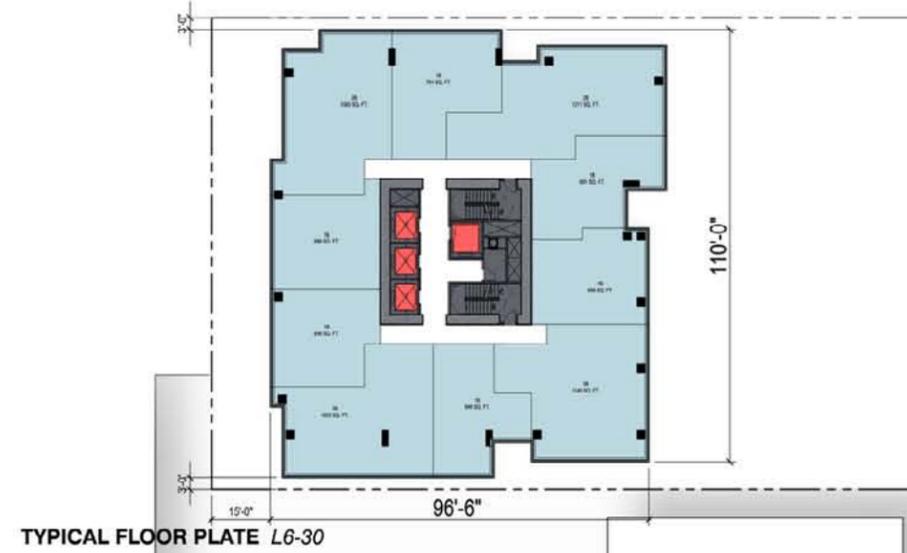
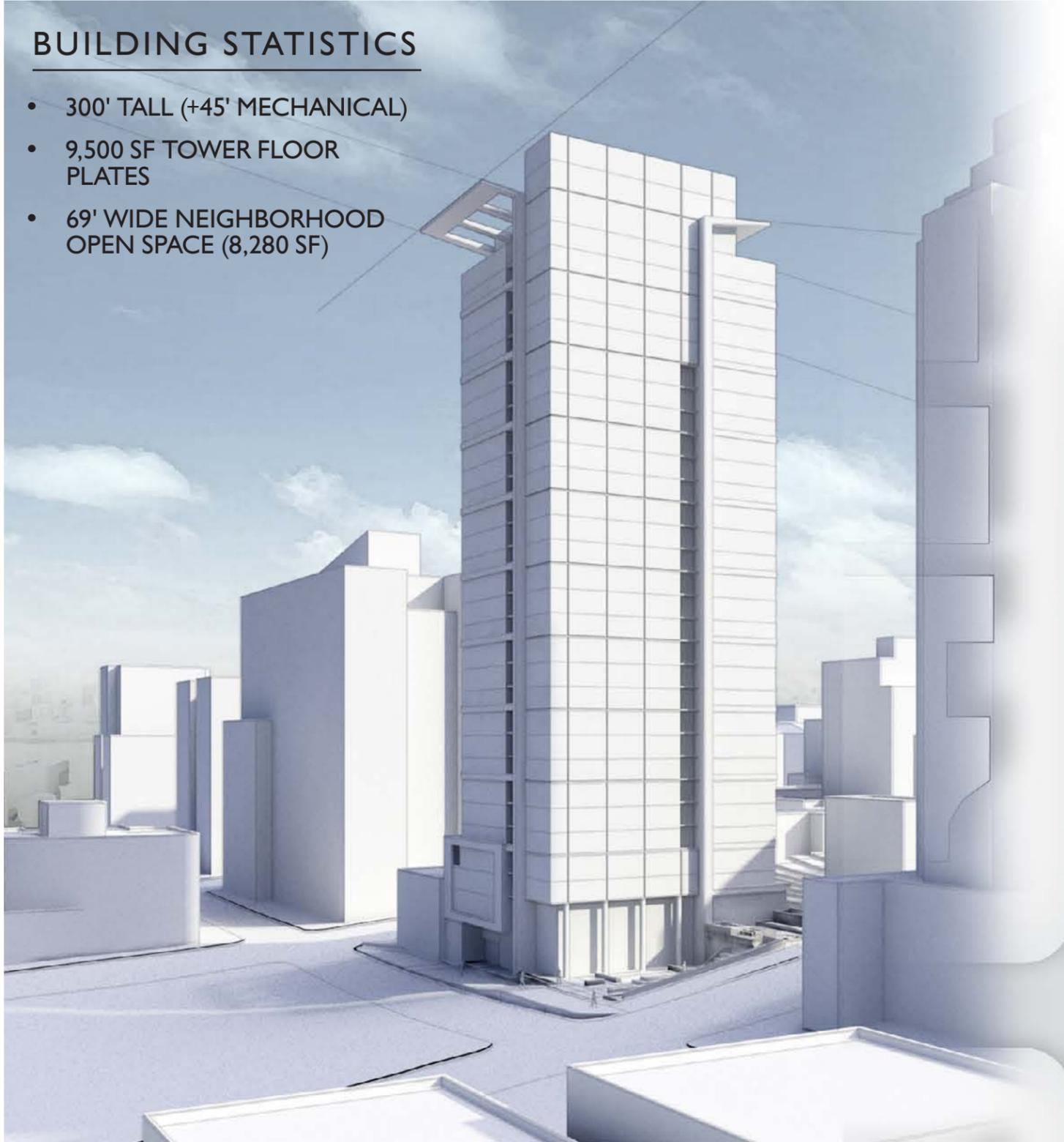
CONS:

- Departures required along east, north and west tower facades in order to maximize the neighborhood open space potential



BUILDING STATISTICS

- 300' TALL (+45' MECHANICAL)
- 9,500 SF TOWER FLOOR PLATES
- 69' WIDE NEIGHBORHOOD OPEN SPACE (8,280 SF)



GROUND FLOOR PLAN +265'

- A LOBBY
- B LEASING
- C PACKAGE / MAIL ROOM
- D FITNESS



MASSING OPTION **3** PREFERRED



DESIGN GUIDANCE _____

PRIMARY BOARD GUIDANCE FROM EDG

A-2 STREETScape COMPATIBILITY

The Board prefers a **greater amount of landscaping** between the Eighth Ave. sidewalk and the lobby.

The **framing device** overhanging the streetscape **is too monumental** for the intimate streetscape occurring along Eighth Ave.

A-8 PARKING AND VEHICLE ACCESS

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties, and pedestrian safety.

After reviewing the ramp configurations from the alley, the Board members agreed that the garage access could occur on Eighth Ave.

A-10 CORNER LOTS

The Board **endorsed the placement of the open space at the corner** of Columbia and Eighth Ave. to maximize solar exposure.

B-1 HEIGHT, BULK AND SCALE

Provide a **scale to the proposal's lower floors** commensurate with the level of detail and materials comprising the nearby residential buildings.

C-1 ARCHITECTURAL CONTEXT

The Board conveyed its desire that the **proposal relates to and enhances the existing neighborhood character**. The upper level portions of the tower, as opposed to the base, may engage in a visual conversation with the other tall buildings both nearby and across the freeway, but the lower portion should be of the neighborhood street.

C-2 ARCHITECTURAL CONCEPT & CONSISTENCY

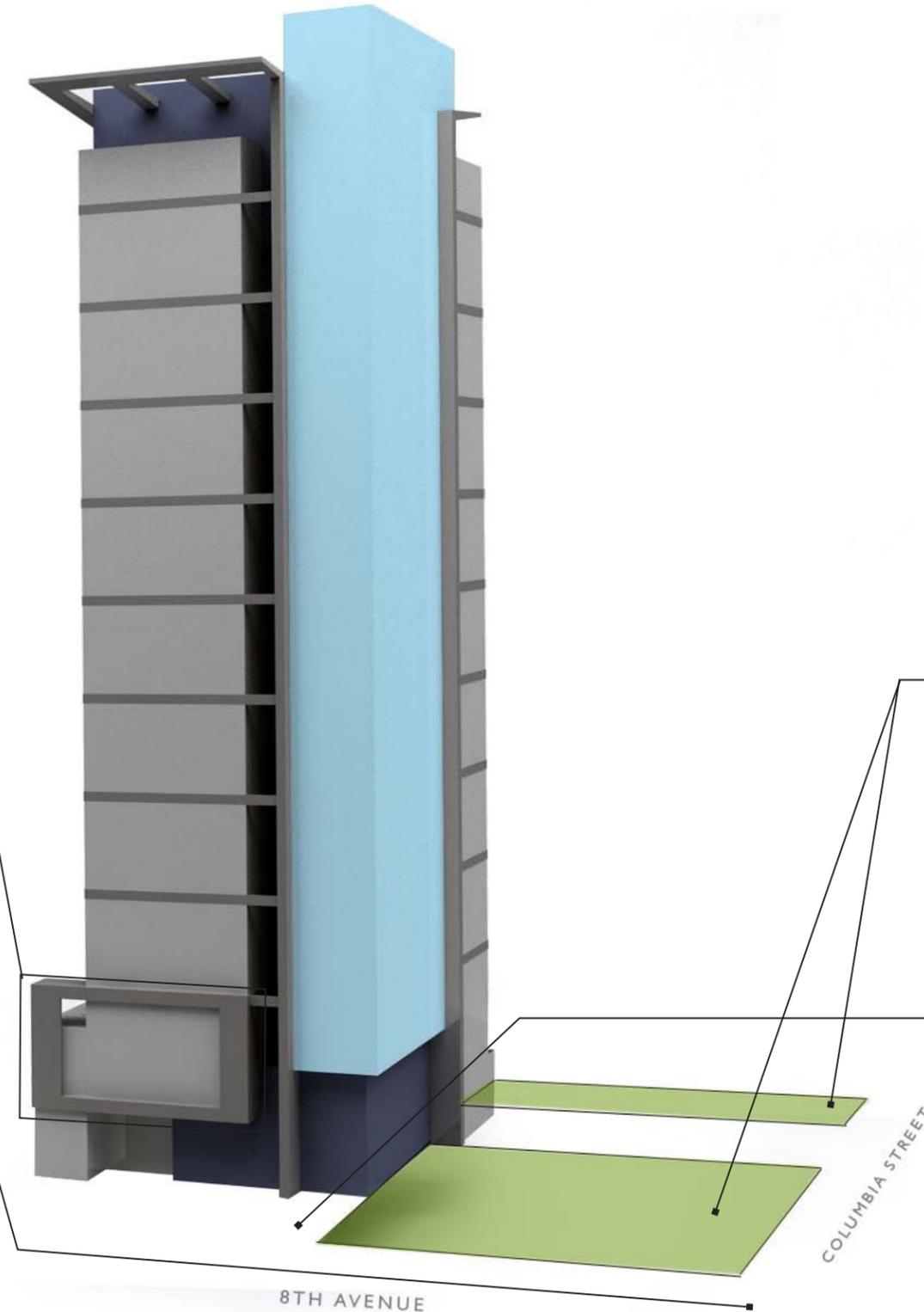
The Board lacked and wanted to see more regarding the **cantilevering roof, the podium frame and "spine element."**

D-1 PEDESTRIAN OPEN SPACES & ENTRANCES

The Open Space ought to house elements that engage the community. Focus of the redesign should concentrate on more extensive green spaces, specification of large trees, and community oriented facilities. **Collaboration among the developer, the Parks and Recreation department, and the neighborhood community is encouraged.**

E-2 LANDSCAPING TO ENHANCE THE BUILDING AND / OR SITE.

Planting in front of the structure along Eighth Ave. should be robust. **Bring the greenscape of the park around to the front of the building.** The entrance and lobby will need to be setback from the property line and the **fin eliminated.**



EDG GUIDANCE AND APPLICANT RESPONSES

SITE PLANNING

A-1 RESPONDING TO SITE CHARACTERISTICS.

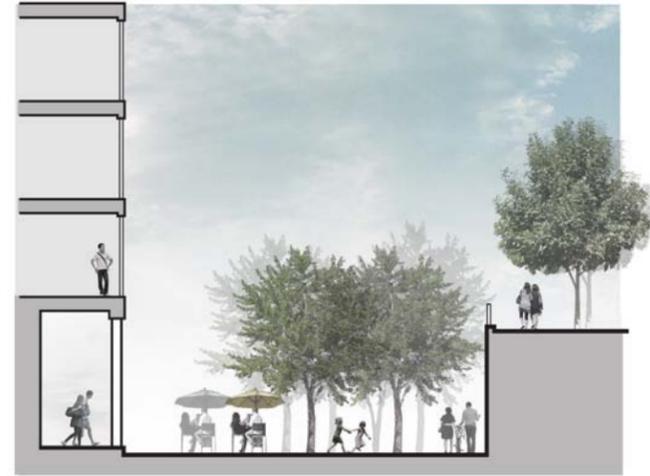
The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Discussion of the site's topography focused on the merits of a vehicular ramp from the alley accessing the garage and the appropriateness of a two tiered park. The deliberation of the latter issue did not resolve the park design.

RESPONSE: The topography of this site physically requires that parking access to/from the site occur along 8th Avenue, towards the north – the low point of the site and furthest from the corner and the open space. The board was supportive of this imperative.

The two-tiered Neighborhood Open Space (“park”) was discussed and ultimately the board directed the applicant to enter into a conceptual design process with a diverse body of members of the public and the Parks Department that would produce a design vetted amongst those stake holders. **The two tiered park was discussed with the community working group. While some in the working group would prefer the open space at all one level, they understood the challenges posed by the steep grade along Columbia and the issues that would arise from having it entirely at the level of 8th Ave.**

Those undesirable issues would include having the east end of the park buried about 22 feet below the adjacent alley which caused security concerns. Having a portion of the park connected to Columbia on the east side allows for variety in types of activity, spaces and sun exposure.



SINGLE TIER OPEN SPACE



TWO-TIER OPEN SPACE

A-2 STREETScape COMPATIBILITY.

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

The Board prefers a greater amount of landscaping between the Eighth Ave. sidewalk and the lobby. It ought to recognize that the buildings in the High-rise zone are different from those in the nearby Neighborhood Commercial zone. The existing streetscape along the Eighth Ave. corridor reflects the greater emphasis on landscaping in the HR zone. The residential Skyline project (within the HR zone) possesses a lushly landscaped area for its length along Eighth Ave. This greensward progresses toward the south. To the north of the site, the commercial zoning predominates with the newer buildings forming a more urban streetscape until the zoning classification transitions back to the HR zone north of Madison and Spring Streets as the corridor approaches Freeway Park and the softening of the landscape reveals itself again.

The framing device overhanging the streetscape, the Board observed, is too monumental for the intimate streetscape occurring along Eighth Ave. The base ought to appear much more compatible with the materials and textures that already exist along the corridor. The monumentality of the lobby glazing, the columns, and the framing device relate directly to the shaft and the roof top canopy rather than to the brick, the canvas and metal awnings, the storefront windows, the balconies and the other delicate features that create Eighth Avenue's pleasant streetscape.

RESPONSE: Per board direction the applicant has increased the amount of landscaped area along the 8th Avenue frontage. The building has been setback 10 feet from the property line for the 17' tall ground level and this has provided area for the Neighborhood Open Space planting types to extend across the frontage. Additionally, far more landscaping has been added within the 20-foot deep right of way area between the curb and the property line. **The working group asked for a wider sidewalk; the sidewalk is 8 ft. wide adjacent to the building and 10 ft wide adjacent to the Neighborhood Open Space.**

Even with wider sidewalks, the planter strips along the curb have increased from the existing 5 ft to 7.5 ft. There is also the Open Space itself; a 120' deep landscape with 75 ft of frontage on 8th, unparalleled in the immediate context if not the City.

The “framing device” has been studied further and eliminated in deference to a podium design that better-transitions / relates to the adjoining Clarwood Apartments to the north with a decidedly finer grain than the “frame”.



7' SETBACK ALONG 8TH AVENUE STREET FRONTAGE



10' SETBACK ALONG 8TH AVENUE STREET FRONTAGE

EDG GUIDANCE AND APPLICANT RESPONSES

SITE PLANNING

A-4 HUMAN ACTIVITY.

New development should be sited and designed to encourage human activity on the street.

Unless it is well designed and well programmed the park in itself will not likely encourage human activity. The creation of an intimately scaled building base (see A-2, D-1 and E-2) related to the surrounding buildings should reinforce existing edge conditions. Note that above M Street's brick base the tower steps back from the street. The two Skyline towers are also pulled back from the right of way leaving a generous landscaped area.

RESPONSE: Significant efforts [and progress] have been made with the park design. Per A-2 above, additional relief, space and landscaping have been provided at the base along 8th Avenue. The transparent building lobby will carry its openness around its SW corner along, and defining, the north edge of the public open space. The floor to ceiling glass wall to the open space is stepped back to differentiate the lobby from the tower above. The setback also exposes a colonnade consisting of four tower columns. The lobby has direct access to the open space via a pair of over-sized doors.

Of additional note, the south pre-cast concrete "fin" tracks all the way from the top of the tower down to the ground level and becomes the primary material and expression of the wall that steps from the lower to the upper open spaces.

The Neighborhood Open Space has been designed to include the surrounding streetscape and one will reinforce the other. The landscape design and features extend out to the curb edge. Seating is provided within the 8th Ave. right of way that is both for 'park' users and passers-by. The grading of the Columbia St edge is such that a full view into the park is attained from all points surrounding, so that all can appreciate the Birch Tree Grove, the flowering tree walk, the waterfall and rose garden.



PRIVATE OPEN SPACE AT NORTH PROPERTY LINE



DIRECT ACCESS TO LOBBY

A-5 RESPECT FOR ADJACENT SITES.

Buildings should respect adjacent properties by being residents in adjacent buildings.

The proposal forms a party wall with a portion of the adjacent structure to the north and introduces a private open space nearest the windows of the same building as it steps back from the property line in concert with the adjacent Clarwood apartments.

RESPONSE: Per code and for purposes of transition, the proposed design relates to datum's of The Clarwood, particularly in plan view, matching The Clarwood's zero-lot-line condition.

The private open space will be at a similar elevation to The Clarwood's lower units to the north. A wall and plantings will help to provide further privacy.



PRIVATE OPEN SPACE AT NORTH PROPERTY LINE

A-6 TRANSITION BETWEEN RESIDENCE AND STREET.

For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

RESPONSE: Per board (and public) comments more space for landscaping between the building and the sidewalk are being provided.

A-8 PARKING AND VEHICLE ACCESS.

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties, and pedestrian safety.

After reviewing the ramp configurations from the alley, the Board members agreed that the garage access could occur on Eighth Ave.

A-10 CORNER LOTS.

Building on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

The Board endorsed the placement of the open space at the corner of Columbia and Eighth Ave to maximize solar exposure.



HEIGHT, BULK AND SCALE

B-1 HEIGHT, BULK, AND SCALE COMPATIBILITY.

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

Provide a scale to the proposal's lower floors commensurate with the level of detail and materials comprising the nearby residential buildings. As described in guidelines A-2, A-4 and C-1, the concept design does not achieve the intimacy of scale or fine grain that the Board expects and the speakers from the neighborhood desire.

RESPONSE: The Neighborhood Open Space, and simultaneously, the building design have been undergoing extensive further study and development since the March 6, 2013 EDG presentation. *As expected and in general, "intimacy of scale", proportions, transparency, opacity and other design parameters have been the focus post-EDG, fostered by board and public comments.*



ARCHITECTURAL ELEMENTS AND MATERIALS

C-1 ARCHITECTURAL CONTEXT.

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

The Board conveyed its desire that the proposal relates to and enhances the existing neighborhood character. The site lies within a cluster of mid-rise residential buildings poised between larger institutional and commercial structures---an occurrence elsewhere on First Hill. The upper level portions of the tower, as opposed to the base, may engage in a visual conversation with the other tall buildings both nearby and across the freeway, but the lower portion should be of the neighborhood street.

RESPONSE: The building design relates to neighboring building(s) character and scale, particularly at the lower levels, while acknowledging the vastly different and varied neighboring buildings in scale, program, materials, style, age, etc.

At the upper portions of the building the architecture is clean and contemporary, accentuating verticality while pronouncing an iconic top, different but conceptually invoking nearby towers such as Skyline and M Street.

The base stories of the building in kind change scale to transition to [limited] neighboring mid-rise buildings and ultimately to the scale of the pedestrian, users of the park and the building. Fenestration and detail is broken down to be smaller than above. An example is, the canopy at the main residential entry; while modern in its style and materiality, it evokes the many awning canopies found throughout First Hill.



EDG FRAMED PODIUM ELEMENT



TRANSITION FROM TOWER TO PODIUM

C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY.

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

The efficacy of several of the prominent design elements (p. 31 of the supplemental drawings) ---the cantilevering roof, the podium frame and "spine element" --- received considerable doubts from the Board. The elements lacked cohesion and a convincing narrative that ties them together. The chevron shaped roof form echoes the neighboring Skyline project, but is this form important enough to repeat or celebrate?

RESPONSE: The three elements mentioned have changed to be more cohesive with the overall project architecture. The cantilevering roof element has been simplified and reduced and the ground-level lobby canopy shares its style and materiality, albeit at a smaller scale. The pre-cast concrete fins carry from the top of the structure down to grade, grounding the podium and tower, per A-2. The podium frame has been eliminated for improvements pertaining to scale.

C-3 HUMAN SCALE.

The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

See guidance provided for A-4 and B-1.

RESPONSE: See responses A-2, A-4, C-1, C-2



LOBBY CANOPY DESIGN



ROOFTOP CANOPY DESIGN

C-5 STRUCTURED PARKING ENTRANCES

The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

The appearance of the garage door will be an important consideration.

RESPONSE: The entire frontage along 8th Avenue is important and the garage entry plays a role in composition and detail the garage door and a mezzanine above it will consist of large panels of perforated metal. See also response to D-5.



PEDESTRIAN ENVIRONMENT

D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES.

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

The applicant preferred design for the corner park received significant criticism. Overall, the design's appearance resembled something fitting for a corporate campus rather than a neighborhood center. The space should aspire to the magical and unexpected. It ought to house elements that engage the community. Each of the significant elements---the water feature, the steep stairs, the extensive quantity of paving, the entry canopy and the high retaining walls---provoked Board reaction. The design ought to maximize the amount of trees and green space. The water fountain, occupied too much space, and seemed superfluous in Seattle's climate. The entry canopy, parallel to Eighth Ave., acts to privatize the space, forming a visual demarcation between the public sidewalk and an open space that appears adjunct to the apartment tower. Access to the upper area could be accomplished by using the sidewalk. The stairs appear both daunting, with the two landings higher than eye level of the person standing below, and utilitarian. High walls on the perimeter of three sides of the park's lower portion may feel overwhelming as well.

Focus of the redesign should concentrate on more extensive green spaces, specification of large trees, and community oriented facilities. Collaboration among the developer, the Parks and Recreation department, and the neighborhood community is encouraged.

RESPONSE: A Neighborhood Working Group, comprised of local residents, local business representatives and several City Parks and Recreation representatives was created to help guide the design for the Neighborhood Open Space. Three working sessions of 2-3 hours each were undertaken and summary graphic reports of each session have been issued to the Planner for this project and included in the Design Review Submittal for the Recommendation Meeting. The following items are in response to the specific comments above: **The final design won unanimous approval of the Working Group.**

Elements that engage the community: the birch grove, the flowering trees on 8th, the water wall, the colorful plantings that step down the slope from Columbia, the bocce lawn in the sunny area off Columbia, lots of places to sit, lots of different types of seating, the wider landscaped sidewalk on 8th Ave, pedestrian scale lighting and moveable tables and chairs.

The plan strikes a balance between useable paving surfaces and plantings that was desired by the group

The plan strikes a balance between big trees and a desire for sunny spaces.

Parks and Recreation required that the two levels of the open space be connected internally and not by using the adjacent sidewalk. This is also a requirement of the Incentive Zoning for Neighborhood Open Spaces. The stairs have been re-worked to follow the stepped planter walls between the open space and Columbia and are now integrated with the landscape. This met with community approval.

The stepped retaining walls between Columbia and the Open Space allow more views into the park from Columbia and provide a soft edge of color.

The trellis structure along 8th was deleted and replaced with flowering trees.



OPEN SPACE OPTIONS



FINAL DESIGN

PEDESTRIAN ENVIRONMENT

D-3 RETAINING WALLS.

Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where higher retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscapes.

As mentioned in D-1, the height of retaining walls in the park design raised concerns.

RESPONSE: The retaining wall shown at EDG has been replaced with stepped planter walls that gradually make the transition between Columbia and the Open Space. See also response to D-1.



STEPPED PLANTER PLAN



STEPPED PLANTER PERSPECTIVE

D-5 VISUAL IMPACTS OF PARKING STRUCTURES.

The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

Discussion briefly focused on the departure request for the garage door. Due to its presence on Eighth Ave., the size of the garage door should be minimized as much as possible.

RESPONSE: Of note, at EDG the applicant was directed to ask for a departure due to the size of the garage door being greater than 75 SF per SMC23.45.536.D.3.a. Recently, the applicant was informed [by Dennis Meier, DPD] that the 75 SF maximum garage door size was intended to apply to other zoning, not the HR zone. This mistake will be corrected with the elimination of this reference in the HR code in the coming months. The garage door will be of standard, required size for two-way access – approximately 8' x 20'. See also response C-5.



GARAGE DOOR EXAMPLE



PARKING ENTRY SECTION DETAIL

PEDESTRIAN ENVIRONMENT

D-6 SCREENING OF DUMPSTERS, UTILITIES, AND SERVICE AREAS.

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Discussion did not focus on this guideline. The applicant proposes to use the alley for access to the service areas.

RESPONSE: Service areas such as loading dock and trash/recycling will be housed inside the building at the second floor level. Separately, there are three apartment buildings along the currently un-improved alley. The trash dumpsters for those buildings have historically been parked in the alley. The applicant for this project is also proposing to provide space and securable dumpster storage facilities on the applicant's property in order to eliminate the on-going non-conforming conditions of others. The improved, secured and well-lit alley will provide dramatic and demonstrable improvements and benefits to current conditions, aesthetically and in terms of security.



SERVICE AREAS

D-7 PERSONAL SAFETY AND SECURITY.

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

The design of the park, in particular, will be scrutinized for responsiveness to safety and security concerns.

RESPONSE: The perimeter frontages such as the garage access, bicycle storage, the lobby exposures to 8th Avenue and the park, the north "private open space" and the alley accesses will all be well-lit and designed and coordinated for security. See also D-6.

The elements of CPTED (Crime Prevention through Environmental Design) were reviewed with the Community Working Group at the first session as a basis for all options and elements to be discussed. In the final plan, these principles are maintained: there is a direct line of sight for pedestrians through the open space; people can see into the Open Space from the two abutting sidewalks and vice versa; within the park, there are direct lines of sight at eye level so planting is kept under three feet tall or above six feet tall; the upper and lower areas of the park are visually connected and there is oversight from the units above.

Further, lighting within the open space will help light both the open space and the adjacent sidewalk, underneath the trees and aid in security while not producing glare to adjacent residents.



CPTED DIAGRAM – NATURAL SUREILLANCE

D-12 RESIDENTIAL ENTRIES AND TRANSITIONS.

For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

Although the subject proposal lies within a High-rise residential rather than a commercial zone, the notion that the building ought to enhance the character of the streetscape as described above was endorsed by the Board and the community members in attendance.

RESPONSE: The Open Space and the widened 8th Avenue frontages to 27 feet at grade, with minimized sidewalk in deference to maximized landscaping, will greatly enhance the character of the streetscape environment.



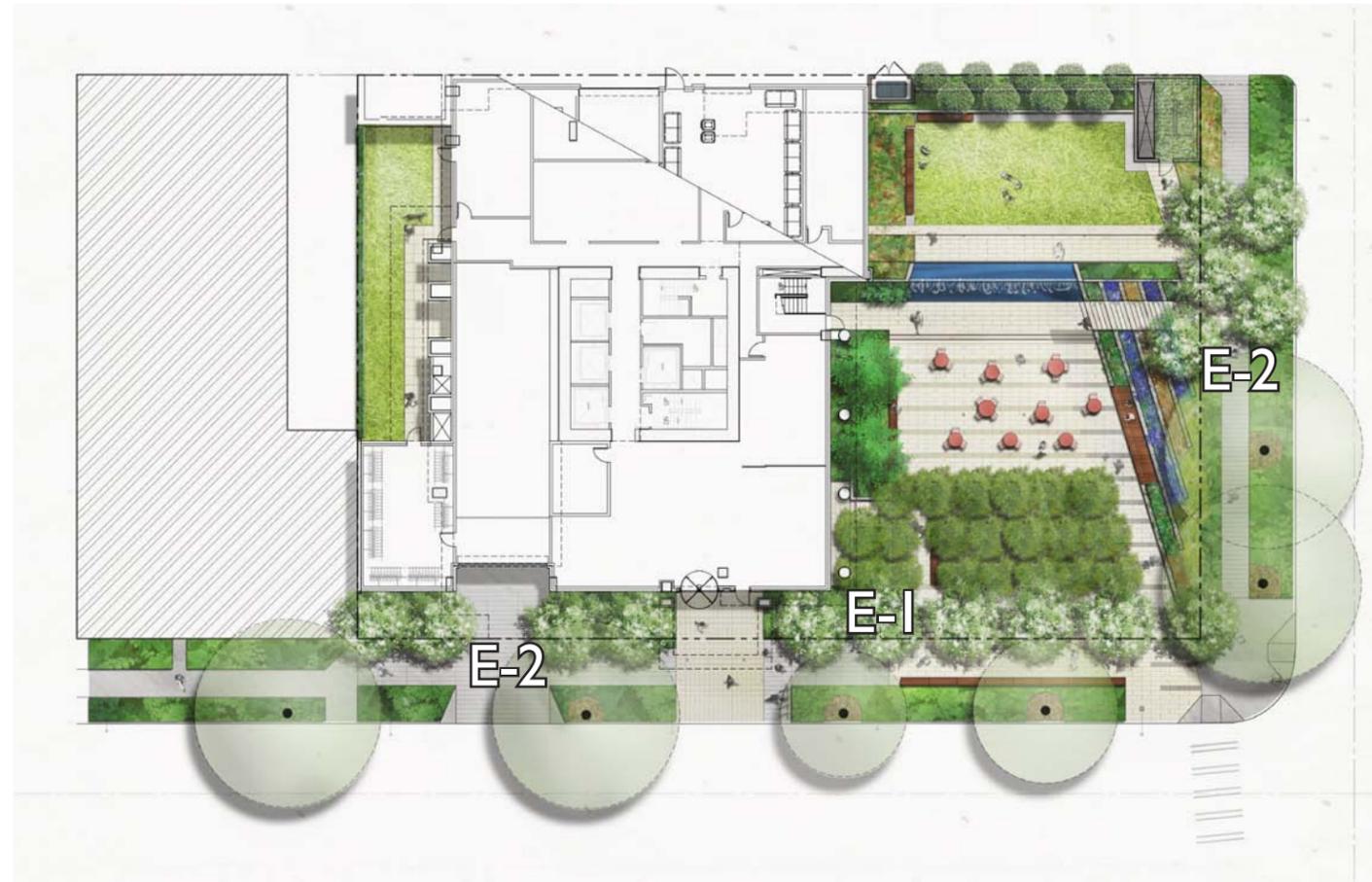
LANDSCAPING

E-1 LANDSCAPING TO REINFORCE DESIGN CONTINUITY WITH ADJACENT SITES.

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

The character of the landscaping between the sidewalk and the structure should complement the primacy of the pedestrian orientation along Eighth Ave. Without commercial uses, the structure ought to step back at street level to create a lush and more welcoming face to the streetscape. For additional guidance see E-2.

RESPONSE: The applicant has set back the ground level and level 2 of the podium 10' from the property line. See also responses to A-2, A-4 and D-12. The landscaping proposed for this setback is a continuation of the Open Space landscape by repeating the flowering trees in a regular pattern across the building frontage.



E-2 LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE.

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

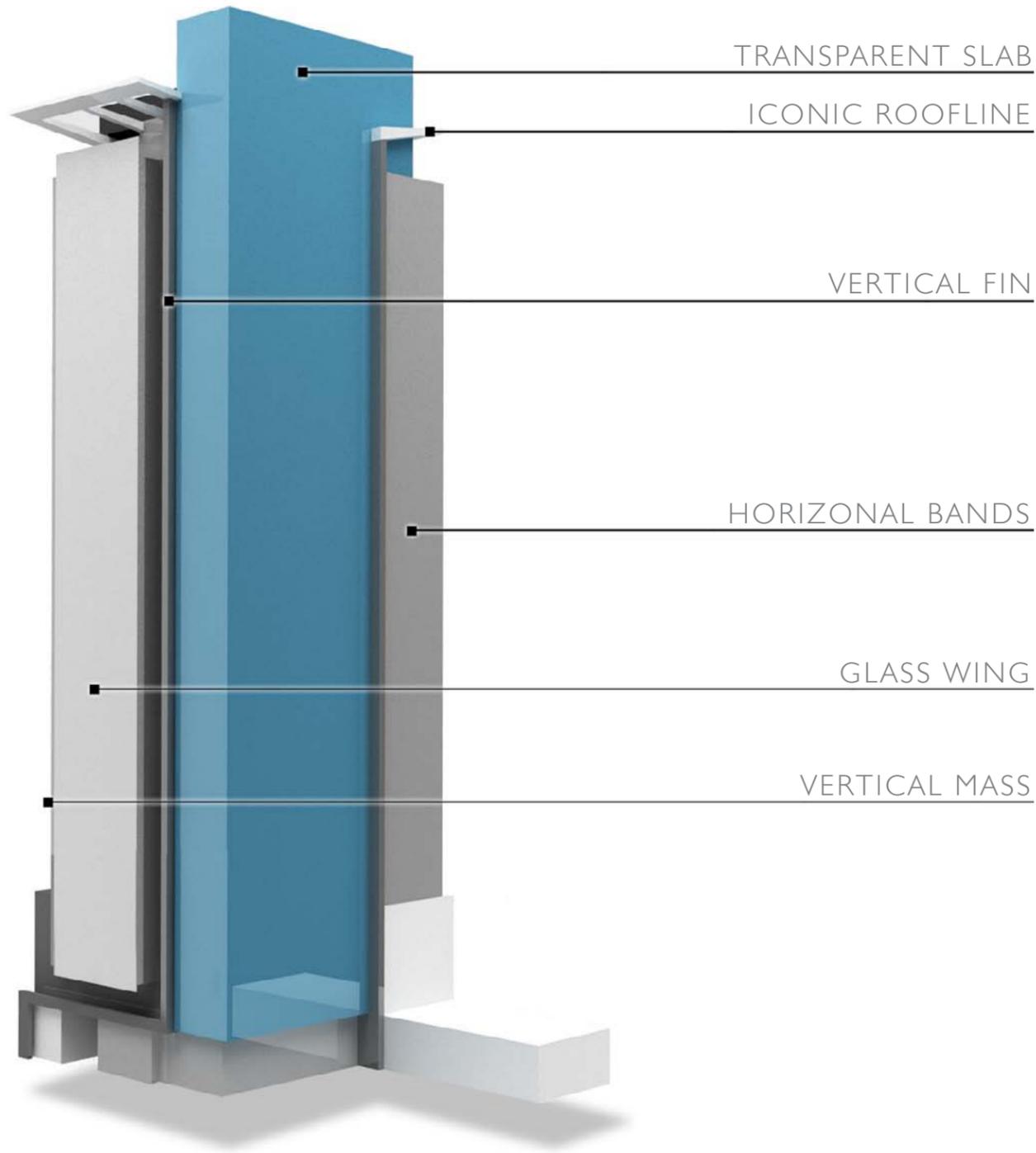
Planting in front of the structure along Eighth Ave. should be robust. Bring the greenscape of the park around to the front of the building. The design should reinforce the charming pedestrian corridor that stretches from Freeway Park to James St. The design of the Eighth Ave. frontage (see p. 34 of the supplementary drawings) minimizes (if not eliminates) planting between the sidewalk and the structure. The entrance and lobby will need to be setback from the property line and the fin eliminated. Board members repeated that the park should be a treasure.

RESPONSE: The widened Eighth Ave. sidewalk (to 11ft in front of the building) is framed by a wider 7.5 ft. wide planter strip to curb side and a 9 ft wide planting bed between the sidewalk and the building. The street side planter strips are nearly continuous along the frontage and filled with low shrubs, ground covers and the large existing Oak trees. The planting between the building and sidewalk is filled with small flowering trees as well as low shrubs and ground covers (so that there is a direct line of sight from inside to outside). These flowering trees are the same trees as those used as entry 'markers' to the open space forming a continuous line on the east side of the sidewalk.

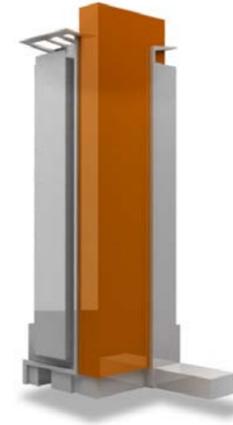
The 8th Ave sidewalk as it abuts the Open Space is widened to 10 ft so as to accommodate benches within the right of way. The Precast Concrete paving within the Open Space extends outward to the sidewalk at all entrance areas.

DESIGN _____

DESIGN ELEMENTS



TRANSPARENT SLAB



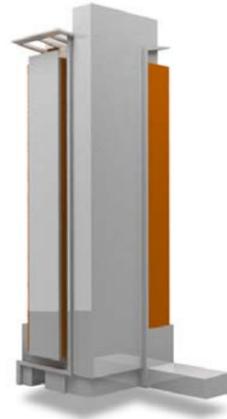
ICONIC ROOFLINE



VERTICAL FIN



HORIZONTAL BANDS



GLASS WING



VERTICAL MASS



LEIGHTON APARTMENTS

ALLEY

M STREET APARTMENTS

MARION STREET

CLARWOOD APARTMENTS

SKYLINE

COLUMBIA STREET

GROUND FLOOR PLAN +263

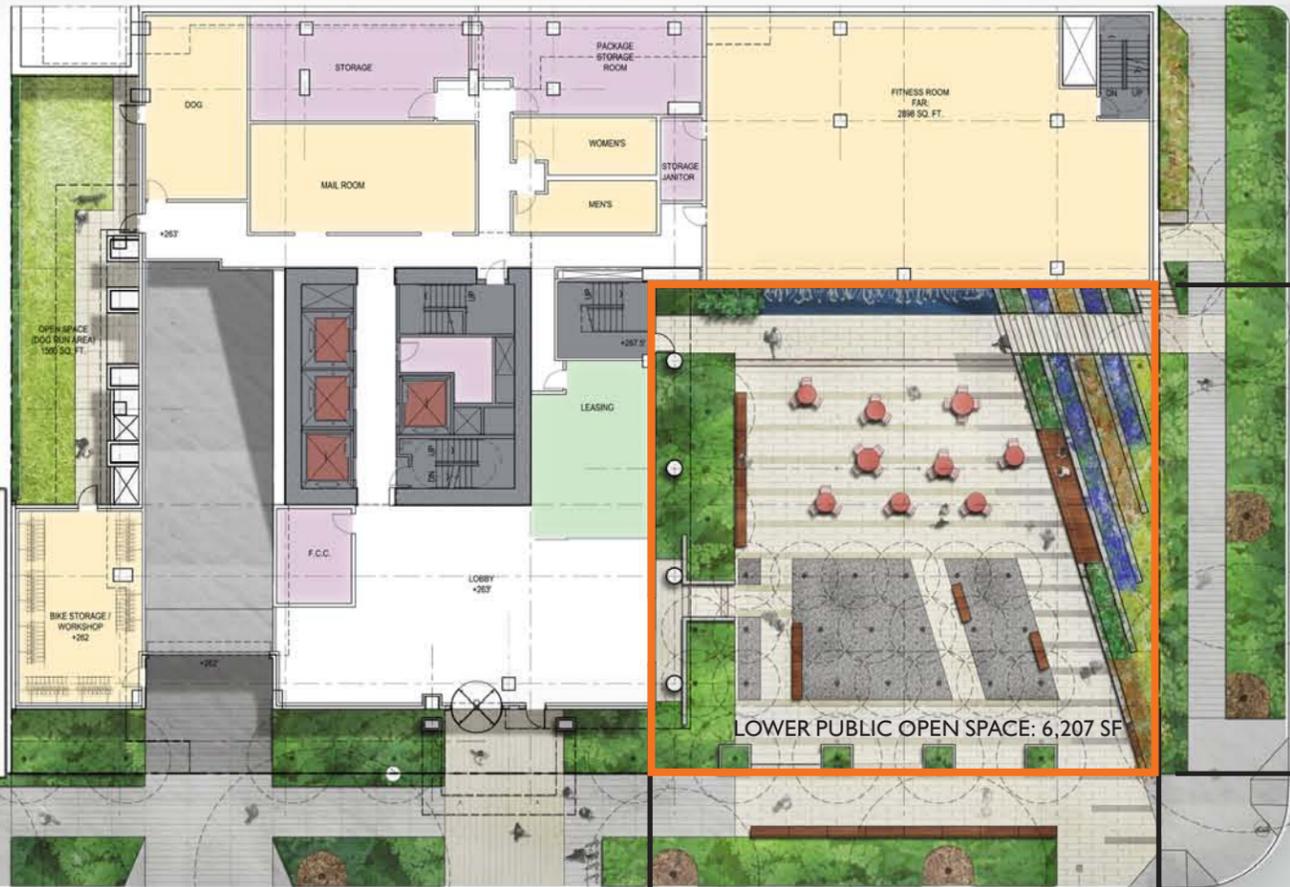
8TH AVENUE

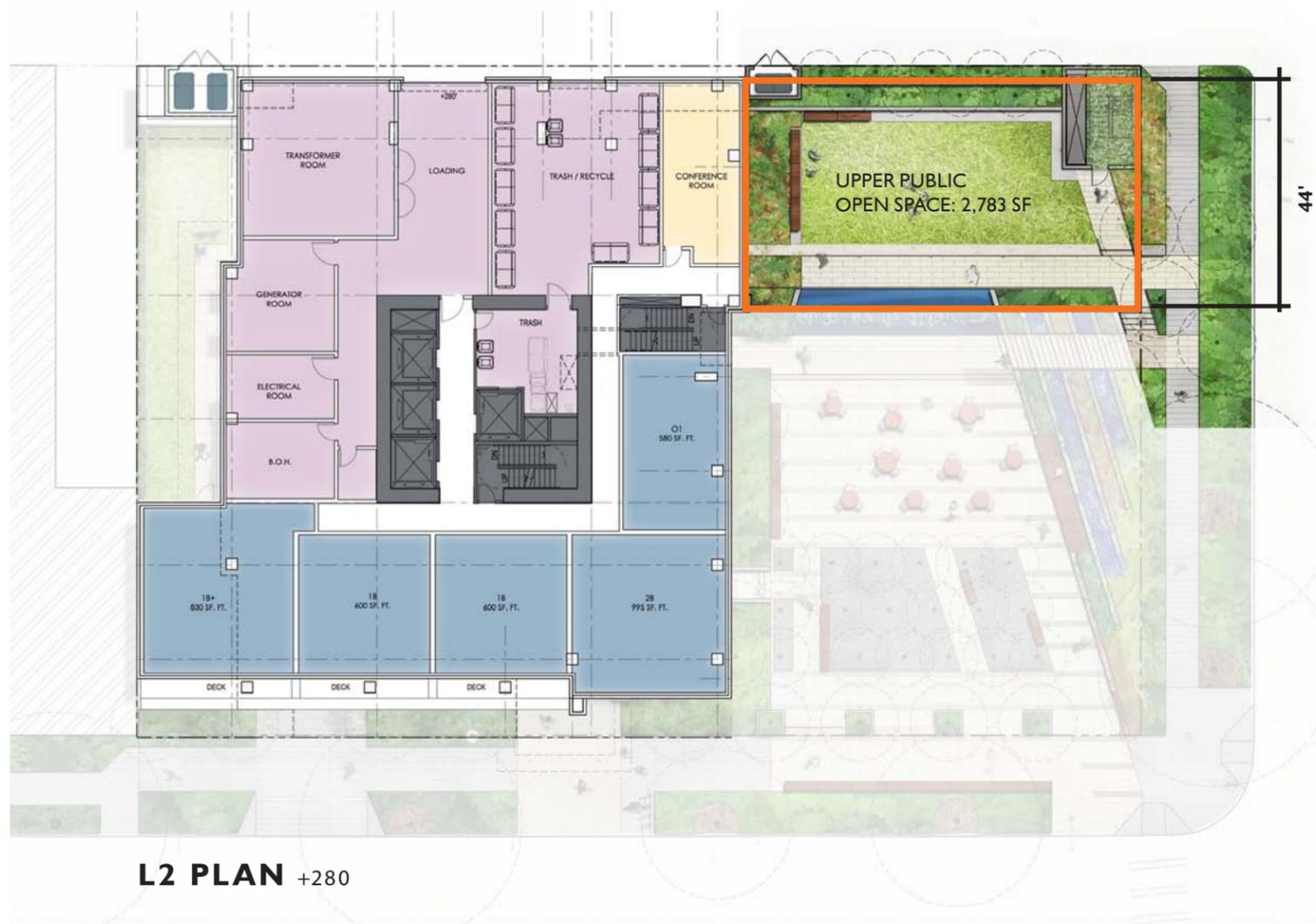
LOWER PUBLIC OPEN SPACE: 6,207 SF

10'

74'

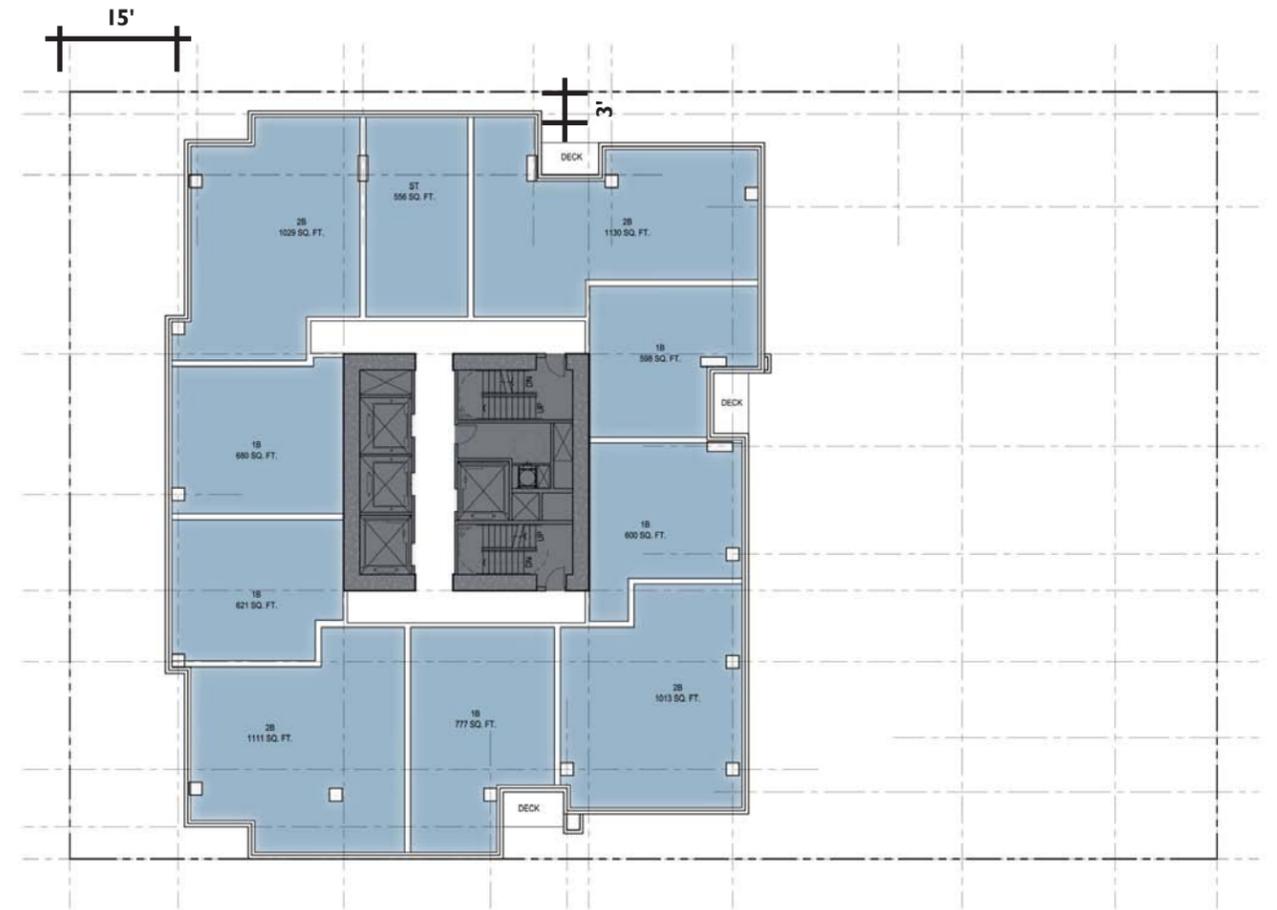
76'







L5 PLAN +314



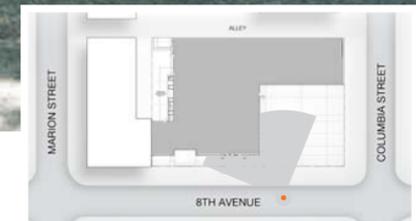
L6-30 PLAN +323.5-562





ROOF PLAN +572





8TH AND COLUMBIA | PERSPECTIVE WEST

08.21.13

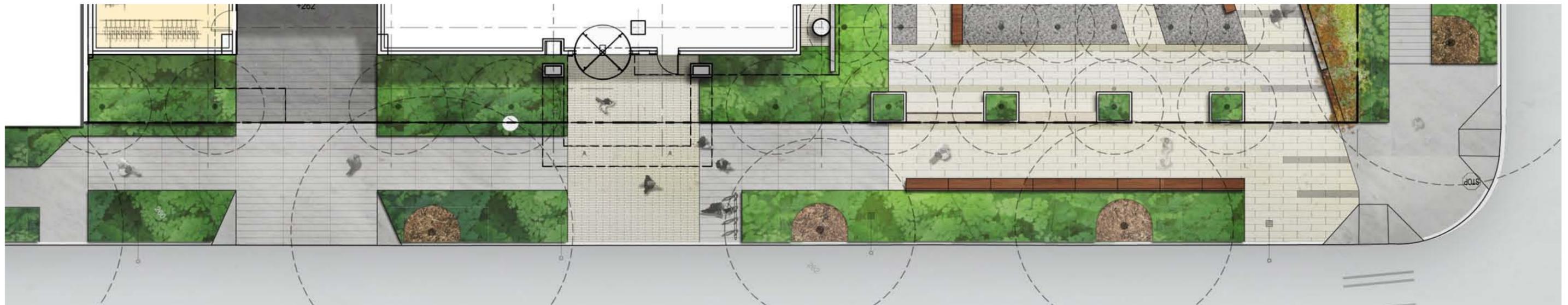
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8TH AND COLUMBIA | PERSPECTIVE NORTH

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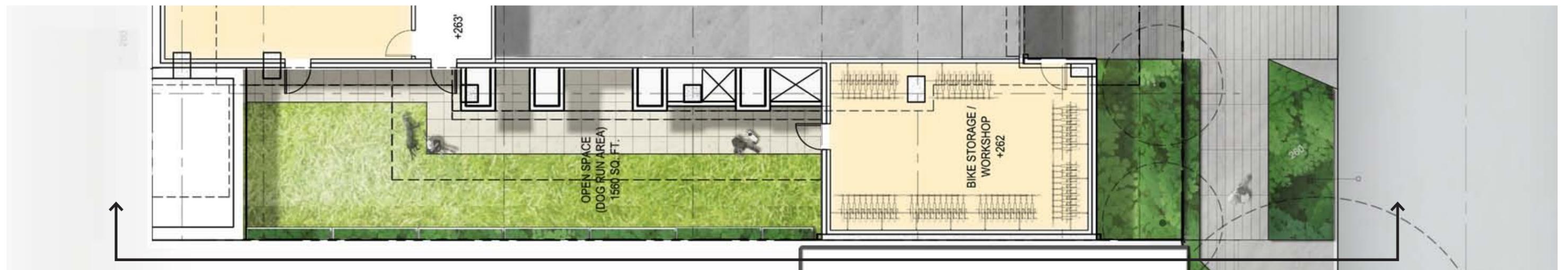
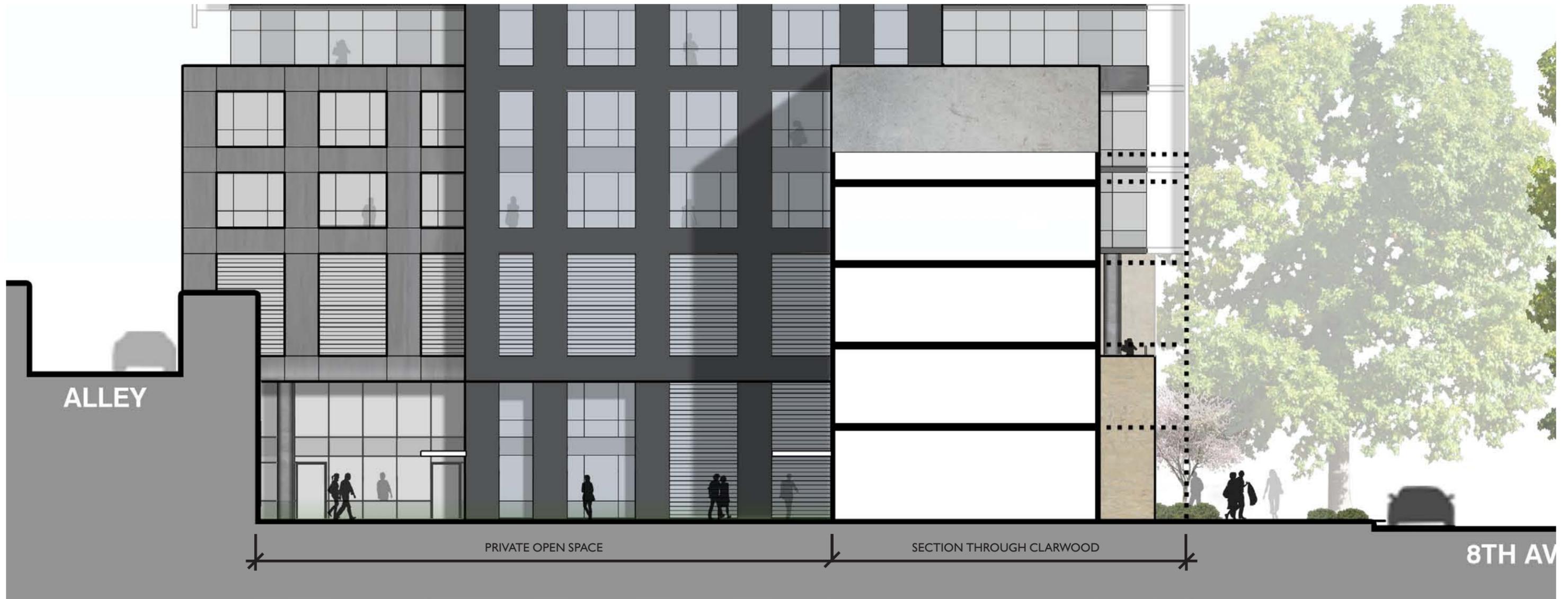
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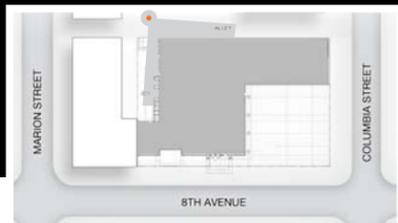
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8TH AND COLUMBIA | PERSPECTIVE EAST

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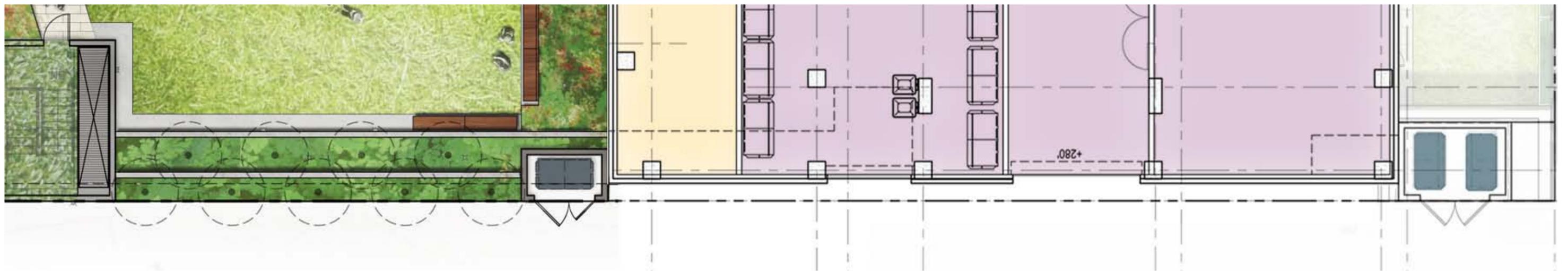
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8TH AND COLUMBIA | PERSPECTIVE SOUTH

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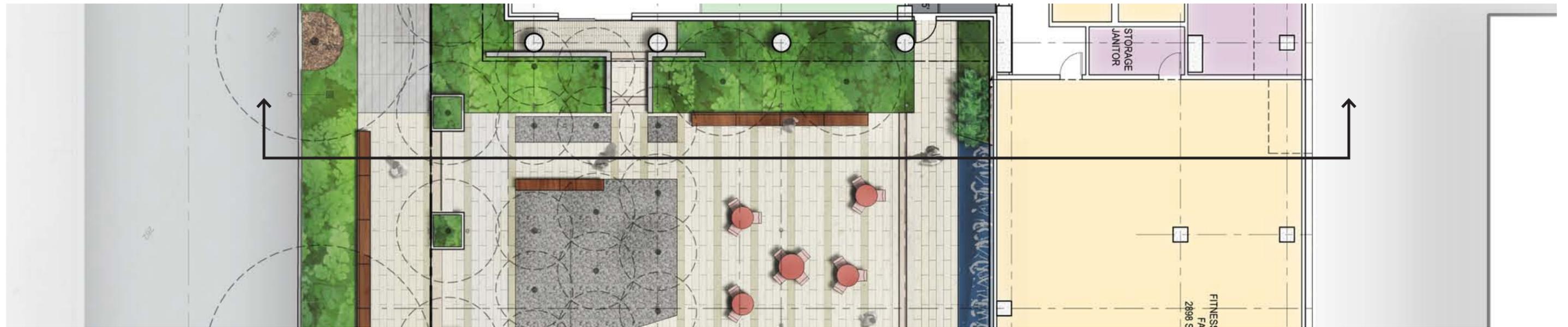
36

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8TH AND COLUMBIA | 8TH AVE SIDEWALK EDGE & GARAGE ENTRY

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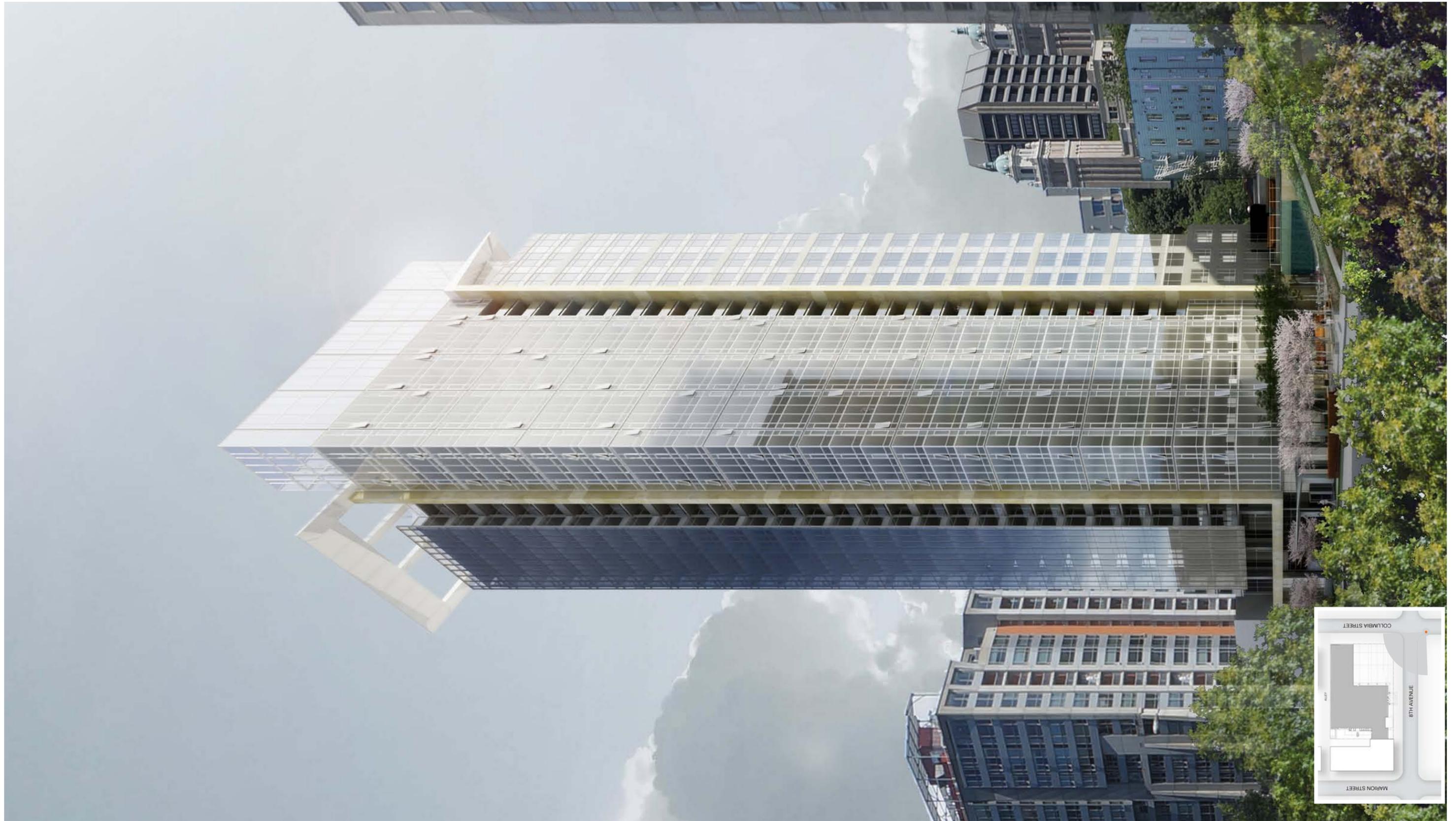
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8TH AND COLUMBIA | SOUTH ELEVATION

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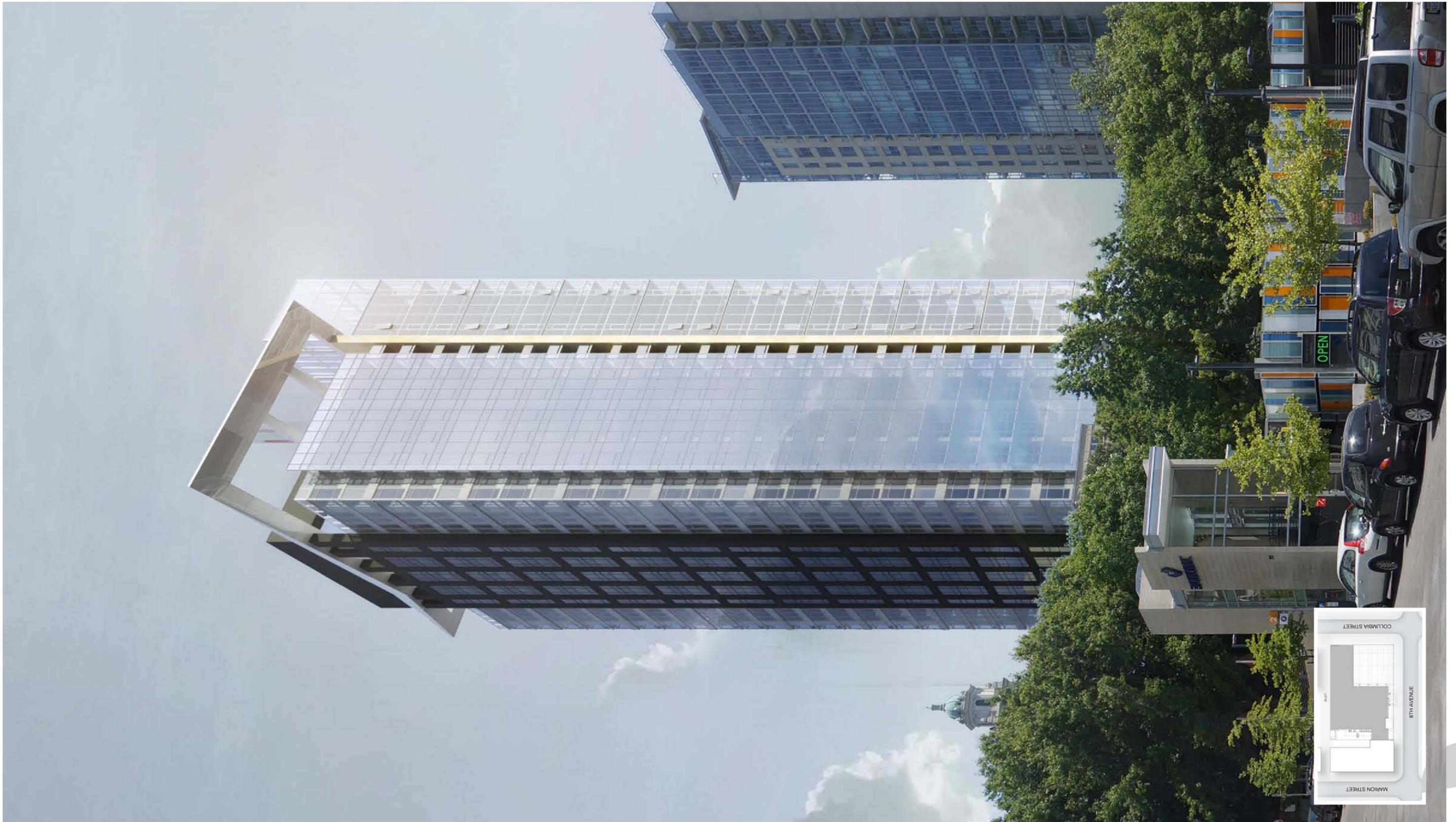
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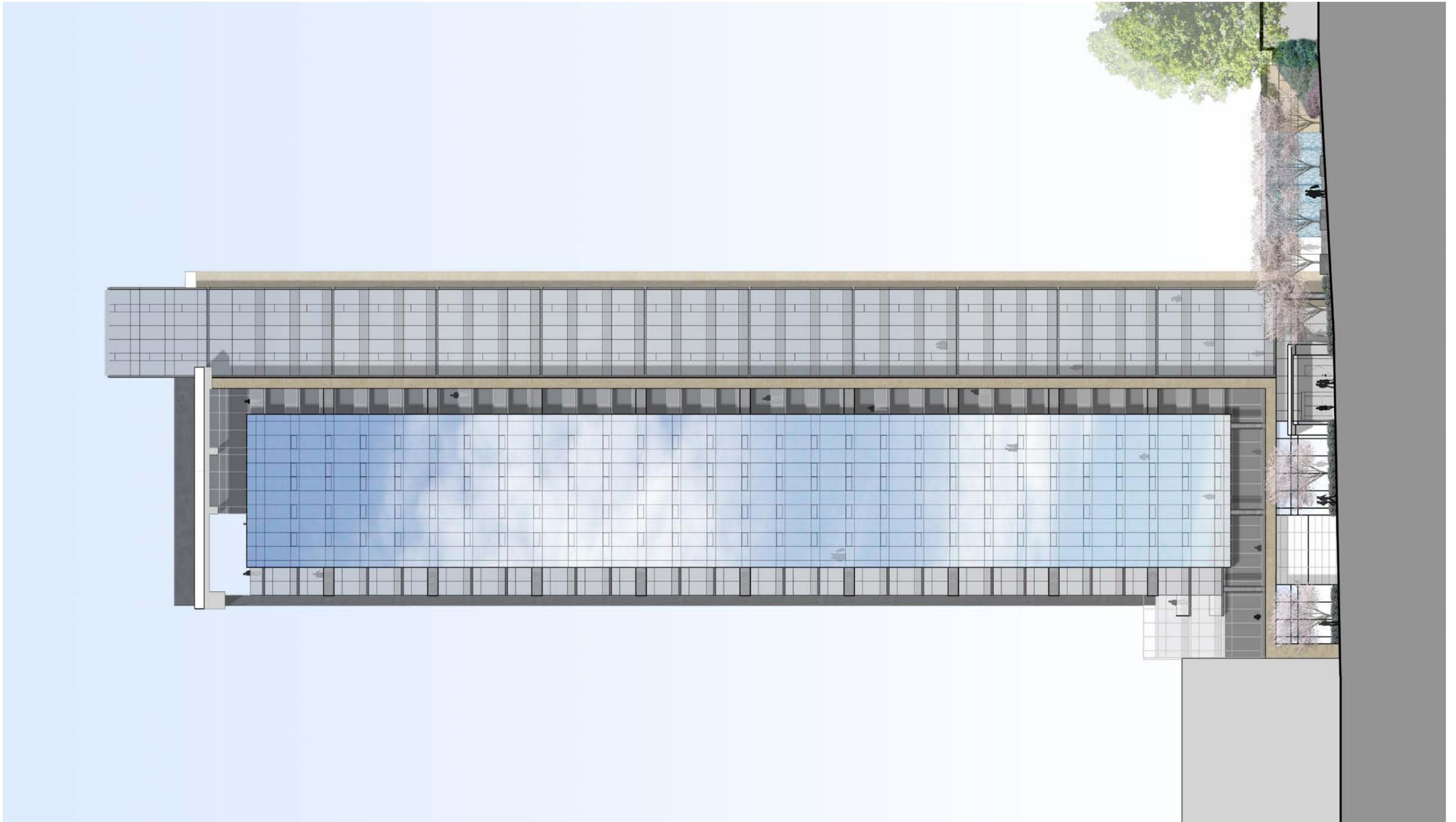
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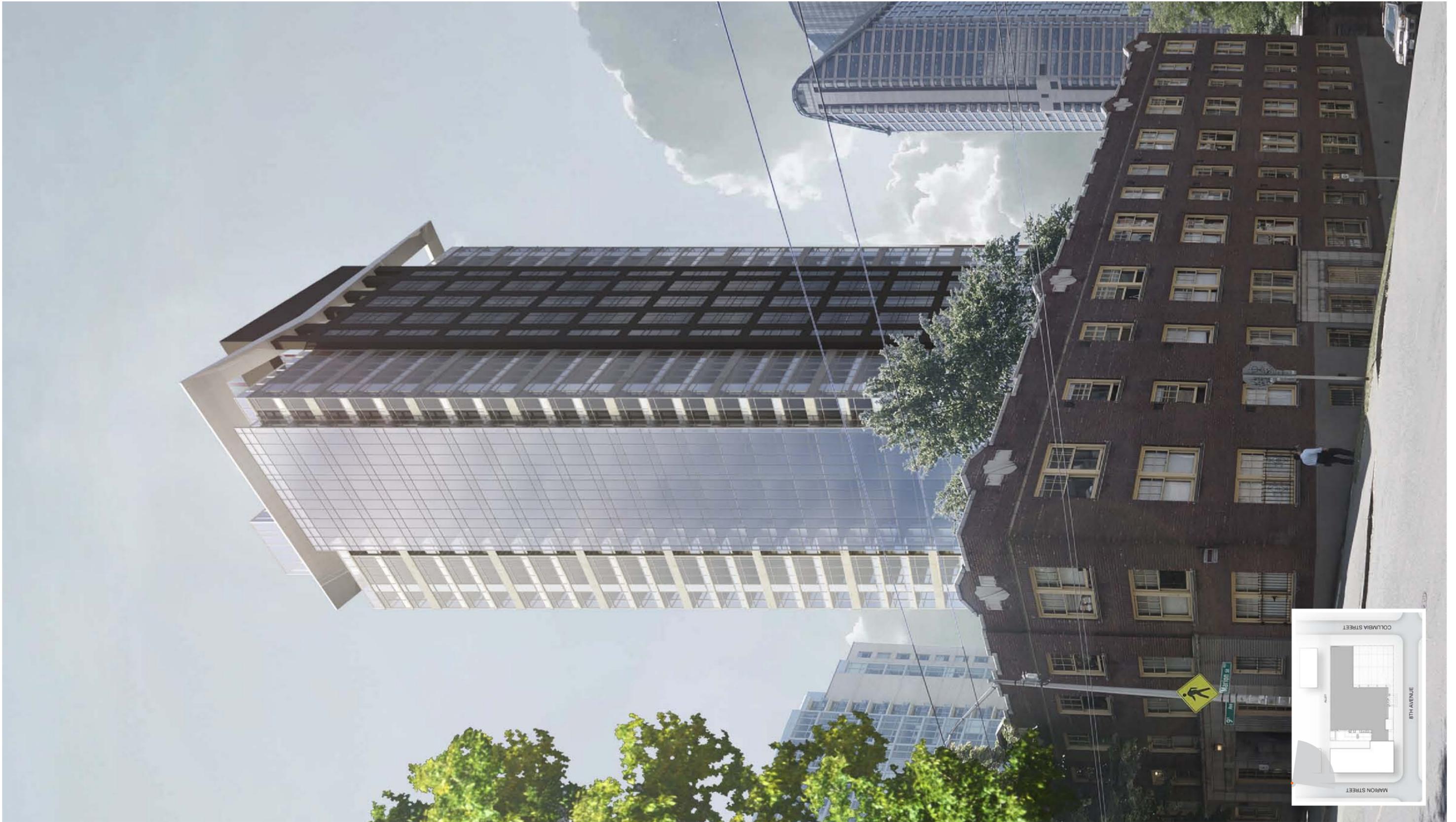
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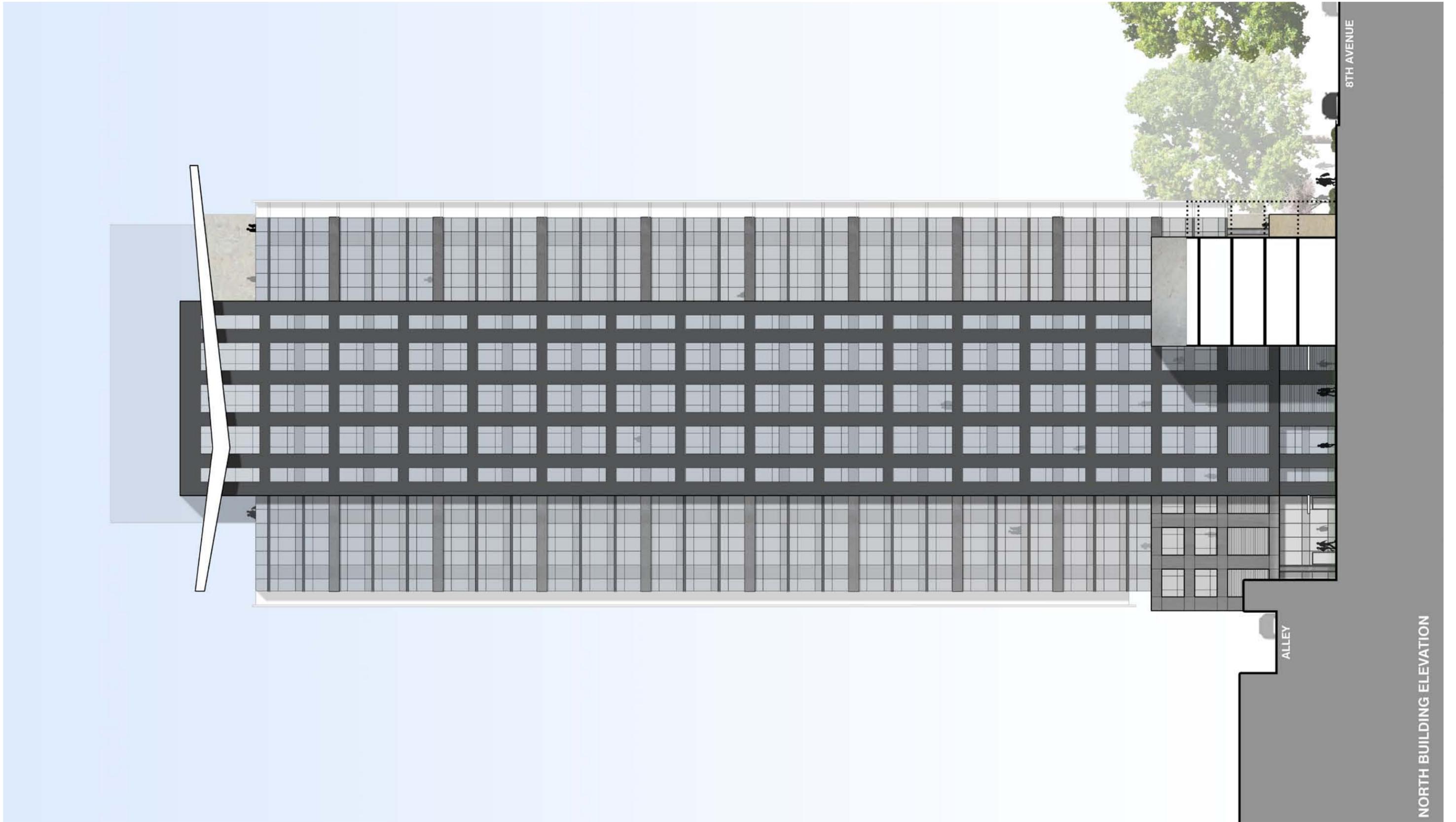
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NORTH BUILDING ELEVATION



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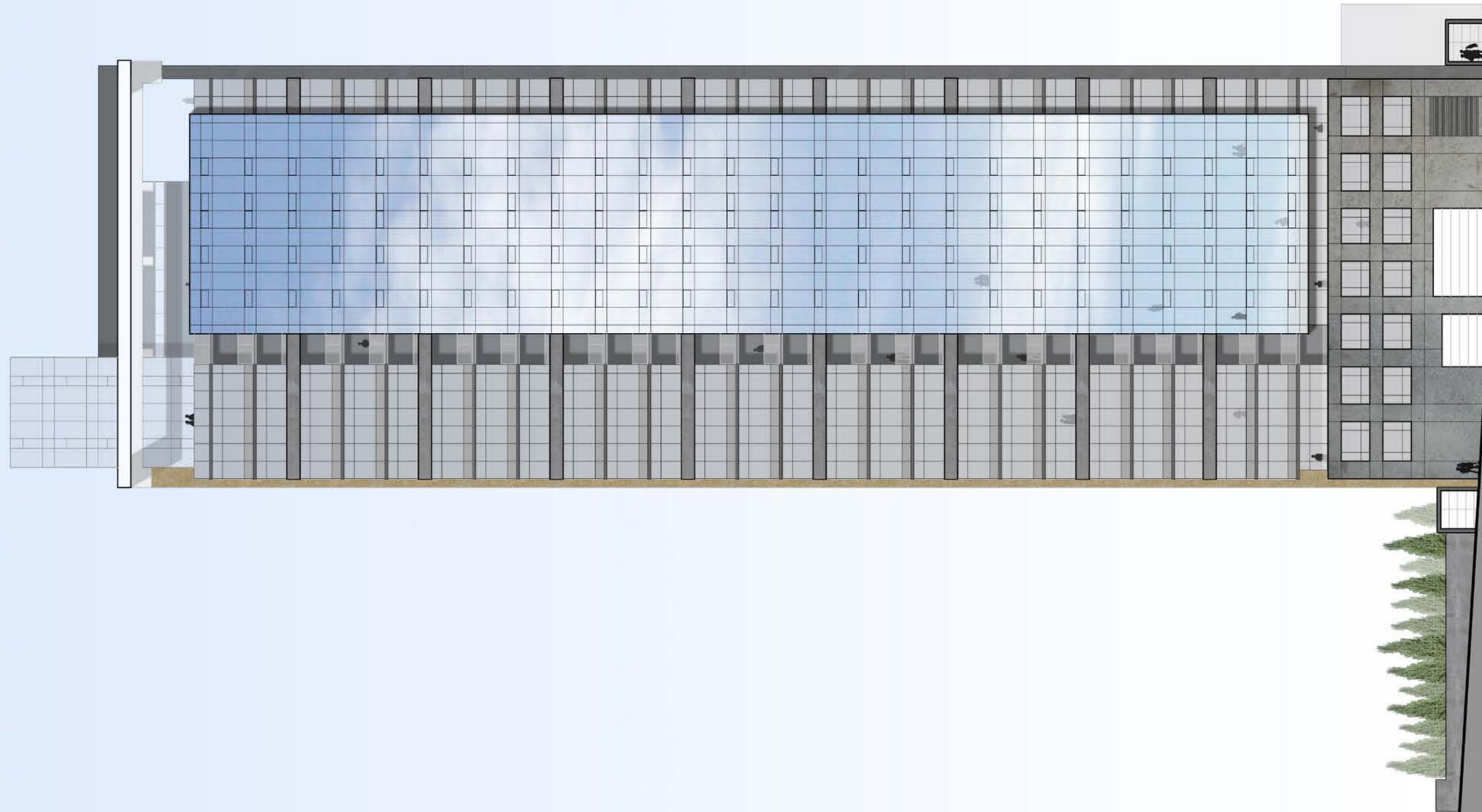
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EAST BUILDING ELEVATION



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8TH AND COLUMBIA | AERIAL VIEW

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DESIGN STUDIES _____



DESIGN STUDY A: FRAMED PODIUM



DESIGN STUDY B: PUNCHED OPENINGS



DESIGN STUDY C: PRECAST WRAP



DESIGN STUDY D: PREFERRED

STUDY A



STUDY B



STUDY C (PREFERRED)





PRECAST COLOR STUDY A



PRECAST COLOR STUDY B: PREFERRED

DEPARTURES_____

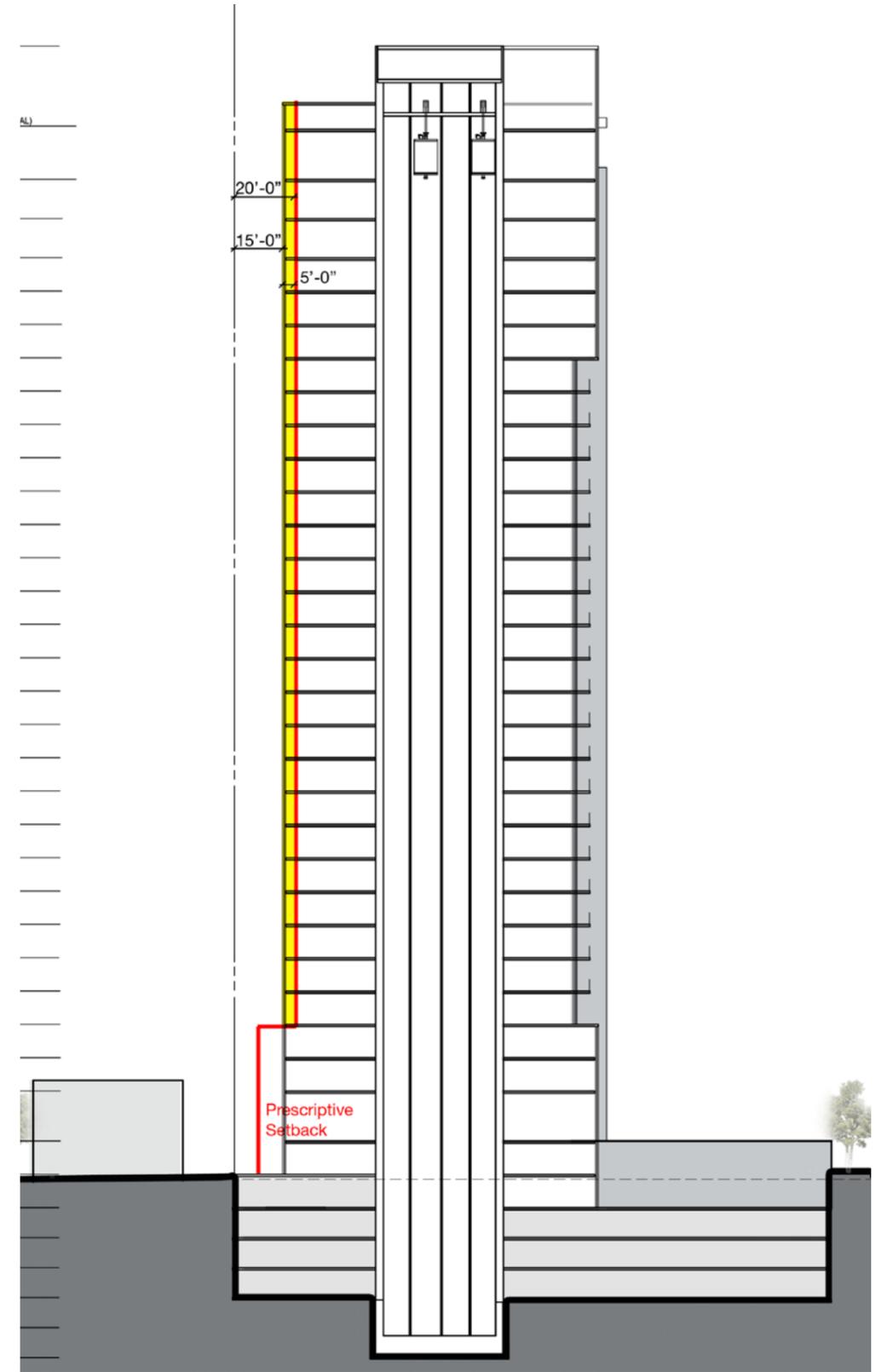
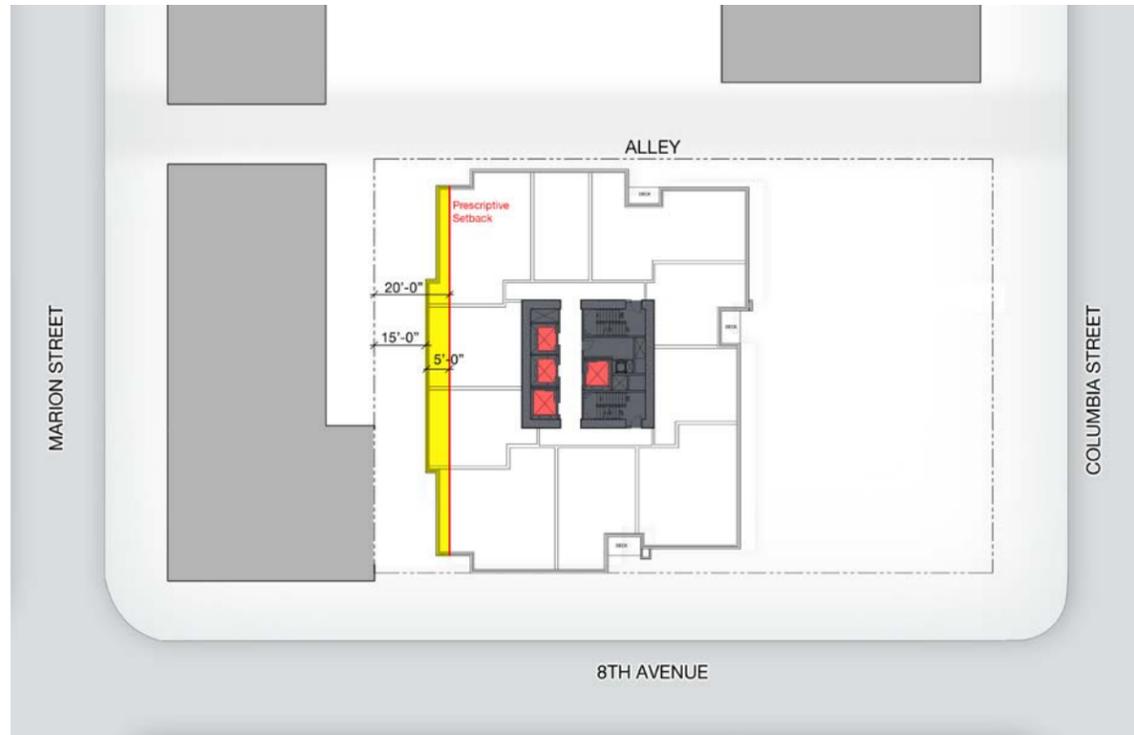
DEPARTURE 1

DEVELOPMENT STANDARDS SMC 23.45.518
HR SETBACKS

PRESCRIPTIVE At lot lines abutting neither a street nor alley: Portions above 45': 20' minimum setback

PROPOSED At lot lines abutting neither a street nor alley: Portions above 45': 15' minimum setback

CONSIDERATIONS This allows for a 5' larger open space. Provides 15' setback below 45' versus the code minimum 5' setback and 7' average.



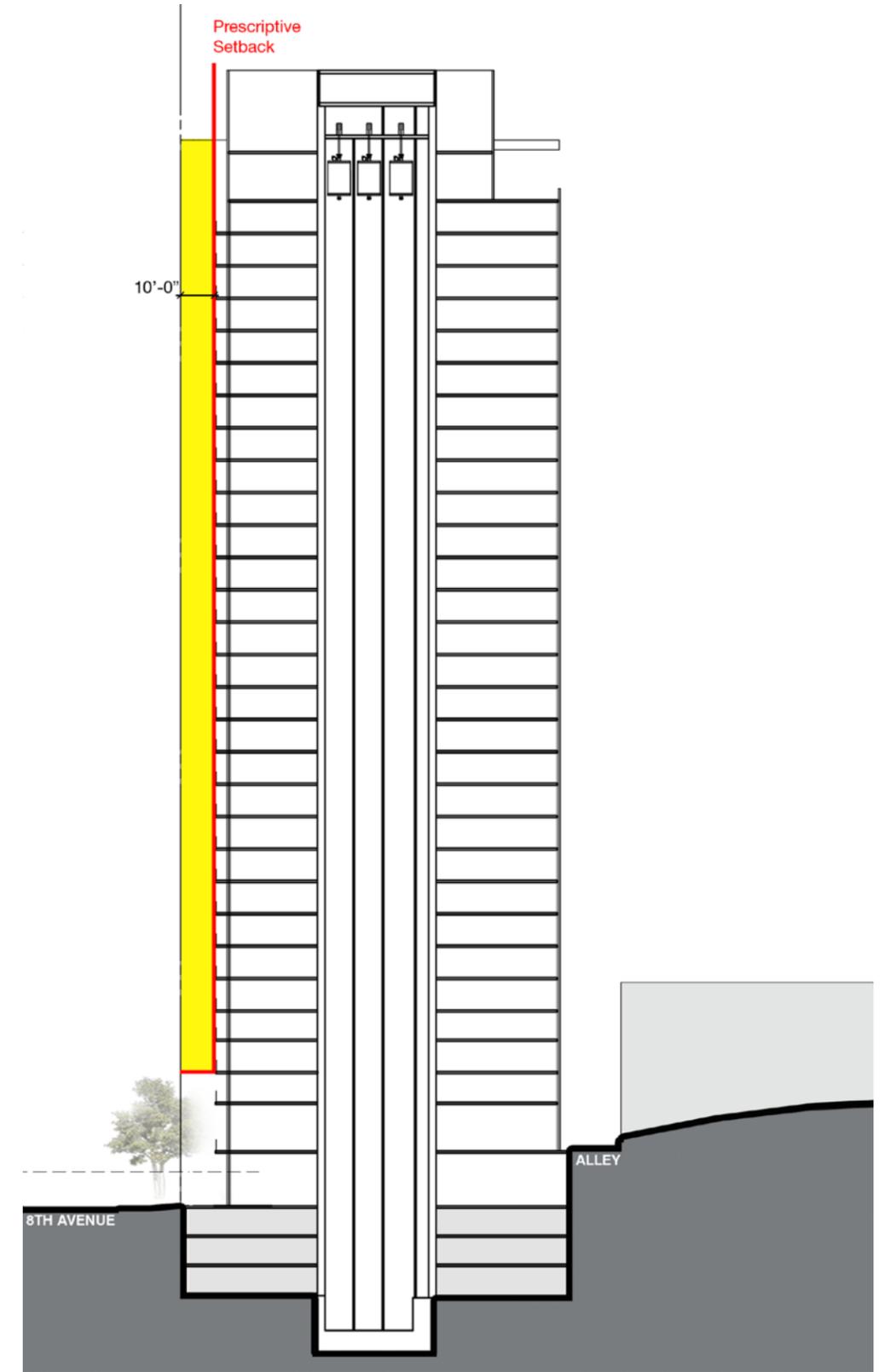
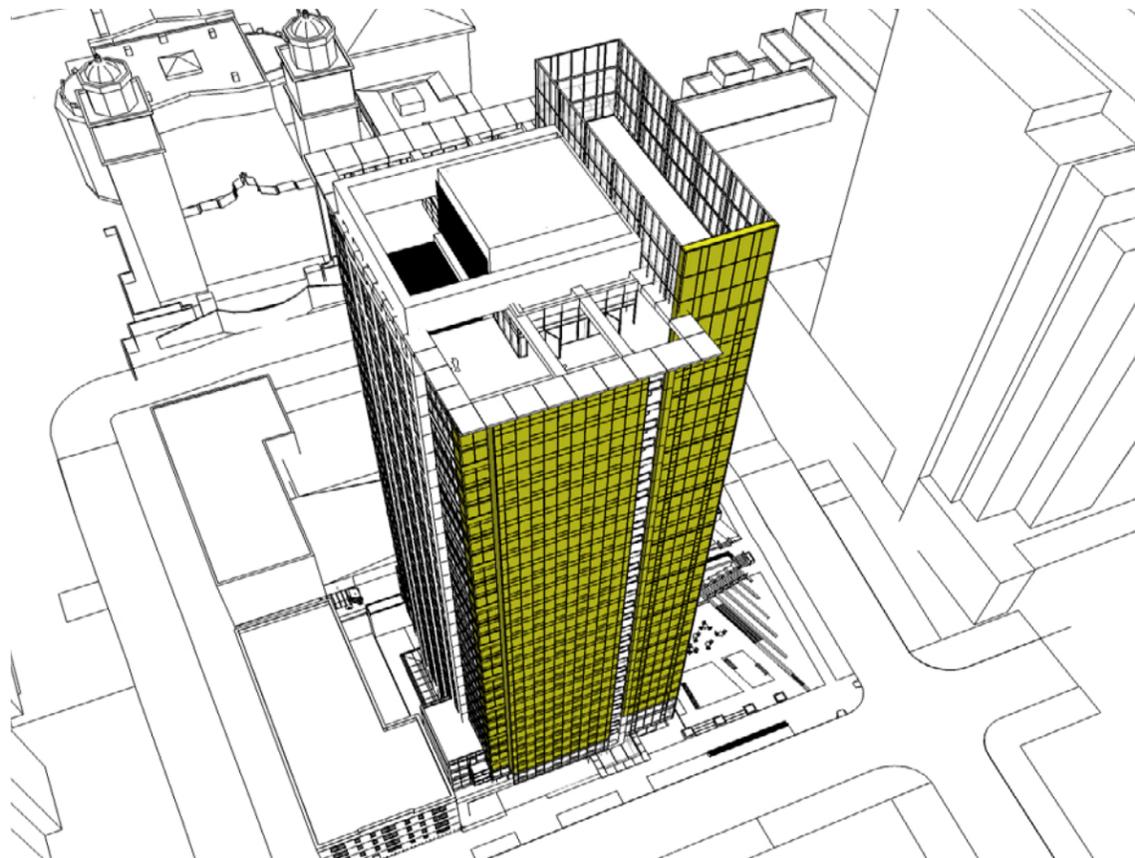
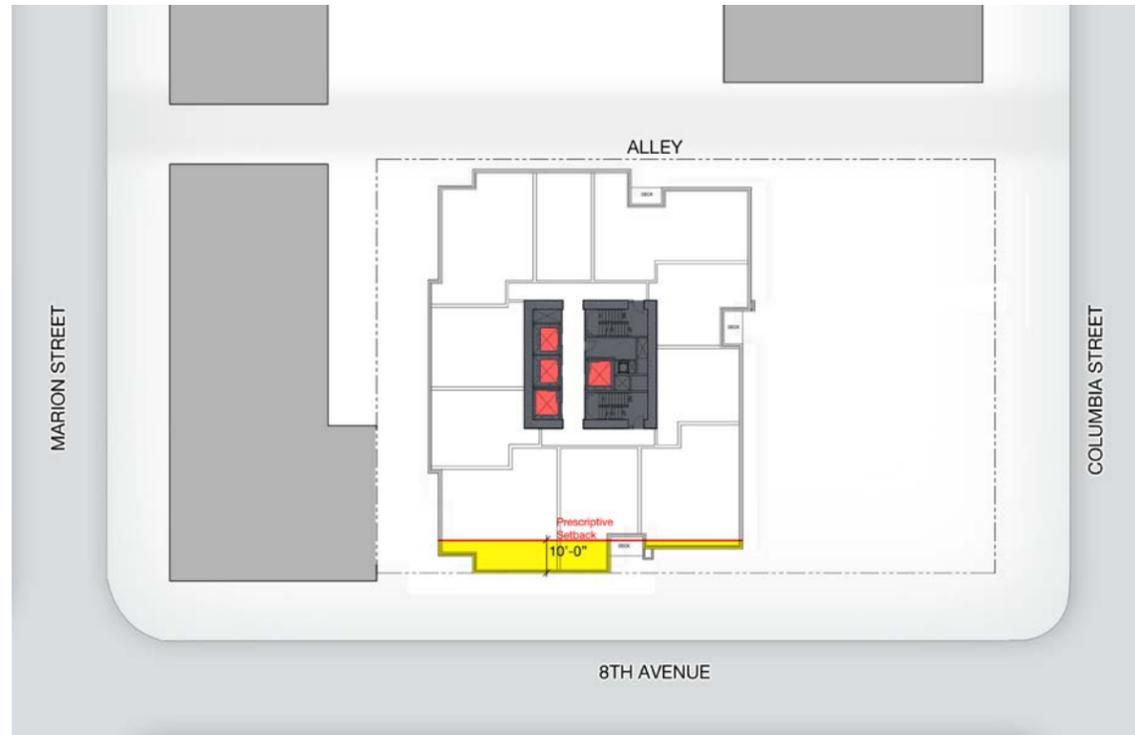
DEPARTURE 2

DEVELOPMENT STANDARDS SMC 23.45.518
HR SETBACKS

PRESCRIPTIVE At lot lines abutting the street:
Portions above 45': 10' minimum setback

PROPOSED At lot lines abutting the street:
Portions above 45': 0' setback

CONSIDERATIONS Slenderizes the building in the North-South direction. This allows a larger open space on the Southeast corner of the site.



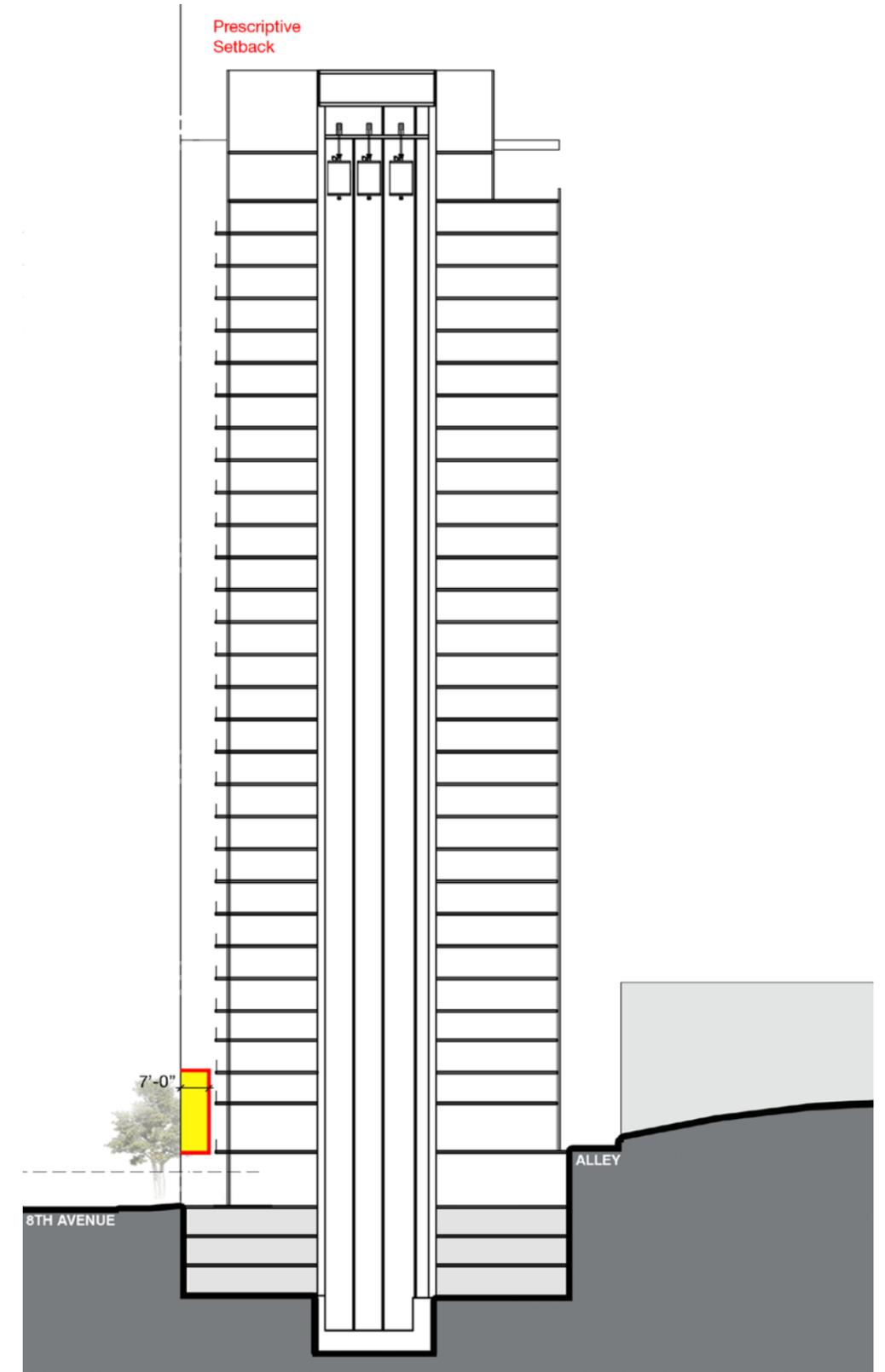
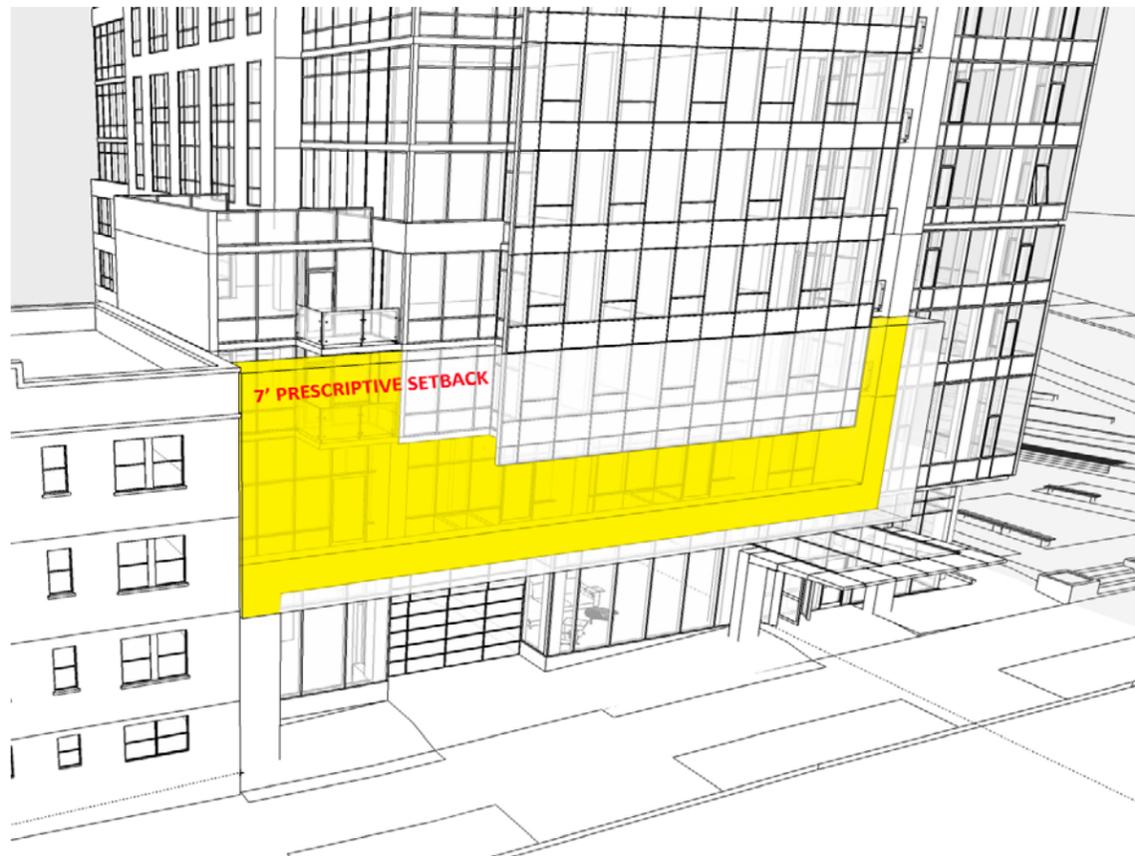
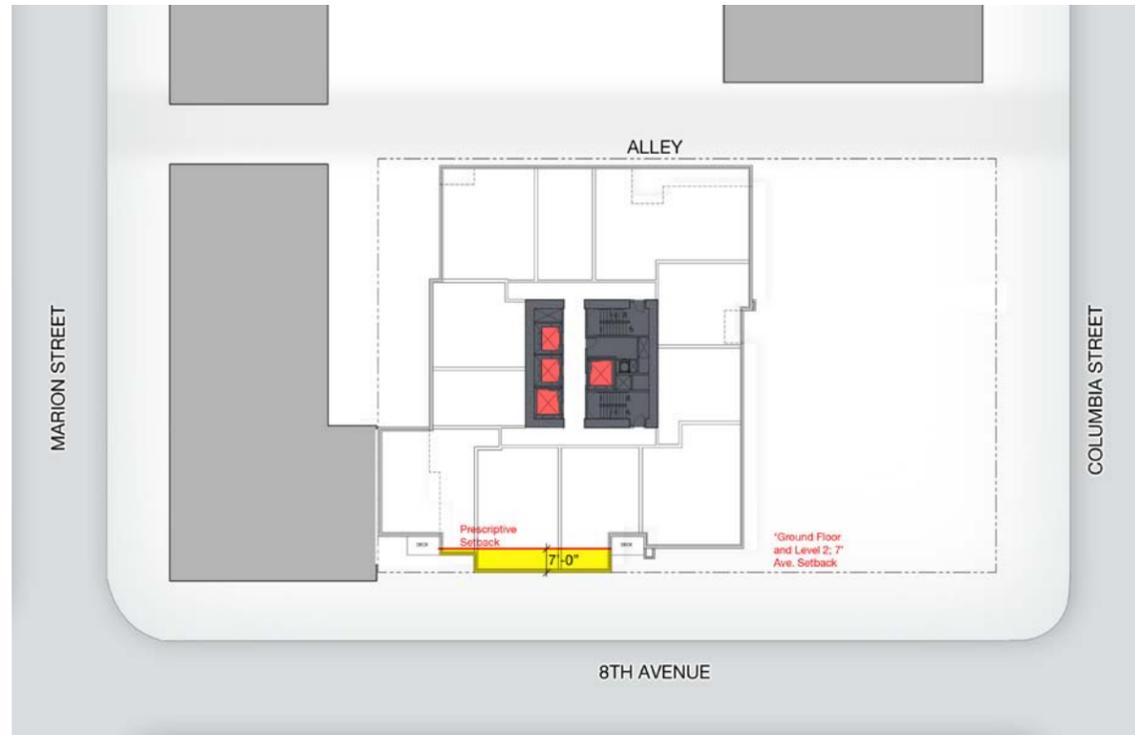
DEPARTURE 3

DEVELOPMENT STANDARDS SMC 23.45.518
HR SETBACKS

PRESCRIPTIVE At lot lines abutting the street:
Portions below 45': 7' average setback

PROPOSED At lot lines abutting the street:
Portions below 45' and above 18':
0' setback. Ground floor level; 10' average setback.

CONSIDERATIONS Aligns with facade above 45'. Creates a visual relationship to neighbor (Clarwood Apartments) and gives relief to the green street along 8th Avenue.



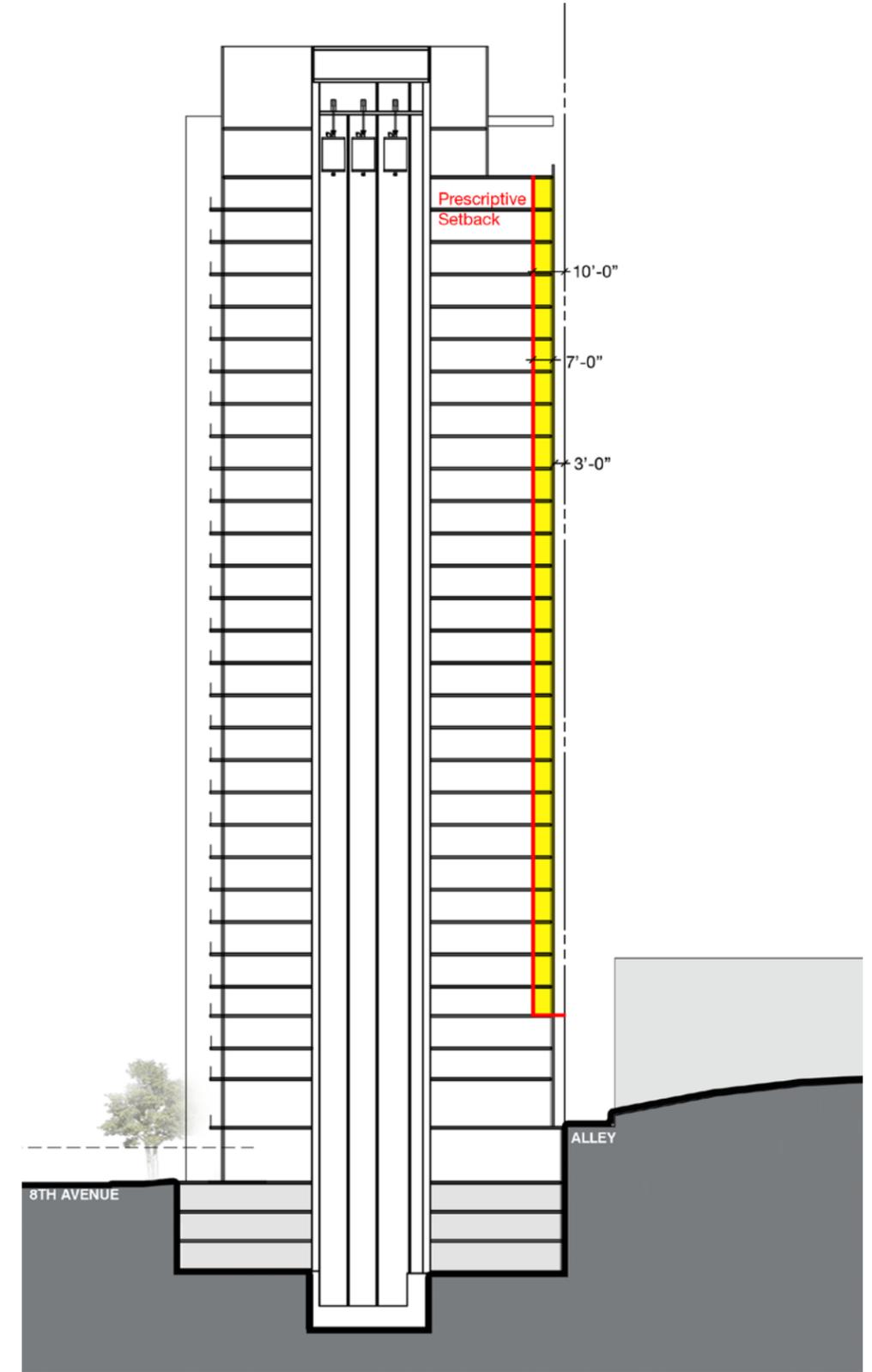
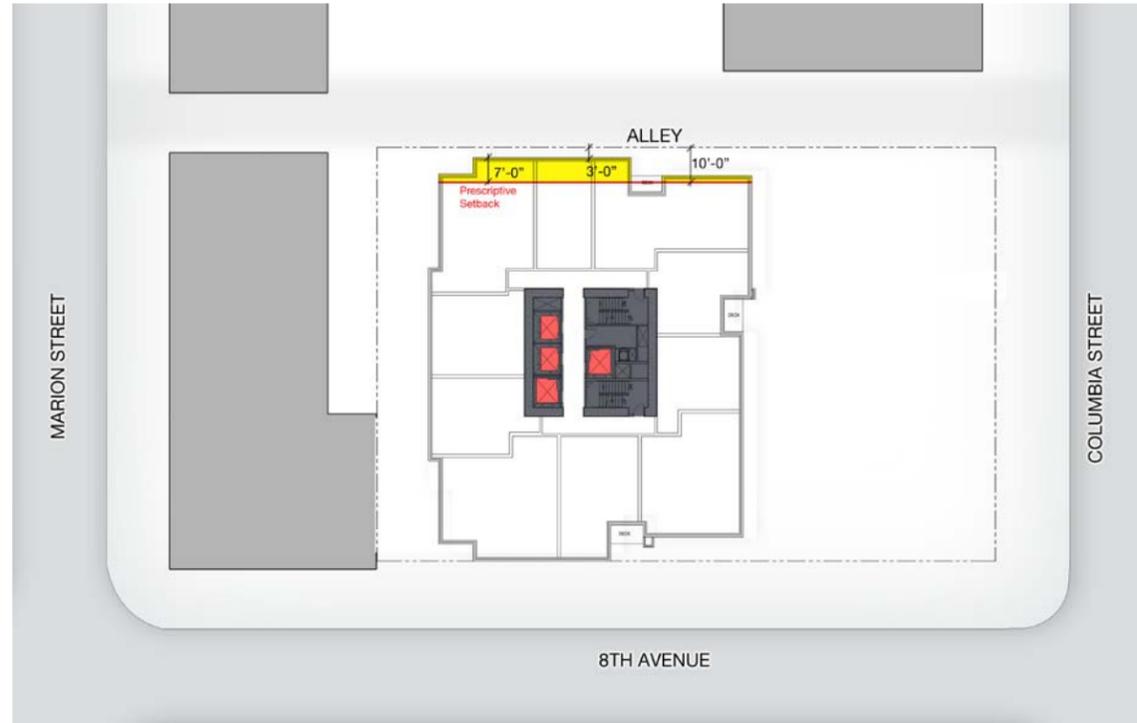
DEPARTURE 4

DEVELOPMENT STANDARDS SMC 23.45.518 HR SETBACKS

PRESCRIPTIVE At lot lines abutting the alley: Portions above 45': 10' minimum setback

PROPOSED At lot lines abutting the alley: Portions above 45': 3' setback

CONSIDERATIONS Slenderizes the building in the North-South direction. This allows a larger open space on the Southeast corner of the site.



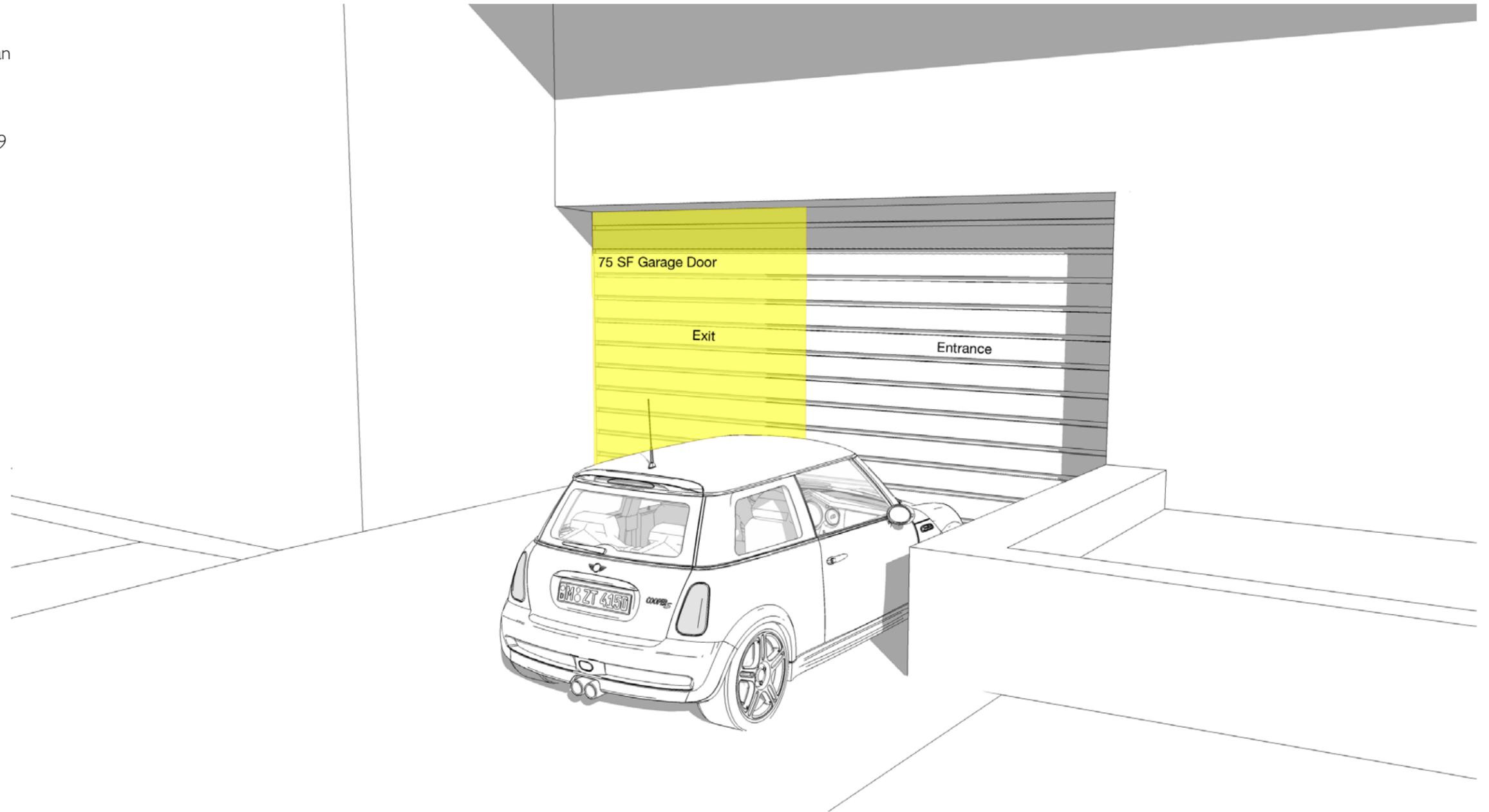
DEPARTURE 5

DEVELOPMENT STANDARDS SMC 25.45.536.D.3.a

PRESCRIPTIVE Garage doors may be no more than 75 square feet in area.

PROPOSED Garage door is proposed to be 189 square feet in area.

CONSIDERATIONS To allow for the required two-way traffic into the garage; the door is required to be 20 feet in width.



MATERIALS _____

MATERIAL PALETTE

DETAIL A

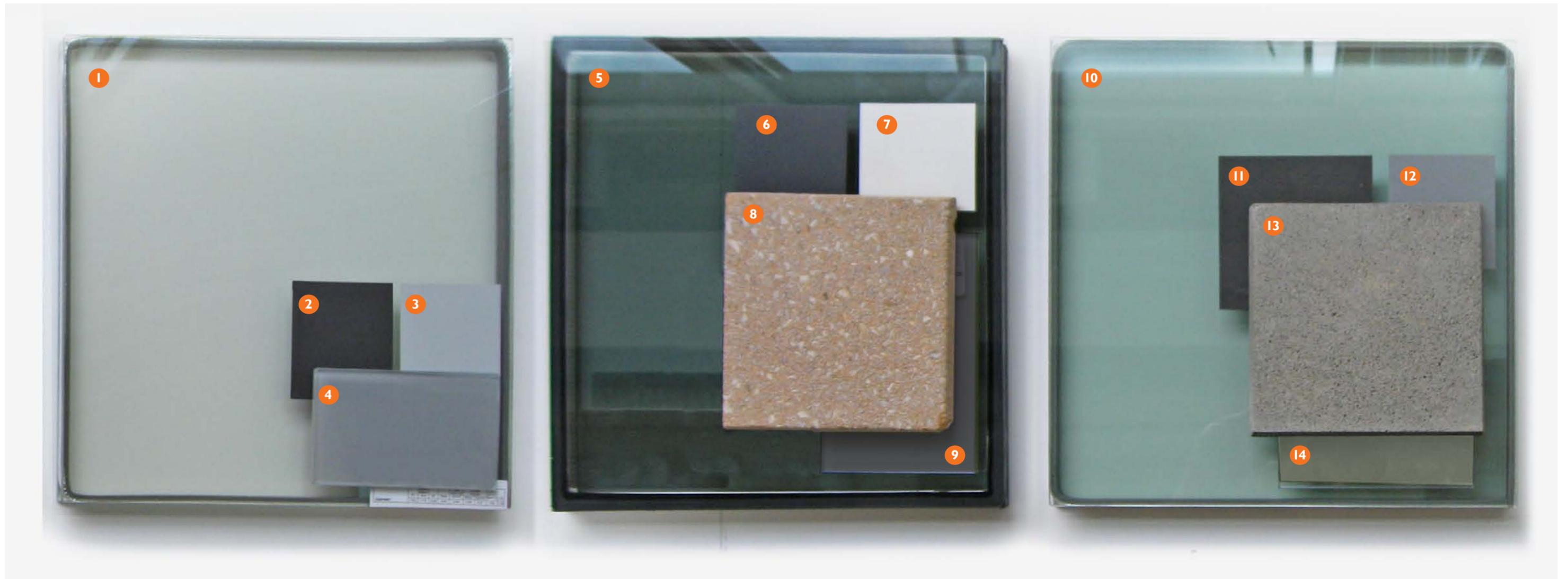
- 1 SolarBan 60
- 2 Duranar Matte Black
- 3 Duranar XL Platinum
- 4 Web Grey Spandrel Spandrel Frit Surface #3

DETAIL B

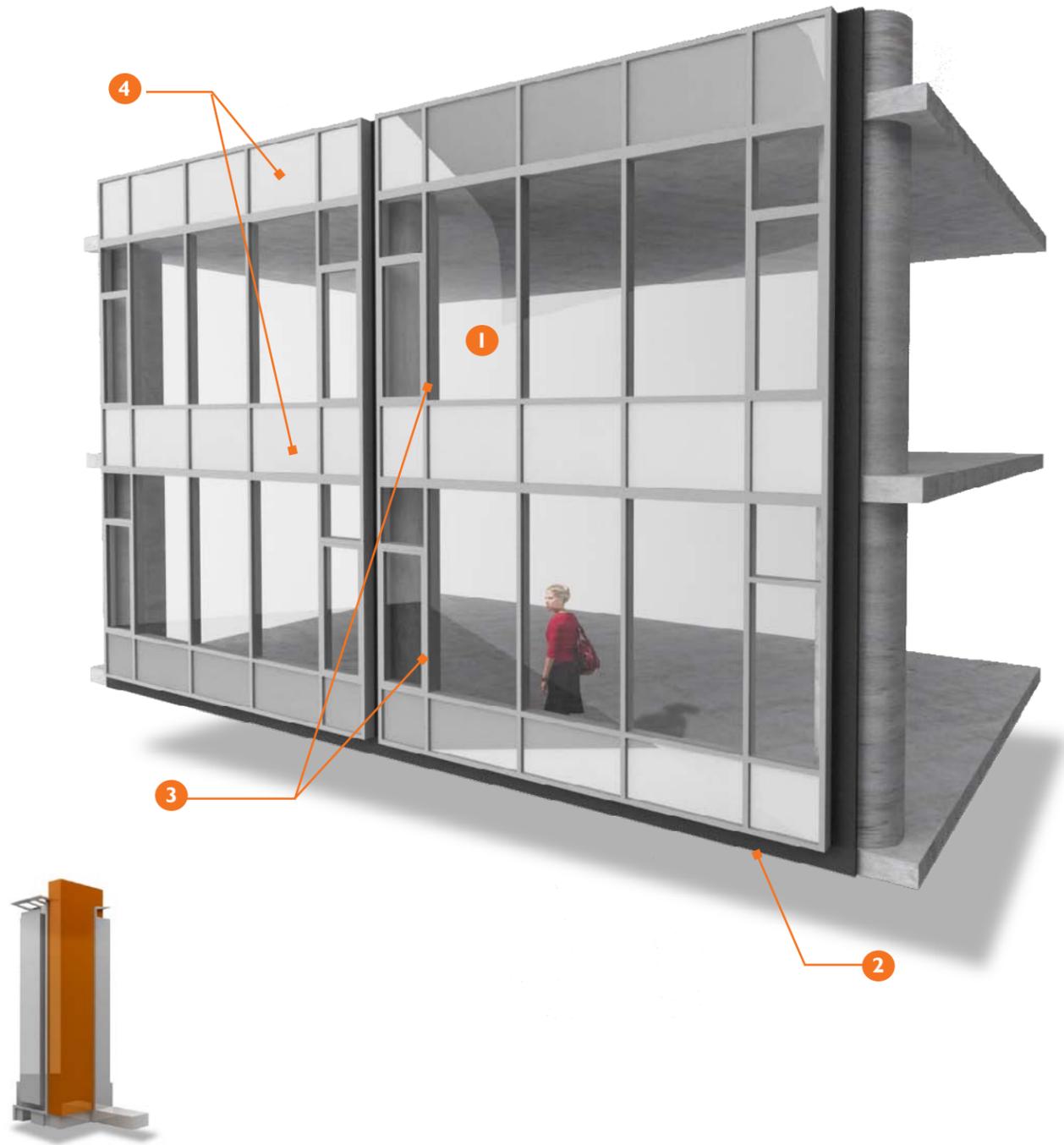
- 5 PPG Grey SBAN 70VT Vision Glass
- 6 Duranar Matte Black
- 7 Duranar Bright White
- 8 Tan Precast
- 9 Cool Grey Spandrel Frit Surface #3

DETAIL C&D

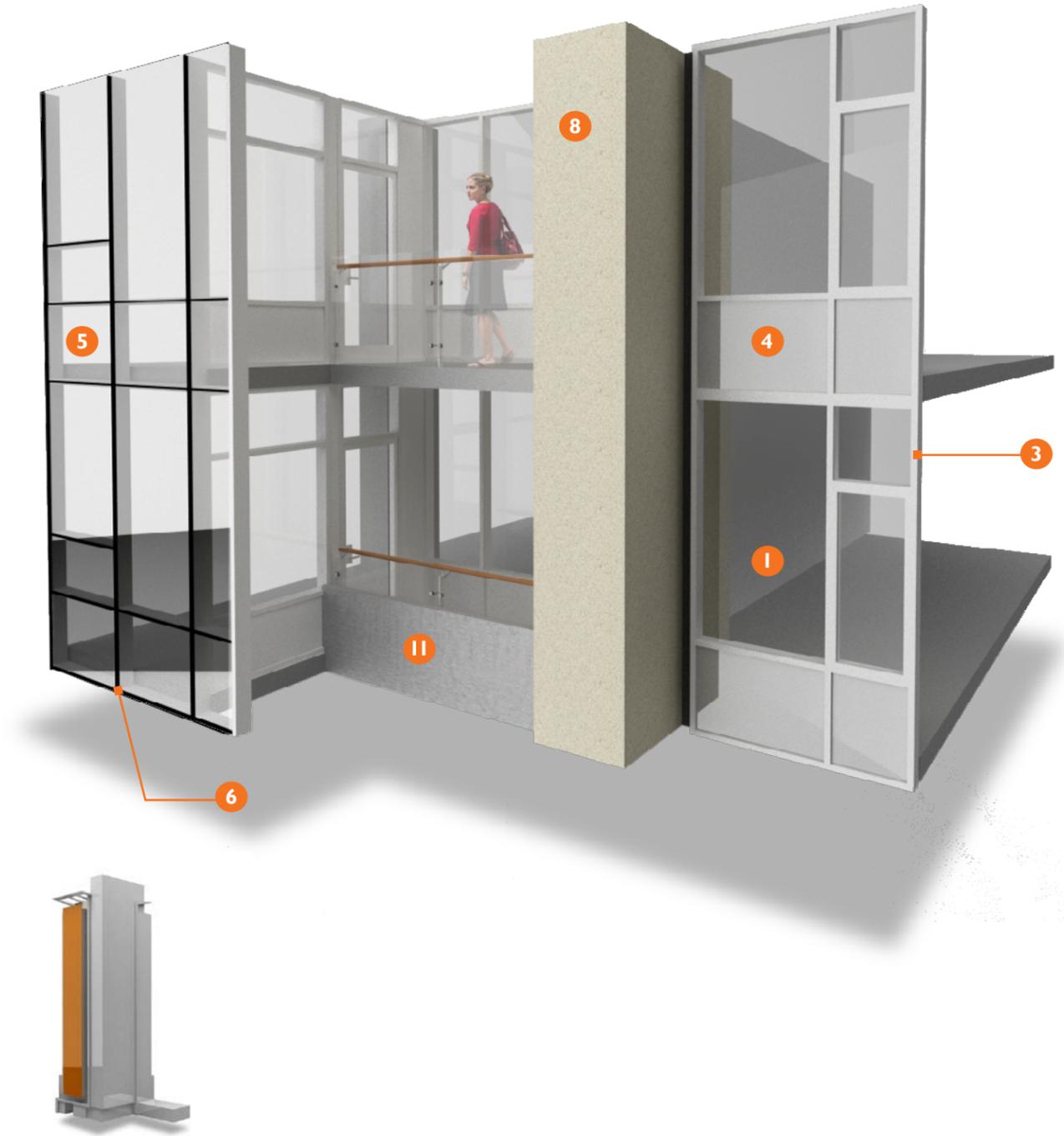
- 10 PPG SolarBan 70XL Vision Glass
- 11 VMZinc Anthra-Zinc
- 12 Duranar XL Silver Shadow
- 13 Natural Precast
- 14 Warm Grey Spandrel Spandrel Frit Surface #3



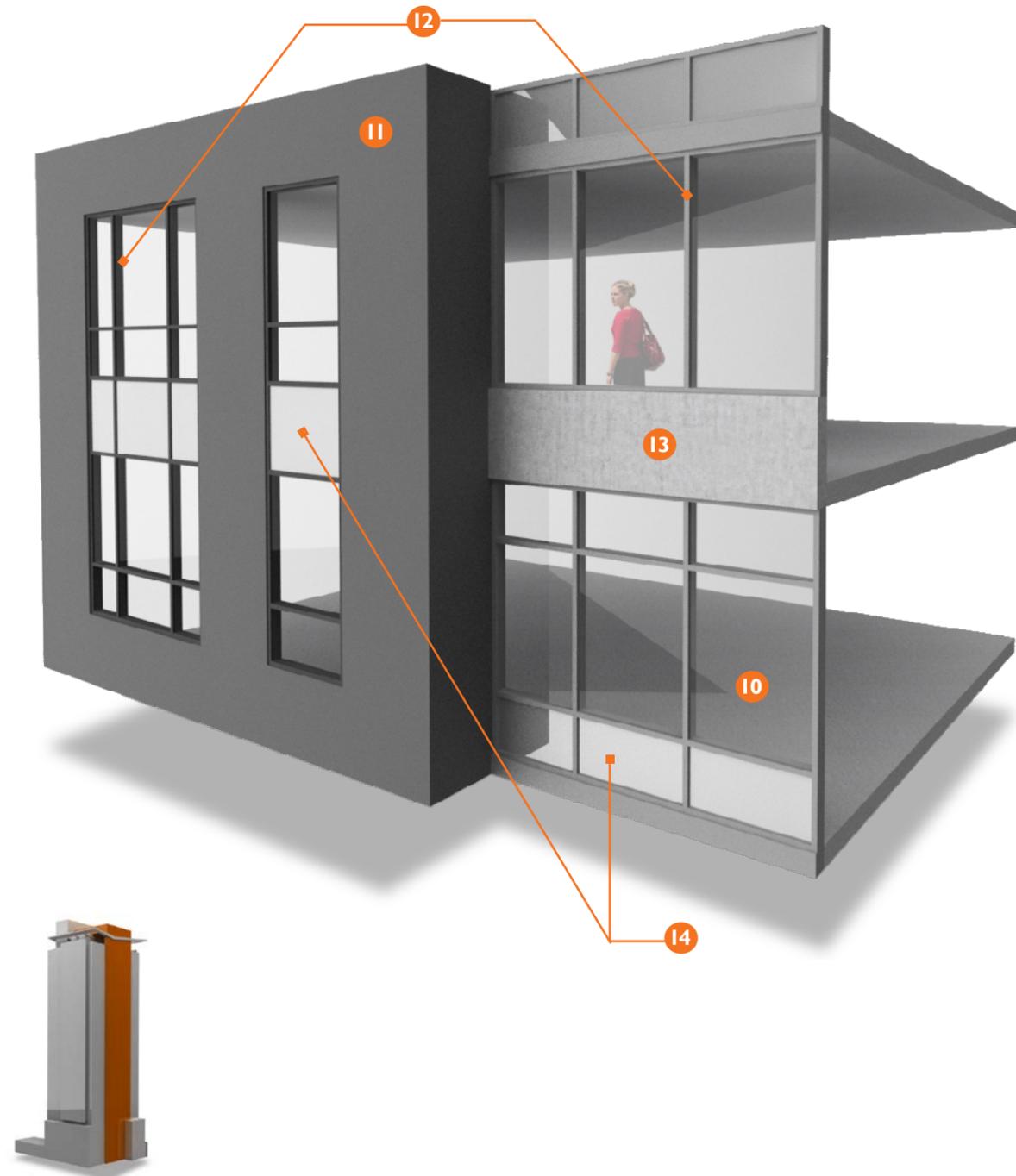
DETAIL A



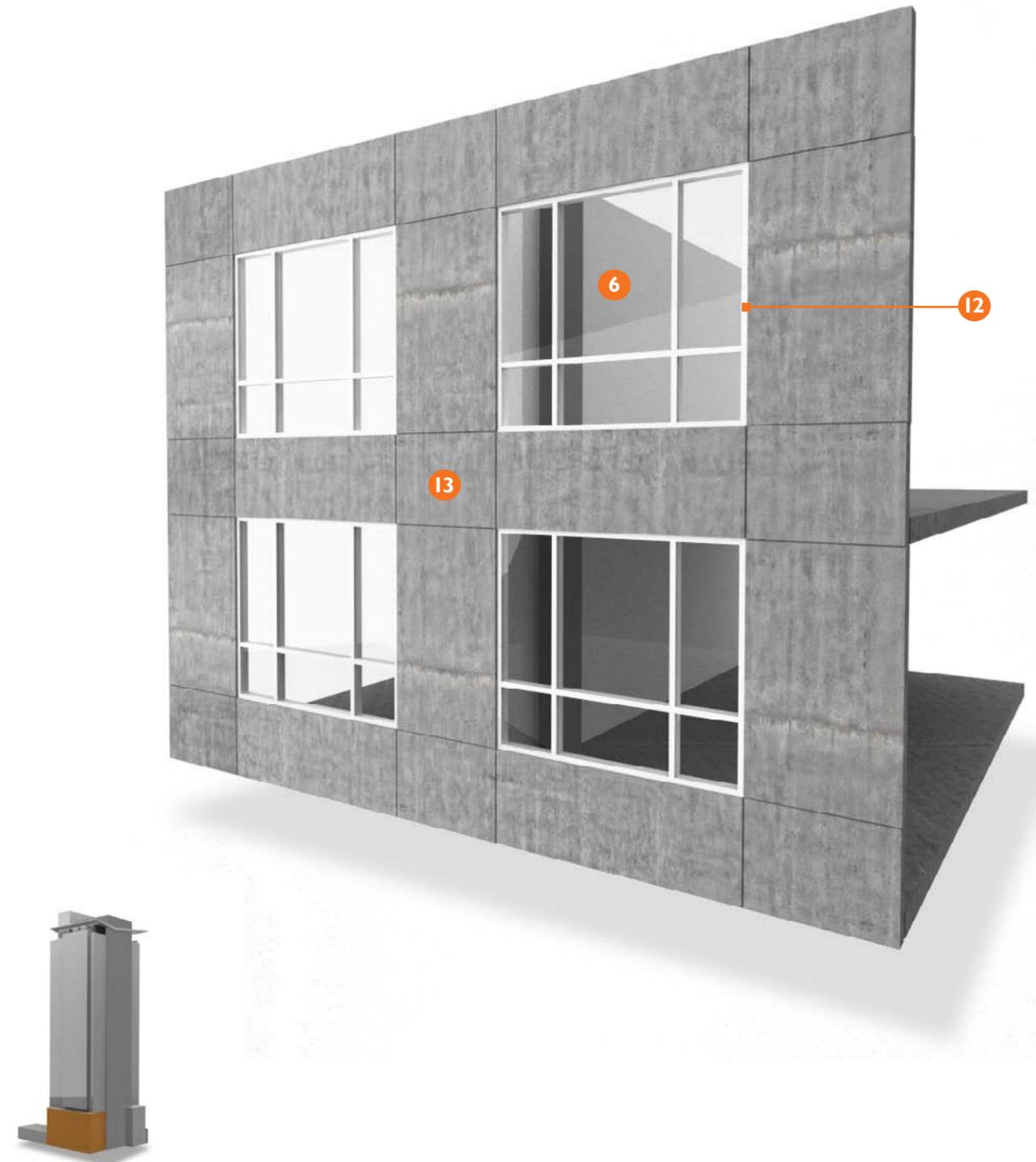
DETAIL B



DETAIL C

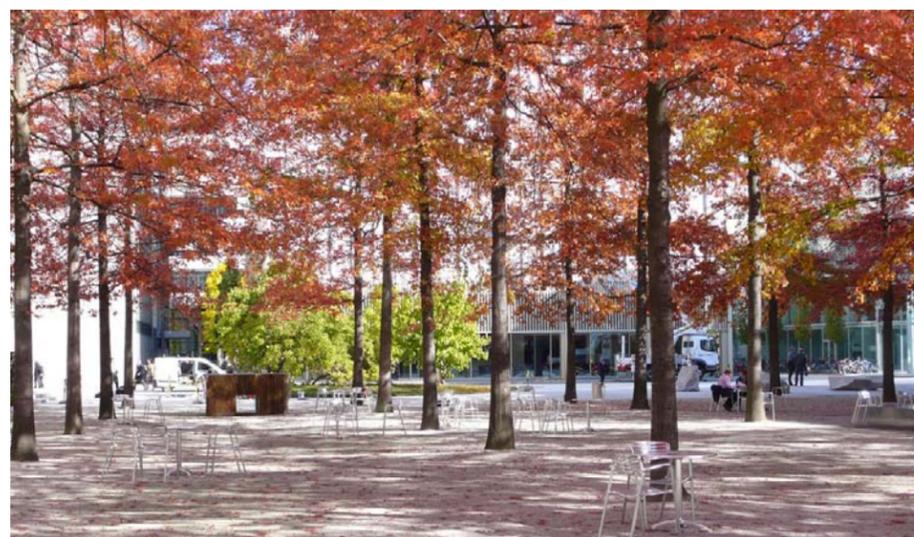


DETAIL D



NEIGHBORHOOD OPEN SPACE











8TH AND COLUMBIA | PERSPECTIVE – VIEW FROM STREET CORNER

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8TH AND COLUMBIA | PERSPECTIVE – VIEW FROM CORNER OF BUILDING

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8TH AND COLUMBIA | PERSPECTIVE – FROM COLUMBIA STREET

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8TH AND COLUMBIA | PERSPECTIVE – FROM UPPER LEVEL

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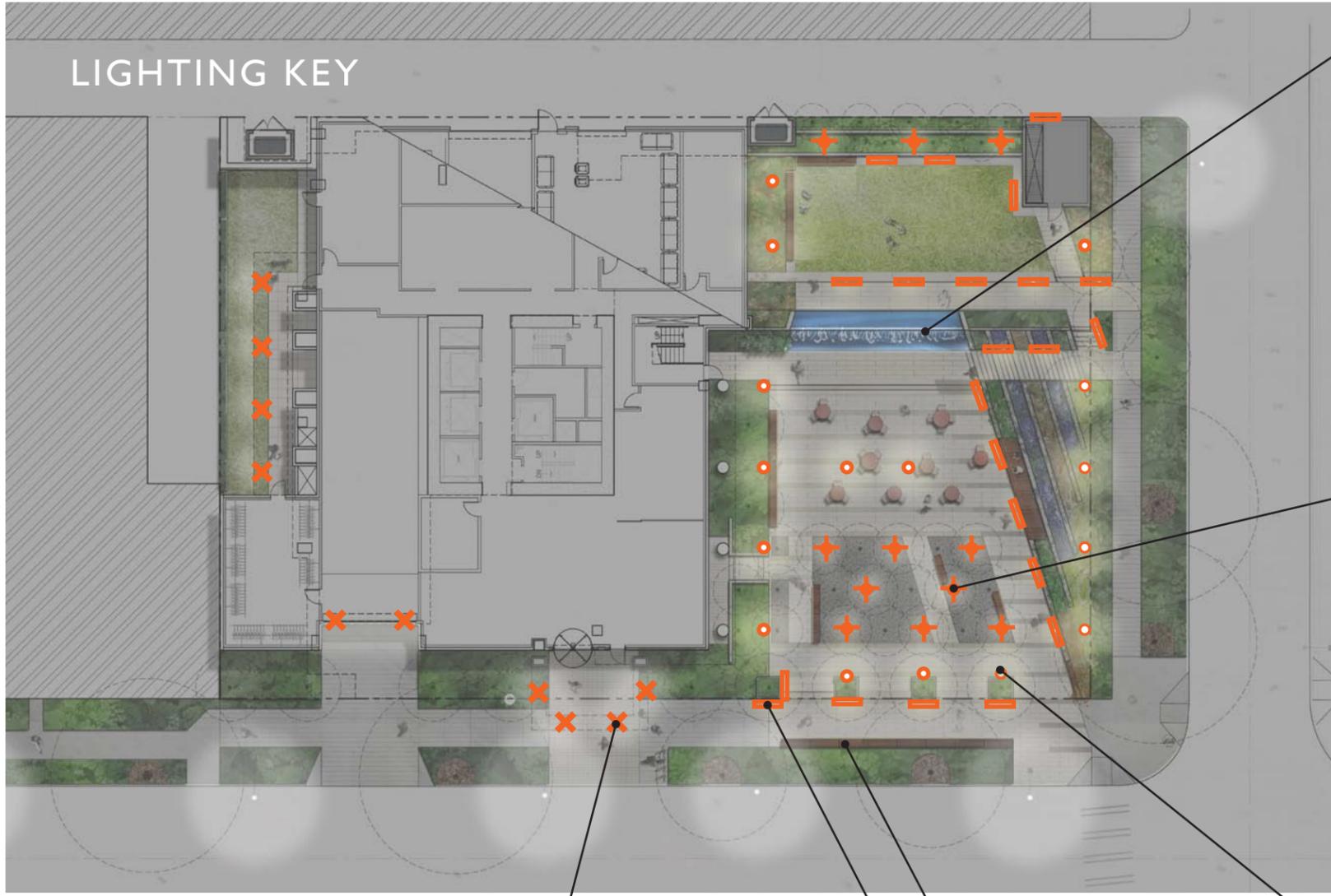
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WATER FEATURE LIGHTING



+ TREE LIGHT - 2 OPTIONS



○ LIGHT POLES



X BUILDING DOWN LIGHT - 2 OPTIONS



BENCH LIGHTING

- STEP LIGHT



LIGHTING KEY



White or Paper Birch
Betula papyrifera



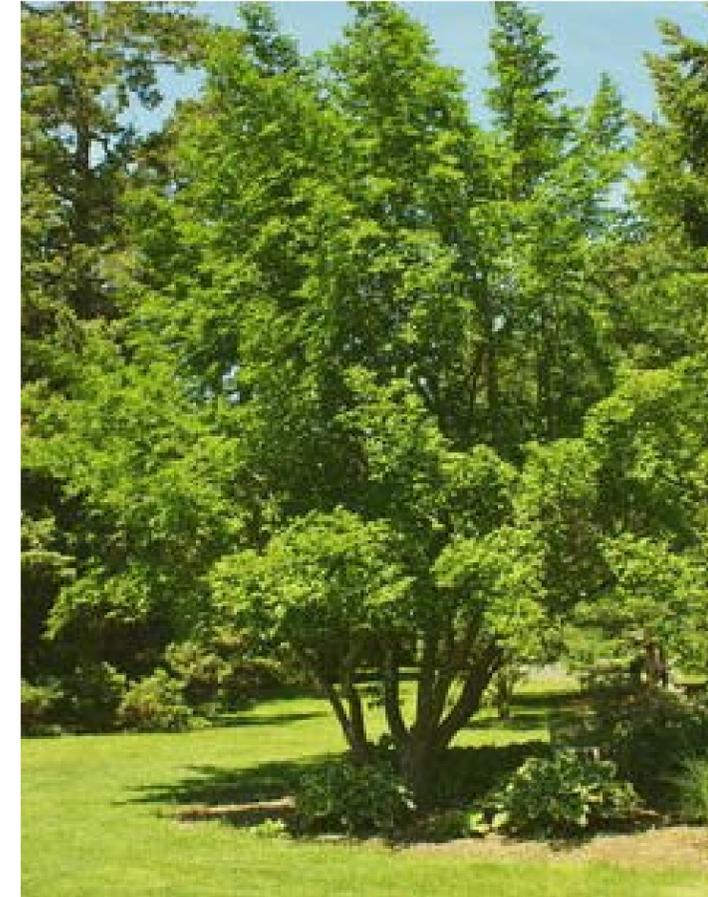
Honey Locust
Gleditsia triacanthos



Columnar English Oak
Quercus robur 'Fastigiata'



Stewartia
Stewartia pseudocamellia



Dappled Willow
Salix integra 'Hakuro-nishiki'



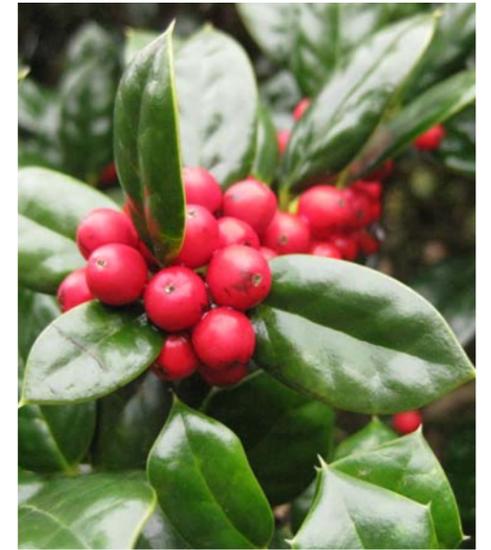
Carpet Roses
Rosa 'Flower Carpet'



Endless Summer Hydrangea
Hydrangea macrophylla 'Bailmer'



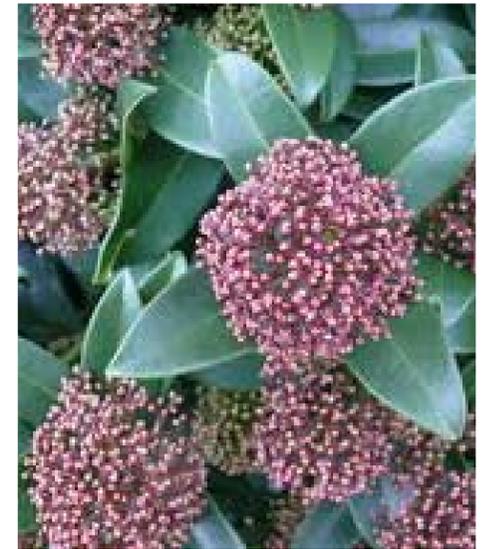
Dwarf Burford's Holly
Ilex cornuta 'Burfordii nana'



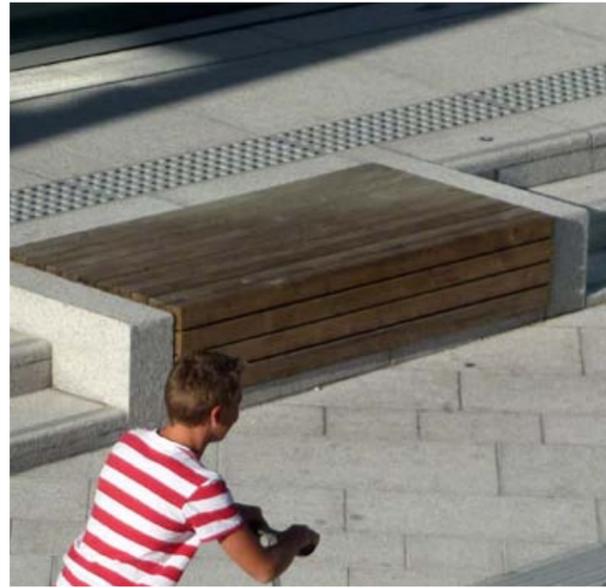
Silverleaf Dogwood
Cornus alba 'Elegantissima'



Reeves Skimmia
Skimmia reevesiana



Site Furniture

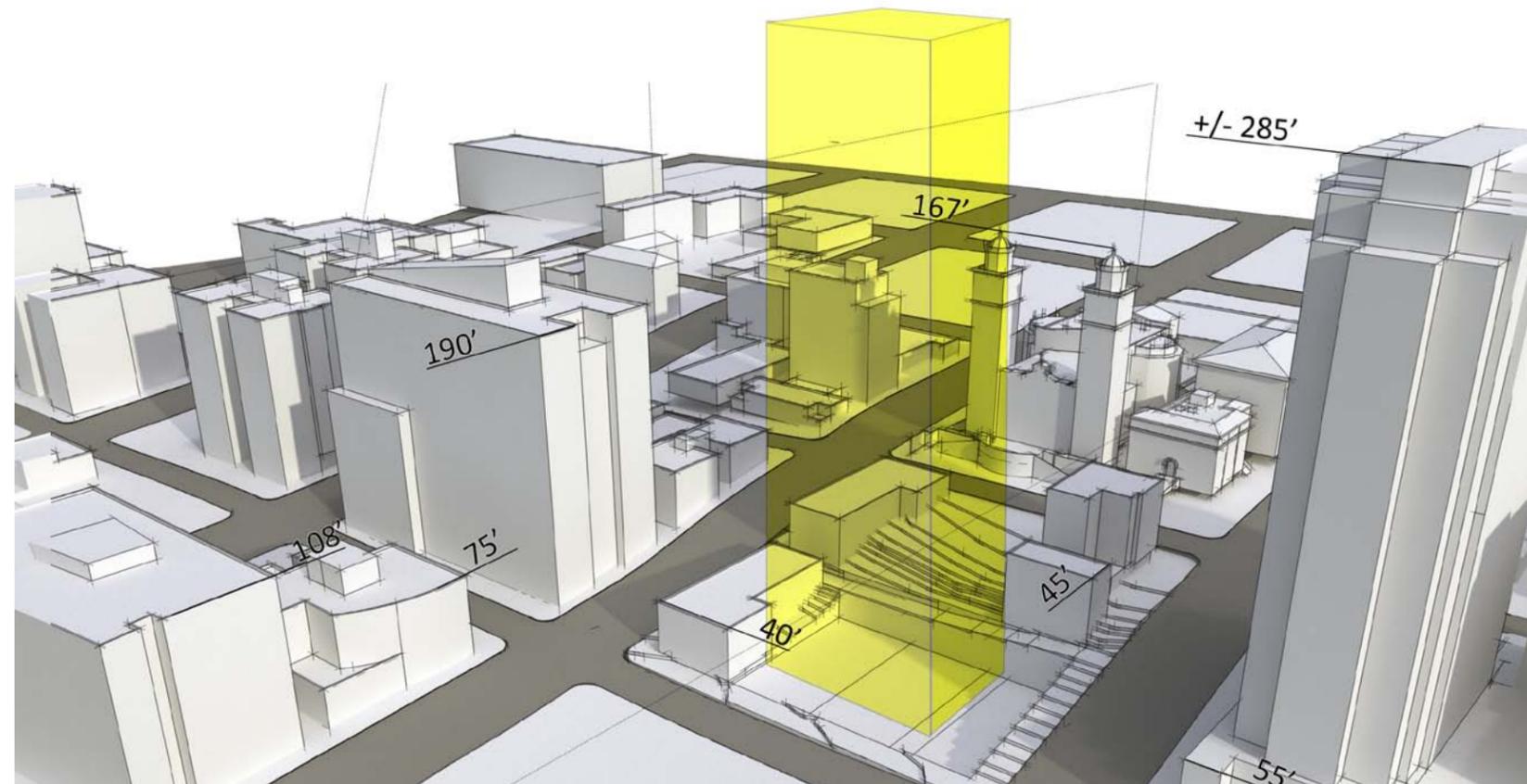
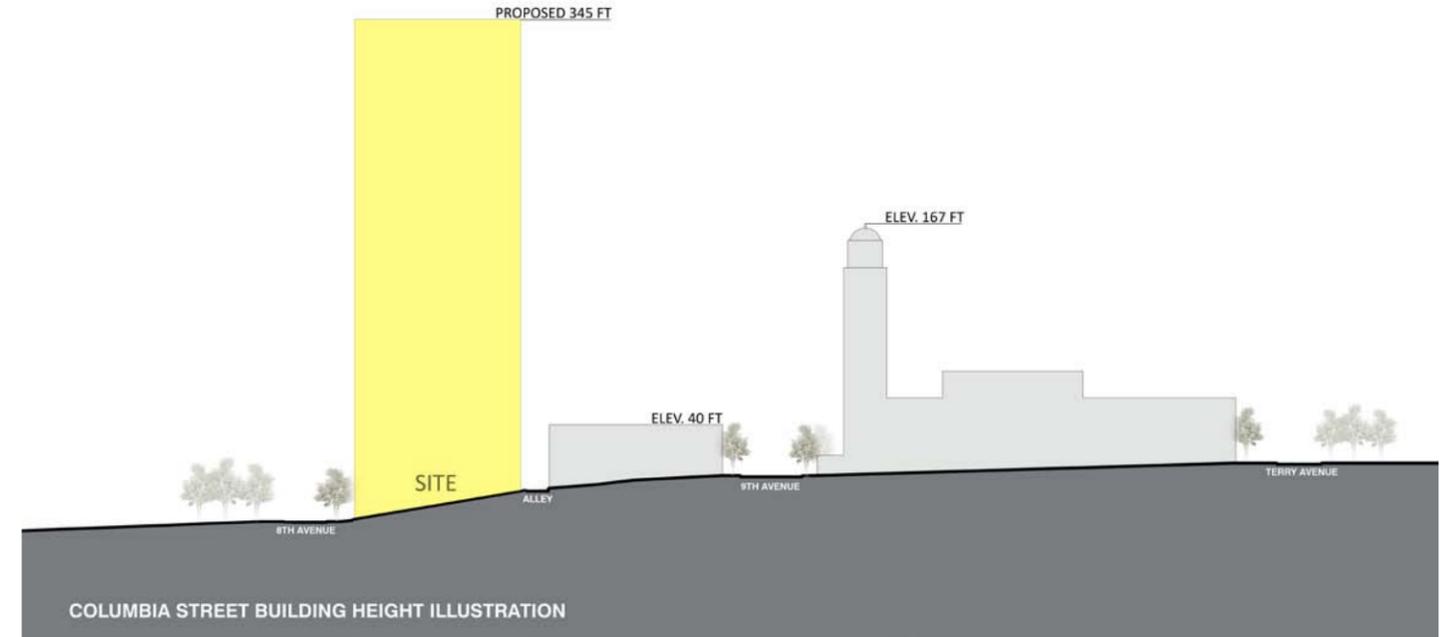
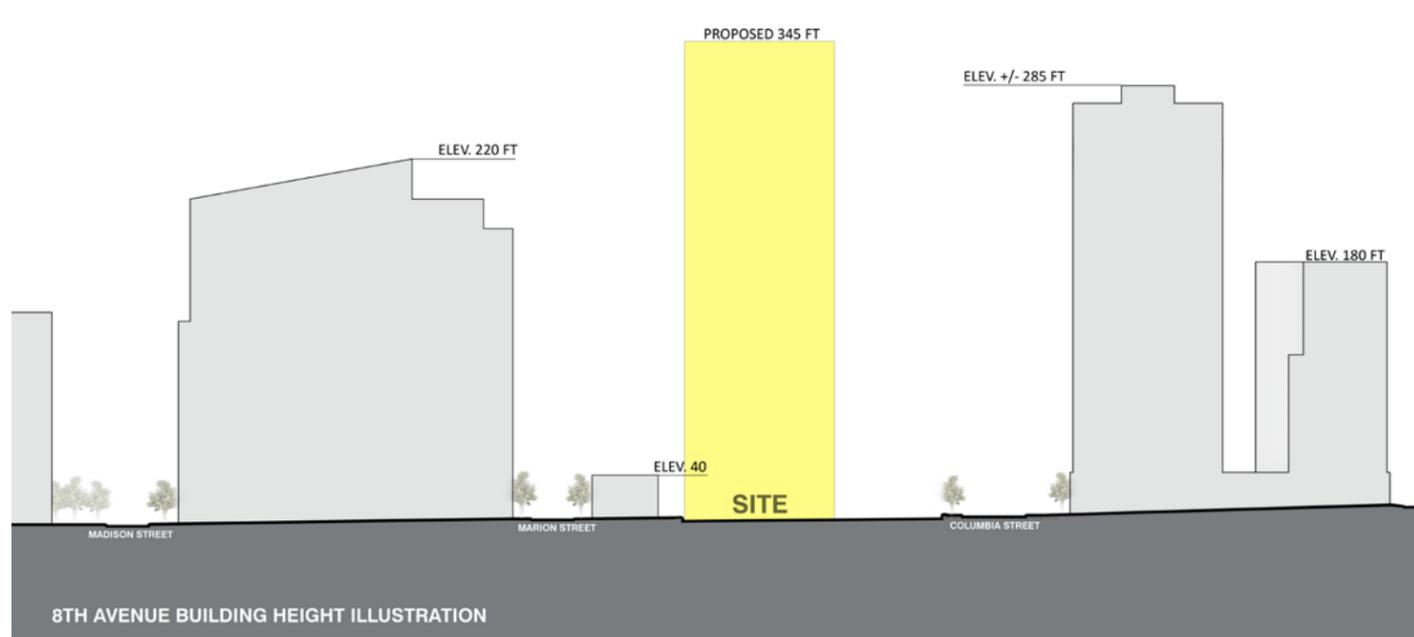


Paving Materials



APPENDIX _____

NEIGHBORHOOD BUILDING HEIGHTS

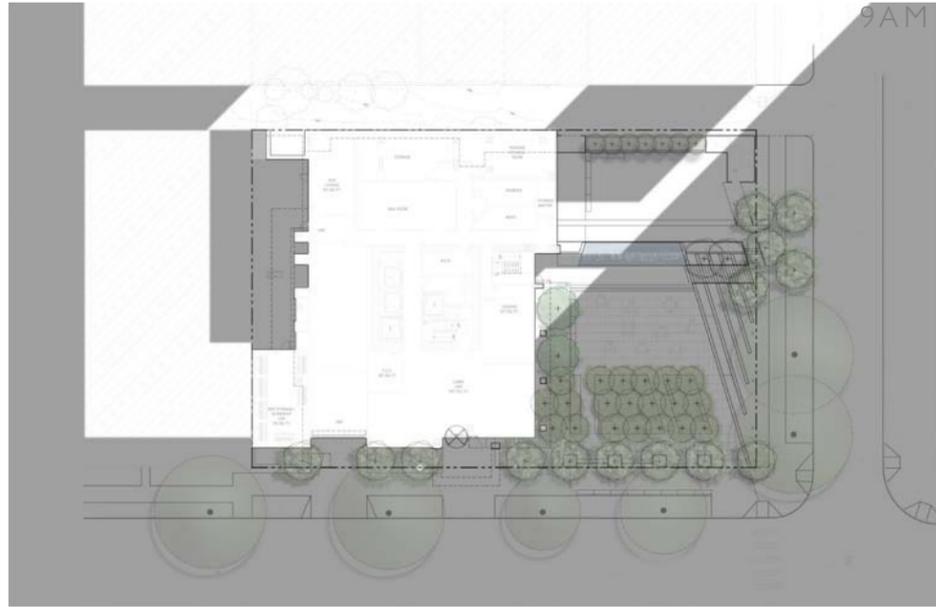


SHADOW STUDIES

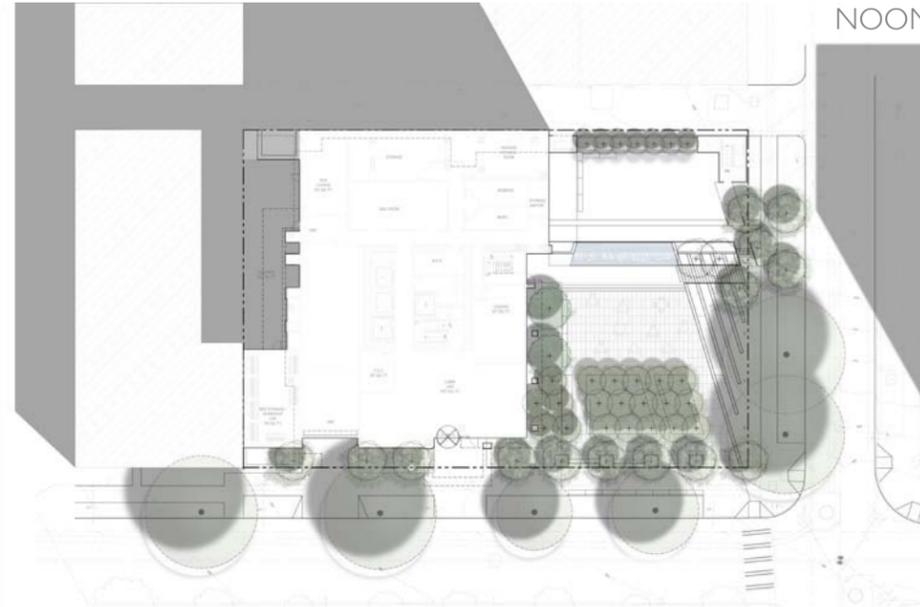
SUMMER



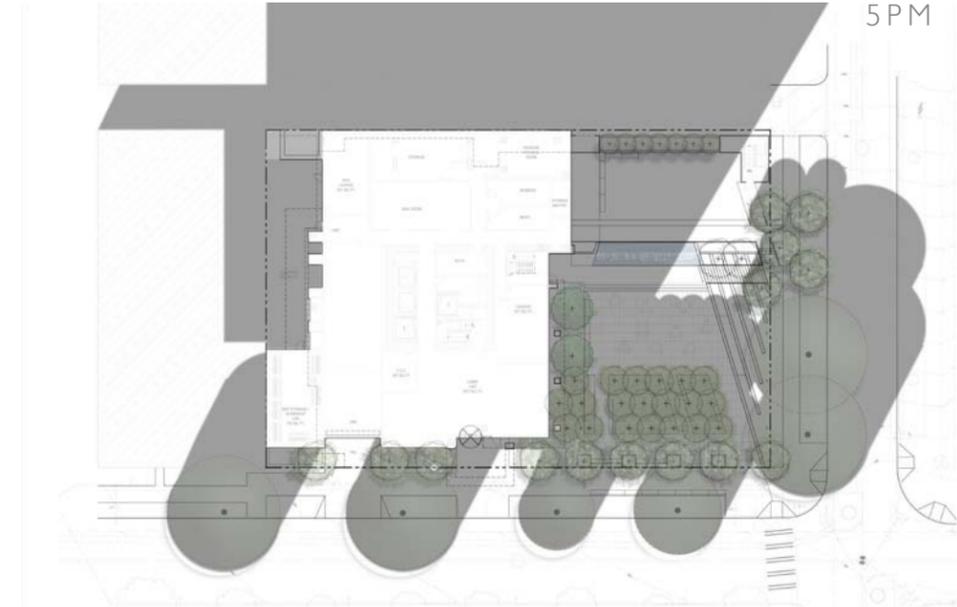
9 AM



NOON



5 PM



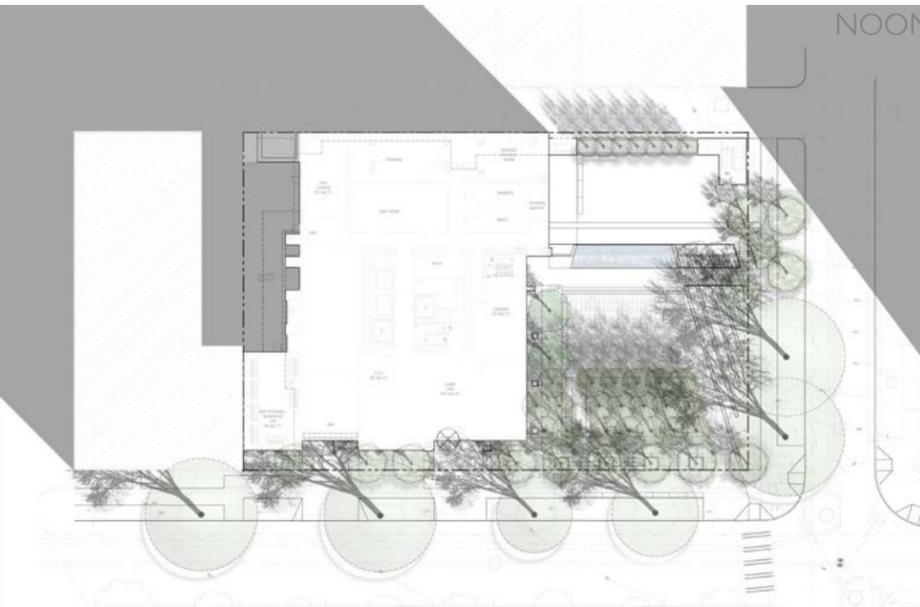
WINTER



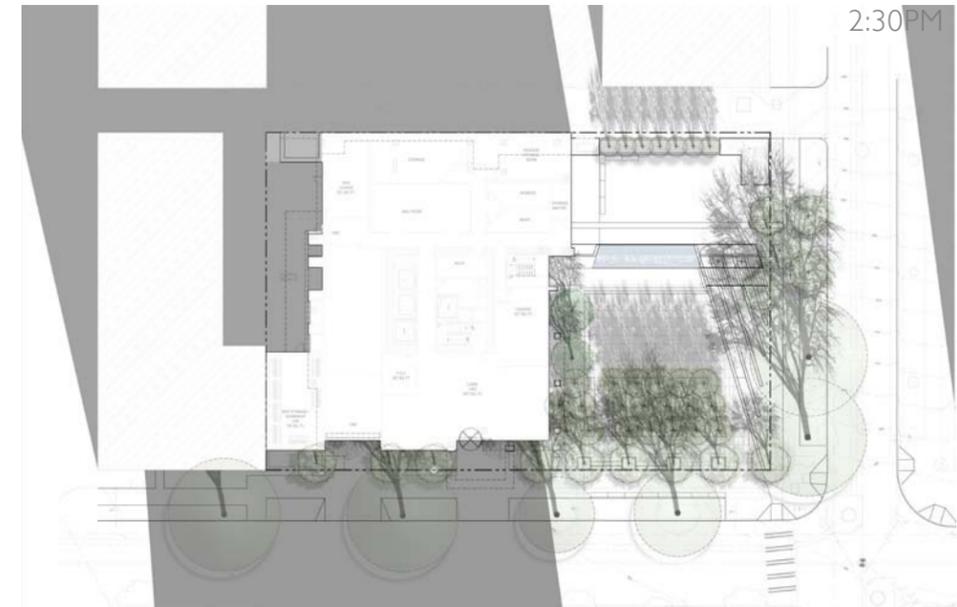
9 AM



NOON

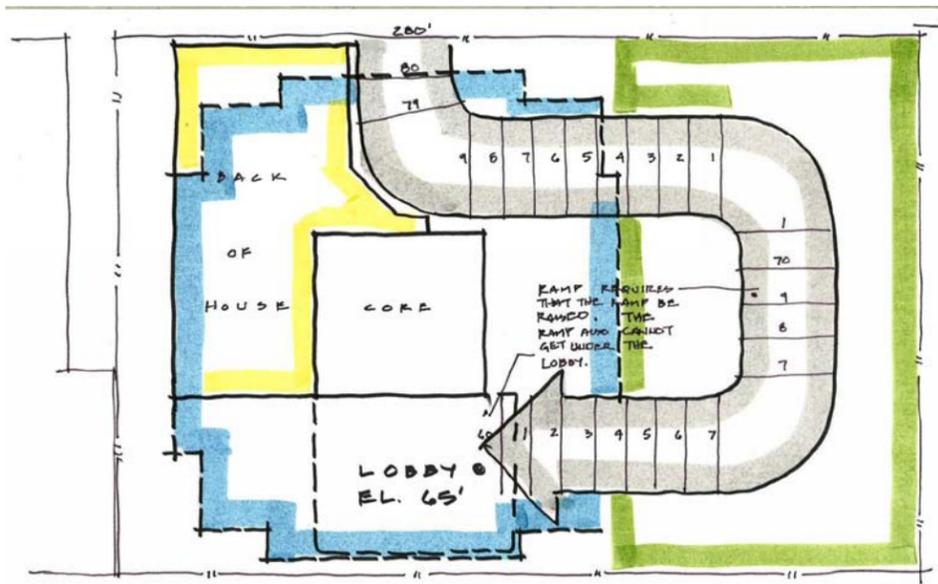


2:30 PM

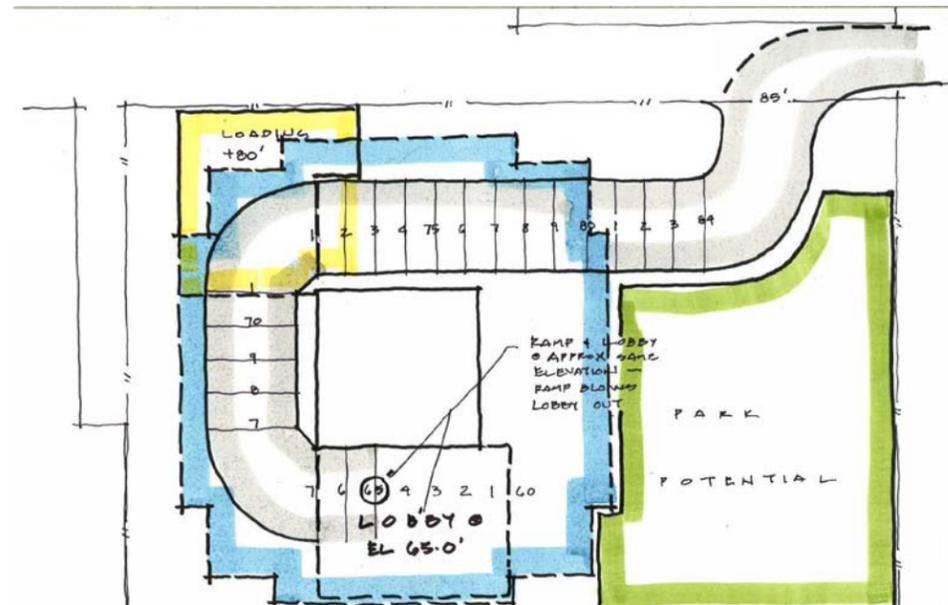


REQUEST FOR BOARD SUPPORT – RAMP OPTIONS

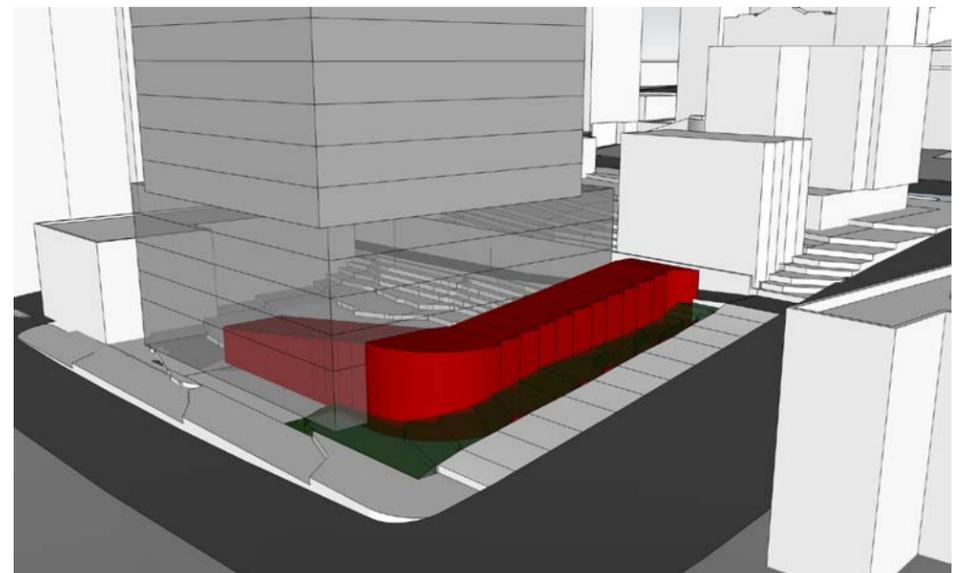
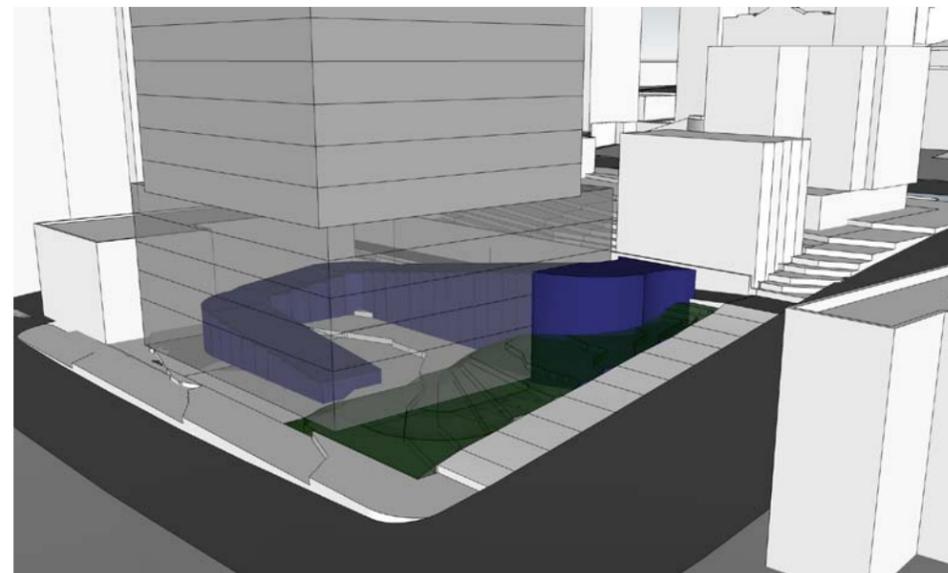
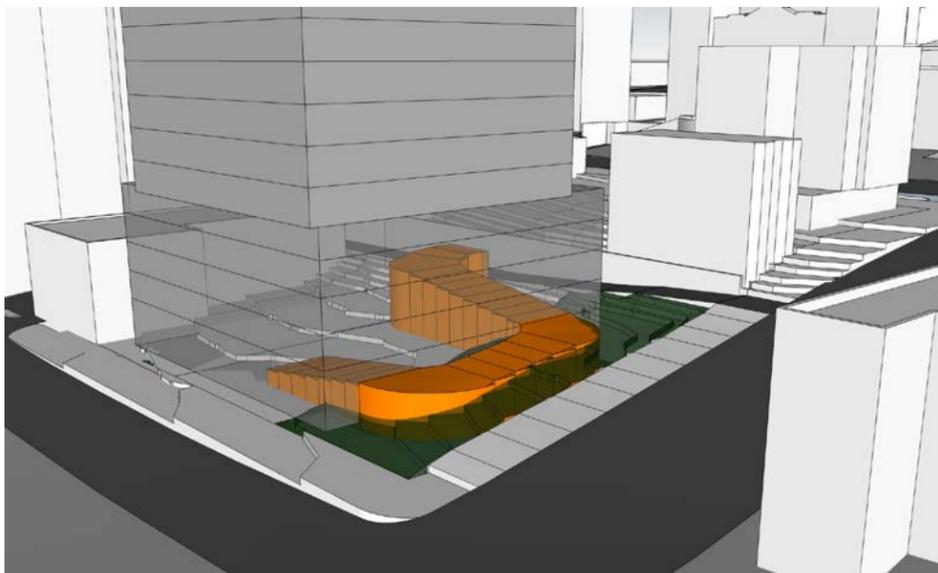
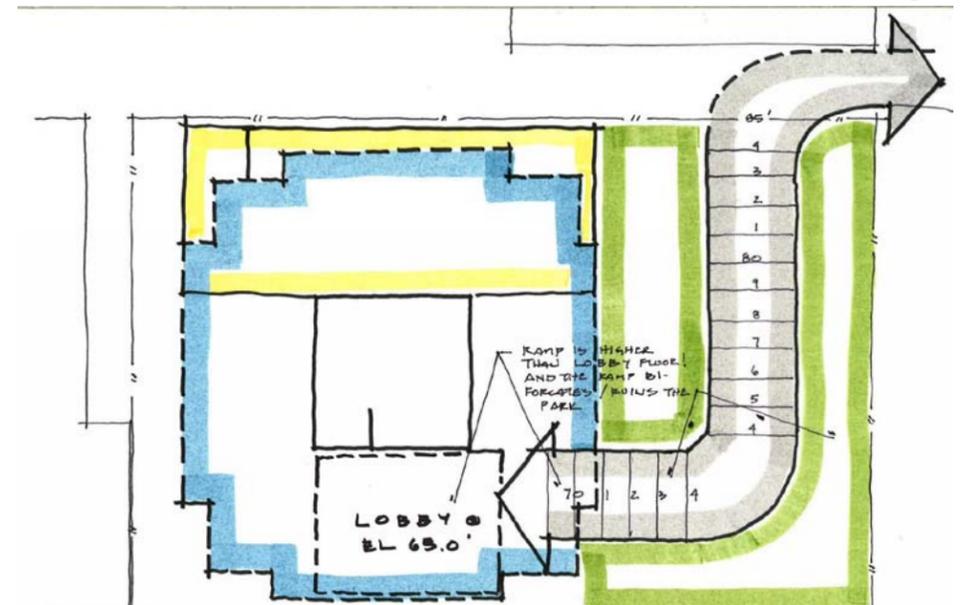
RAMP OPTION 1



RAMP OPTION 2

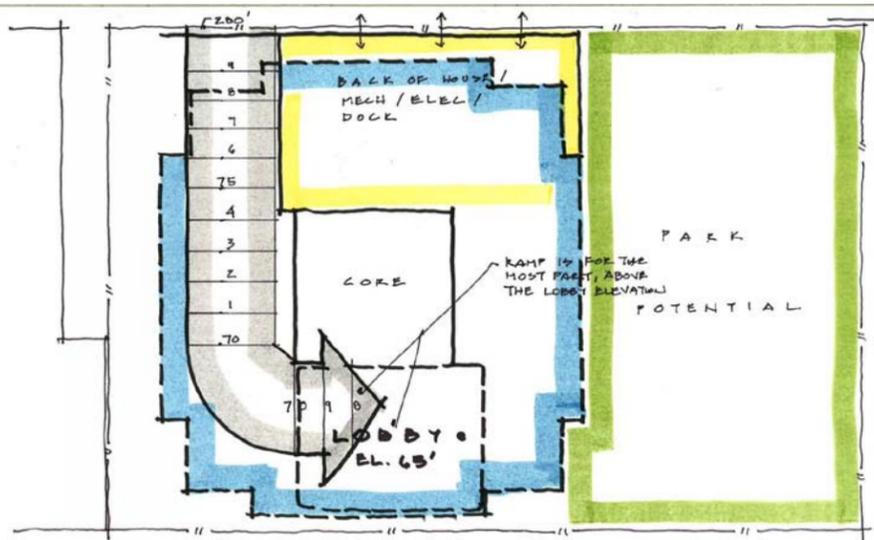


RAMP OPTION 3

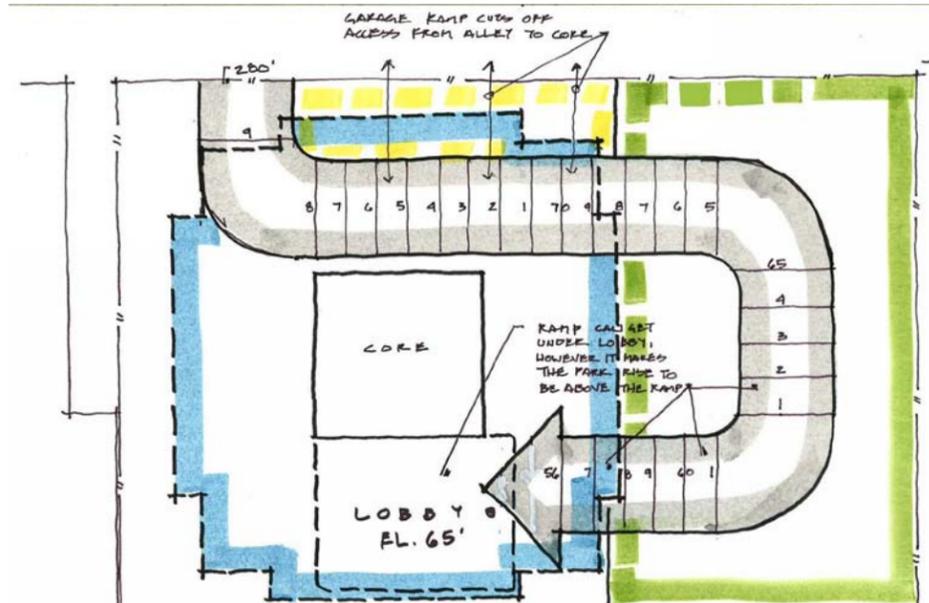


RAMP OPTIONS

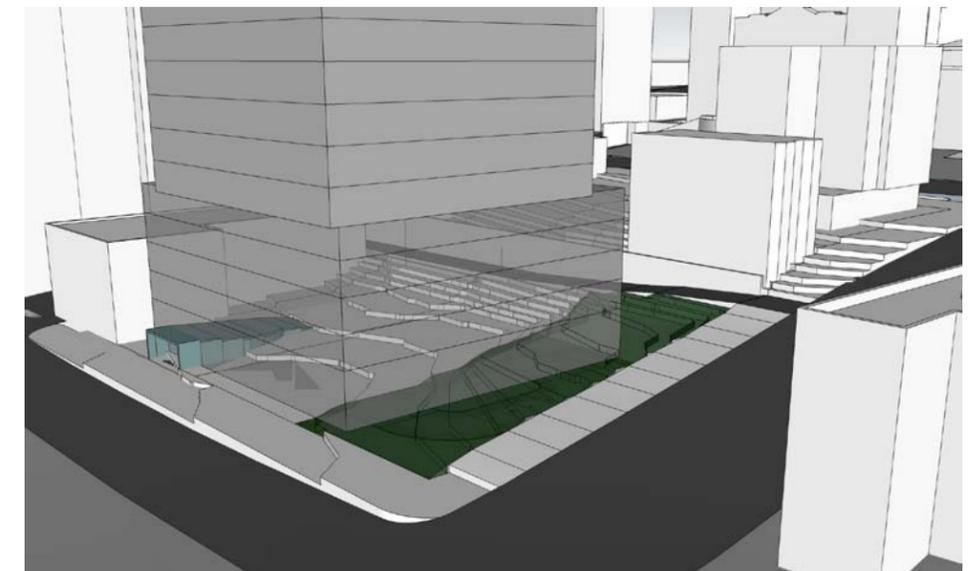
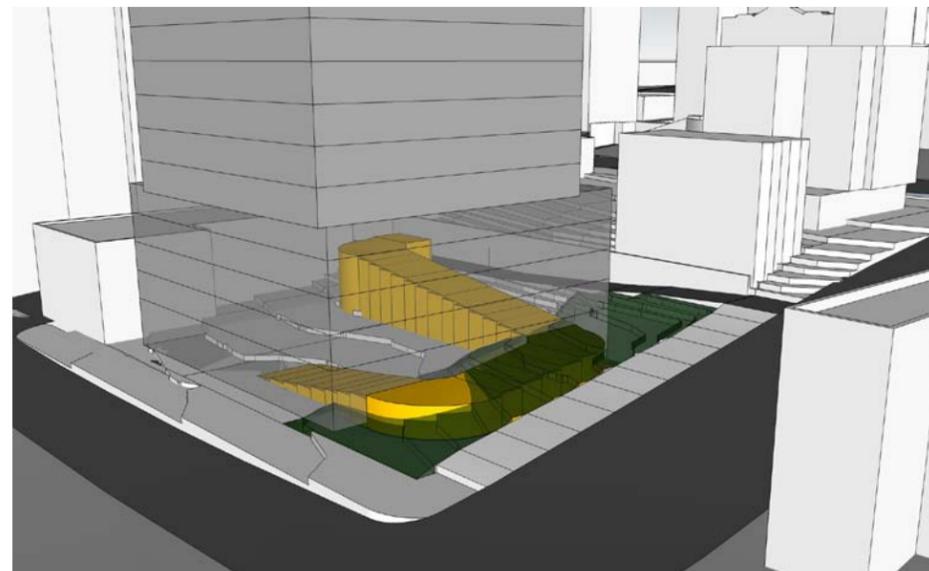
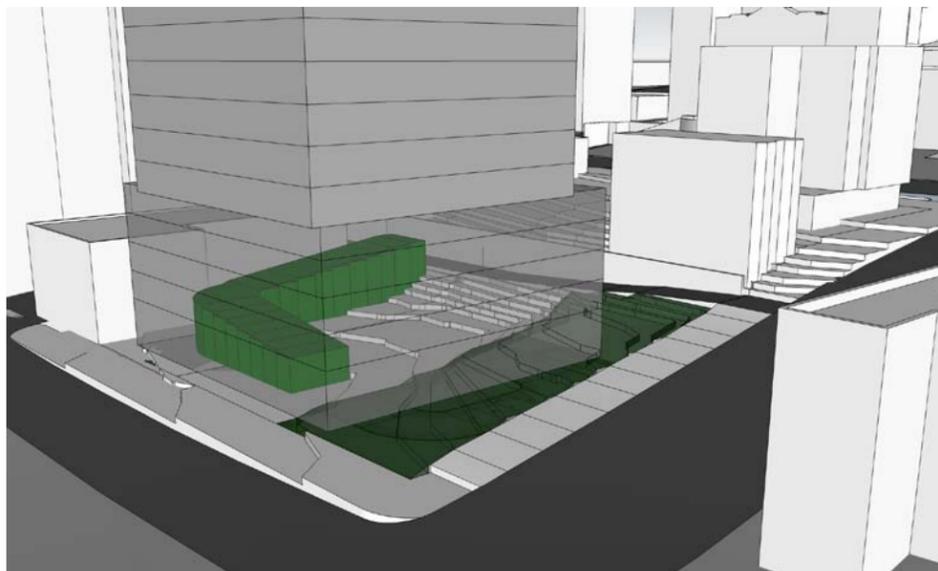
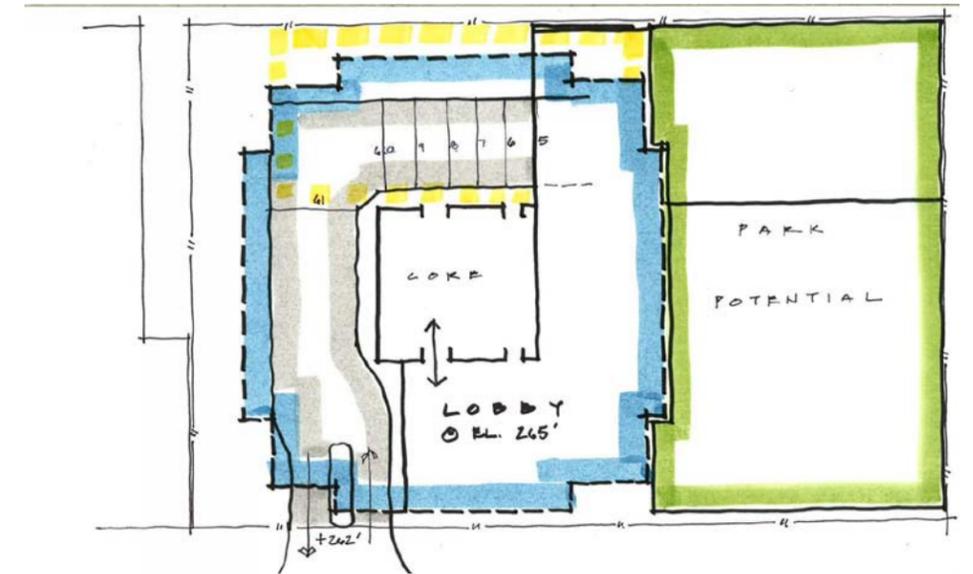
RAMP OPTION 4



RAMP OPTION 5



RAMP OPTION 6 PREFERRED



Neighborhood Open Space

WORKING GROUP MEETING # 1
MEETING SUMMARY

April 25th, 2013

AGENDA

FOR MEETING ON APRIL 25TH, 2013

- SECTION 1 PROJECT INTRODUCTION**
20 MINUTES - PRESENTATION

- SECTION 2 UNDERSTANDING THE USERS**
10 MINUTES – DISCUSSION

- SECTION 3 VISIONING EXERCISE**
40 MINUTES – EXERCISE
20 MINUTES – DISCUSSION

- SECTION 4 SETTING GOALS & PRIORITIES**
30 MINUTES – DISCUSSION

ATTENDEES

- Jim Erickson, resident, First Hill Improvement Association
- Donna James, resident, First Hill Manor Condominium
- Evyann Horton, resident, M Street Apartments
- Tameryn Campbell, CEO, Skyline
- Rich Dion, resident, Skyline
- Basil Filonowich, resident, Skyline
- Bob Terrell, resident, Skyline
- Marietta Pane, resident, Skyline
- Melody McCutchen, attorney, for the Skyline community
- Bridget Hagan, Ozanam House, Special Needs Housing
- Mike Hatchett, Polyclinic
- Betsy Braun, Virginia Mason Medical Center

- Chip Nevins, Seattle Department of Parks
- Michael Shiosaki, Seattle Department of Parks

- William Justen, The Justen Co, representing Alecta
- Catherine Benotto, Weber Thompson
- Dan Foltz, Weber Thompson
- ChiaLin Ma, Weber Thompson



OVERALL EXPERIENTIAL CHARACTER

The attendees were asked to vote for one of three overall experiences from the park. It was not so much focused on details, but rather the overall character and feeling of the open space.

The first board had images representing spaces carved out of the landscape. In the second, the layout was reversed with the vegetation carved out of plaza space. The third was the Urban Grove with spaces and experiences contained under a canopy of tall trees.

2

OVERALL EXPERIENTIAL CHARACTER A



SPACES CONTAINED WITHIN LANDSCAPE

The landscape experience is of small, intimate gathering areas that are carved out of and surrounded by planted areas. The experience of the vegetation is the primary focus.

EXAMPLES All Gardens, Seattle; Towner Spring Park, Portland; Woodlark Garden (2015 Garden), Seattle

PROS

- Lots of sun filtering, focus is the selection of plants
- Intimate or small gathering spaces for viewing gardens and small group activities
- Pathways are carved out of the landscape
- Can have a water feature, though of smaller size

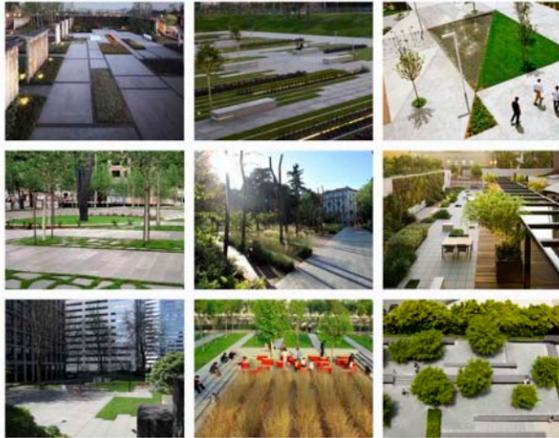
CONS

- Reduces the opportunity for larger gatherings
- Requires more attention to plant care, such as mowing and weeding
- May pose Climate Protection concerns
- Heavy visitation to be avoided & good signage

SUGGESTIONS

3

OVERALL EXPERIENTIAL CHARACTER B



LANDSCAPE CONTAINED BY USEABLE SPACES

The landscape experience is of an urban plaza space with a variety of planting contained within the paved areas. The experience is of both the vegetation and spaces for park users.

EXAMPLES Freeway Park, Seattle; Federal Courthouse Square, Seattle; Gates Foundation, Seattle

PROS

- Planting and paving are in balance, more urban character than A
- Lots of useable space both for small groups and large group activities
- Green areas can be used for a variety of activities as well
- Planting can include a wide variety of plants and trees
- Can be generated or inspired design of space
- Lots of sunny areas
- May contain water features of all sizes and shapes

CONS

- Pathways are generally through the plaza area and not defined
- More urban in feel than A
- Depending on trees, may need to be secured at night

SUGGESTIONS

OVERALL EXPERIENTIAL CHARACTER C



SPACE WITHIN URBAN GROVE

The primary experience is being under a 'canopy' of all weathering deciduous trees. The space below, an 'urban grove' can be used for a variety of activities, either planned, un-planned or spontaneous. The space feels simple, elegant and urban.

EXAMPLES Foley Park, New York City; Talmage Park, Broadway Performance Hall, Seattle

PROS

- Planting and paving are in balance, urban character per both users
- Lots of flexibility for useable space both for small groups and large group activities
- Lots of flexibility for features such as walls, terraces, concrete, wood features
- Green areas can be used for a variety of activities as well
- Opportunities for big trees
- Planting can include a wide variety of plants

CONS

- Pathways are generally through the plaza area and not defined
- Potential for uncontrolled shade in fall and early spring
- Depending on trees, may need to be secured at night

SUGGESTIONS



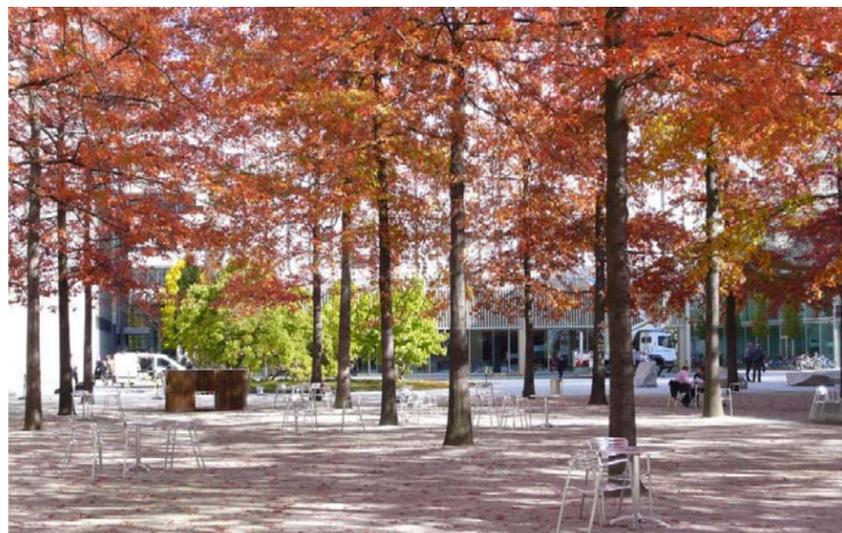
VISION EXERCISE RESULTS

HOW will they use this Open Space

- Sitting under big trees and watching other people and the scenery – similar experience to Freeway Park
- Pedestrians passing through
- Performing outdoor exercise such as Tai Chi and yoga
- Would be great to have an outdoor cafe, street vendor food stall or a coffee cart
- Retail opportunities desirable; allow for this in the future
- Provide some weather protection to enjoy park during rain
- Green corridor along 8th Ave to connect Downtown and International District and the future Yesler Terrace Development
- Walking to and from the Fitness Center
- Places for grandchildren to play – it should appeal to kids
- Adjacent building will look down on this site so it should be appealing from above

WHO will use this Open Space

- Residents of adjacent buildings
- Retired People
- Grandparents with Grandchildren
- Polyclinic Employees (lunch time mostly)
- Other Employees (lunch time)
- Patients from nearby clinics; Visitors to nearby clinics
- People residing on this site
- Smokers
- Homeless People (Daytime only. People will take their Lunch Service here to eat it.)
- Hill Climbers
- Dogs



SPACE WITHIN URBAN GROVE

INTRODUCTION

This primary experience is being under a ‘cathedral’ of overhanging deciduous trees. The space below, or beside contained by the trees can be flexible spaces for a variety of uses. It can be covered in grass, other planting, water or pavement. The space feels simple, elegant and urban.

EXAMPLES *Paley Park, New York City; Tuileries, Paris; Broadway Performance Hall, Seattle*

PROS

- Planting and paving are in balance, urban character yet soft overall
- Lots of flexibility for useable space both for small group and large group activities
- Lots of flexibility for features such as wells, terraces, canopies, and water features
- Grass areas can be used for a variety of activities as well
- Opportunities for big trees
- Planting can include a wide variety of plants

CONS

- Pathways are generally through the plaza area and not defined
- Potential for unwanted shade in fall and early spring.
- Depending on layout, may need to be secured at night

SELECTED

OVERALL EXPERIENTIAL CHARACTER

COMMENTS

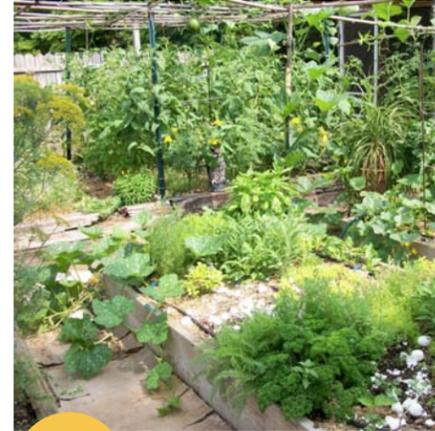
The “Urban Grove” experience was selected as the overall feeling most wanted in this open space. The following are specific comments received:

- It is a simple urban solution; keep it simple.
- Don’t create too much shade with the trees; balance the tree canopy with sun.
- Shade is good.
- Provide lots of trees to mask the fitness center
- The grass areas won’t be comfortable if dogs are allowed to relieve themselves here. People won’t sit on it
- Instead of grass, might use wood paving, lavender or other ground covers
- Provide some rain protection or cover so the place can be enjoyed in the rain.



ACTIVITIES

THE IMAGES WITH THE MOST VOTES



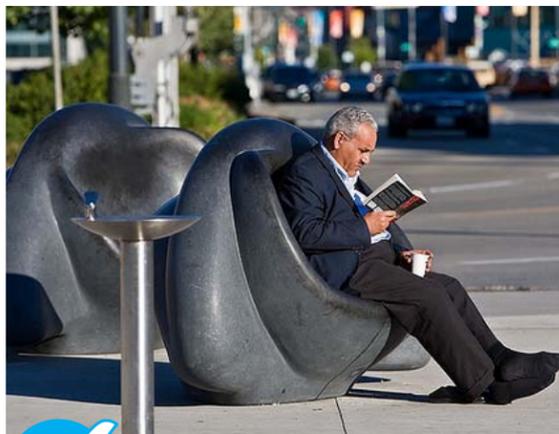
COMMENTS

- Provide big lawn areas that can be flexible for various activities such as bocce, Tai Chi, Yoga, sitting and laying down.
- Provide lots of places to sit; spaces to gather; spaces to sit by oneself
- Provide some activities that appeal to children and all ages
- Can the space be programmed for activities?
- Can it be rented for weddings?
- Table tennis is too noisy
- P-Patch takes up too much room and can appear messy



SEATING & STAIR SEATING

THE IMAGES WITH THE MOST VOTES



COMMENTS

- Provide lots of seating with backrests
- Provide lots of different ways for people to sit: ledges, seat-stairs, rocks, platforms for laying down – as long as most seating is comfortable with back rests
- Movable tables and chairs are desirable but security and maintenance is a concern. Will they be stolen? OK to enclose open space at night to secure the open space.
- Seating that also acts as sculpture or art elements is a good thing
- Provide opportunities for people to lay down
- Provide opportunities for seating along the street edge so people can rest going up the hill on Columbia or rest along 8th Ave.
- Not wanted is too many stairs to climb



PLANTING CHARACTERS

THE IMAGES WITH THE MOST VOTES



COMMENTS

- Have lots of trees, but have trees that provide light shade
- Have tree with light colored bark, like birch or poplar, so there is some brightness under the trees
- Have varied ground level planting with color, texture and softness
- Provide lots of color changes through the season
- Don't fill up the ground with planting; have a balance with useable space and paving
- Want transparency at eye level so that you can see over low planting and under the trees;
- Don't have planting out of scale with the pedestrian
- Plant on the walls, have vertical elements
- Do not have planting that are too geometric; break up the grid
- Planting shouldn't be too "wild" and messy. Keep it simple.
- Do not devote area to P-Patch as it takes up too much room and is messy



GATHERING SPACE

THE IMAGES WITH THE MOST VOTES

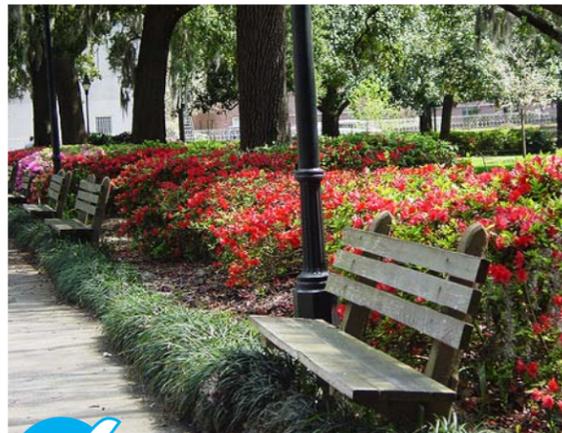


COMMENTS

- Likes gathering spaces within trees, gathering spaces under weather protection, gathering spaces near water
- Provide areas for large gatherings as well as smaller, more intimate areas; like space to work for both so a larger area doesn't feel too immense when there are fewer people there.
- Love wood paving surfaces, moveable tables and chairs and weather protection

STREET EDGES

THE IMAGES WITH THE MOST VOTES

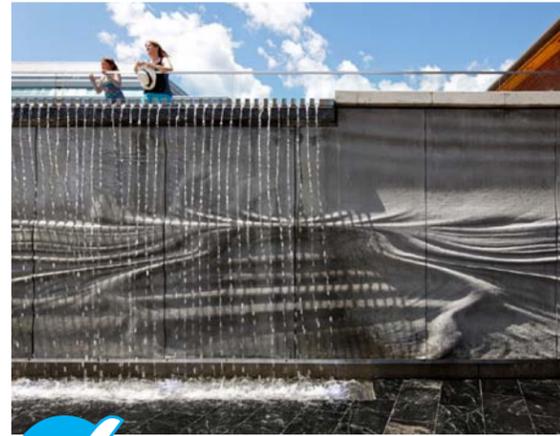


- Provide place for dog relief to the perimeter of the street planting strip between street and sidewalk
- OK to provide for stormwater in the right of way but don't make it too structured and hard as depicted. Possibilities for water retention around existing street trees will be limited
- All existing street trees will be preserved; continue feel of large trees framing street on both streets
- Provide comfortable seating in the right of way for pedestrians; have benches with back rest; don't like having elements in the streetscape (concrete blocks) to sit on.
- Provide color and planting in streetscape, but provide places for people.



RETAINING WALL + SLOPE SOLUTION

THE IMAGES WITH THE MOST VOTES



COMMENTS

- Like lots of vegetation on wall
- Like art on wall, with interesting color and texture
- Like water on wall
- Do not like gabion basket and industrial look
- Do not like blank walls

WATER FEATURES

THE IMAGES WITH THE MOST VOTES



- Like a water wall and could see it against the fitness center, perhaps those on the inside could see the water as well
- Don't replicate Freeway Park water features
- Like the tree silhouetted against the water in the Paley Park example.
- People should be able to touch the water
- Like texture in the water, such as stones
- Sounds (but not too loud) that will drown out freeway noise?
- Seating integrated with water feature like Jamison Square in Portland allow people to get close to water
- Have it lit as a feature at night
- Don't fill the park with water
- Have it vertically and not take up too much ground space.
- Small vertical spigots of water coming out of pavement were also liked



OVERHEAD STRUCTURES

THE IMAGES WITH THE MOST VOTES

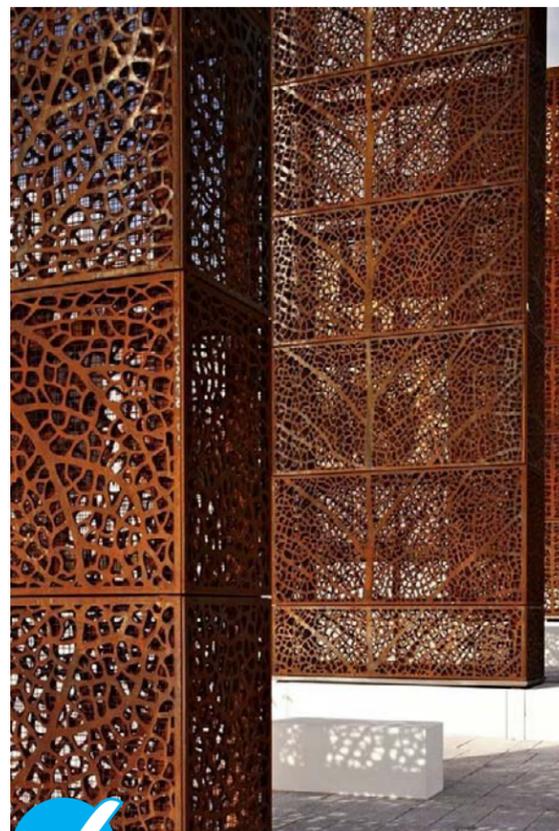


COMMENTS

- Weather Protection from rain is good; though there were comments that people in Seattle ignore the rain
- Balance weather protection with sun light – provide a transparent or translucent surface on top so light comes through
- Trellis with fragrant plants was also desired
- Concern over maintenance; didn't want to make it too complicated
- Having an overhead structure at the 8th Ave street edge, that also was used as a gateway and enclosure was a possibility that they wanted to see developed.
- It was suggested that the weather protection be on the upper level only

VERTICAL ELEMENTS

THE IMAGES WITH THE MOST VOTES



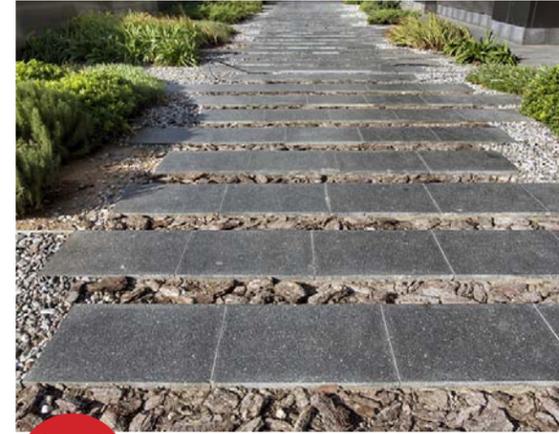
COMMENTS

- Love the leaf texture on the image with the metal screen
- Love having plants vertical, such as green walls, living walls, and trellises with vines.
- Like the art glass; perhaps that could be the wall of the fitness center?



PAVING MATERIALS

THE IMAGES WITH THE MOST VOTES

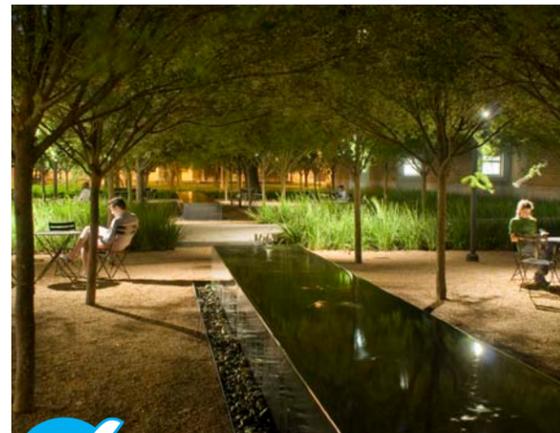


COMMENTS

- The most important aspect of paving is that it be trip-free and level
- Some wood paving, granite paving and varied texture was desired; though the paving pattern shouldn't be too geometric and busy
- Some soft surface paving such as decomposed granite is desirable.

LIGHTING

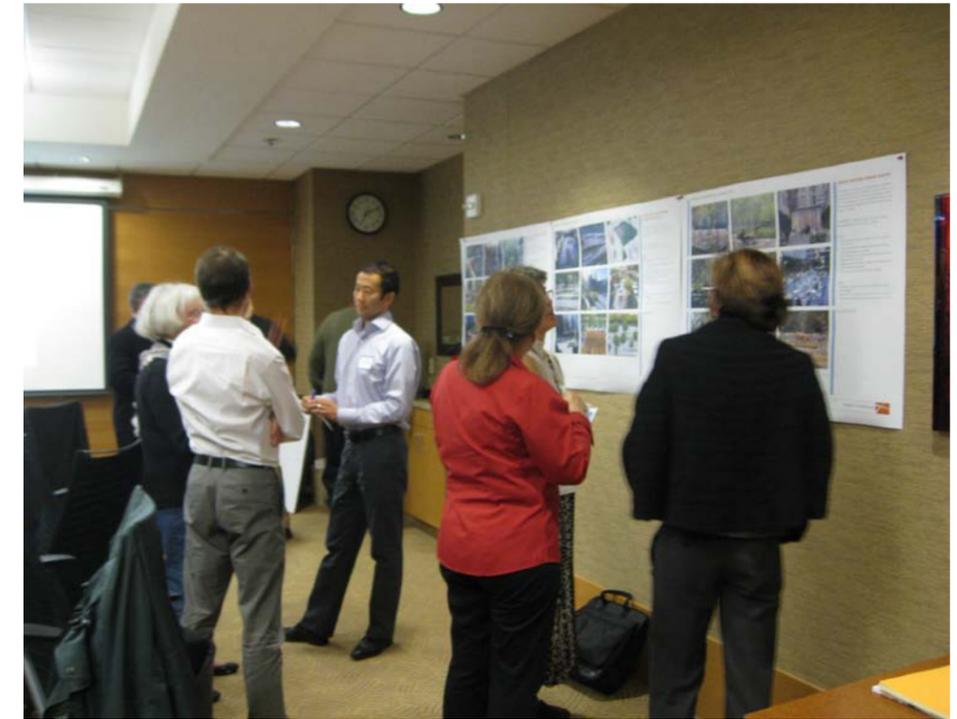
THE IMAGES WITH THE MOST VOTES



COMMENTS

- The open space should be well lit for security, but the lighting and light levels should be subtle
- Light the trees, vegetation and spaces without seeing the source of light
- Lighting should be soft
- Some overhead lighting of major pathways is desirable
- Do not use bright light colors to wash wall
- Do not use bold geometric patterns in the lighting





SETTING GOALS AND PRIORITIES

CONCERNS

- **Fitness Center:** A couple people requested that the fitness center be smaller or removed completely from this location. The biggest concern was that it seemed like a private use within a public open space. A few attendees did not want to look into the fitness center. The fitness center is a necessary part of the building's program, and if it moved elsewhere, then some other building function would take its place. It was also noted that earlier focus groups did not like a long deep park, with one end buried so deeply below the grade of the alley and Columbia. The wall facing the park of the fitness center presents design opportunities as well as the public use of its roof and these opportunities will be presented at the next meeting.
- Some attendees did not think the fitness center needed a direct connection with the open space. While it is desirable to exercise with fresh air, separation between the gym and park is desirable. At the same time, it was understood the fitness center helps provide natural surveillance or "eyes on the park" for improved security and helps fill the "pit" area at the deepest part of the site. It was understood that instead of a 15 foot high wall here, there would be a 24ft high wall at the alley without the fitness center filling that space. That big deep cut was not appealing to the community in earlier discussions.
- The two levels of the park are a concern. While it is understood that there is a dramatic slope and having two levels is a solution to meeting both the level of 8th Ave and Columbia Street, the attendees were concerned about the separation of the park into two spaces and wondered if both sides would be used. It would need some element that would draw people to the upper level.
- There was a concern that the upper level of the park will feel private and not public. There is a building exit there, but not entrance, to the building at that level.
- There was concern over the lighted exit stair at the upper level. One attendee suggested that this exit stair also be used to connect the two levels of the park.
- Safety is a concern. There should be "eyes on the park"
- There is a concern over glare produced by the building. The building's material should not provide glare; yet at the same time there was a request for reflective glass at the lower level to provide a reflection to the park
- Movable seating is desired but there is a concern over maintenance and security
- The park could be enclosed at night but, as a result, should not feel like it belongs to the adjacent building and not the public.

GOALS + PRIORITIES

- Keep it Simple
- Keep it Flexible: Accommodate various activities within the same space
- Provide lots of usable and walkable areas as well as places to sit
- Make it feel public
- Provide a connection between two levels of the park, both physically and aesthetically
- Develop and improve the alley so it is safe and secure.
- It should have lots of green but not too green; have sunny areas and shade; weather protection and open areas, planting and paving
- NOT a corridor or pass through space – a place to rest and relax.
- Extend the feel of the park all the way around on 8th Avenue and include Columbia as well.



Neighborhood Open Space

WORKING GROUP MEETING #2
MEETING SUMMARY

May 16th, 2013

THE BIRCH TERRACES



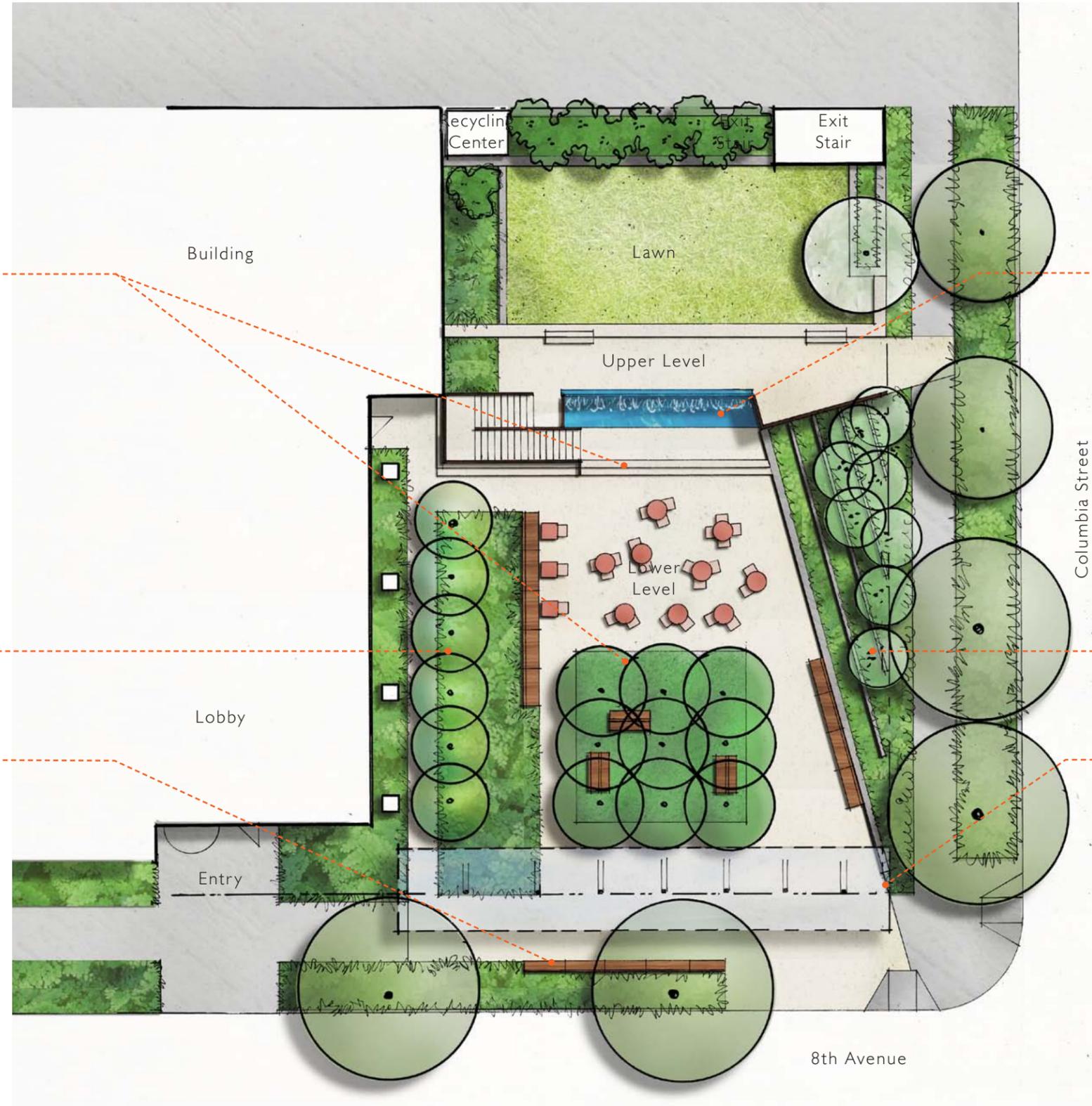
Movable Tables and Chairs under Honeylocusts



Birch Trees



Street Edge with Benches



Waterfall



Birch Terrace Gardens



Canopy at Entry





Aerial View



View from 8th Avenue



View from Inside Park



View from Inside Park

THE CHERRY WALK "A"



Planted Trellis



Trees over Stone Fines Paving and Movable Furniture



Screen Entry Portals



White Flowering Japanese Cherry



Water Wall



Water Feature





Aerial View



View from 8th Avenue



View from Inside Park



View from Inside Park

THE CHERRY WALK "A"



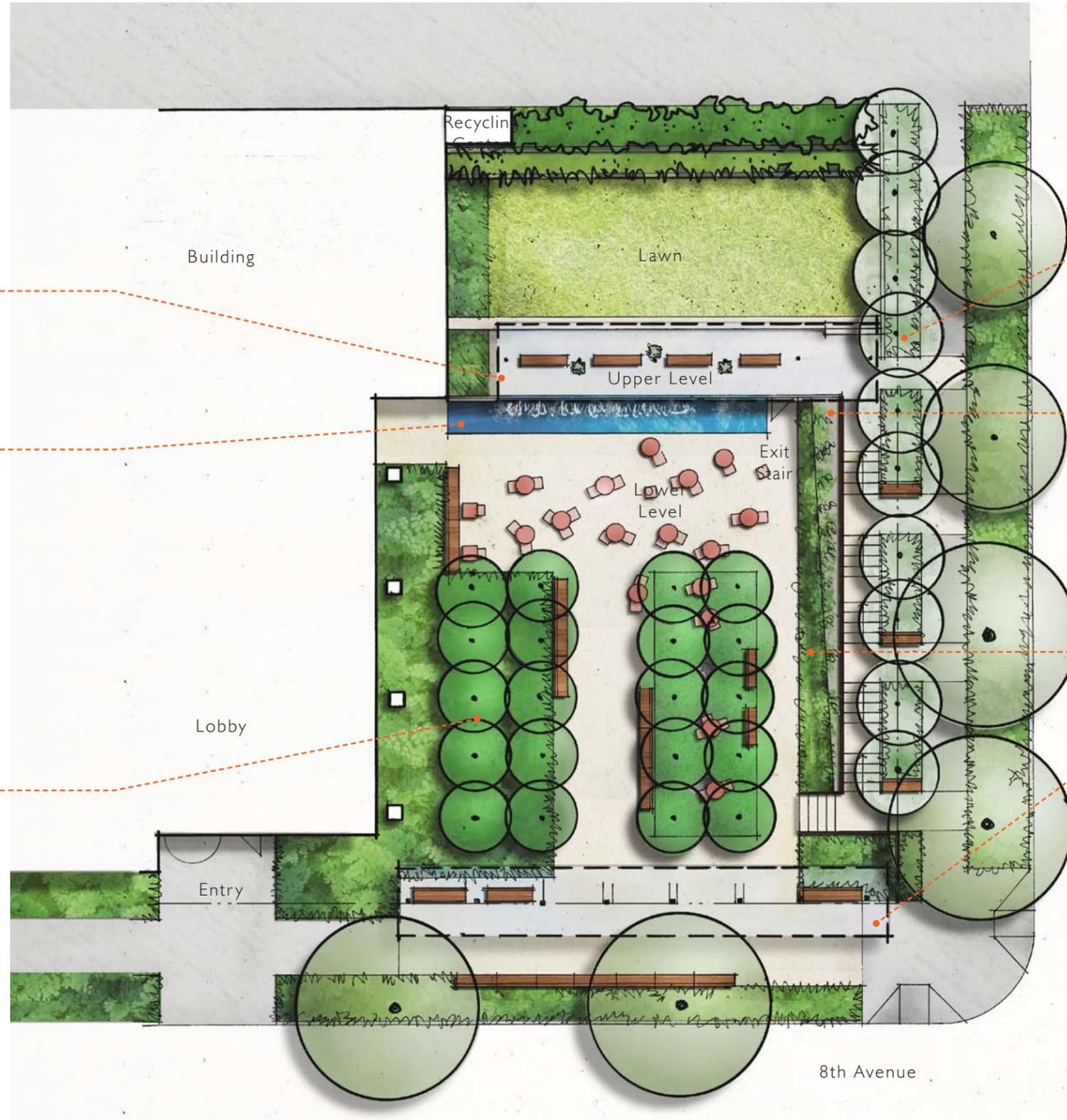
Planted Trellis



Waterfall



Grove of Trees



White Flowering Japanese Cherry



Textured Retaining Wall + Planted Wall



Canopy





Aerial View



View from 8th Avenue



View from Inside Park



View from Inside Park



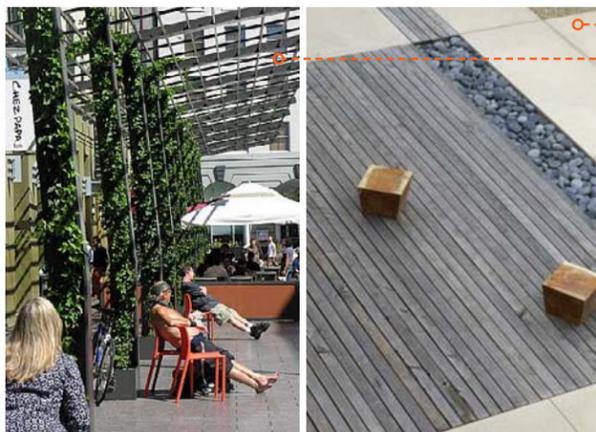
THE WATER TABLE



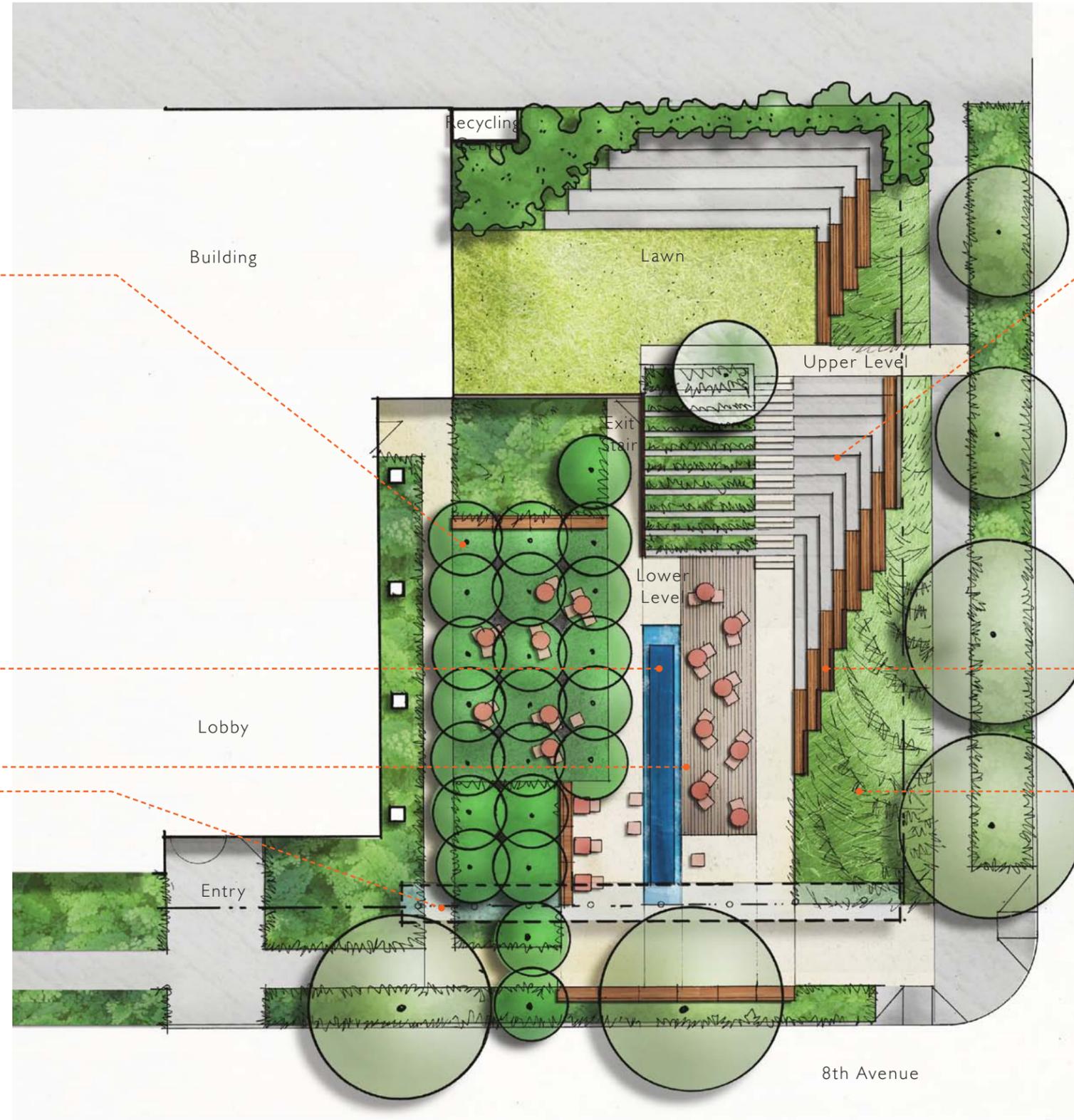
Grove of Trees with Stone Fines Paving



The Water Table



Planted Trellis + Wood Decking



Seating Stairs



Wood Chaise + Benches



Meadow Vegetation





Aerial View



View from 8th Avenue



View from Inside Park



View from Inside Park





MEETING MINUTES

TODAY'S DATE: May 22, 2013 MEETING NUMBER: 02
 MEETING DATE: May 16, 2014
 PROJECT: 800 Columbia - Open Space PROJECT NUMBER: 11-032
 SUBJECT: Working Group Meeting #2 SERVICE: LA
 LOCATION: Polyclinic Auditorium - 5th floor

ATTENDING:	NAME	AFFILIATION	EMAIL
	Mike Hatchett	Polyclinic	mike.hatchett@polyclinic.com
	Jim Erickson	FHIA	jerickson@comcast.net
	Basil Filonowich	Skyline Resident	Basilfilon@gmail.com
	Bob Terrell	Skyline Resident	Tr17@msn.com
	Betsy Braun	Virginia Mason	Betsy.braun@vmmc.org
	Brigid Hagan	Ozanam House	brigidh@ccsww.org
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	Mary Whitmore	Skyline Resident	Whitmore5544@msn.com
	Sonia Baker	Skyline Resident	kcbscb@earthlink.net
	Kendall Baker	Skyline Resident	kcbscb@earthlink.net
	Jeff Schultz	First Presbyterian	jschulz@firstpres.org
	Chip Nevins	Seattle Parks Dept	chip.nevins@seattle.gov
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	Catherine Benotto	Weber Thompson	cbenotto@weberthompson.com
	ChiaLin Ma	Weber Thompson	cma@weberthompson.com
	Michael Day	Weber Thompson	mday@weberthompson.com

COPIES TO: ALL ATTENDING

NAME	AFFILIATION	EMAIL
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Tameryn Campbell	Skyline	tcampbell@prcn.net
Wier Harmon	Town Hall	wier@townhallseattle.org
Pat Graham	Ozanam House	Patg@ccsww.org
	St James	
Larry Brouse	Cathedral	lbrouse@stjames-cathedral.org
Ted Klainer	U. W.	tklainer@u.washington.edu
Donna James	Resident	dbjames@mac.com

General Comments:

SECTION 1 LAST MEETING SUMMARY

The meeting summary for the first meeting, the Vision Session, was issued to the group on May 13, 2013. No comments or corrections to that document were requested.

- Basil mentioned Fitness Center concern and the desire to have all the park on one level. He mentioned that earlier schemes had the park on one level. The early one-level schemes were for a narrower park than the current scheme. The lower area of the park is already at the full size of the previous schemes, with the area over the roof of the fitness center being an added bonus. The fitness center is a required element of the building's program and if it moves, another building program element would have to take its place.
- William raised the issue of the recycling containers being 'grandfathered' into an alley location. A small structure to contain these bins will need to be sited at the edge of the alley adjacent or inside the park. The enclosure will be designed to match the building. The schemes presented would show this recycling center.
- William explained the fire vehicles access is at the streets not the alley

SECTION 2 CONCEPT OPTIONS Presentation

Three concept options were presented with one option have a variation for a total of four options. (see attached drawings) The following were clarifying comments/questions received during the presentation:

- The Birch Terraces
- Would the upper level lawn need to be accessible? No, there is not an accessible route to this area.



- Would the stone fines paving be related to runoff/stormwater treatment? No, the entire roof top structure is over the parking garage so there is no area for infiltration of the storm water.

The Cherry Walk 'A'

- It seems this scheme has more covering comparing to the others? Yes it has a trellis and weather protected canopy. Each option handles this a bit differently.
-

There were no major questions for the Cherry Walk 'B' Scheme and the Water Table Scheme.

SECTION 3 NEXT STEPS

The objective for this portion of the meeting was to hear comments on all schemes, select one scheme as preferred and offer guidance to the design team on the development of the options features.

Comments from Participants:

Evyan: favorite scheme is **The Birch Terraces**

- likes seating under weather protected cover at the entrance
- only missing elements on this scheme is the benches on Columbia Street from the Cherry Walk. Can the benches be incorporated into this scheme?
- her second choice is **The Cherry Walk A**
- don't like the water table - the water would be too quiet and don't like the Water Table scheme either since it doesn't provide enough privacy between the fitness center and park users.
- What's the relationship between Cherry walk streetscape and the streetscape at Skyline? too similar? Wouldn't like it too similar.

Sonia: favorite scheme is **The Water Table**

- like the softness meadow edge at Columbia Street and softness of the entry at the street corner

Mary: favorite scheme is **The Birch Terraces**

- likes the larger central gathering space, open and in the sun
- hope to add more seating at the planted terrace area, similar to the Water Table scheme and seating along Columbia like the Cherry Walk.

Chip: favorite scheme is **The Birch Terraces**

- like the softness at Columbia Street and the upper big lawn for all kind of purpose activities

- should the staircase be on the other side so that people coming down the hill on Columbia can cross into the park?

Mike (PolyClinic): favorite scheme is **The Birch Terraces**

- assume people from Polyclinic would love to sit in sunlight and this option has more sun.

Brigid: favorite scheme is **The Birch Terraces**

- her second choice is **The Cherry Walk A**
- like **The Water Table** scheme to provide the chance of getting people to climb up and get seats.
- like the lighted entry screens/portals of **Cherry Walk A**, and could this screen be a repeating park elements. Perhaps encased around the staircase in the **Birch Terraces**.

Jeff: favorite scheme is **The Birch Terraces**

- concerns about the height of the grove of trees and potential shade.
- prefers seating area with sun light - don't want it to cover too much
- possible to provide shadow study models?

Jim : doesn't want to choose - go with whatever the community's favorite design

- from the neighborhood perspective - 8th Avenue is dangerous to walk in the dark- at night or in winter. Lower level or height of street lighting, so that it is below the trees, is needed as is reinforcement of the sidewalk at 8th Ave.
- continue the 8th Ave conversation about pedestrian connections in the whole context of neighborhood

Bob: favorite scheme is **The Cherry Walk 'B'**

- doesn't like the stair exit as a glass box at the upper level
- doesn't like big retaining water wall at scheme Cherry Walk 'A'. it seems too heavy looking
- propose to use concrete wall at Freeway Park as example to apply to the wall at Cherry Walk 'B'
- balance of sun light and shade areas
- would like to see more lighting details
- Has concerns that the screen/entry portals of Cherry Walk A would align as a wall went looked at obliquely down the sidewalk. Don't want the elements at the park edge to read like a barrier.

Basil: favorite scheme is **The Cherry Walk 'B'**

- Cherry Walk 'B' provides seating at upper level near the lawn
- would love to see more development of 8th Avenue - it's more like a walking type of street and the design should extend to the whole block (from Columbia to Marion)
- like the staircase along Columbia Street
- and would like to see more development of the upper Lawn area, with adjacent seating and planting



Betsy: favorite scheme is the combination of **The Birch Terraces + The Cherry Walk**

- for both schemes, is it necessary to have the pathway adjacent to the building on the lower level? Can that area be planted
- on Birch Terraces: the staircase seems too big - is it possible for it to become an art piece in the park?
- comments on Cherry Walk 'A': love stair at Columbia Street but too much shade/trees in this scheme; want it to be more open; like overlook area and the trellis at the upper level but also concern if it will create too much shade at the building/gym edge
- comments on Cherry Walk 'B': All the trees seem to create the alley spaces; Need to provide shadow studies; want to see continued landscape/planting between upper and lower levels; also like the cherry in red
- The upper grass area on all concepts should be more into the landscaping of the lower park area, should have similar treatment
- comments on The Water Table: it's a powerful scheme

General Group Comments:

- There was some discussion on the Cherry Walk Schemes about whether the sidewalk could be the staircase and if this would be allowed by SDOT. Seattle Parks requires the upper and lower level to be connected other than by the public sidewalk alone.
- There was concern that the trellis or canopy at the edge of the upper level on both Cherry Walk schemes made the fitness wall seem higher. There was general consensus that it should not be located here.
- There was a preference for the entry structure, on the Birch Terraces, be an open, planted trellis and not be weather protected canopy. There was general consensus that enclosing the park at night would be a good idea.
- Liked the idea of folding screen which could close at night for security
- Like the softness of the slope between Columbia and the Open Space.
- Discussed moving the stair of the Birch terraces to the opposite street side but no consensus was determined.

Decisions, action items and notes for next meeting:

- Decided that the Birch Terraces scheme should move forward for development.
- Combine elements of the Cherry Walk (seating along Columbia and Cherry Trees) into Birch Terrace schemes; If possible, add some elements of the Water Table scheme seating to these walls for a small amount of informal seating stairs.
- Work on the staircase connection, develop it so that it is a feature and not so basic
- Make the entry canopy an open, planted trellis. Add lighting to this.
- Delete the walkway on the north side along the building edge and add that space to the gathering area or planting.
- What's going to look like from the building looking out the park? provide views from indoor to outdoor next time.
- provide sun/shadow model studies next time to see how much the trees and building shade park.

- provide planting selections for major plant materials, particularly trees. Provide photos next time.

ALL After reviewing these minutes, if you have any comments or corrections, please notify us within seven days of receipt or we will assume you concur with the above.

The next meeting will be on June 4. We will meet at 8th and Columbia by the park site at 6pm and then walk to the Polyclinic at 6:15 for the work session.



Neighborhood Open Space

WORKING GROUP MEETING #3
MEETING SUMMARY

June 4th, 2013



WEBER THOMPSON



MEETING MINUTES

TODAY'S DATE: June 5th, 2013 MEETING NUMBER: 02

PROJECT: 800 Columbia - Open Space MEETING DATE: June 4, 2013
 SERVICE: LA PROJECT NUMBER: 11-032

SUBJECT: Working Group Meeting #3

LOCATION: Polyclinic Auditorium - 5th floor

ATTENDING:	NAME	AFFILIATION	EMAIL
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COPIES TO: ALL ATTENDING

NAME	AFFILIATION	EMAIL
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SUMMARY of Major Changes to Preferred Option (Birch Terraces) since last meeting:

- Stairs (between the lower and upper areas) were moved to the street side of the fountain and integrated with the retaining walls. In order to make this work, the stair landing was removed and slight grading changes were made to the open space.
- The trellis/weather protection at the entrance was deleted as the space seemed too small for this structure. Instead, the entry area is marked by Cherry Trees. These Cherry trees extend down 8th between the sidewalk and the building.
- A wide wood bench/platform was added to the lowest level of the retaining wall/terraces for informal sitting/lounging.
- The walkway that paralleled the building and bisected a planting bed on the previous scheme was eliminated and the plaza gathering area was made a few feet wider as a result.
- The actual size of the existing street trees' canopy was measured up to 42 ft in diameter. This size results in considerable shade to the sloped terrace area. As a result, the birch trees were removed from the previous option's hillside terraces and instead placed to form a grove in the flat area of the open space.
- The building frontage on 8th between the open space and the north property is setback an additional 3 ft in order to provide more room for the Cherry Trees and landscaping.
- The streetscape along 8th Ave is now fully illustrated. The sidewalk is widened to 10ft wide adjacent to the open space and to 8ft wide in front of the building. It then necks down to the existing 6 ft wide sidewalk as it transitions to the adjacent property.

- The shrub planting palette was described including plantings for the shade under trees (Hydrangea, Willow, Dwarf Holly, Silverleaf Dogwood and Skimmia) and for the sunny area (Pavement or Carpet Roses).
- Other tree species were defined: Columnar Oaks along the alley, Honeylocust adjacent to the buildings and Stewartia as a possible, more seasonally interesting substitute for the cherry trees.
- A conceptual lighting plan was discussed including pedestrian scale pole lighting, step lighting and tree up/down lighting.

COMMENTS AND SUGGESTIONS:

LIGHTING

- The City approved a pedestrian level light fixture for this neighborhood that would light the sidewalk rather than the road and would light under the tree canopy. Use one of the 3 selected street light fixtures in the Right-of-Way around on Columbia.
- Possibility add one more street light on Columbia Street? The team will check with SDOT on additional street lights.

SECURITY

- Water feature is a bit of an attraction for homeless people for bathing, cleaning, drinking and etc. How should we prevent this issue in the park?
- Skyline open space is friendly to homeless people. Building's security people have "walks arounds" periodically through the night, on a random schedule, to monitor for potential activities. There have not been major issues.
- 8th Avenue is very busy during the day time which is helpful for security issue
- the fountain can be turned off at night
- While the current proposal does not illustrate security enclosures around the park, a system to secure the park will be planned that fits into the scheme and only implemented if and when it becomes necessary to do so.
- the general consensus was that it was preferred to have the open space without security gates, but if it became necessary to enclose it at night for safety that would be fine as well.

BUFFER PLANTING (oaks along the alley)

- would like to continue the tall planting on the upper level of the park in front of the recycling bins - right now the planting stops short of the recycling center.

PLANTING

- love Stewartia - year long attraction (flowers, fall color, colorful bark) and prefer them to the Cherry Trees
- Suggested Serbian Spruce as an evergreen/conifer instead of the Columnar Oaks on the upper level

BENCHES

- Add more benches and chairs with arm rests to prevent people from laying on the benches and to assist the elderly with rising out of the chairs.

RAILING on UPPER LEVEL

- invisible guard railing preferred - cables and/or glasses
- Prevent kids falling down

GYM

- suggested to flip yoga room to face the waterfall/water feature

STREETSCAPE

- Suggested smooth transition to existing sidewalk on 8th Avenue:
- Align curb cuts on the corner of 8th with Skyline's.
- Parallel parking space on 8th Avenue? cut street planting strip to create access from road to the sidewalk and visa versa.
- Provide a continuous handicap ramp around the entire corner of 8th and Columbia so that two people can walk or roll side by side down the ramp. Will need to check with SDOT to gain approval for this.

OVERALL CONCENSUS:

- The plan was unanimously approved by the working group. Good job all around.

NEXT STEPS:

- This was the last meeting of the Working Group.
- The team will develop the plan further based on these comments and prepare Master Use Permit Drawings to submit to the City of Seattle. After those drawings are reviewed by the City, a date for a Design Recommendation meeting of the Design Review Board (DRB) will be set. The team will then prepare a few more illustrative drawings for the DRB.
- The team is hoping that this DRB meeting will be a 'double meeting' meaning that both time slots that evening will be for this project. This will allow adequate time for the review of both the building and the open space/landscape.
- All attendees are encouraged to attend the DRB meeting as there is a public comment period. The DRB meeting date has not been determined.

ALL After reviewing these minutes, if you have any comments or corrections, please notify us within seven days of receipt or we will assume you concur with the above.

Thank you all for your input and advice!!

