



**LEXICON**

120 Harvard Ave East  
Seattle, WA

**Design Review Board (DPD#3013471)**  
prepared for Barrientos, LLC  
January 28, 2012

**HEWITT**

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#### SUMMARY:

The development site is at the approximate mid-point of the block with East Olive Way and East Denny Way at the northern and southern most ends of the block. Harvard Avenue East is a secondary arterial with two-way traffic moving north and south. It is comprised of two (2) tax parcels. Total site dimensions are approximately 118' deep (after 2' alley dedication) by 80' wide (along Harvard Avenue East). The lot slopes from E down to W, dropping 7' in elevation property line to property line.

The site is currently used as a surface parking lot. There are neither existing structures nor significant natural features present.

An active urban connection to Broadway East is created by Dick's Drive-in restaurant, located across the alley to the east. The west side of the site contrasts with a quiet, residential character. Upper floors of the proposed development will enjoy views to the east, south and west of Mt. Rainier, downtown and South Lake Union.

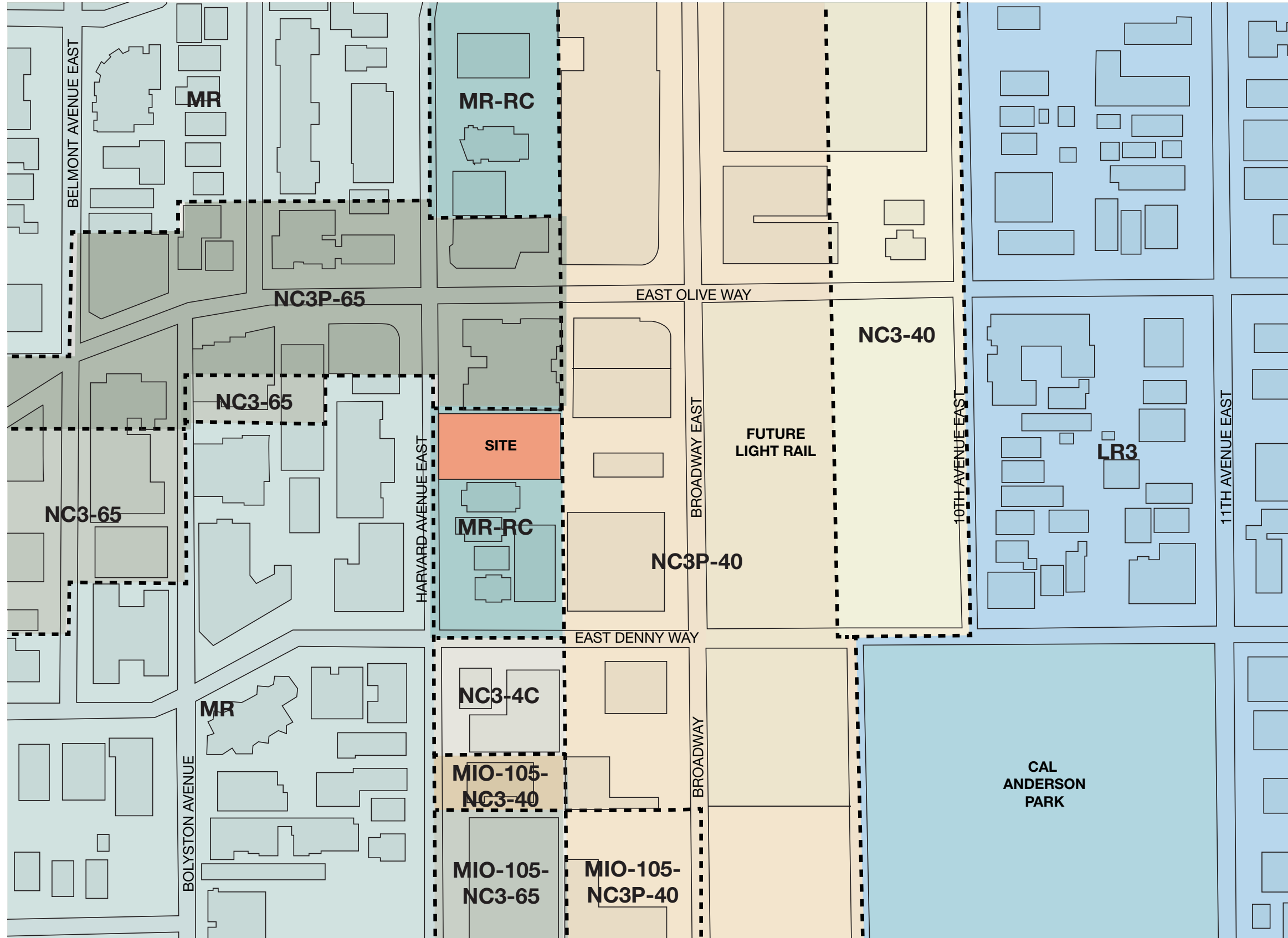
The development proposed for the site will be comprised of 38 apartment units and 2 levels of underground parking with 48 stalls.

The development will implement the incentives available for building height and floor area by using the affordable housing incentive program, per SMC 23.58A.013 and 23.45.516. This development will also seek a Built Green 4-star rating, a condition of gaining the affordable housing bonus.

#### PROJECT DATA:

Lot area= 9,440 sf  
 Gross building area= 57,146 sf  
 Total area above grade= 38,077 sf  
 Number of residential units= 38  
 Parking count= 48  
 Total allowable far= 3.20  
 Total allowable far w/ housing bonus incentive= 4.25  
 Achieved far= 4.03  
 Base allowable height= 60'  
 Base allowable height w/ housing bonus incentive= 75'  
 Proposed height= 75'

## Development Proposal



### Zoning Map





**Existing Uses**

- 1 The Heights on Capitol Hill West  
Desert Sun Tanning Salon  
Blue Bistro's Grotto
- 2 Residence
- 3 Residence
- 4 Residence
- 5 Residence
- 6 Apartment Building
- 7 The Heights on Capitol Hill East  
US Bank  
Liberty Tax Service  
Crazy Berry  
Antique Cycle Northwest
- 8 127 Broadway
- 9 Dick's Drive-In Restaurant
- 10 Commercial  
Happy mart  
Perfect Copy and Print  
Broadway Boutique
- 11 US Post Office
- 12 All Seasons Cleaners
- 13 Rite Aid Pharmacy  
Trendy Wendy  
Mirch Masala  
Massai  
Charlie's Bar & Grill  
Americana  
Broadway Smoke Shop  
Hana Sushi Bar  
Kimchi Bistro  
Ha Na Restaurant  
Studio 229  
Metro Clothing  
Beads  
Jai Thai
- 14 The Capitol Building  
American Apperal  
India Imports  
Subway  
Castle  
Highline Bar
- 15 230 Broadway
- 16 Harvard Crest Apartments

- 17 Ramayana Apartment:
- 18 La Salle Apartments
- 19 Pantages House
- 20 Pantages Apartments
- 21 Capitol Crest Apartme  
Peet's Coffee & Tea  
Ace Barber Shop  
Annapurna Cafe
- 22 Harvard Avenue Scho  
Online Cafe
- 23 Benjamin F. Mcadoo E  
TESL

**Tree Survey**

- A Cherry
- B Maple
- C Birch
- D Ash
- E Sweetgum
- F Oak
- G Apple
- H Cedar
- I Locust
- J Tulip
- K Plum

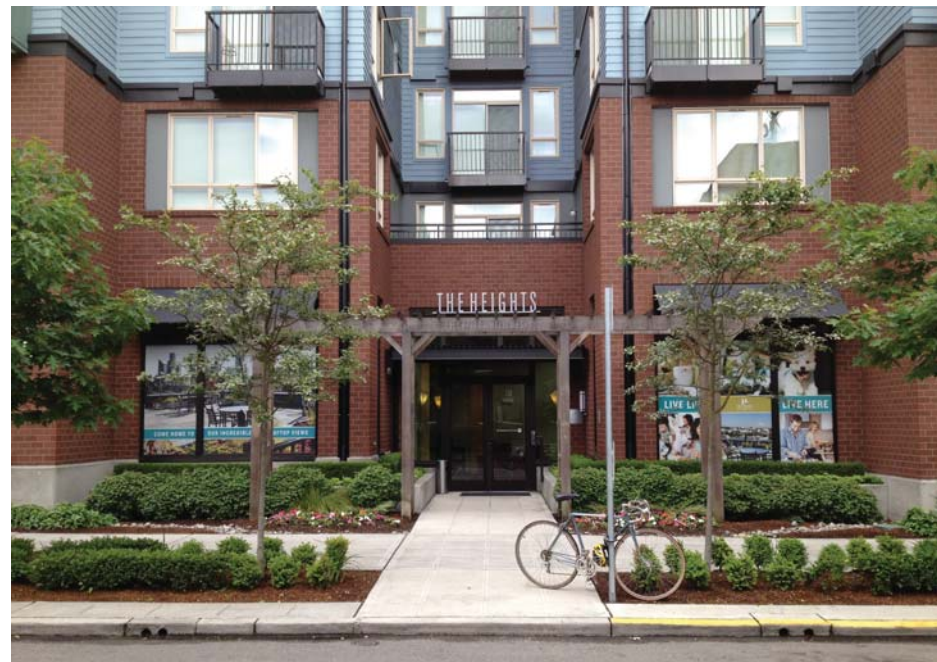
— Transit routes

▲ Bus Stops

**Existing Uses/Site Context**



1 – VIEW LOOKING NORTH, CORNER OF HARVARD & DENNY



2 – VIEW LOOKING EAST, HEIGHTS APARTMENTS



3 – VIEW LOOKING WEST, DICKS DRIVE-IN



4 – VIEW LOOKING SOUTHWEST, HEIGHTS APARTMENTS



5 – VIEW LOOKING SOUTHEAST, HARVARD AVENUE



### Context Photographs



6 – VIEW OF HARVARD STREET FRONTAGE, LOOKING EAST



7 – VIEW OF ALLEY FRONTAGE AND EXISTING PARKING LOT ON SITE, LOOKING WEST



8 – ON SITE LOOKING NORTH



9 – ON SITE LOOKING SOUTH



Site Photographs

The Heights on Capitol Hill West



East Olive Way

PROJECT SITE

East Denny Way

**A. HARVARD AVENUE LOOKING EAST**



East Denny Way

East Olive Way

**B. HARVARD AVENUE LOOKING WEST**



**Harvard Avenue Streetscape**



The Heights on Capitol Hill East



Harvard Avenue

Alley

C – ON SITE LOOKING NORTH

Commercial

Apartment Building

Apartment Building



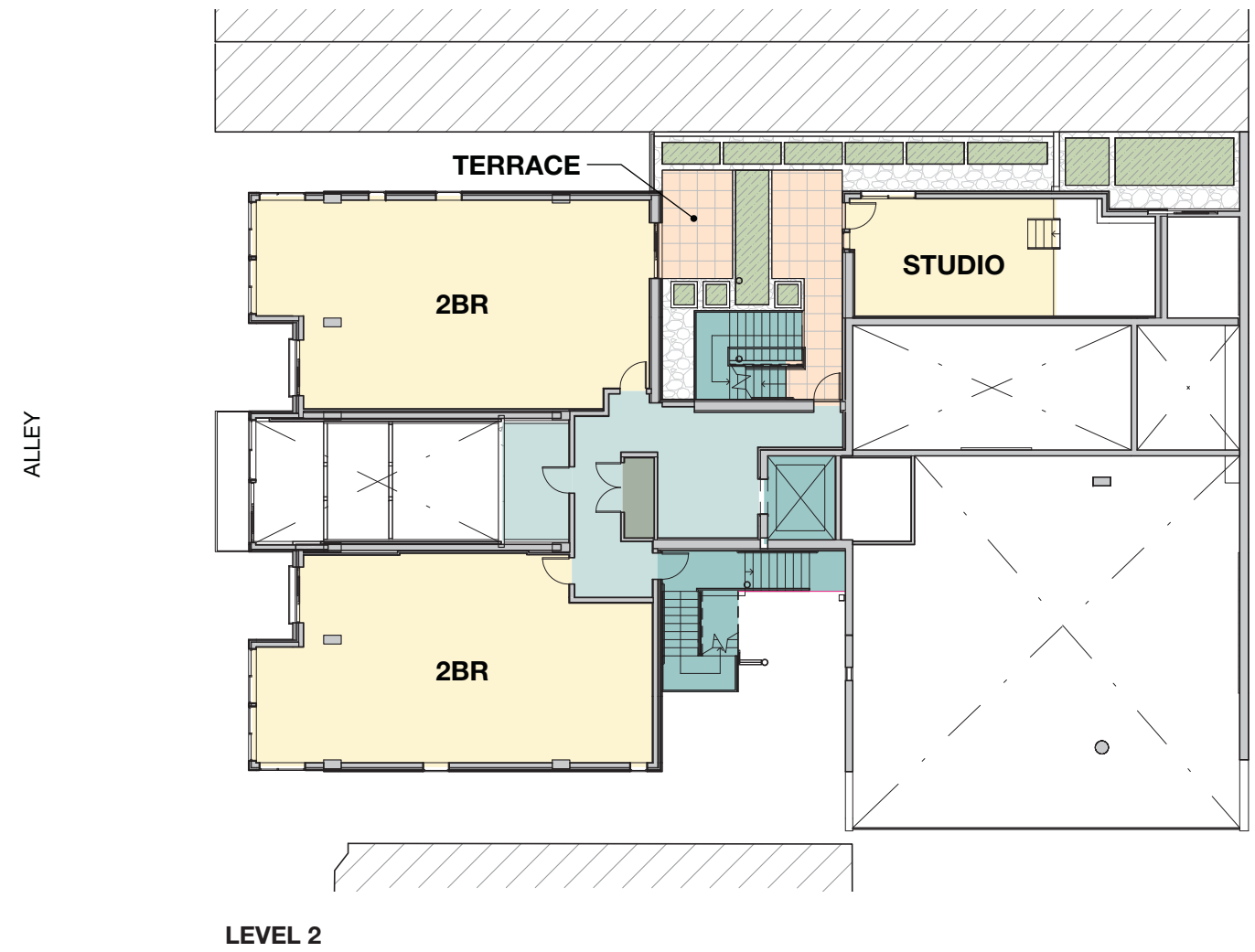
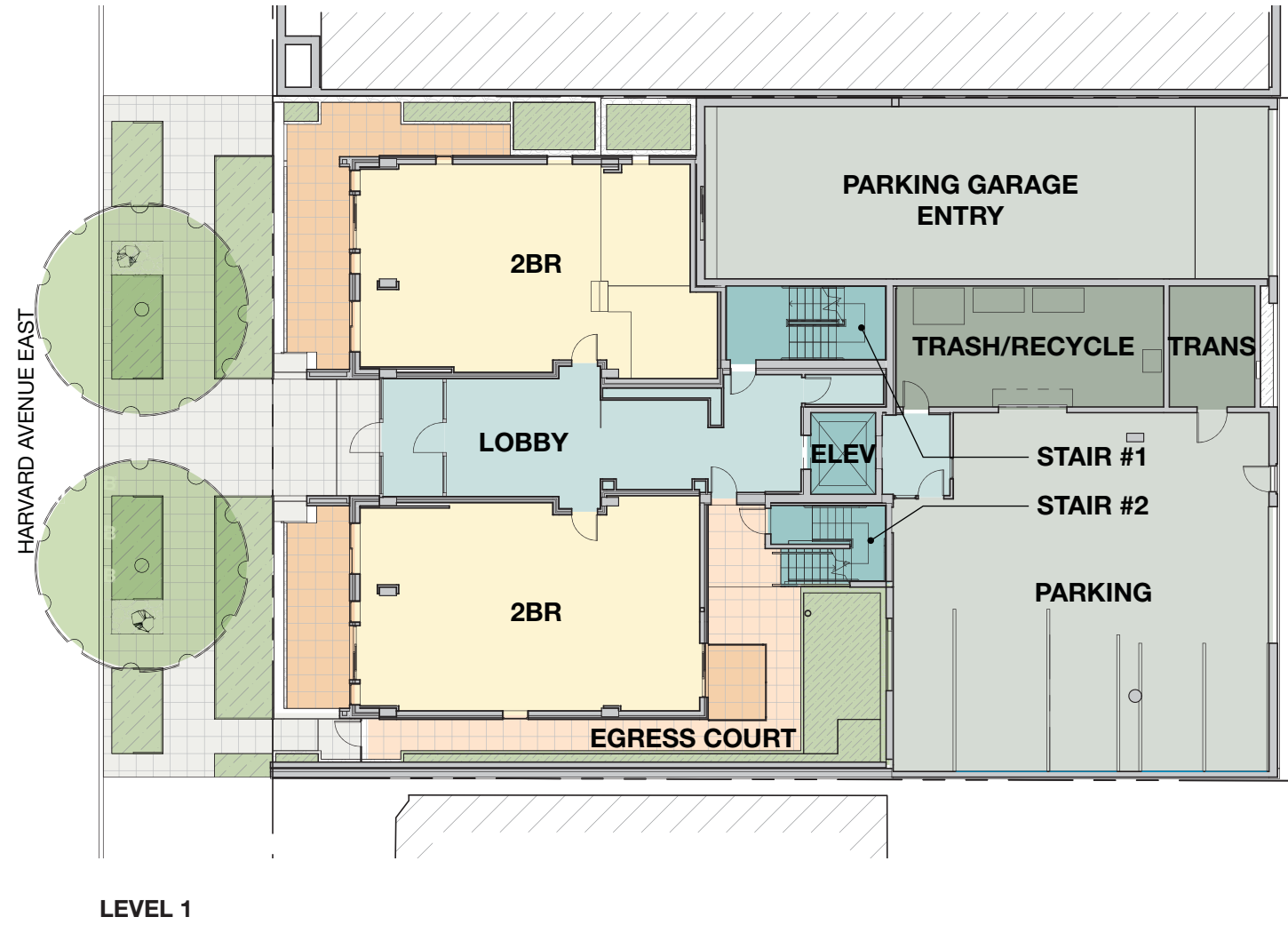
Alley

Harvard Avenue

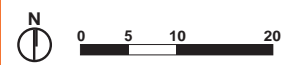
D – ON SITE LOOKING SOUTH

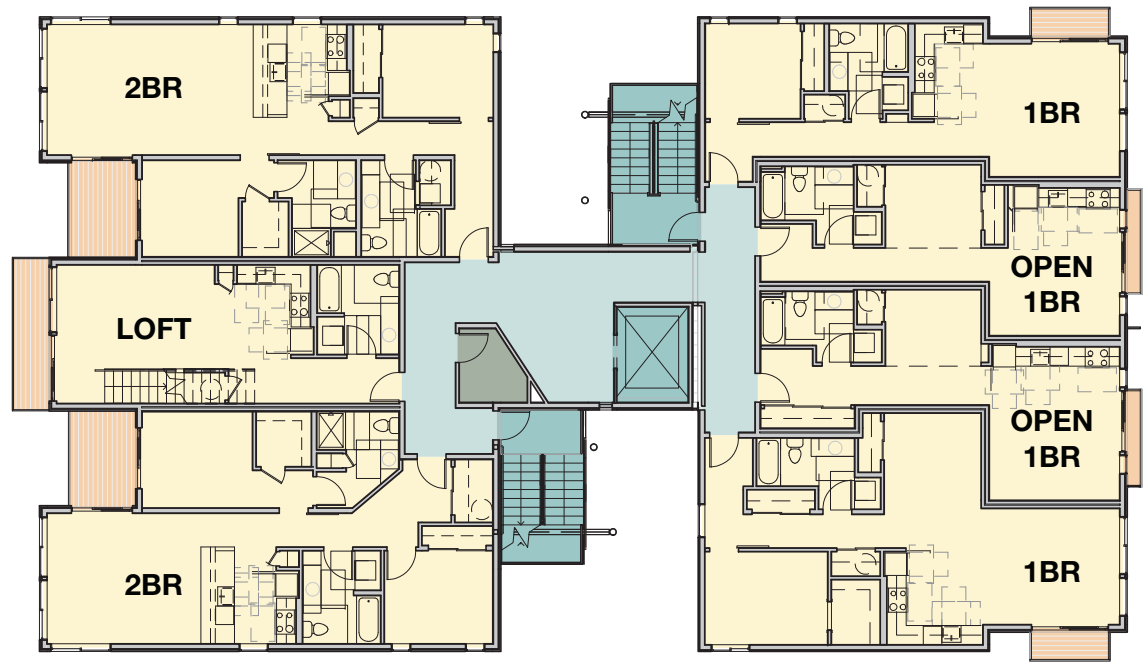


Adjacent Buildings

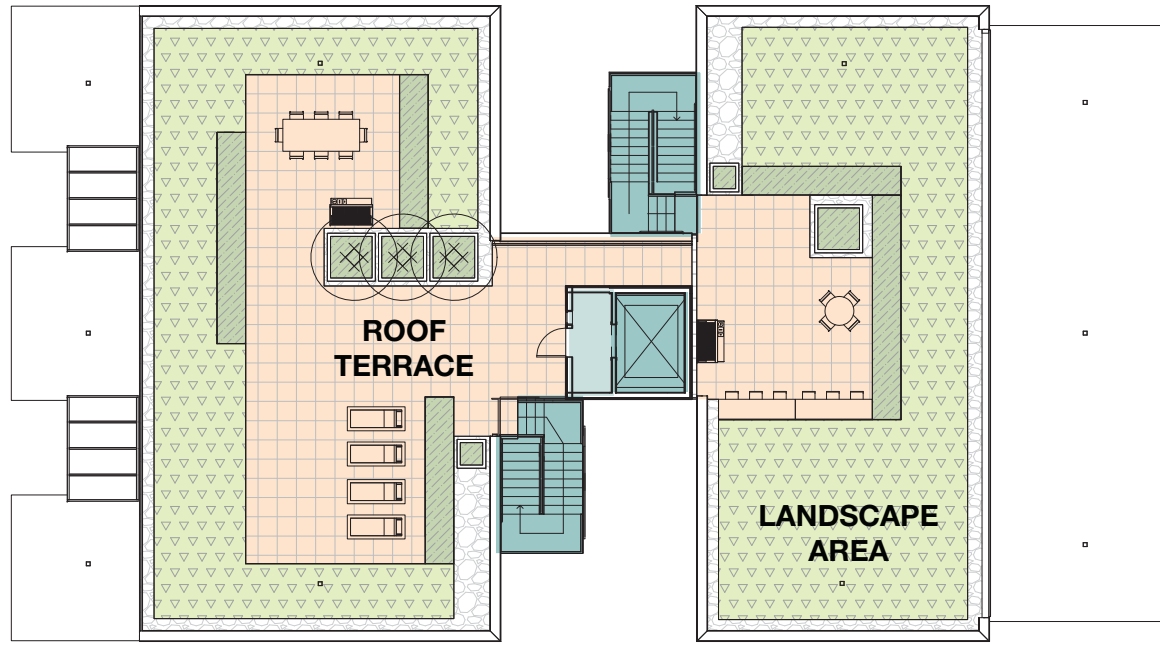


Floor Plans






TYPICAL RESIDENTIAL LEVEL



LEVEL ROOF

Floor Plans



- 

① Standing Seam Metal Panel "Old Town Grey"
- 

② Metal Panel Flush "Ascot White"
- 

③ Stair Structure "Mustard Yellow"
- 


④ Stair Structure "Chartruese"
- 

⑤ Accent Metal "Charcoal"
- 

⑥ Accent Metal "Orange"
- 

⑦ Composite Panel Lapped "Natural"
- 

⑧ Composite Panel Laapped "Green Grey"
- 

⑨ Vertical Plank Cedar Wood Siding
- 

⑩ Smooth Faced Brick "Mountain Red"
- 


⑪ Welded Wire Mesh
- 

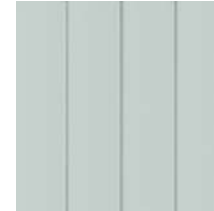
⑫ Glass Block


**West Elevation – Architectural Materials**








- 


① Standing Seam Metal Panel "Old Town Grey"
- 


② Metal Panel Flush "Ascot White"
- 


③ Stair Structure "Mustard Yellow"
- 


④ Stair Structure "Chartreuse"
- 

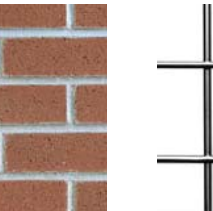
⑤ Accent Metal "Charcoal"
- 


⑥ Accent Metal "Orange"
- 

⑦ Composite Panel Lapped "Natural"
- 

⑧ Composite Panel Laapped "Green Grey"
- 

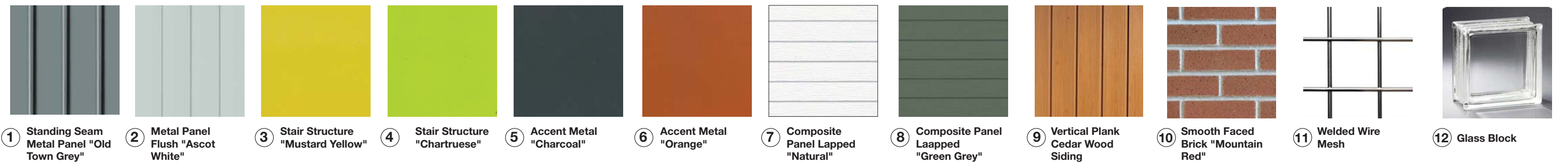
⑨ Vertical Plank Cedar Wood Siding
- 

⑩ Smooth Faced Brick "Mountain Red"
- 

⑪ Welded Wire Mesh
- 

⑫ Glass Block

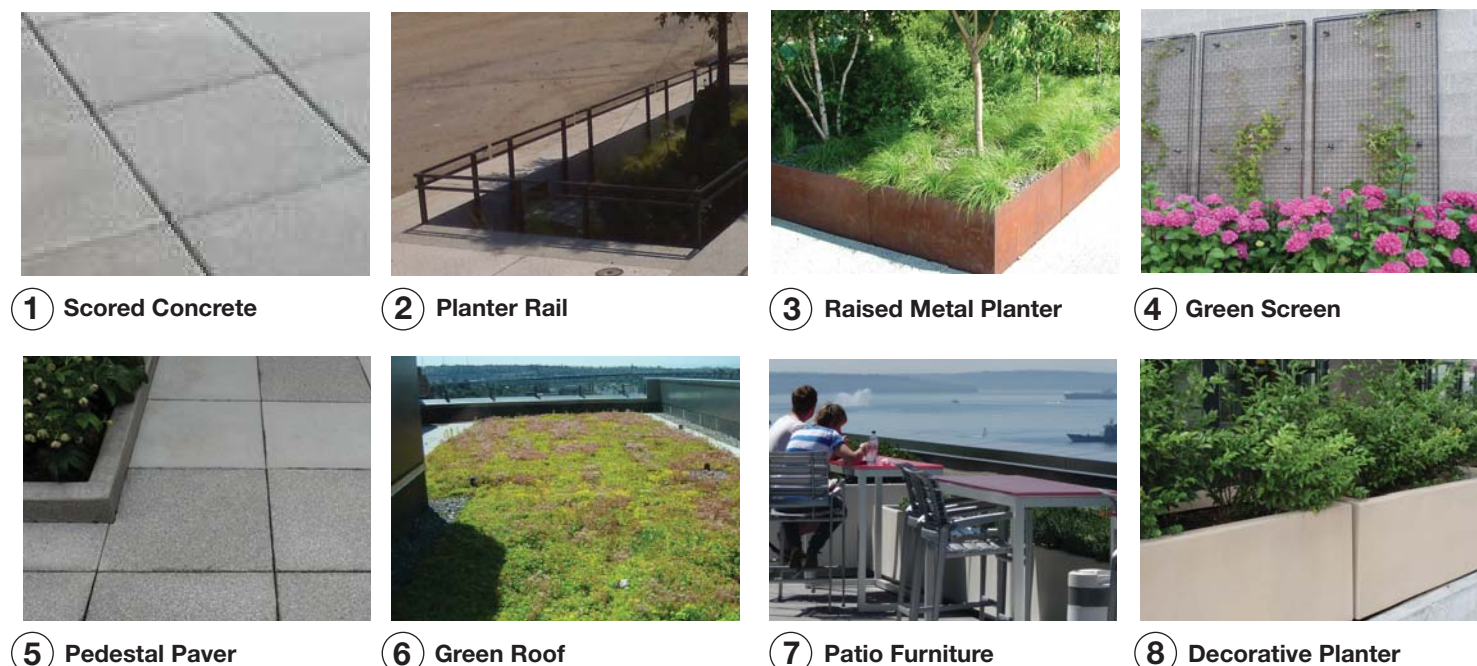
**East Elevation – Architectural Materials**



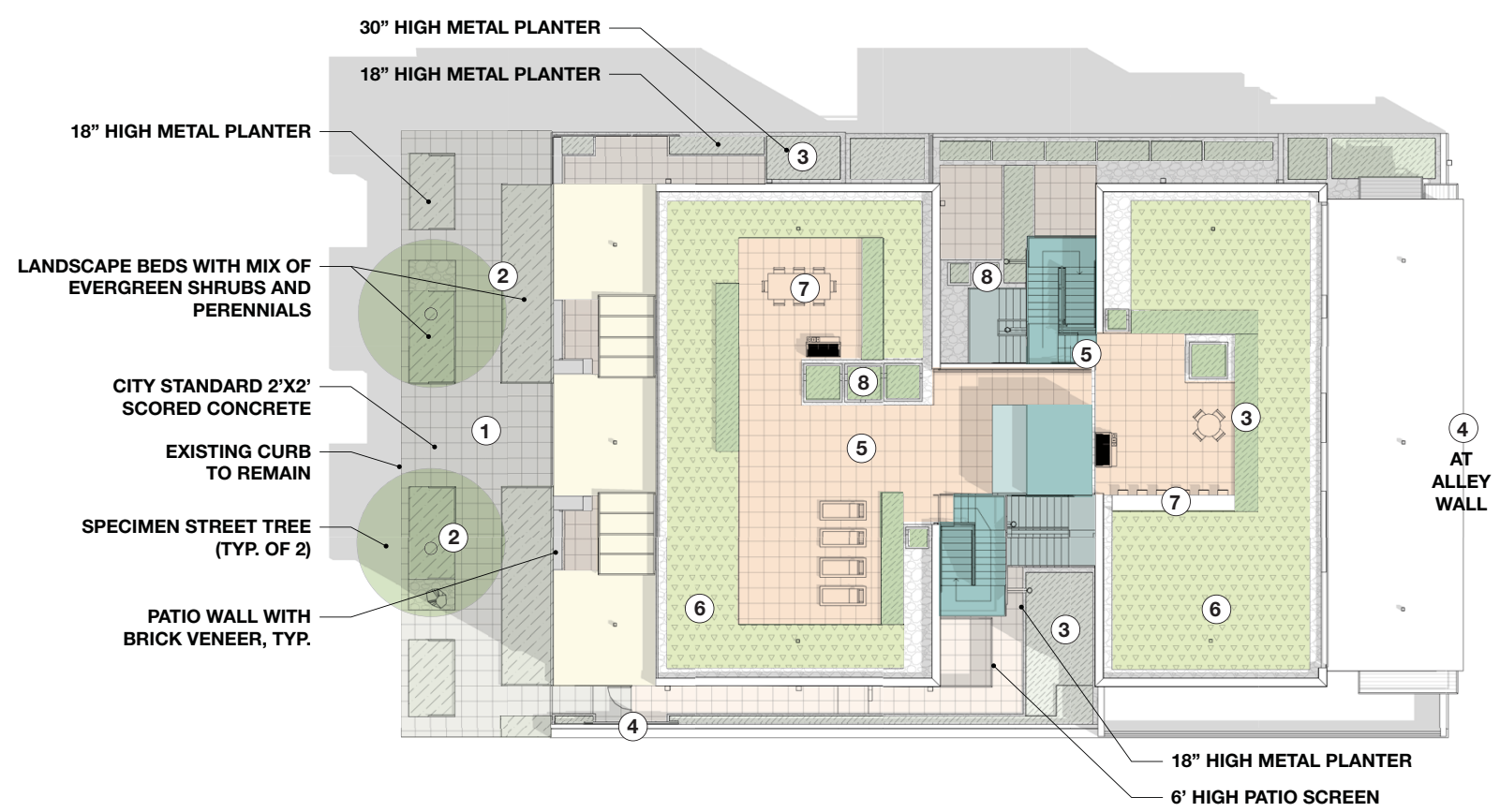
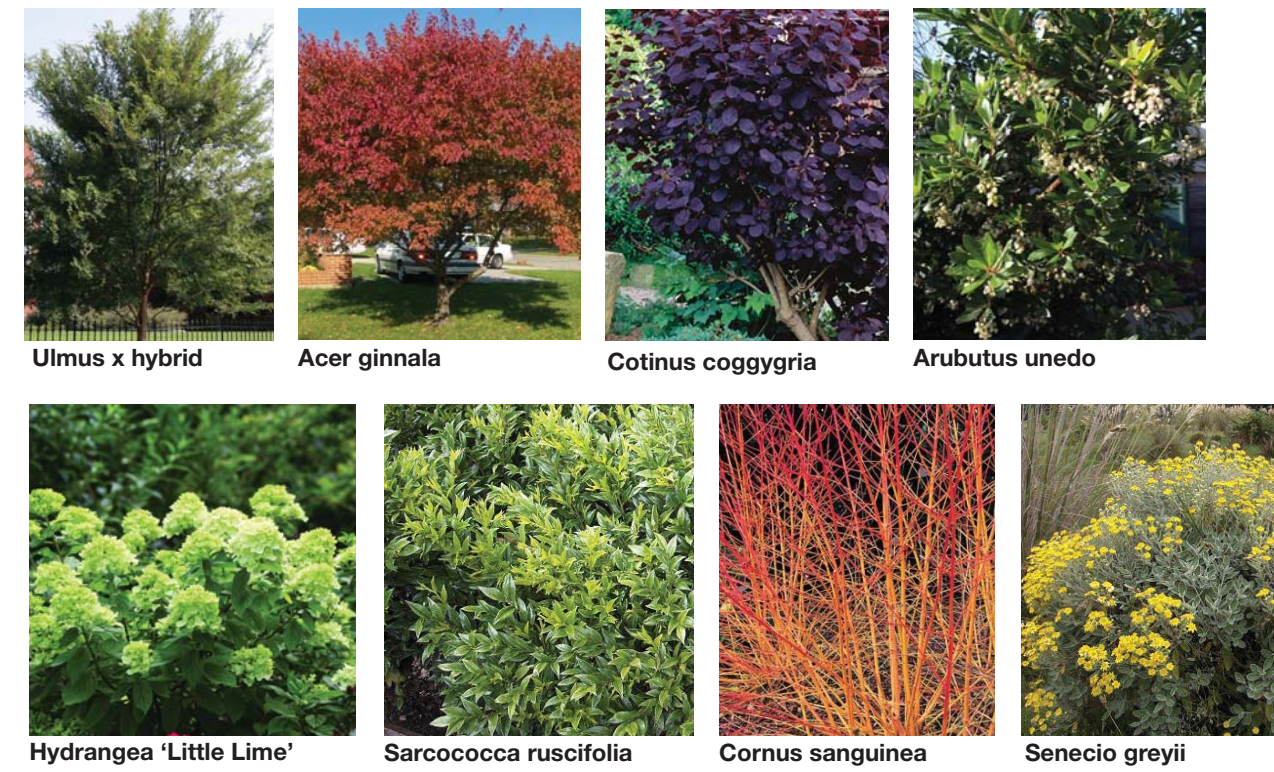
North/South Elevations – Architectural Materials



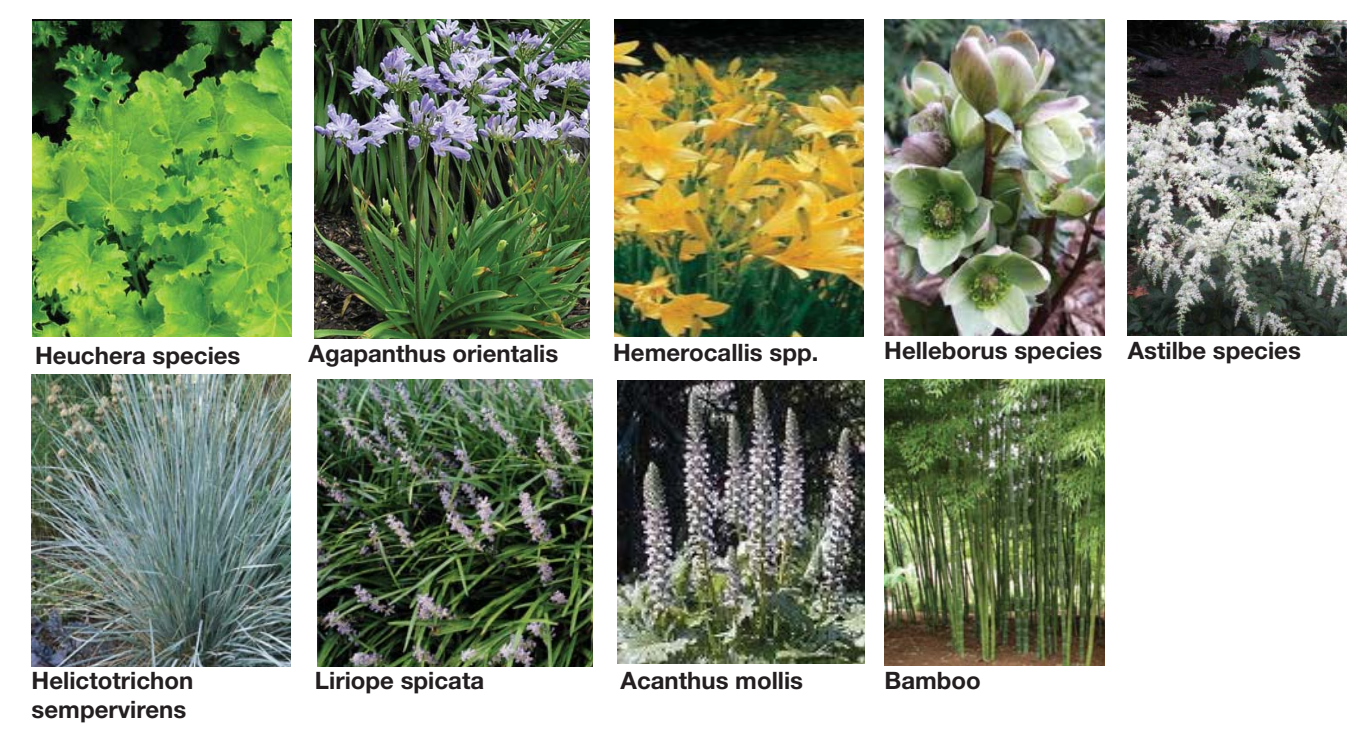
### Materials



### Trees and Shrubs



### Perennials and Groundcovers



### Landscape Materials and Plantings

### Lighting Fixtures



**A** Landscape Uplight



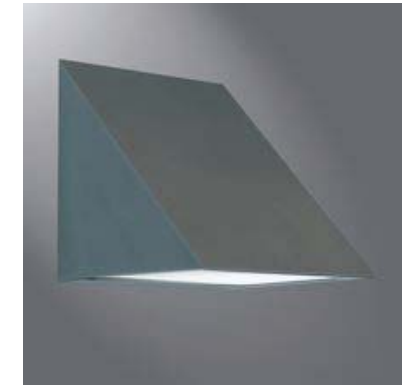
**B** Entry Downlights



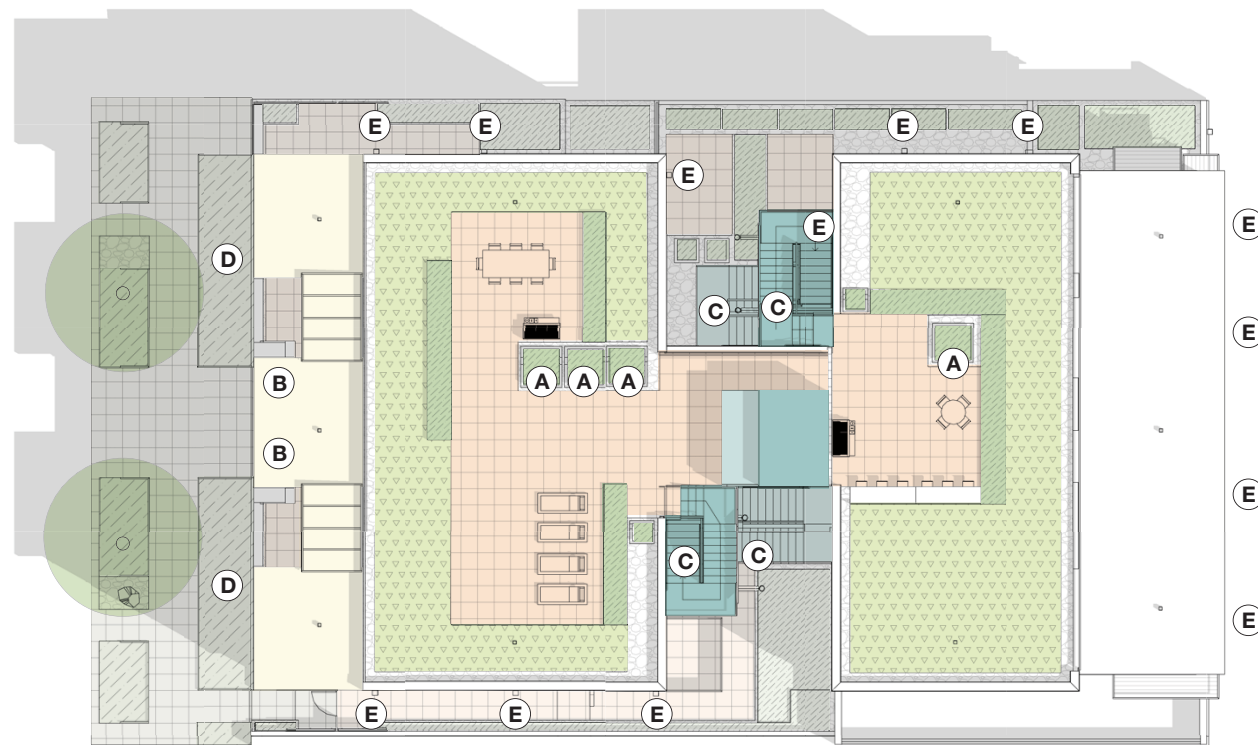
**C** Exterior Stair Lights



**D** Step Lights



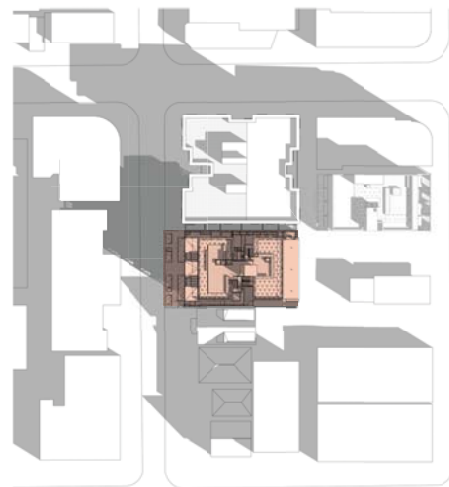
**E** Wall Sconce



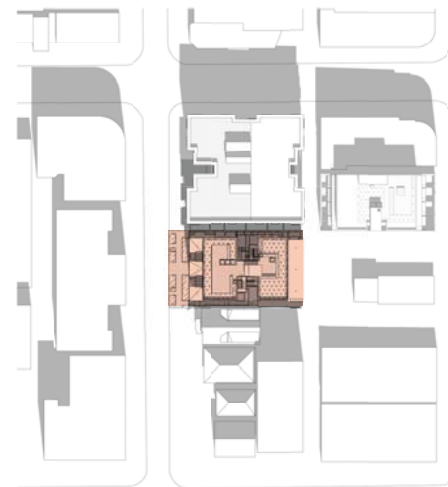
ENTRY VIEW AT DUSK

### Lighting

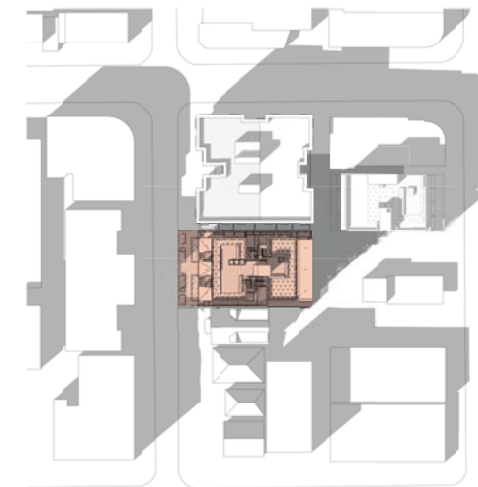




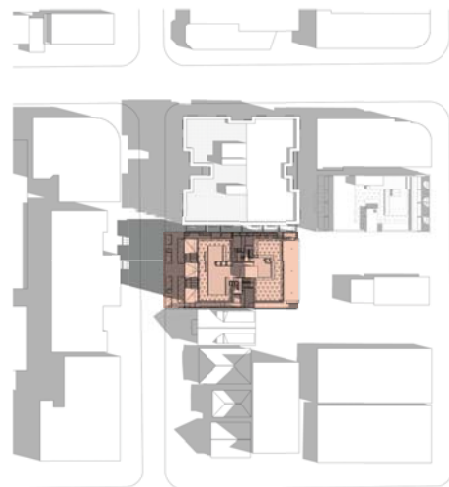
MAR 21 - 9:00AM



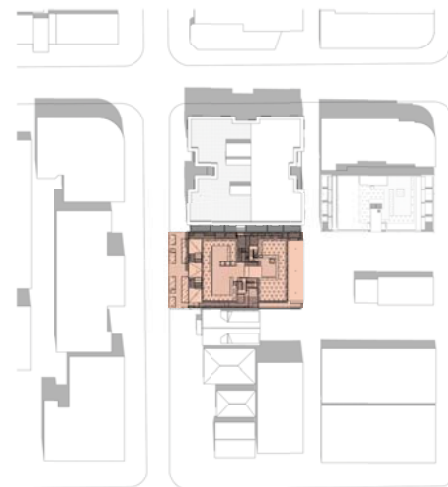
MAR 21 - 12:00PM



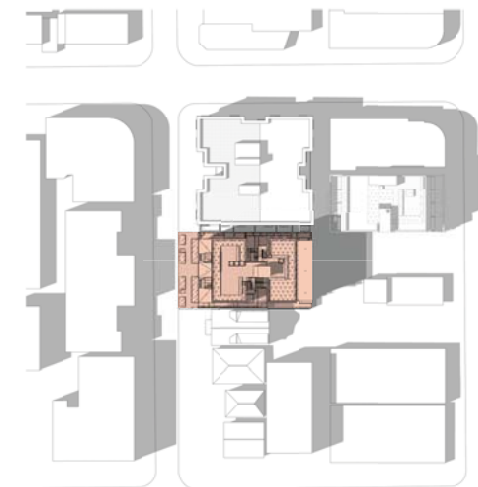
MAR 21 - 3:00PM



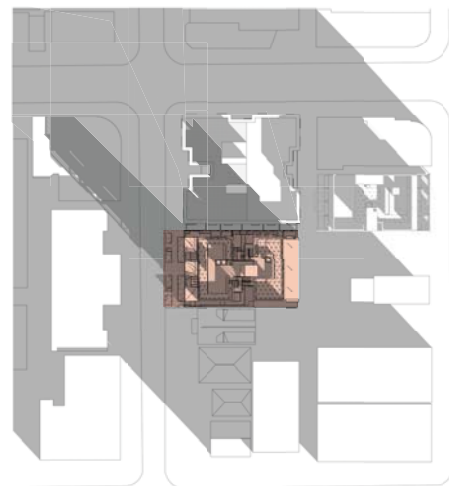
JUN 21 - 9:00AM



JUN 21 - 12:00PM



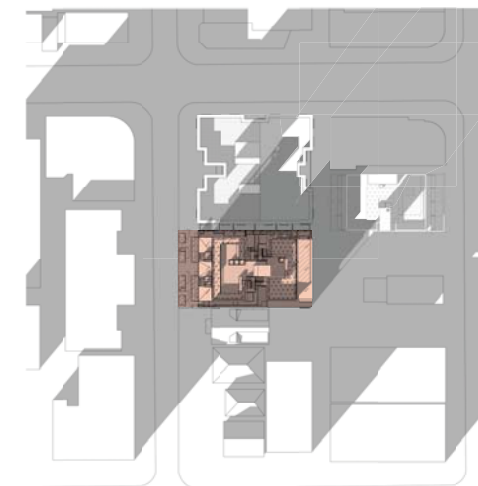
JUN 21 - 3:00PM



DEC 21 - 9:00AM



DEC 21 - 12:00PM



DEC 21 - 3:00PM

Shadow Studies

## EDG GUIDANCE

## RESPONSE

**Options: (A-2, B-1)**

The Board noted that Option 3 (the applicant preferred option) is the best massing approach for the site.

Preferred massing Option 3 has been further developed for the MUP / Design Review.

**Massing and Architectural Concept: (A-2, A-6, B-1, C-2, C-3, C-4, D-1, D-8)**

①	The overhanging upper mass at the west facade should be designed to relate to the pedestrian scale. This can be achieved with careful use of materials, incorporation of an awning, and design the entry to maximize light and air below the overhang.	Materiality and an emphasis on the center entry will relate the west facade to the pedestrian scale. Transparent, light materials will be used on the three protruding bays on the west facade such as flush metal panels and wood siding. More substantial materials such as brick veneer will be used on the ground floor level to add a strong base and to create a contrast with the lighter feel of the overhanging bays. A canopy from which to suspend signage and lighting will be designed for the center bay above the main entry. Low masonry porch walls and large planters at the front unit porches that flank the center entry will also enhance the relationship to the pedestrian scale.
②	The rhythm of the narrow massing modules at the west facade should be treated with materials to relate to the rhythm of nearby development.	The protruding bays on the west facade will be treated with large windows and metal cladding and wood siding at the lowest portion. The first level will be clad in brick. These material treatments will reflect those of the adjacent building to the north.
③	The east facade massing appears to be much wider in scale than the west facade. The east facade should be treated in a creative way that relates to the pedestrian experience ½ block to the east, and the context of Broadway East.	The east facade is to act as a more playful and less formal facade than that facing Harvard. The treatment of standing seam metal juxtaposed with metal balconies and railings with alternating window schemes will create an attractive 'alley facade' concept that will be largely visible to the Broadway pedestrian. A green wall is also proposed at the alley level between the garage entrances.
④	The Board supported the architectural concept of two different treatments for the east and west modules.	Comment noted and will be considered through the development of the project. As stated above, the treatment of the Harvard facade and alley facade are moving forward with different conceptual characters. This will be represented through massing and material.
⑤	The treatment of both east and west modules should include high quality materials such as brick or other materials in context with the nearby neighborhood.	Material palette will include brick, metal panels and fiber cement board and a touch of wood siding

**Setback/Courtyard/Stair: (A-5, C-2, C-4)**

⑥	The proposed design should enhance the visually interesting opportunity created by the stair/courtyard.	The proposed exterior stair will be detailed in a way that creates an attractive, sculptural element visible to residents of this project as well as to its neighbors. Materials, connections, guards and colors will be considered carefully.
⑦	The stair should be designed to allow light to pass through.	The stairs have been re-oriented to allow for light to penetrate further into the center courtyards of the building and to allow for windows on both sides of the central corridor on residential levels. Neighbors will now have a direct view of the short end of the stairs, allowing more views to glazing and exterior finishes.

**Relationship to the adjacent properties to the north and south: (A-5, D-3, E-2)**

⑦	The site to the north includes an existing wall at the building base, and the proposed development should respond to this condition.	The existing wall to the north will act as a privacy screen to the northwest grade level unit. A planting bed is proposed so that the existing wall can become a green wall. Where the project abuts the wall on the second level, unit decks and a substantial amount of landscaping is proposed in an effort to soften the transition to the decks of the development to the north.
⑧	The site to the south may be redeveloped in the future, but the proposed development should include careful design of any retaining walls and fences near the south property line.	The height of the retaining wall to the south will be kept to a minimum as to ensure it is not blocking any existing windows of the development to the south, but to still maintain safety and security. The screening wall along the parking area will have a metal trellis feature that will include plantings.
	The proposed treatment of the north and south edges seem appropriate to enhance safety and respond to adjacent conditions. The Board noted that the proposed design is preferred over a public pedestrian connection across the site.	Comment noted and will be considered through the development of the project.

**EDG Recommendations**

	REQUIREMENT	DEPARTURE	EXPLANATION
A	23.45.526 Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size. The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2	Waive structure depth requirement.	The project site is neighbored by existing apartment buildings to the north and south. The existing apartments have primary windows oriented to the proposed project. The intent of the proposed design is to extend the building to the to the east and west property lines and create significant landscaped open space in the center of the parcel at both the north and south property lines. This will allow the primary windows in the proposed building to orient to the east and west, rather than create a wall of windows looking at the neighboring apartment units. It will also allow for visual access to light and landscaping for the residents of the adjacent units. proposed structure depth is 96% of the depth of the lot.
B	23.45.518, Table B Front setback: 7 foot average setback; 5 foot minimum setback	Waive front setback requirement.	The below-grade parking garage extends to the front property line. The elevation of the garage lid will be below the existing grade on the site, and approximately 2'-6" above the grade of the adjacent sidewalk. The existing planting strip in the Right Of Way berms up to the property line. A portion of the existing berm will be removed to enable access to an entry courtyard, thereby exposing a portion of the garage structure finished grade. A departure is necessary to accommodate portions of the garage that are not below the final finished grade.
C	23.45.518, Table B Rear setback: 15 feet from a rear lot line that does not abut an alley; or 10 feet from a rear lot line abutting an alley.	Waive rear setback requirement.	The project site, zoned MR, is located on a block that is approximately two-thirds NC3 zone. In the NC3 zone, no rear setback is required. The existing development on both ends of the alley border the alley with no setback. Our design preference is to repeat this pattern on the project site, and locate the new structure at the alley property line. This enables the proposed structure to be narrowed in the center, allowing for the creation of significant open space in the center of the parcel on both the north and south property lines.
D	23.45.518, Table B Side Setback: Above 42 feet in height: 10 foot average setback; 7 foot minimum setback.	Waive side setback on the north property line for portion of the parking garage that is adjacent to the parking garage structure of the neighboring apartment building.	The apartment building to the north of project site has an above-grade parking structure at the property line with no setback. This existing garage wall is approximately 9 feet above existing grade. The proposed project will have a garage entrance and ramp parallel to the north property line. This departure is to allow a portion of the new structure to abut the existing garage wall, rather than create a narrow (7' minimum) space between these two blank concrete walls between the existing and proposed buildings at the alley grade level. The elevation of the portion of the proposed structure in the side setback will be at or below the elevation of the adjacent garage structure, and will be landscaped on the top to provide screening between the two buildings.
E	23.45.518, Table B Side Setback: Above 42 feet in height: 10 foot average setback; 7 foot minimum setback.	Waive side setback on the south property line to allow for a landscaped trellis and other screening of alley	The proposed project will have up to six parking spaces extending into the south side setback at the alley grade level. These parking spaces will be screened from the adjacent property by a six-foot high solid fence. This proposed departure will allow for the construction of a landscaped trellis and other screening to extend above the height of six feet to enhance the screening of the parking and site security.

**Requested Departures**

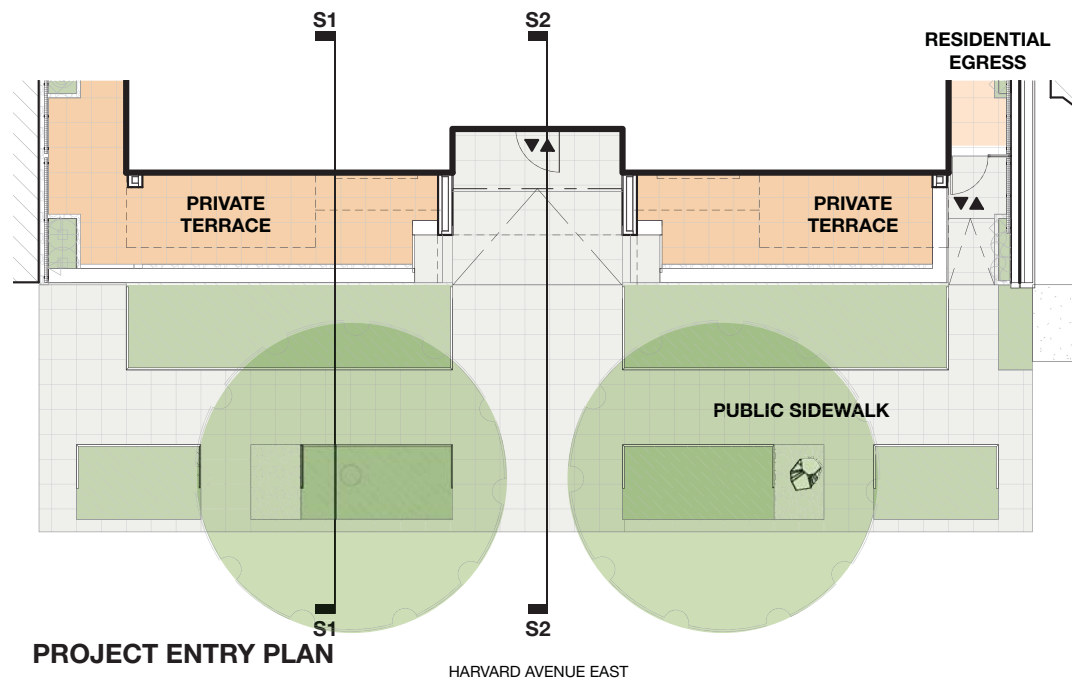


② Refer to EDG recommendations  
on page 16

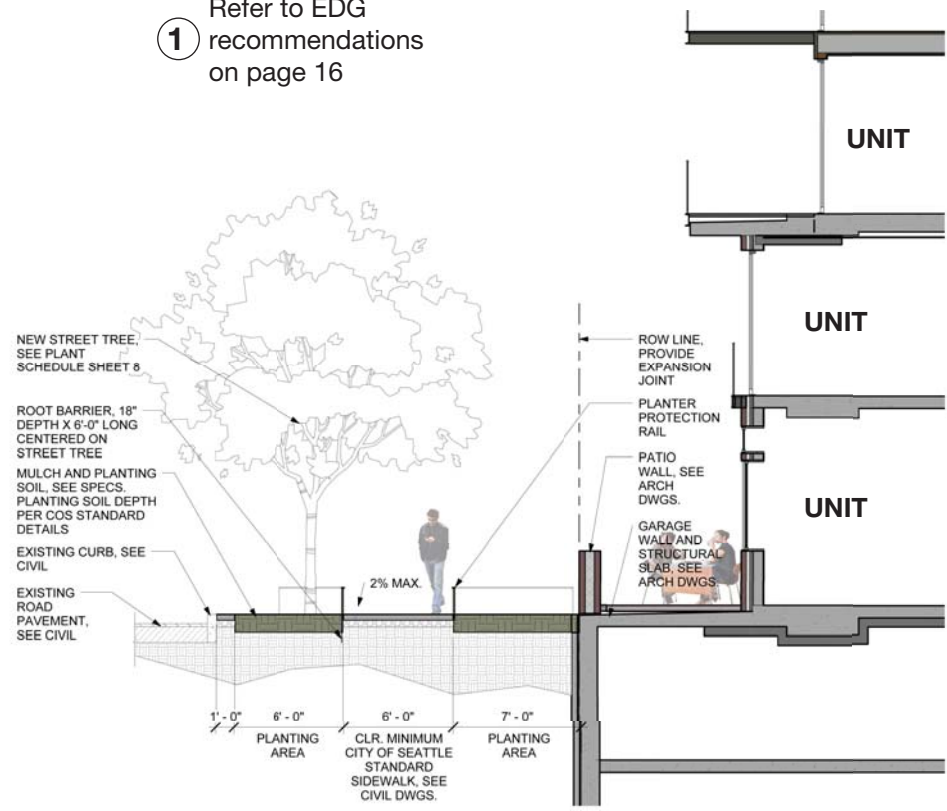
## Harvard Street Perspective

DRB – Recommendation Meeting  
LEXICON (DPD# 3013471)  
January 25, 2012

HEWITT

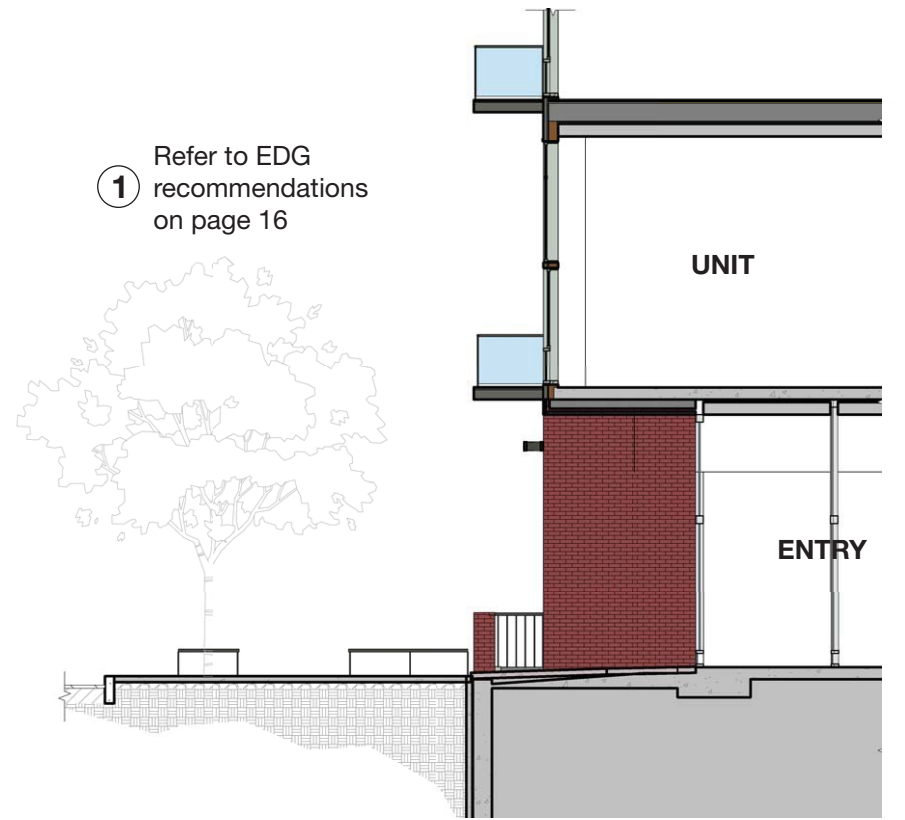


1 Refer to EDG recommendations on page 16



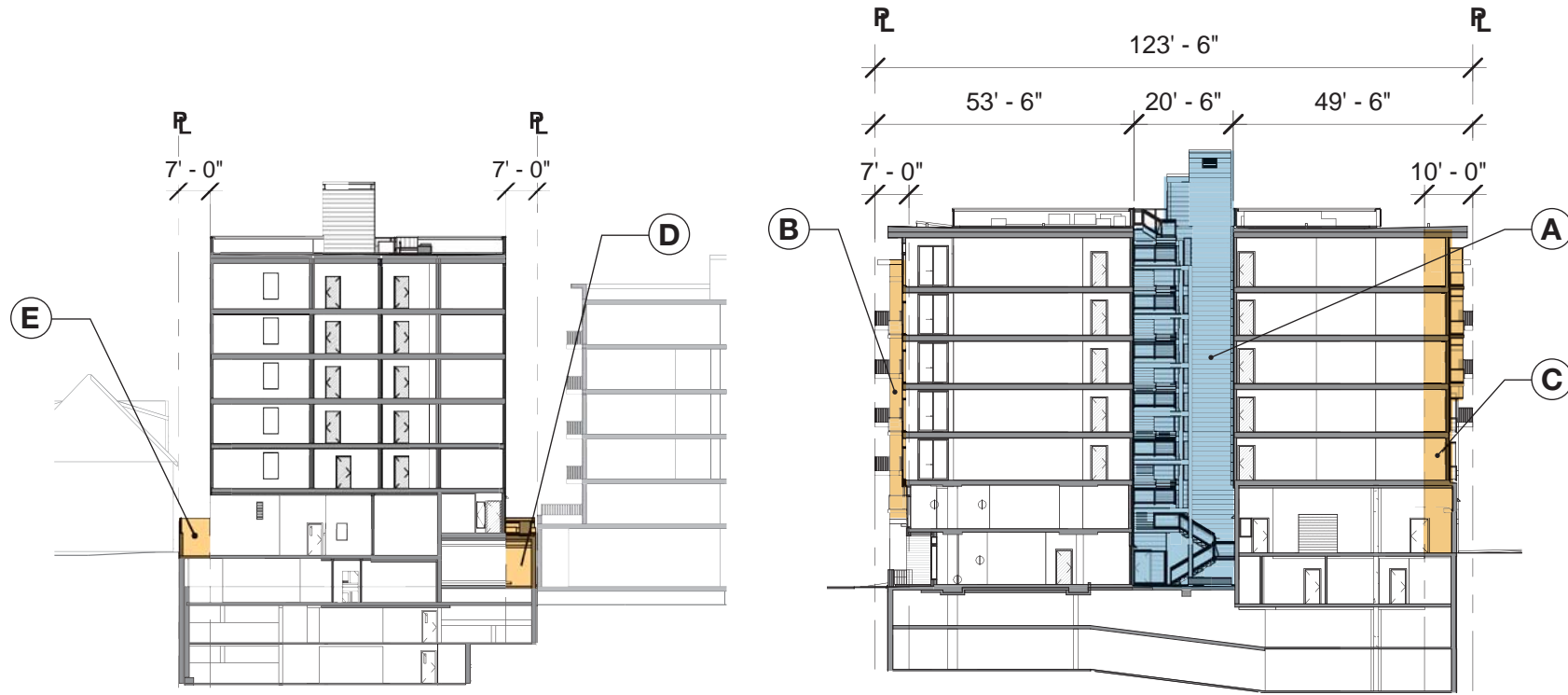
S1 - SECTION LOOKING NORTH

1 Refer to EDG recommendations on page 16



S2 - SECTION LOOKING NORTH THROUGH ENTRY

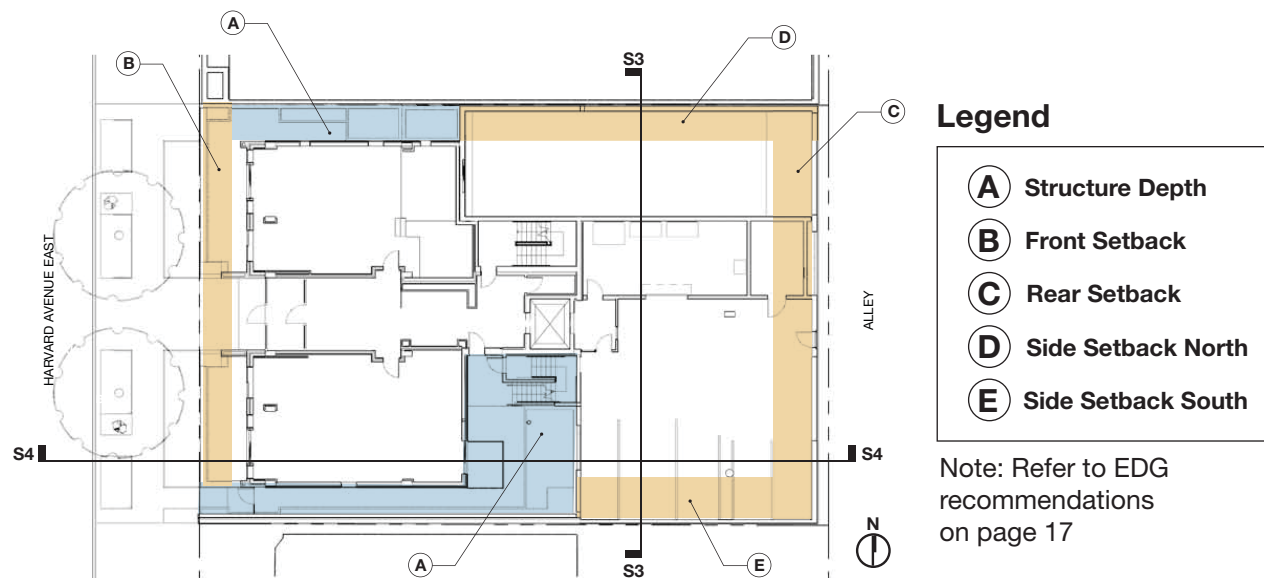
**Pedestrian Scale**



**S3 - SECTION LOOKING WEST**

Note: Departure "D" is a direct response to condition of existing concrete wall on site to the North.

**S4 - SECTION LOOKING NORTH**



**Legend**

- (A) Structure Depth
- (B) Front Setback
- (C) Rear Setback
- (D) Side Setback North
- (E) Side Setback South

Note: Refer to EDG recommendations on page 17

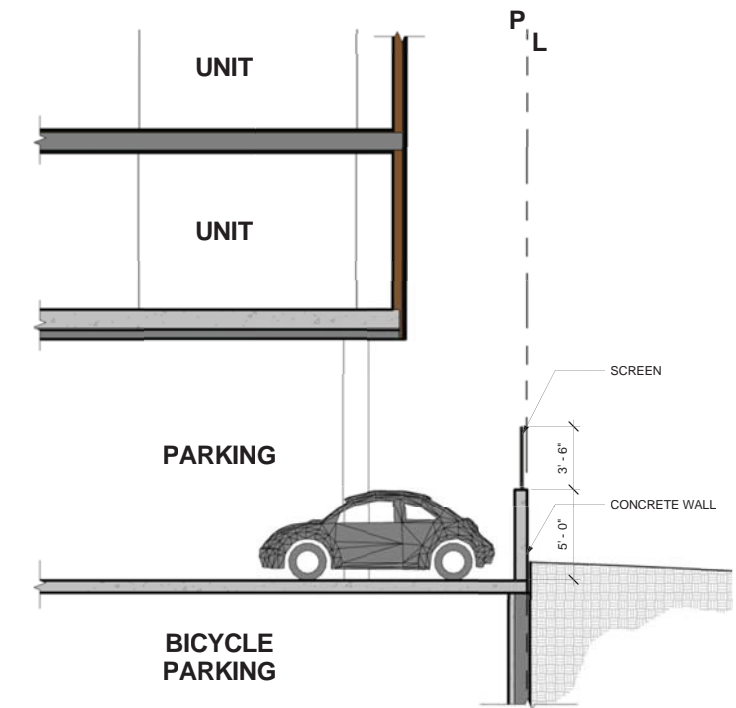


HEIGHTS APARTMENTS LOOKING WEST, CONCRETE WALL ALONG SITES NORTH PROPERTY LINE



HEIGHTS APARTMENTS LOOKING EAST, CONCRETE WALL ALONG SITES NORTH PROPERTY LINE

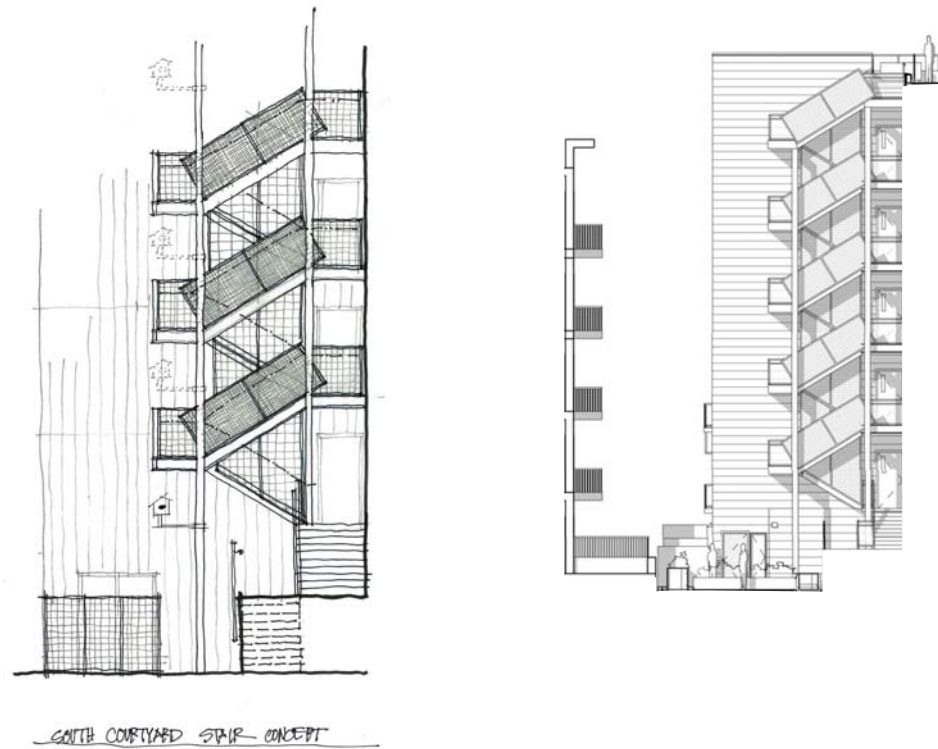
**Anticipated Departures**



S5 - SECTION LOOKING EAST THROUGH PARKING

3 4 8 Refer to EDG recommendations on page 16

East Facade and Open Parking



5 6 Refer to EDG recommendations on page 16



"Orange"



"Mustard Yellow"



"Chartreuse"

The exterior stair of both courtyards will be highly visible to the property's north and south neighbors. Consequently, these stairs aim to be a visually interesting feature that add a sculptural quality to the courtyard space. The structure on which the stair is supported will be emphasized by pulling away the vertical support into the center of the space, causing the support beams for the landings to be cantilevered. This structure, along with the structural stringer of the stair itself, will be highlighted with a vibrant accent color. Charcoal wire mesh guards and an inner continuous screen will provide a contrasted backdrop for the brightly painted structure. Linear tubes of lighting are proposed to highlight the inner stringers as well as the landings. In an effort to provide encouragement for the presence of wildlife in this urban context, a birdhouse may be mounted to the stair structural support in the center of each courtyard.

### Courtyard Stair Concept





① ② ④ Refer to EDG recommendations on page 16

The treatment of the Harvard facade aims to be a reflection of the quiet residential street of which it faces. Natural materials such as a warm brick masonry and cedar plank wood add to the composition of the street context and create an inviting relationship to the pedestrian scale. Low masonry walls that enclose private residential terraces that are only slightly raised from the sidewalk level encourage sidewalk activity. Symmetrical projecting bays with large expanses of glass are emphasized by reveals of richly colored material and residential balconies.

### Harvard Avenue Perspective in Context



③ ④ ⑧ Refer to EDG recommendations on page 16

The open nature of the site to the east of this project provides the opportunity to treat the alley facade with equal importance as the Harvard street facing facade. This east facade that faces the alley is highly visible from the principal pedestrian street of Broadway and from the future Capitol Hill Light Rail Station. A darker standing seam metal provides a backdrop for dynamically composed balconies in a pop of color. These balconies create a visual draw from the street that aim to become a memorable attribute of this project.

## Broadway Avenue Perspective in Context