

120 Harvard Mixed-Use
120 Harvard Ave East
Seattle, WA

Early Design Guidance
prepared for Barrientos, LLC
August 8, 2012

HEWITT

Table of Contents

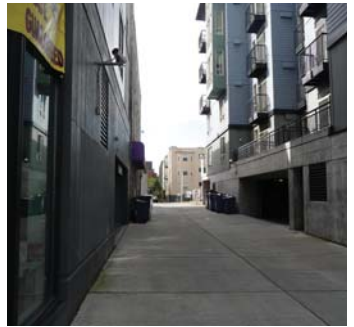
Development Proposal	1
Pertinent Design Guidelines	2
Zoning Map	9
Existing Uses/Site Context	10
Harvard Avenue East Streetscape	11
Adjacent Buildings	12
Concept A	13
Concept B	26
Preferred Concept C	39
Requested Departures	52
Area Calculations	53
Land Use Compliance	54



The project is comprised of seven floors of residential units over three floors of below-grade parking.

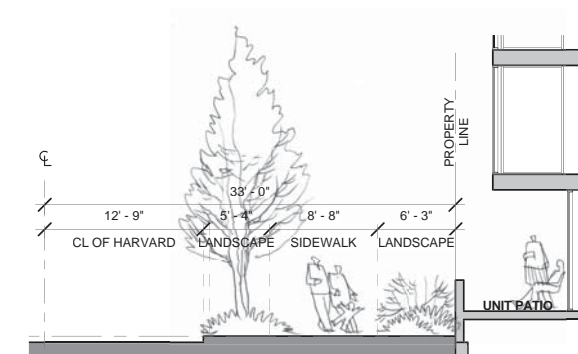
The development site is adjacent to the Capitol Hill Light Rail Overlay District and within the Capitol Hill Urban Center Village and in an MR-RC zone between Harvard Avenue East as the western boundary, and a sixteen-foot wide alley to the east. The neighboring parcel to the north is zoned NC3P-65 and the zone across the alley to the east is zoned NC3P-40. The entire neighborhood is within the Capitol Hill Light Rail Overlay District. The lot is at the approximate mid-point of the block with East Olive Way and East Denny Way at the northern and southern most ends of the block. Harvard Avenue East is a secondary arterial with two-way traffic moving north and south.

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
A. SITE PLANNING					
A-1 Responding to Site Characteristics	The siting of buildings should respond to specific site conditions such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views to other natural features.		The project site is located on an existing surface parking lot on Harvard Avenue, one-half block west of Broadway and the new Capitol Hill Light Rail Station. Special characteristics of this site include: established mix of similarly-scaled apartment buildings on the block, existing street trees on both sides of Harvard, views to the east, south, and west from proposed roof deck and some upper-level units.	Same as scheme A	Same as scheme A
A-2 Streetscape Compatibility	The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.		The block of Harvard Avenue between Denny and Olive is characterized by a mix of brick apartment buildings and older wood-framed structures, most of which have been converted to multi-family use. Scheme A is set back 18 feet from the Harvard Avenue property line, similar to several of the older wood structures to the south.	Scheme B would locate the building near the Harvard Avenue property line, carrying the line of the Heights apartment building which is immediately to the north.	Scheme C would locate the building near the Harvard Avenue property line, carrying the line of the Heights apartment building which is immediately to the north.
		Retain or increase the width of sidewalks.	Yes. Sidewalk on Harvard Ave will be improved and sidewalk width will maintained with proposed development.	Same as Scheme A	Same as Scheme A
		Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light and year round visual interest.	Yes. New street trees will be provided in planter strip on Harvard Ave.	Same as Scheme A	Same as Scheme A
		Vehicle entrances to buildings should not dominate streetscape.	Yes. Parking entrance will be from alley.	Same as Scheme A	Same as Scheme A
		Orient townhouses structure to provide pedestrian entrances to sidewalk.	N.A.	N.A.	N.A.



Pertinent Design Guidelines

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
		For buildings that span a block and "front" on two streets, each street frontage should receive individual and architectural design treatments to complete the established streetscape character.	N.A.	N.A.	N.A.
		New development in commercial zones should be sensitive to neighboring residential zones. Examples include lots on Broadway that extend to streets with residential character, such as Nagle Place or 10th and Harvard Avenues East. While a design with a commercial character is appropriate along Broadway, compatibility with residential character should be emphasized along other streets.	N.A.	N.A.	N.A.
A-3 Entrances Visible from the Street	Entries should be clearly identifiable and visible from the street.		Yes. Building lobby will be accessed via stair and ramp through landscaped setback along Harvard.	Yes. Building lobby accessed directly from Harvard Ave.	Yes. Building lobby accessed directly from Harvard Ave.
A-4 Human Activity	New development should be sited and designed to encourage human activity on the street.	Provide for sidewalk retail opportunities and connections by allowing for the opening of the storefront to the street and displaying goods to the pedestrian.	No. Retail not required or provided on this site.	Same as Scheme A	Same as Scheme A
		Provide for outdoor eating and drinking opportunities by allowing for the opening the restaurant or café windows to the sidewalk and install in outdoor seating while maintaining pedestrian flow.	N.A.	N.A.	N.A.
		Install clear glass windows along the sidewalk to provide visual access into the retailer dining activities that occur inside. Do not block views into the interior space with back of shelving units or with posters.	N.A.	N.A.	N.A.
A-5 Respect for Adjacent Sites	Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.		No. New residential units face-to-face with existing units to north and south.	Yes. Building elongated to allow mid-block open space on north and south property lines. Major windows in proposed project face toward street or alley.	Yes. Building elongated to allow mid-block open space on north and south property lines. Major windows in proposed project face toward street or alley.
A-6 Transition Between Residence and Street	For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.		Yes. Partially-screened residential terraces for Level One units and sidewalk.	Yes. Partially-screened residential terraces for Level One unit fronts on Harvard encourage both interaction with sidewalk and security for residents.	Yes. Partially-screened residential terraces for Level One unit fronts on Harvard encourage both interaction with sidewalk and security for residents.
A-7 Residential Open Space	Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.	Incorporate quasi-public open space with new residential development, with special focus on corner landscape treatment and courtyard entries.	Yes. Front yard setback to be developed as secured open space with visual connection to sidewalk.	Yes. Entry courtyard will be created.	Yes. Entry courtyard will be created.



Pertinent Design Guidelines

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
		Create substantial courtyard style open space that is visually accessible to the public view.	Yes. Landscaped entry courtyard will be created.	Same as Scheme A	Same as Scheme A
		Setback development where appropriate to preserve view corridor.	N.A.	N.A.	N.A.
		Set back upper floors to provide solar access to the sidewalk and or neighboring properties.	No.	Yes. Building will be setback from both north and south property lines at center of site.	Yes. Building will be setback from both north and south property lines at center of site.
		Mature street trees have a high value to the neighborhood and departures from a development standard that an arborist determines would impair the health of a mature tree are discouraged.	Yes. There are a number of mature street trees lining this block, but currently no street trees immediately adjacent to the project site. New street trees will be planted	Same as Scheme A	Same as Scheme A
		Use landscape materials that are sustainable, requiring minimal irrigation or fertilizer.	Yes.	Yes	Yes
		Use porous paving to minimize stormwater run-off.	No. Site 100% covered by below-grade parking.	Same as Scheme A	Same as Scheme A
A-8 Parking and Vehicle Access	Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.	Preserve and enhance the pedestrian environment in residential and commercial areas by providing or continuous sidewalks that are encumbered by parked vehicles and are minimally broken within a block of parked vehicular access.	Yes. Garage access is from alley. No vehicle access across sidewalk.	Same as Scheme A	Same as Scheme A
A-9 Location of Parking on Commercial Street Fronts			N.A.	N.A.	N.A.
A-10 Corner Lots	Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from the corners.	Incorporate residential entries and special landscaping into corner lots by setting the structure back from the property lines.	N.A.	N.A.	N.A.
		Provide for a prominent retail corner entry.	N.A.	N.A.	N.A.
B. HEIGHT, BULK AND SCALE					
B-1 Height, Bulk and Scale Compatibility	Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.	Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scaled buildings, in keeping with the established development pattern.	No.	Yes. Building design creates a three-part vertical composition.	Yes. Building design creates a three-part vertical composition.



Pertinent Design Guidelines

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
		Consider existing views to downtown Seattle, Space Needle, Elliot bay and the Olympic Mountains, and incorporate site and building design features that may help preserve those views from the public rights-of-way.	No available views at public right-of-way.	No available views at public right-of-way.	No available views at public right-of-way.
		Design new buildings to maximize the amount of sunshine on adjacent sidewalks throughout the year.			
C. ARCHITECTURAL ELEMENTS AND MATERIALS					
C-1 Architectural Context	New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.		Yes. Setback of proposed building approximates the setback of the wood apartment building to the south	Yes. Proposed building maintains continuity of building line along Harvard of neighboring apartment building to the north.	Yes. Proposed building maintains continuity of building line along Harvard of neighboring apartment building to the north.
C-2 Architectural Concept and Consistency	Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.	Incorporate signage that is consistent with the existing or intended or intended character of the building and the neighborhood.	Yes. No commercial space in building, so no significant signage. This is consistent with neighboring buildings.	Same as Scheme A	Same as Scheme A
		Solid canopies or fabric awnings or the sidewalk are preferred.	N.A.	N.A.	N.A.
		Avoid using vinyl awnings that also serve as big illuminated signs.	N.A.	N.A.	N.A.
		Use materials and design that is compatible with structures in the vicinity if those represent the desired neighborhood character.	Yes. Proposed project will combination of brick masonry and painted siding.	Same as Scheme A	Same as Scheme A
C-3 Human Scale	The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.	Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the buildings architecture.	No. Building entry set back from street.	Yes. Building entry framed in entry courtyard.	Yes. Building entry framed in entry courtyard, flanked by private residential terraces.
		Improve and support pedestrian-orientation by using components such as: non-reflective storefront windows and transoms; pedestrian scaled awnings; architectural detailing on the first floor; and detailing on the roof line.	Yes. Pedestrian-scaled detailing will be incorporated at residential entry and at roof line.	Same as Scheme A	Same as Scheme A



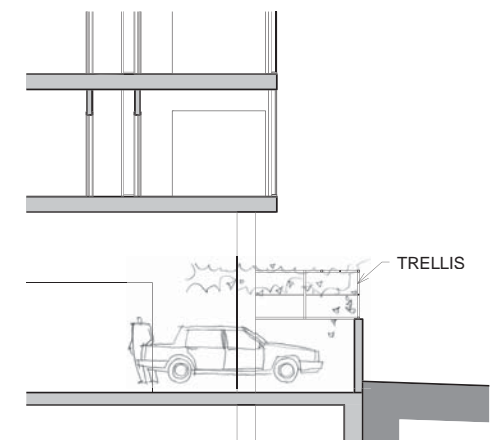
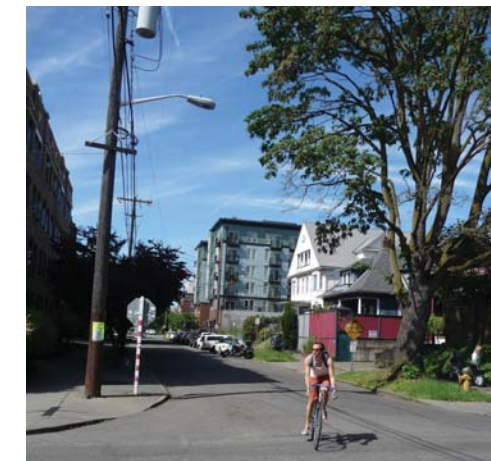
Pertinent Design Guidelines

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
C-4 Exterior Finish Materials	Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.	Use wood shingles or board and batten on residential structures.	No. Proposed project will incorporate brick masonry on street-fronting façade.	Same as Scheme A	Same as Scheme A
		Avoid wood and metal siding on commercial structures.	N.A. No commercial space in building.	Same as Scheme A	Same as Scheme A
		Provide operable windows especially on storefronts.	Yes. Operable residential windows on every floor.	Same as Scheme A	Same as Scheme A
		Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.	Yes. Proposed project will combination of brick masonry and painted siding.	Same as Scheme A	Same as Scheme A
		Consider each building as a high-quality, long term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to Capitol Hill.	Yes. A durable, high-quality building is a primary goal of this project.	Same as Scheme A	Same as Scheme A
		The use of applied foam ornamentation EIFS (Exterior Insulation and Finnish System) is discouraged, especially on level locations.	Yes. No EIFS is planned for this building.	Same as Scheme A	Same as Scheme A
C-5 Structured Parking Entrances	The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.		Yes. Parking entrance will be from alley.	Same as Scheme A	Same as Scheme A
D. PEDESTRIAN ENVIRONMENT					
D-1 Pedestrian Open Space and Entrances	Convenient and attractive access to the building's entry should be provided. The ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open spaces should be considered.	Provide Entryways that link the building to the surrounding landscape.	Yes. Landscapes front yard will be provided between sidewalk and building entry.	Same as Scheme A	Same as Scheme A
		Create open spaces at street level at street level that link the open space to the sidewalk.	Yes. Landscapes front yard will be provided between sidewalk and building entry.	Same as Scheme A	Same as Scheme A
		Building entrances should emphasis pedestrian ingress and egress as opposed to accommodating vehicles.	Yes. Parking entrance will be from alley.	Yes. Parking entrance will be from alley.	Yes. Parking entrance will be from alley.



Pertinent Design Guidelines

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
		Minimize the number of residential entrances on commercial streets where non-residential uses are required. Where residential entries and lobbies on commercial streets are unavoidable, minimize their impact to the retail vitality commercial streetscape.	Yes. This block of Harvard is primarily residential. No commercial space is provided in proposed building.	Same as Scheme A	Same as Scheme A
D-2 Blank Walls and D-3 Retaining Walls	Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest. Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where high retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscape.		Yes. No blank walls or large retaining walls proposed facing street.	Same as Scheme A	Same as Scheme A
D-5 Visual Impacts of Parking Structures	The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.		Yes. Parking garage oriented to alley. Several at-grade parking spaces proposed at alley level will be screened with architectural wall and trellis.	Same as Scheme A	Same as Scheme A
D-6 Screening of Dumpsters, Utilities and Service Areas	Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When it is not possible to locate these elements away from the street front, they should be screened from view using high-quality and compatible materials and should not be located in the pedestrian right-of-way.	Consolidate and screen dumpsters to preserve and enhance the pedestrian environment.	Yes. Dumpsters will be enclosed within the building.	Same as Scheme A	Same as Scheme A
D-7 Personal Safety and Security	Project design should consider opportunities for enhancing personal safety and security in the environment under review.	Consider pedestrian scale lighting but prevent spillover onto adjacent properties.	Yes	Yes	Yes
		Consider architectural lighting to compliment the architecture of the structure.	Yes	Yes	Yes
		Consider transparent windows allowing views into and out of the structure—thus incorporating the “eyes on the street” design approach.	Yes. Windows at Level One units will be oriented toward street.	Same as Scheme A	Same as Scheme A

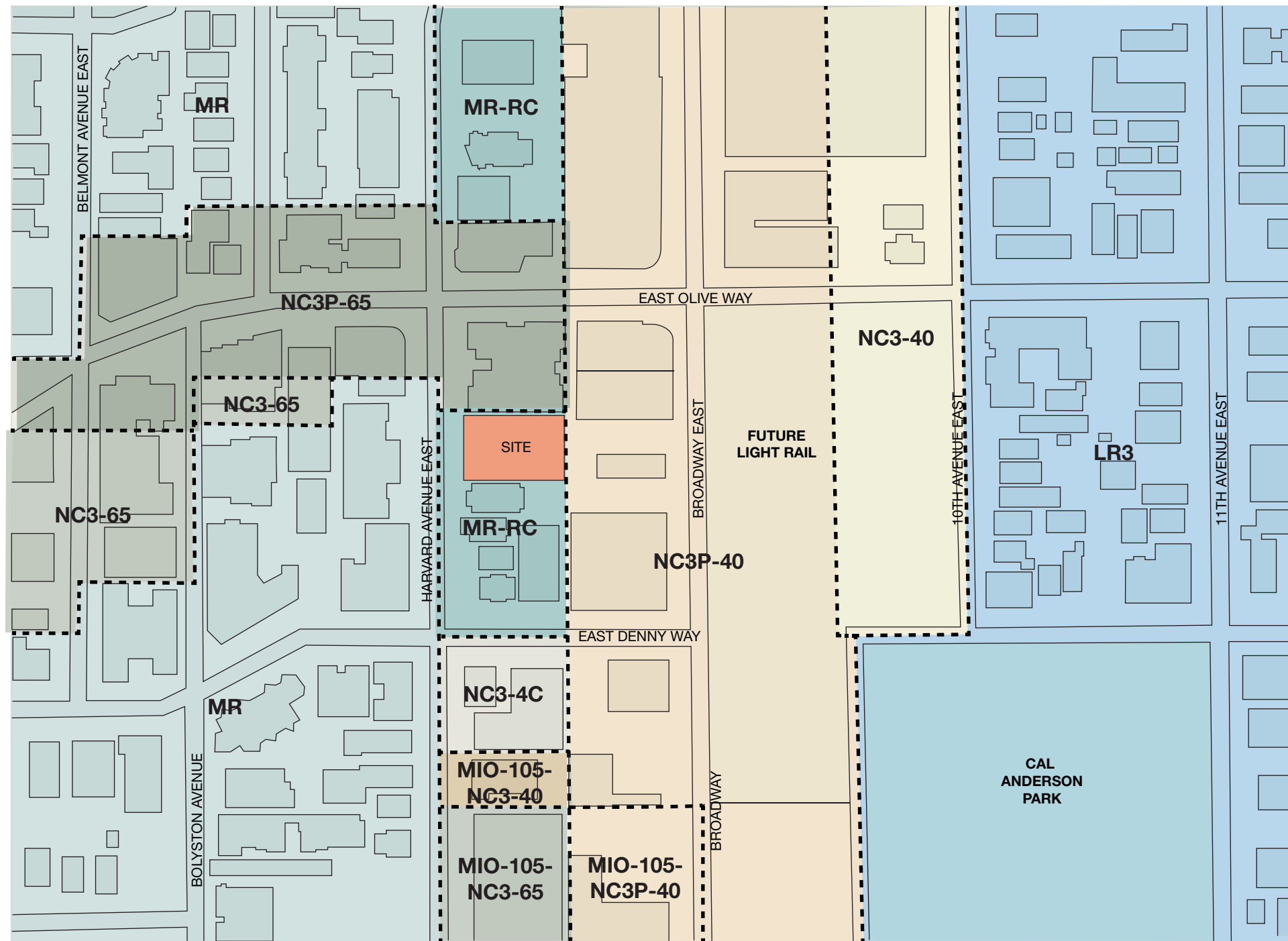


Pertinent Design Guidelines

TITLE	MULTIFAMILY GUIDELINES	CAPITO HILL - SPECIFIC SUPPLEMENTAL GUIDANCE	SCHEME A	SCHEME B	SCHEME C
		Provide a clear distinction between pedestrian traffic areas through the use of different paving materials and colors landscaping, etc.	N.A. No commercial traffic areas on project site.	Same as Scheme A	Same as Scheme A
E. LANDSCAPING					
E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites	Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.		Yes.	Yes.	Yes.
E-2 Landscaping to Enhance the Building and/or Site	Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.		Yes.	Yes.	Yes.
E-3	Landscape Design to Address Special Site Conditions	The landscape design should take advantage of special on-site conditions such as high-bank front yards.	Maintain or enhance the character and aesthetic qualities of that neighborhood development to provide for consistent streetscape character. along the corridor	Yes.	Yes.
		Supplement and complement existing mature street trees where feasible.	Yes.	Yes.	Yes.
		Incorporate street trees in both commercial and residential environment in addition to trees onsite.	Yes.	Yes.	Yes.
		Commercial landscape treatments that include street trees.	N.A. No commercial space in building.	Same as Scheme A	Same as Scheme A



Pertinent Design Guidelines



Zoning Map



Existing Uses

- 1** The Heights on Capitol Hill West
Desert Sun Tanning Salon
Blue Bistro's Grotto
- 2** Residence
- 3** Residence
- 4** Residence
- 5** Residence
- 6** Apartment Building
- 7** The Heights on Capitol Hill East
US Bank
Liberty Tax Service
Crazy Berry
Antique Cycle Northwest
- 8** 127 Broadway
- 9** Dick's Drive-In Restaurant
- 10** Commercial
Happy mart
Perfect Copy and Print
Broadway Boutique
- 11** US Post Office
- 12** All Seasons Cleaners
- 13** Rite Aid Pharmacy
Trendy Wendy
Mirch Masala
Massai
Charlie's Bar & Grill
Americana
Broadway Smoke Shop
Hana Sushi Bar
Kimchi Bistro
Ha Na Restaurant
Studio 229
Metro Clothing
Beads
Jai Thai
- 14** The Capitol Building
American Apperal
India Imports
Subway
Castle
Highline Bar
- 15** 230 Broadway
- 16** Harvard Crest Apartments

- 17** Ramayana Apartment
- 18** La Salle Apartments
- 19** Pantages House
- 20** Pantages Apartments
- 21** Capitol Crest Apartme
Peet's Coffee & Tea
Ace Barber Shop
Annapurna Cafe
- 22** Harvard Avenue Scho
Online Cafe
- 23** Benjamin F. Mcadoo E
TESL

Tree Survey

- A** Cherry
- B** Maple
- C** Birch
- D** Ash
- E** Sweetgum
- F** Oak
- G** Apple
- H** Cedar
- I** Locust
- J** Tulip
- K** Plum

- Transit routes
- ▲ Bus Stops

Existing Uses/Site Context



The Heights on Capitol Hill West

Apartment Building Residence Residence Residence



East Olive Way

PROJECT SITE

East Denny Way

HARVARD AVENUE LOOKING EAST

La Salle Apartments

Ramayana Apartments

Harvard Crest Apartments



East Denny Way

East Olive Way

HARVARD AVENUE LOOKING WEST

Harvard Avenue East Streetscape

The Heights on Capitol Hill East



Harvard Avenue
ON SITE LOOKING NORTH

Alley



Alley
ON SITE LOOKING SOUTH

Harvard Avenue

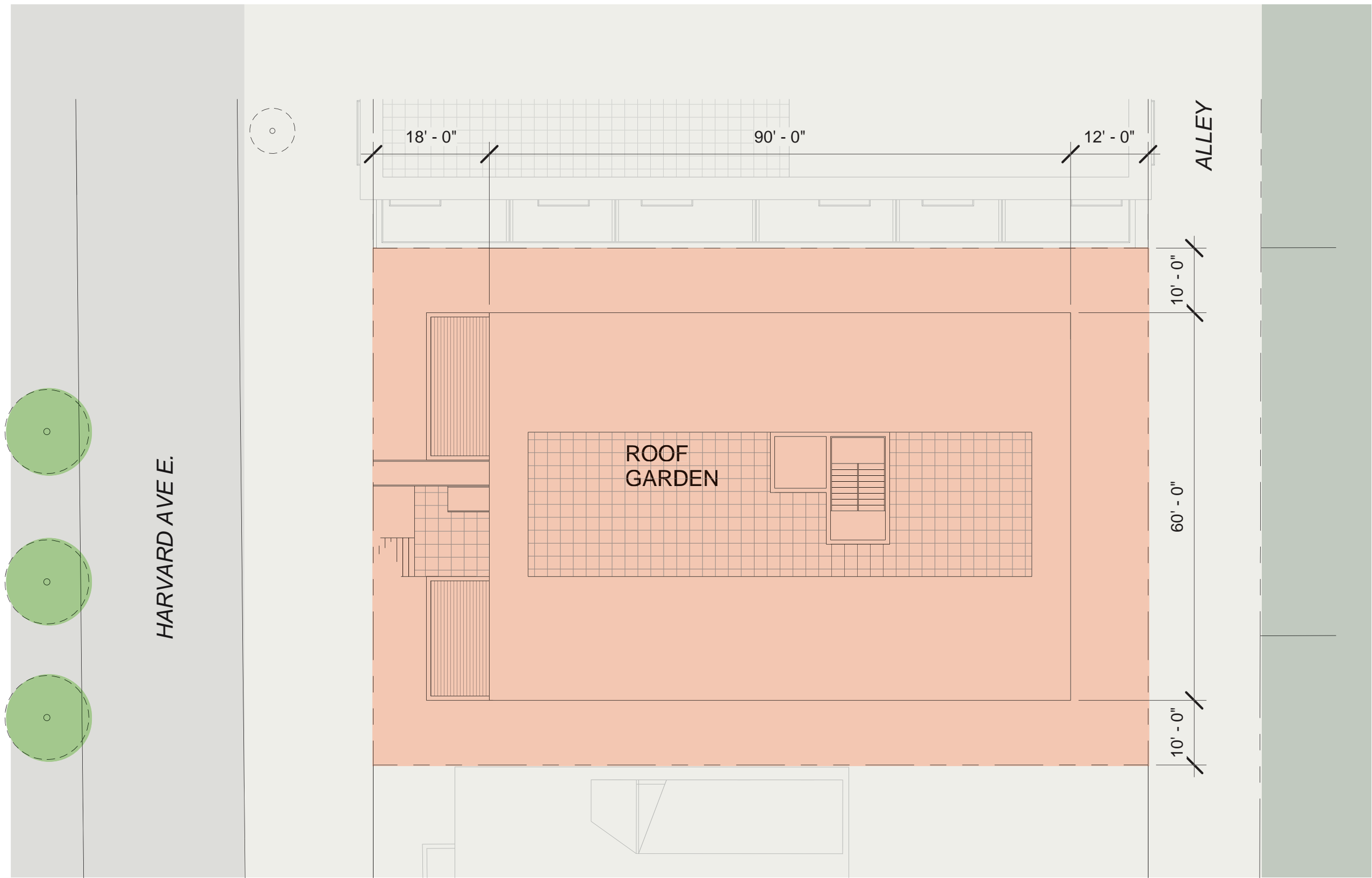
Adjacent Buildings



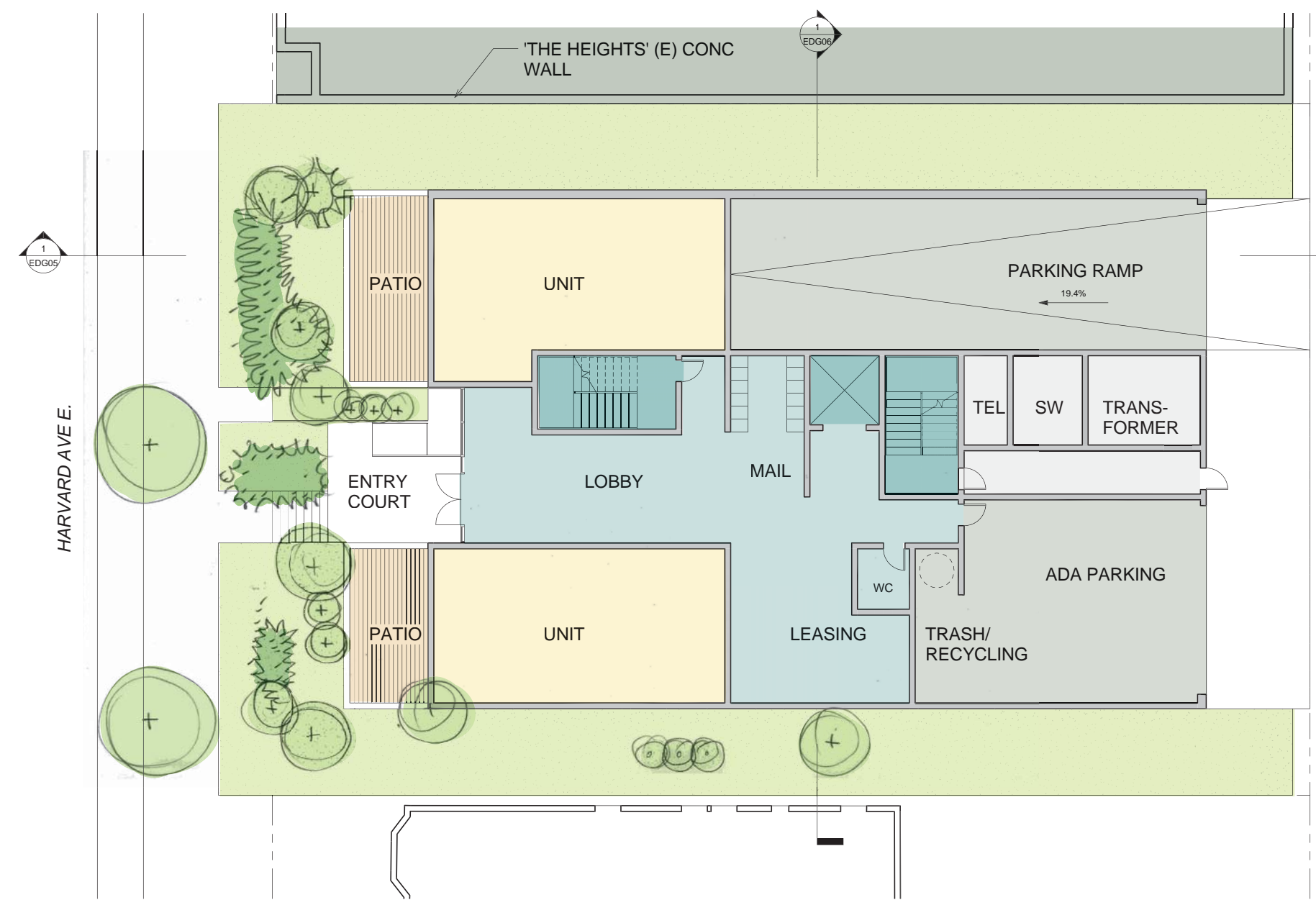
SUMMARY

- Concept A represents a literal rendering of the height and setback constraints of the MR zone on this site. The building is set back from Harvard Avenue.
- West building facade does not align with or relate to the neighboring apartment buildings on Harvard Avenue.
- East building façade does not align with or relate to the neighboring apartment buildings on the alley.
- The residential units in the center of the building look directly into residential units in the adjacent apartment buildings to the north and south of subject site.
- Concept A uses the Affordable House Incentive Program, per SMC 23.58A.013 and 23.45.516.
- Affordable Housing Incentive Program allows an increase in the allowable FAR from a Base FAR of 3.2 to a Maximum FAR of 4.25. (SMC 23.45.510, Table B).
- Project will seek a Built Green 4-Star rating, a condition for gaining the Affordable Housing bonus.
- Affordable Housing Incentive Program allows an increase in the allowable height from a base height limit of 60 feet to a maximum height limit of 75 feet (SMC 23.45.514, Table B).
- Common amenity areas will be located in the front setback and at a roof-top garden terrace.

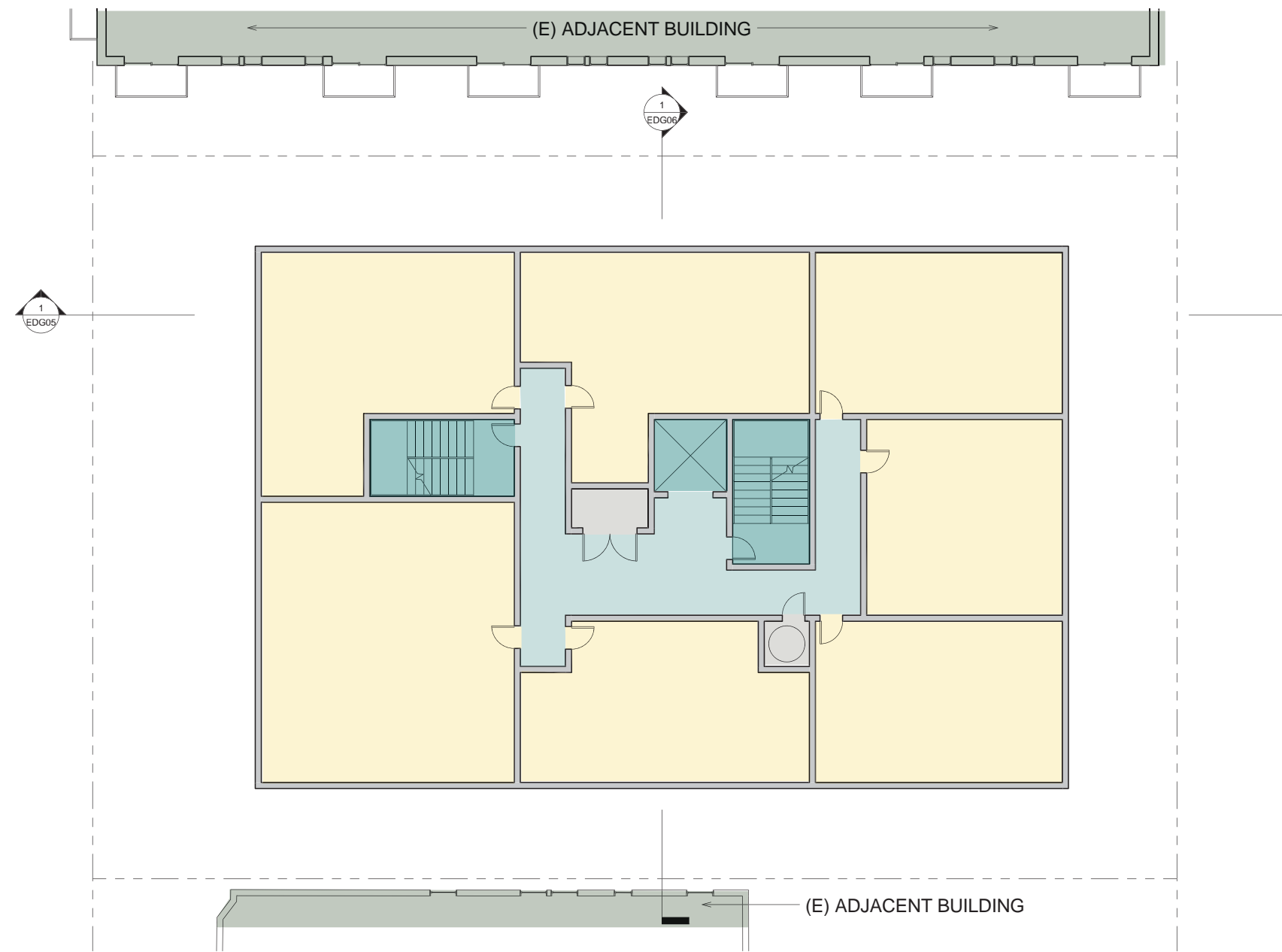
Concept A



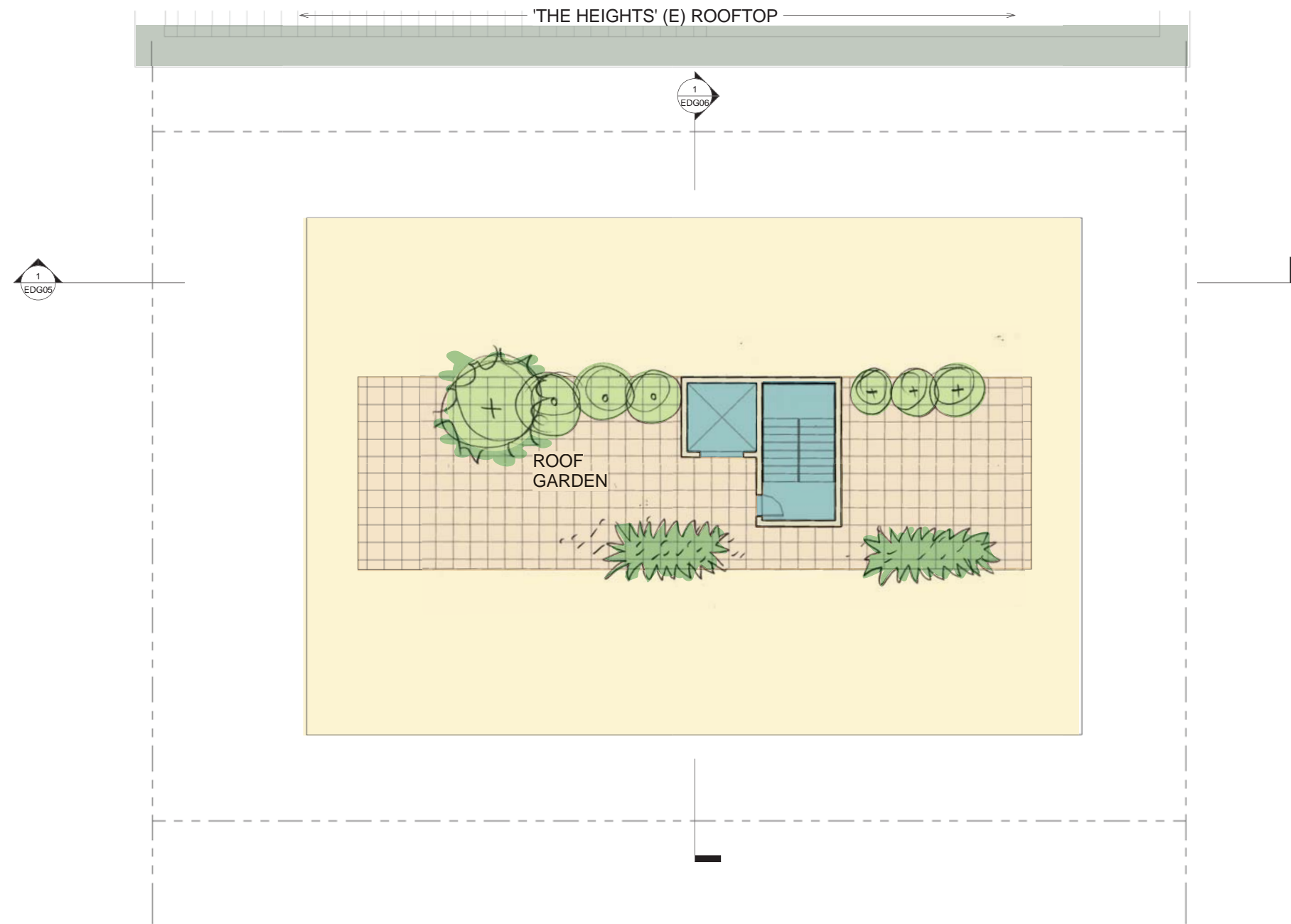
Concept A – Site Plan



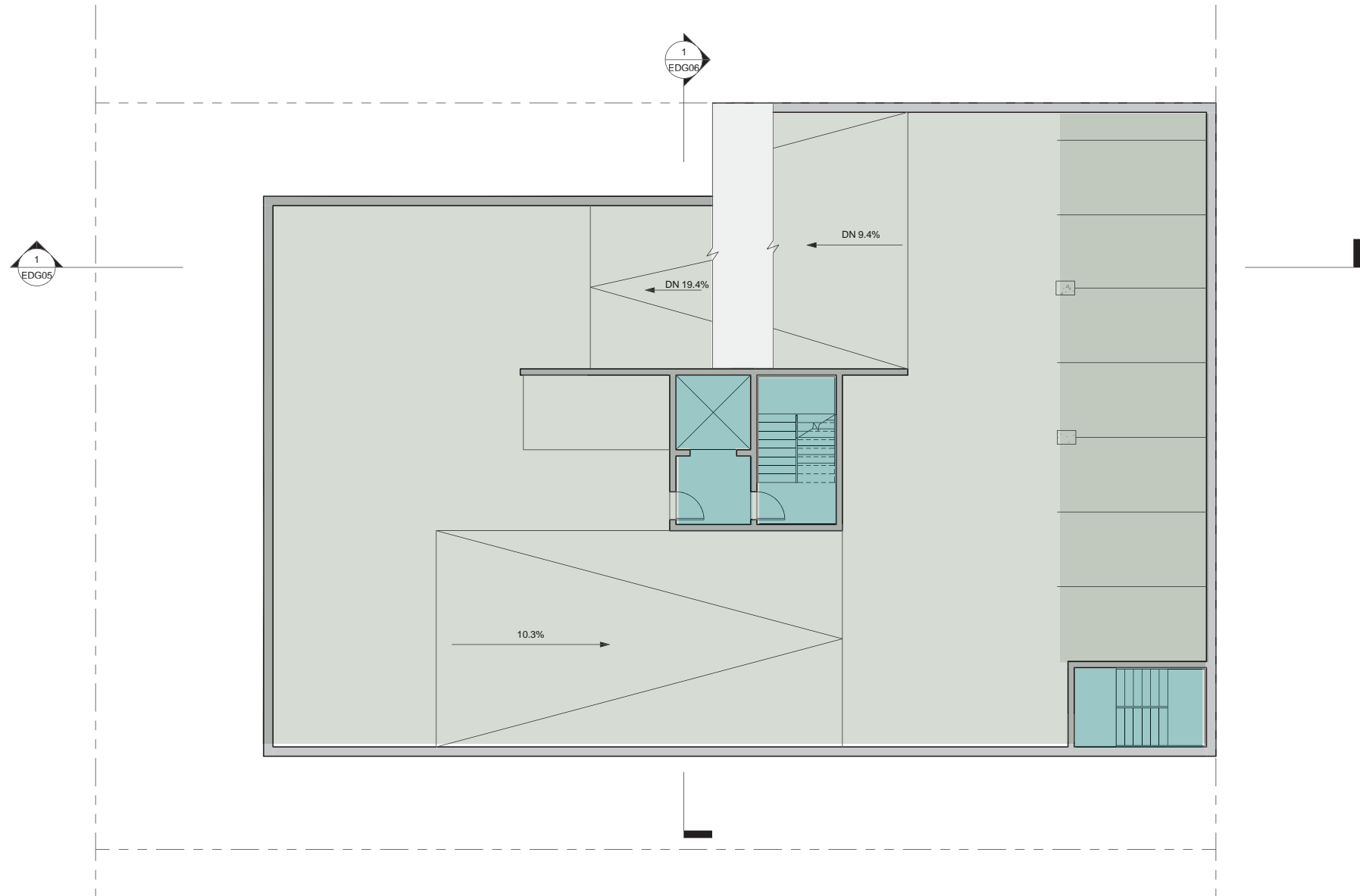
Concept A – Grade Level Plan



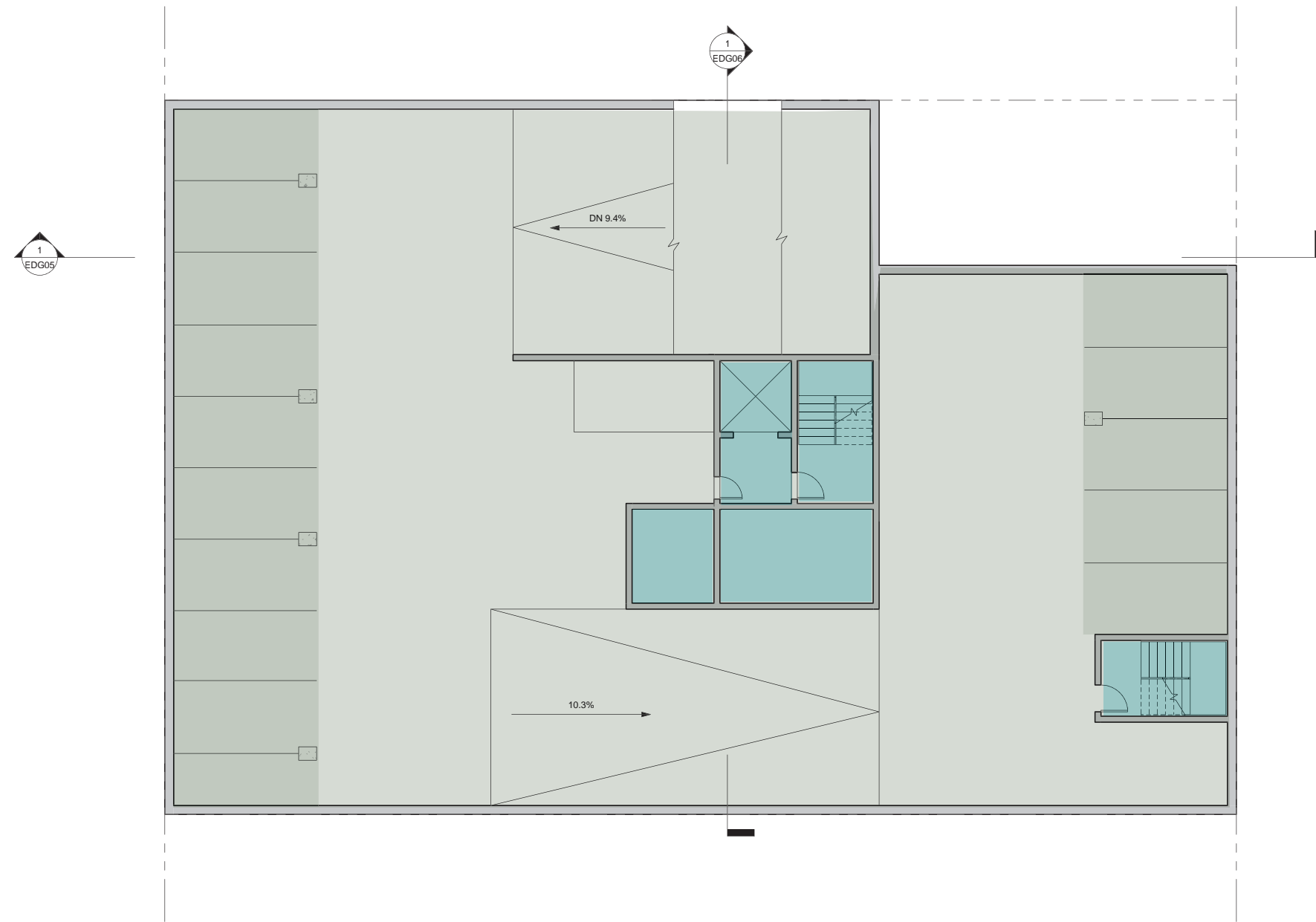
Concept A – Typical Residential Level



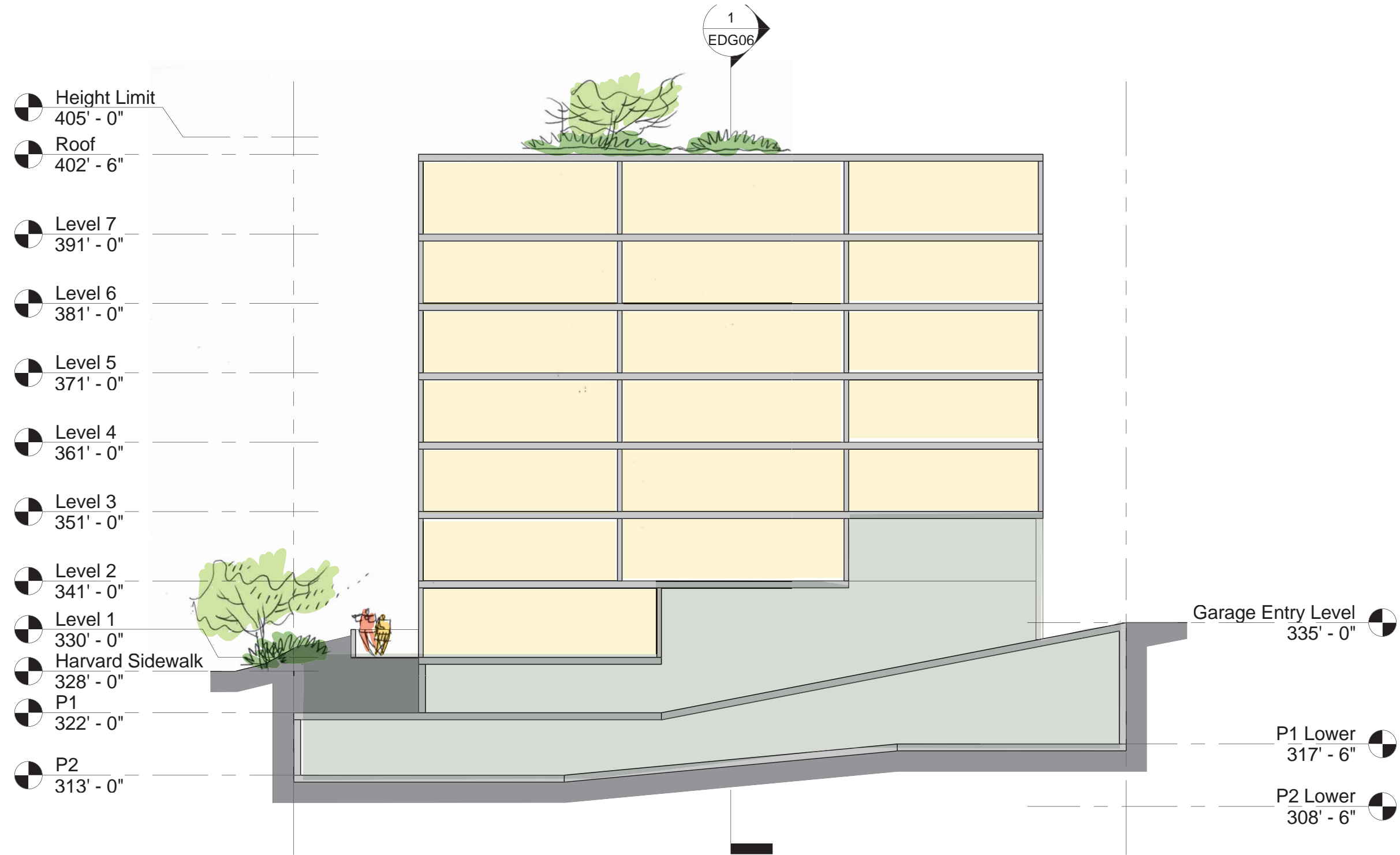
Concept A – Roof Level



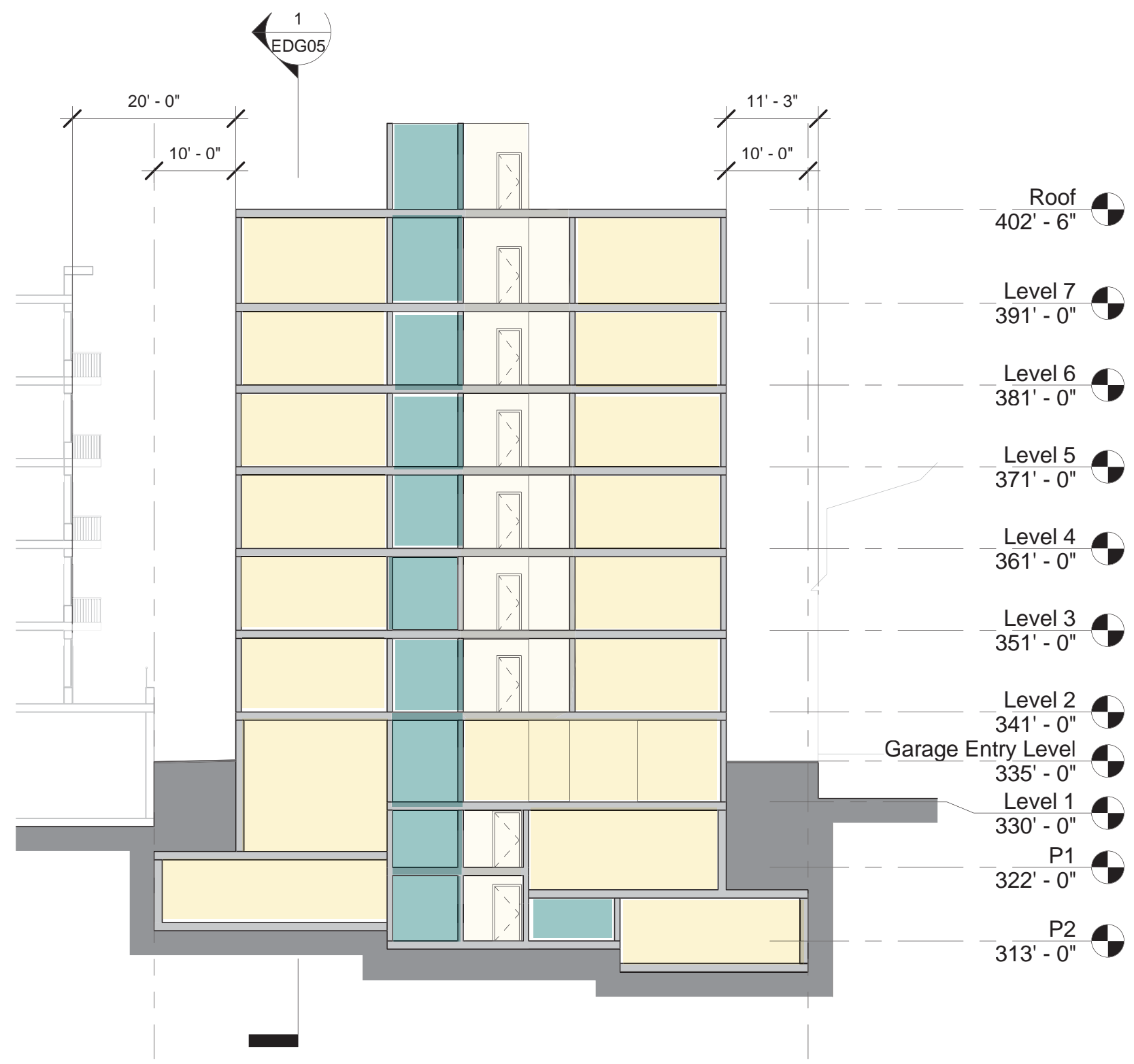
Concept A - Level P1



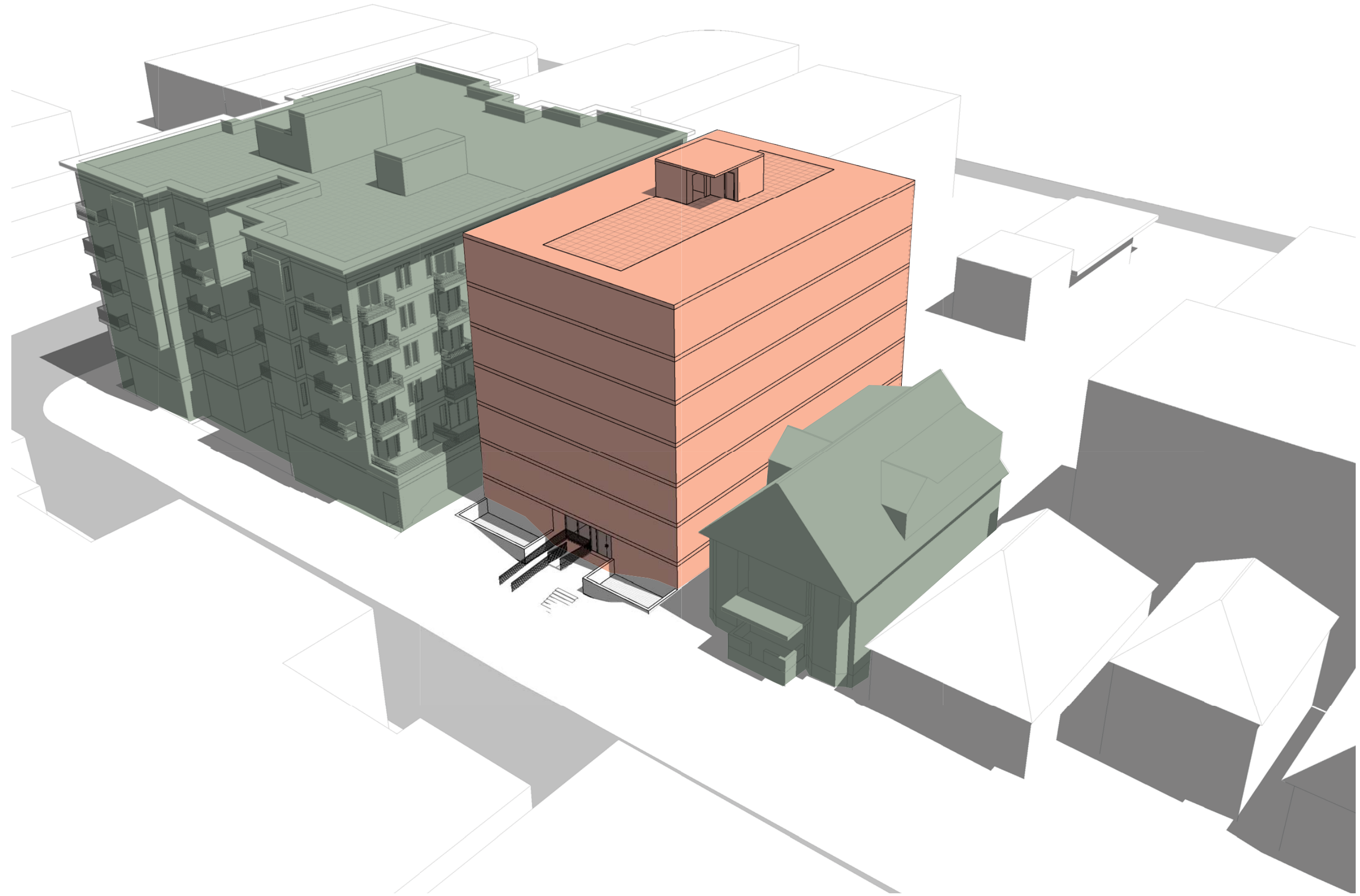
Concept A – Level P2



Concept A – Longitudinal Section 1



Concept A – Transverse Section 2



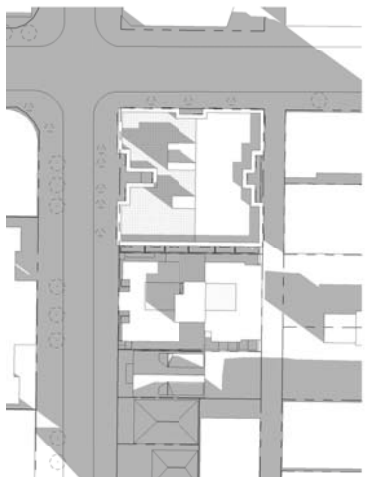
Concept A – Aerial View



Concept A – Perspective View from Harvard Avenue East



Concept A – Perspective View from Broadway East



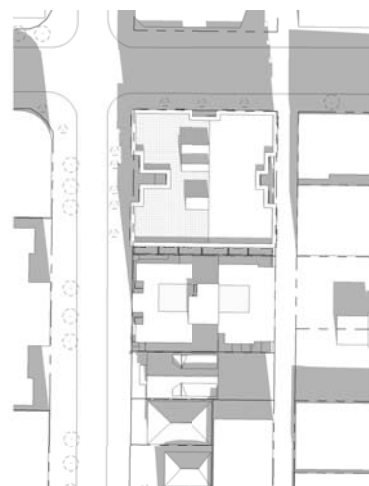
March 9AM



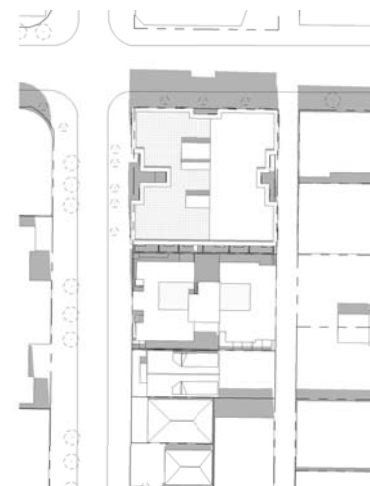
June 9AM



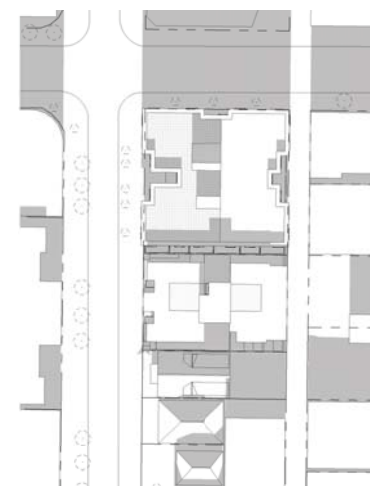
Dec 9AM



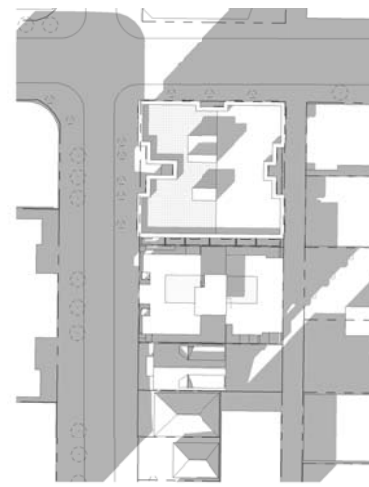
March 12PM



June 12PM



Dec 12PM



March 3PM



June 3PM



Dec 3PM

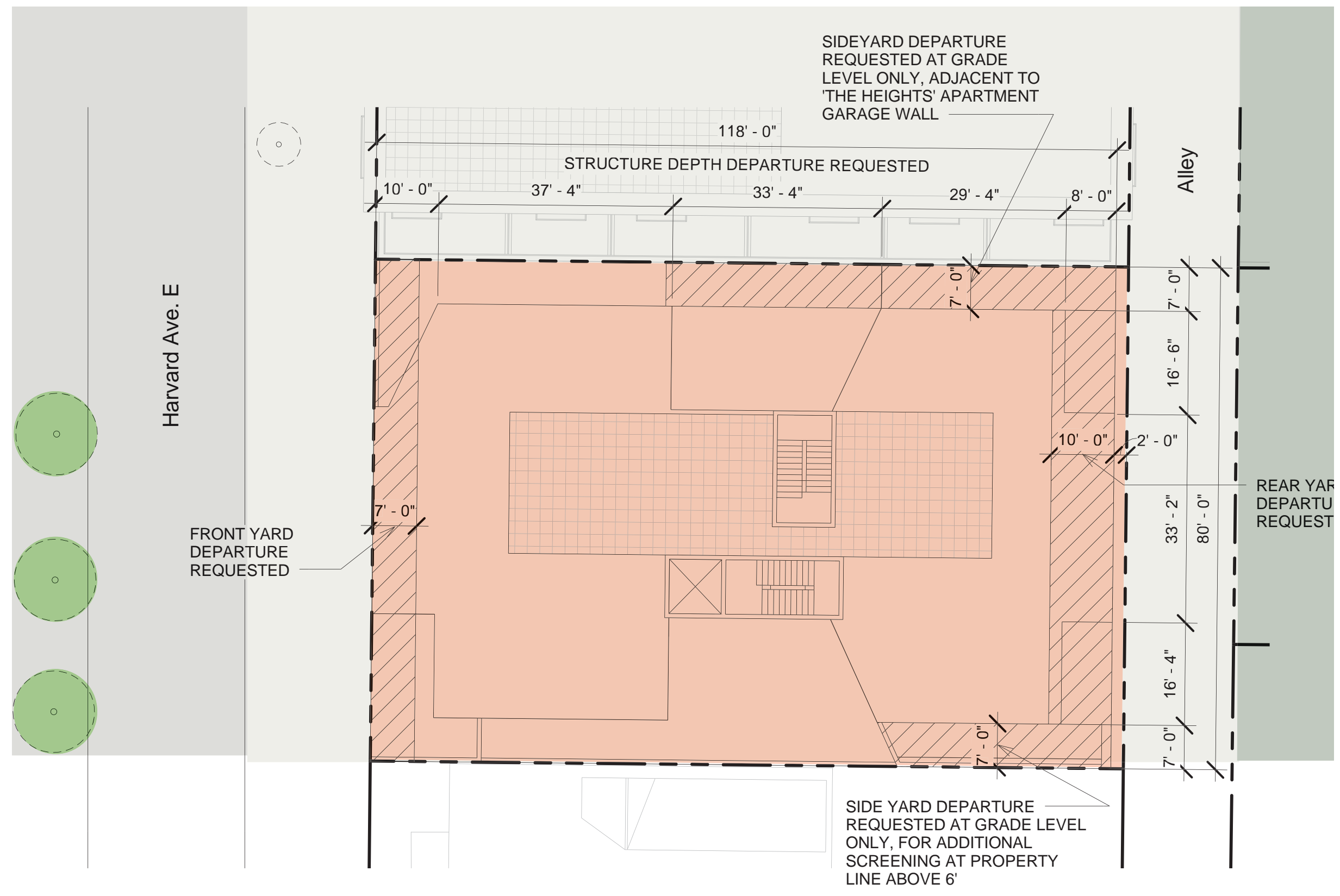
Concept A – Shadow Studies



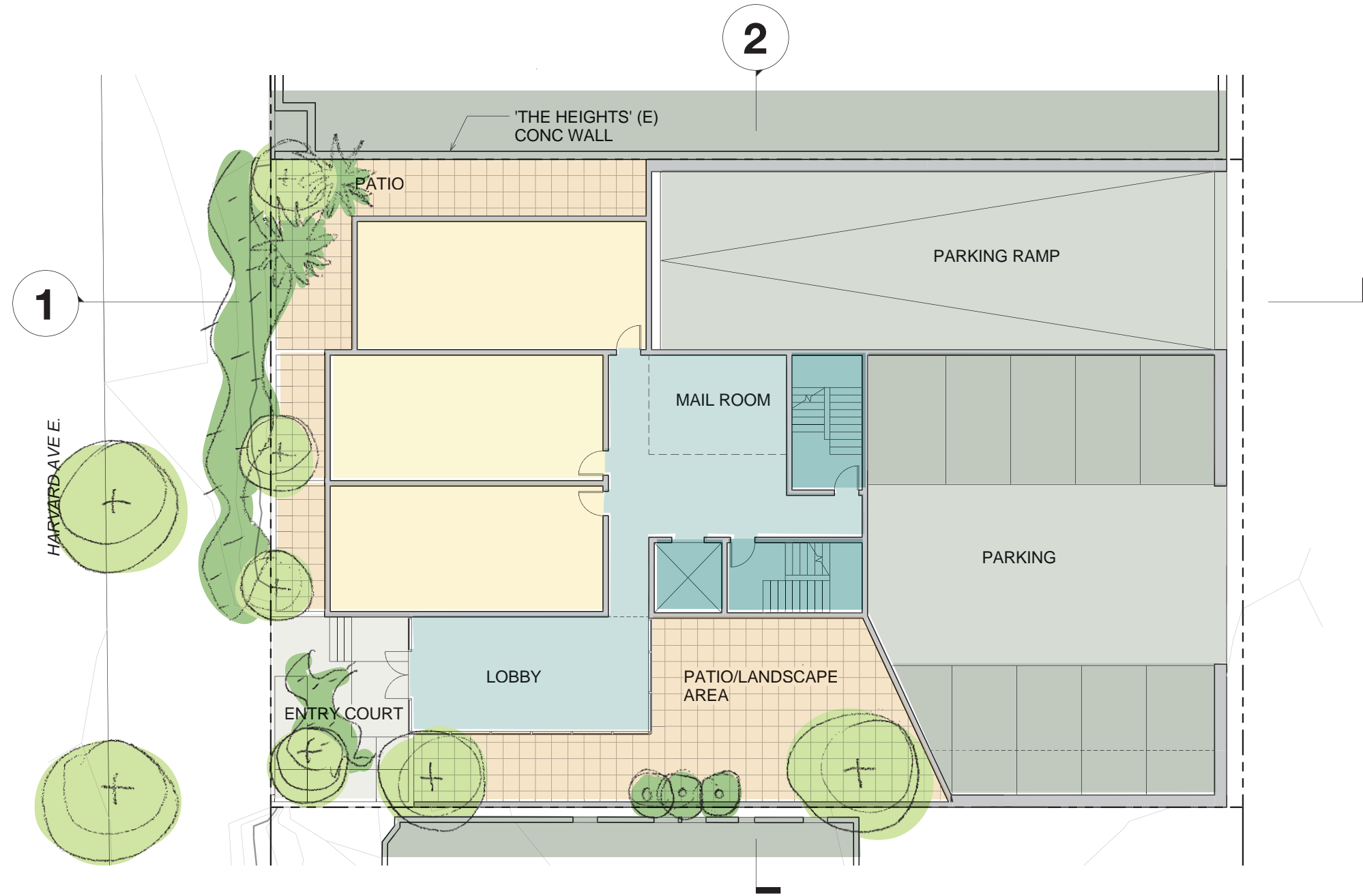
SUMMARY

- Concept B uses the Affordable Housing Incentive Program, per SMC 23.58A.013 and 23.45.516.
- Affordable Housing Incentive Program allows an increase in the allowable FAR from a Base FAR of 3.2 to a Maximum FAR of 4.25. (SMC 23.45.510, Table B).
- Project will seek a Built Green 4-Star rating, a condition of gaining the Affordable Housing bonus.
- Affordable Housing Incentive Program allows an increase in the allowable height from a base height limit of 60 feet to a maximum height limit of 75 feet (SMC 23.45.514, Table B).
- Proposed building extends the length of the property, from front to rear property lines (departures required).
- Extending the building length allows for the creation of significant open space in the center of the site, on both the north and south property lines. This creates an amenity for the residents of the subject project, and also better sun access and views for the two neighboring apartment buildings.
- The proposed building configuration allows for all residential units to have all living space windows oriented toward Harvard Avenue, the alley, or the one of the interior courtyards.
- Concept B has an entry courtyard on Harvard Avenue located adjacent to the south property line.
- The residential units facing Harvard Avenue on Level One will have a floor elevation approximately 2 feet higher than the adjacent sidewalk. We proposed to maintain/recreate the existing landscaped berm that is within the Right-Of-Way, reinforcing the residential character of this block of Harvard Avenue. The street facing units will have private terraces adjacent to the Right-Of-Way. The elevation change and the landscape buffer will allow a sense of openness and connection to the street for the Level One units, while maintaining a degree of privacy and defensible space for the residents.
- Due to the low scale of Dick's Drive-in across the alley to the east, the east (alley) elevation of the proposed building will be visible from Broadway. The alley elevation will be treated architecturally with the same level of importance and similar detailing as the Harvard Avenue elevation.
- Common amenity areas will be located in the two center courtyards and at a roof-top garden terrace.

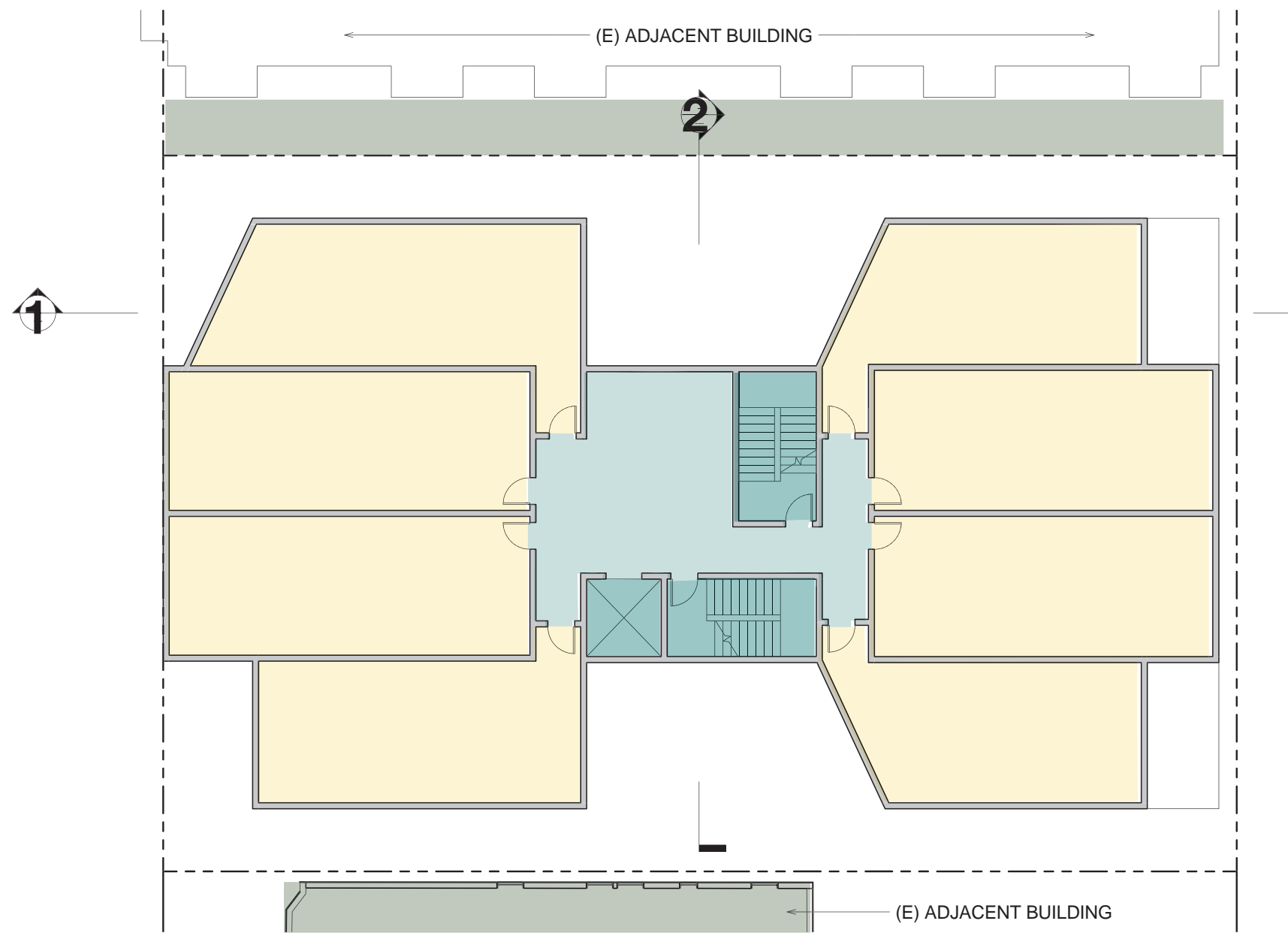
Concept B – Site Analysis



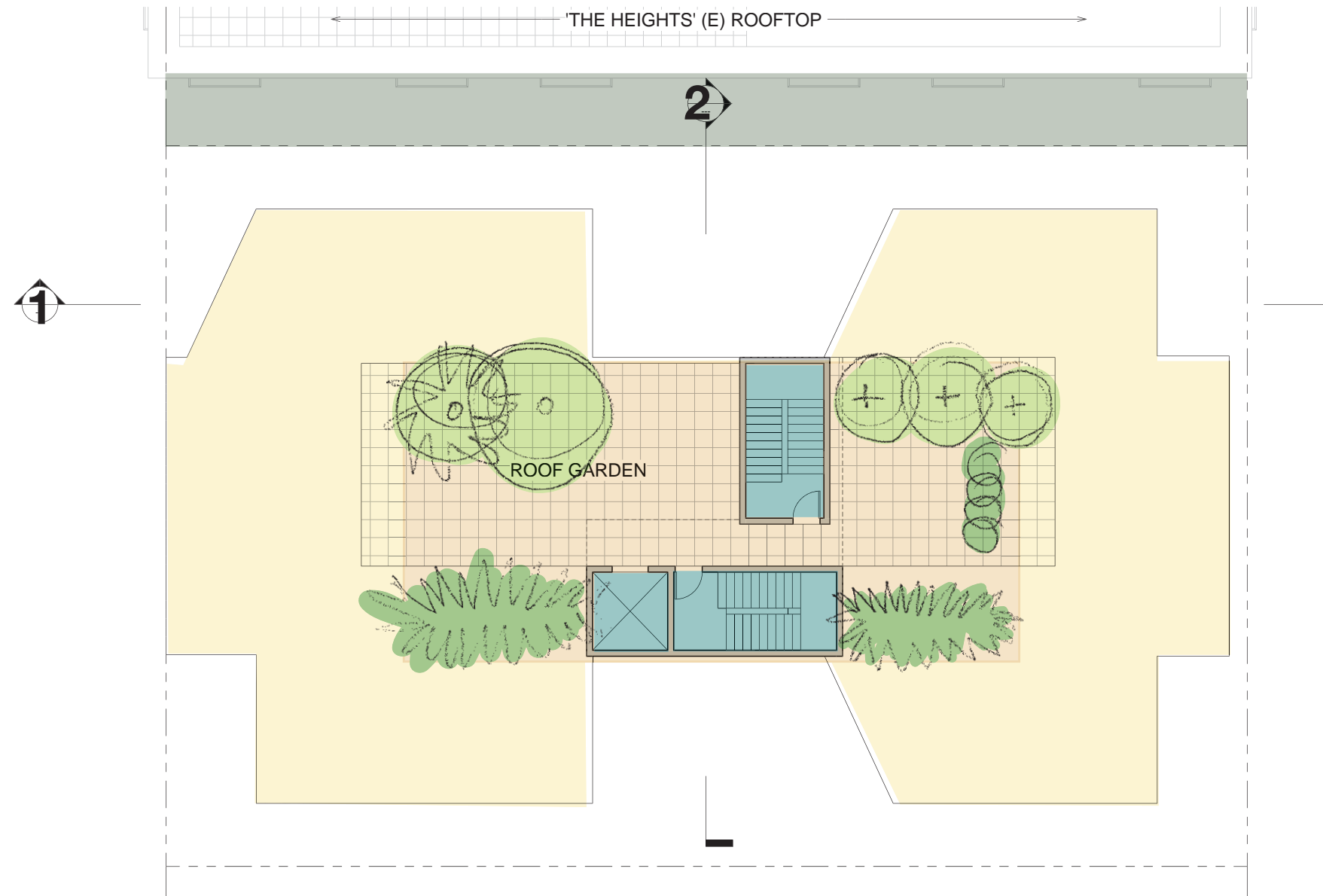
Concept B – Site Plan



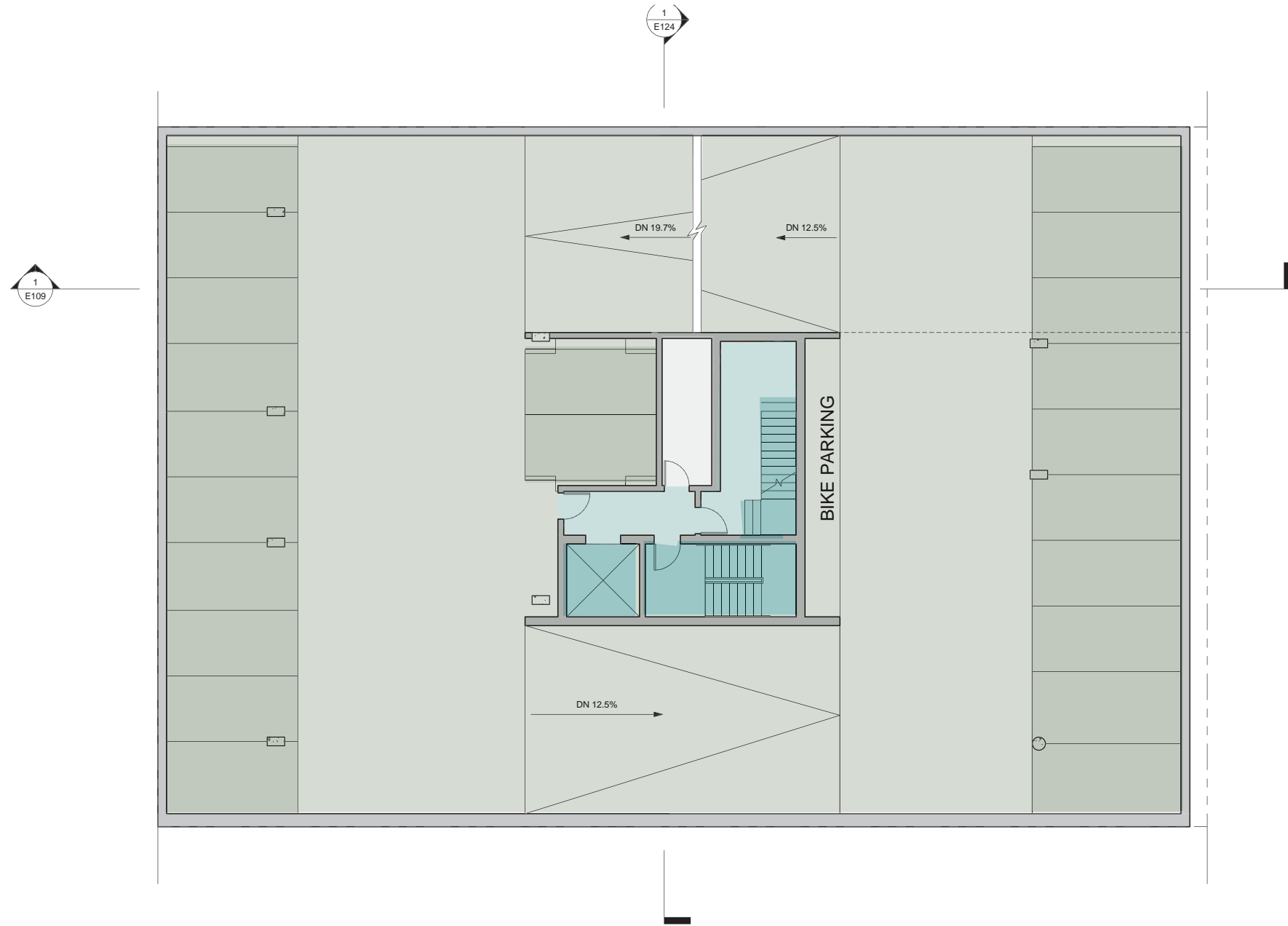
Concept B – Grade Level Plan



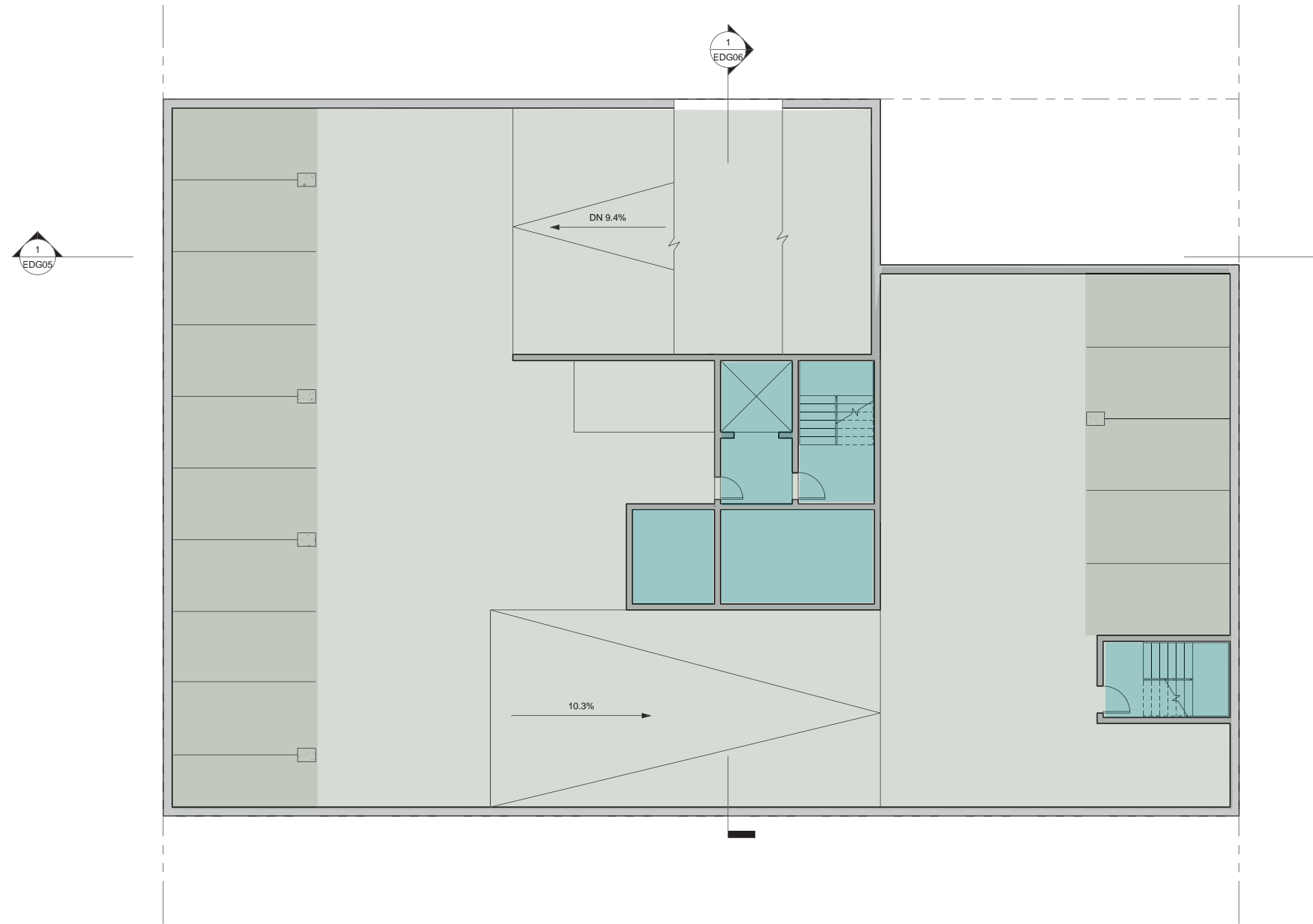
Concept B – Typical Residential Level



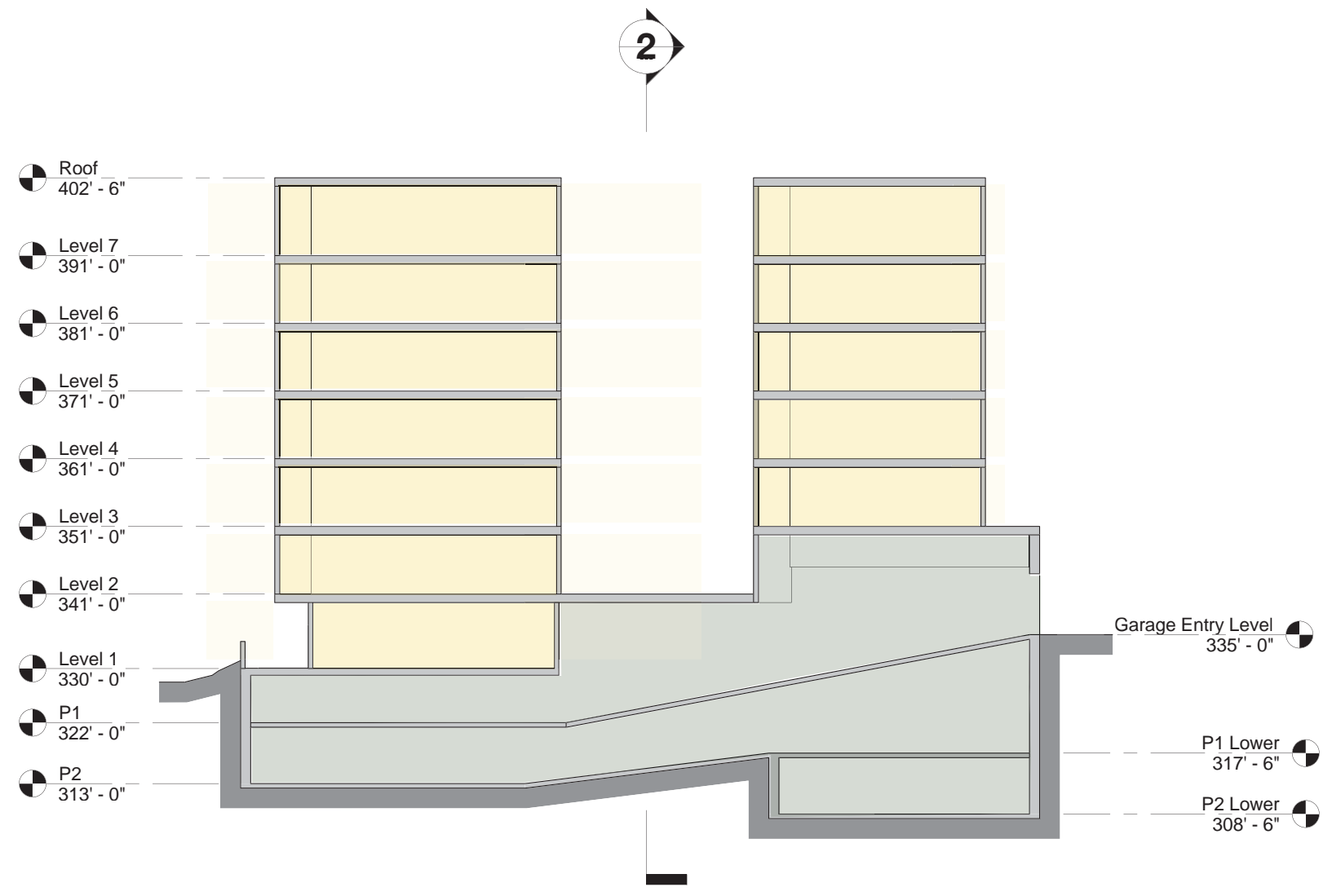
Concept B – Roof Level



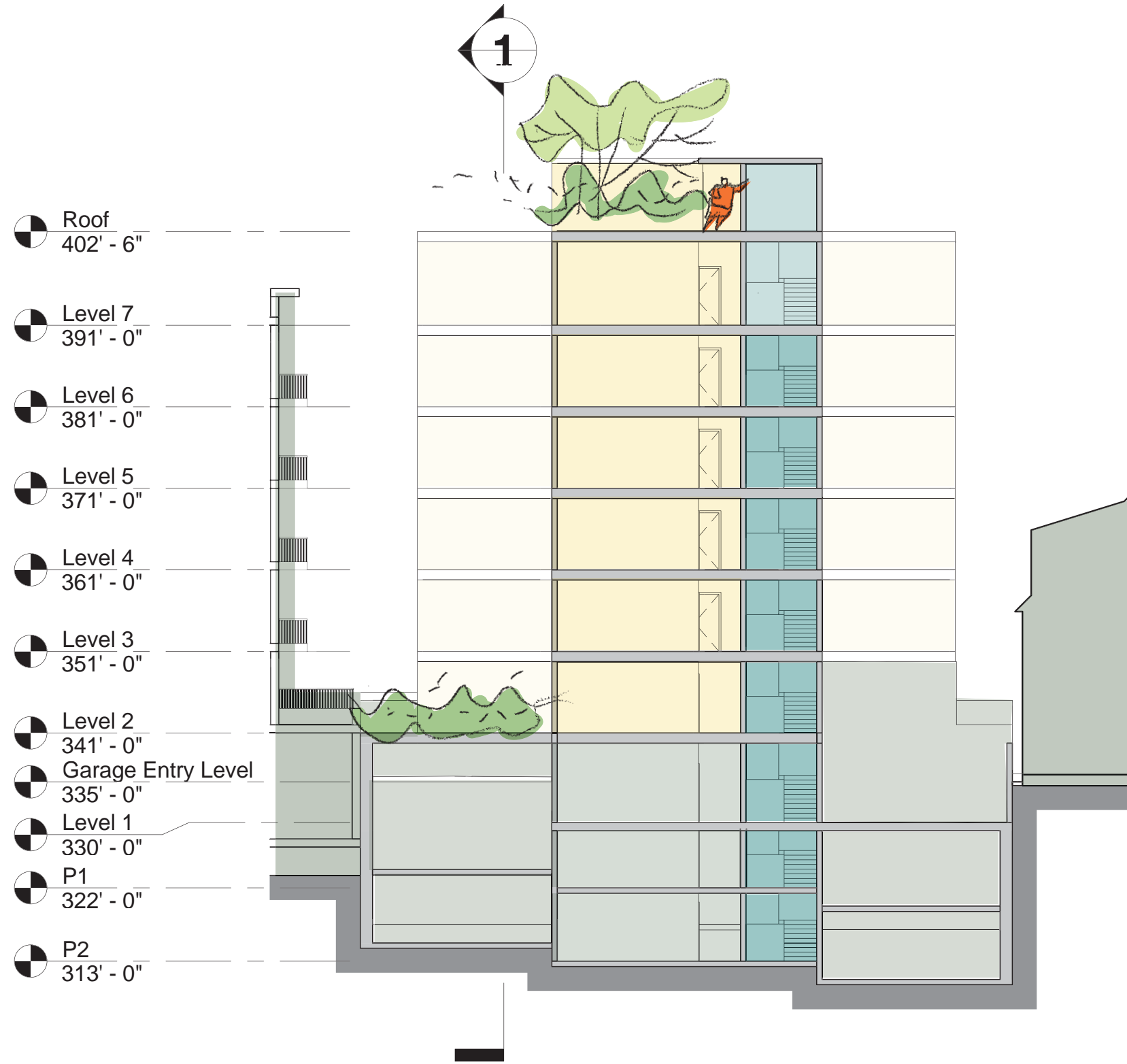
Preferred Concept B – Level P1



Preferred Concept B – Level P2

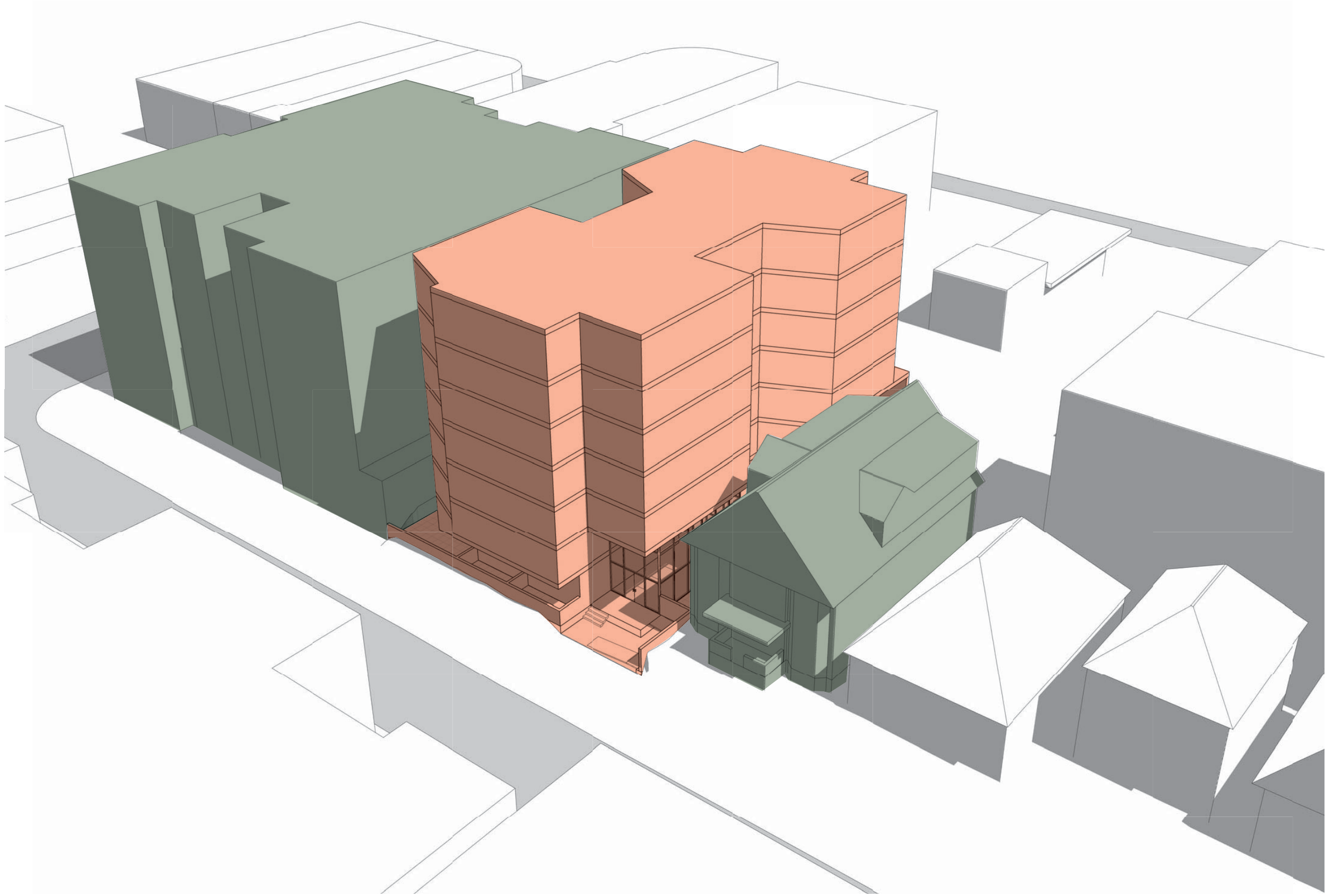


Concept B – Longitudinal Section 1



Concept B – Transverse Section 2





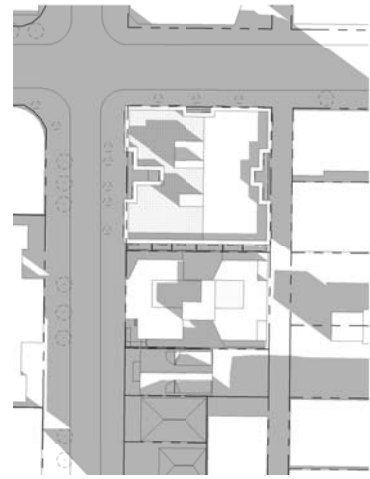
Concept B – Aerial View



Concept B – Perspective View from Harvard Avenue East



Concept B – Perspective View from Broadway East



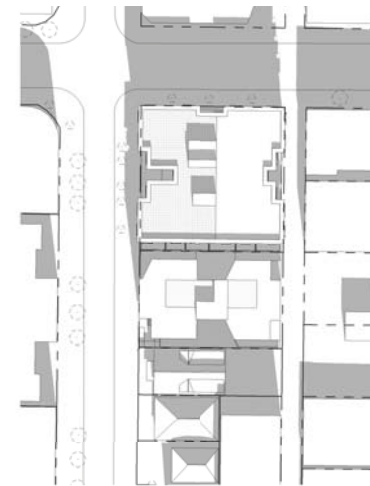
March 9AM



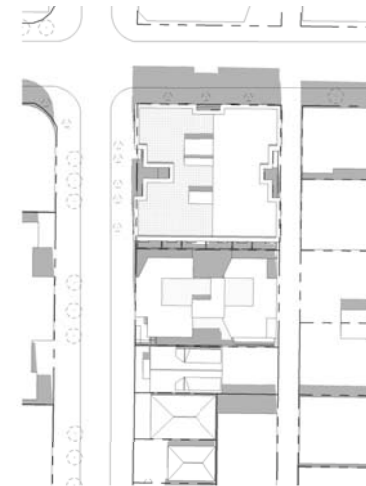
June 9AM



Dec 9AM



March 12PM



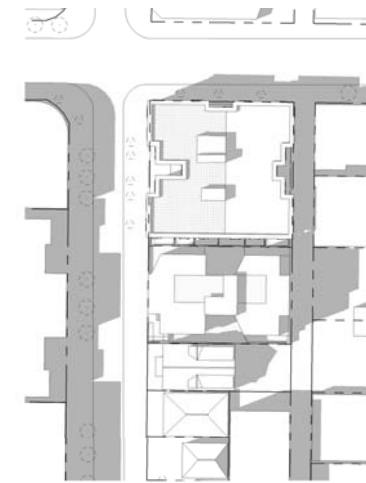
June 12PM



Dec 12PM



March 3PM



June 3PM



Dec 3PM

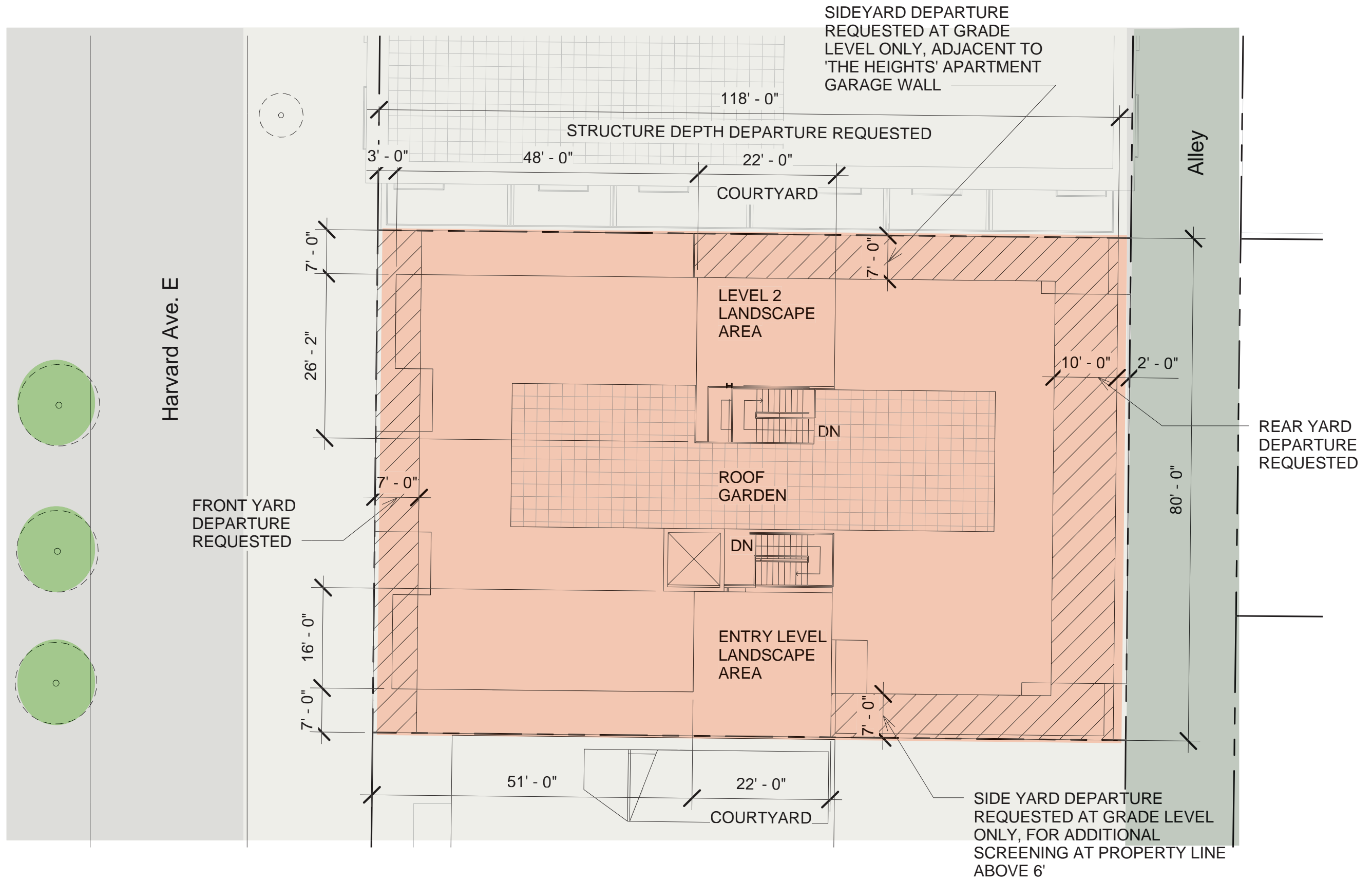
Preferred Concept B – Shadow Studies



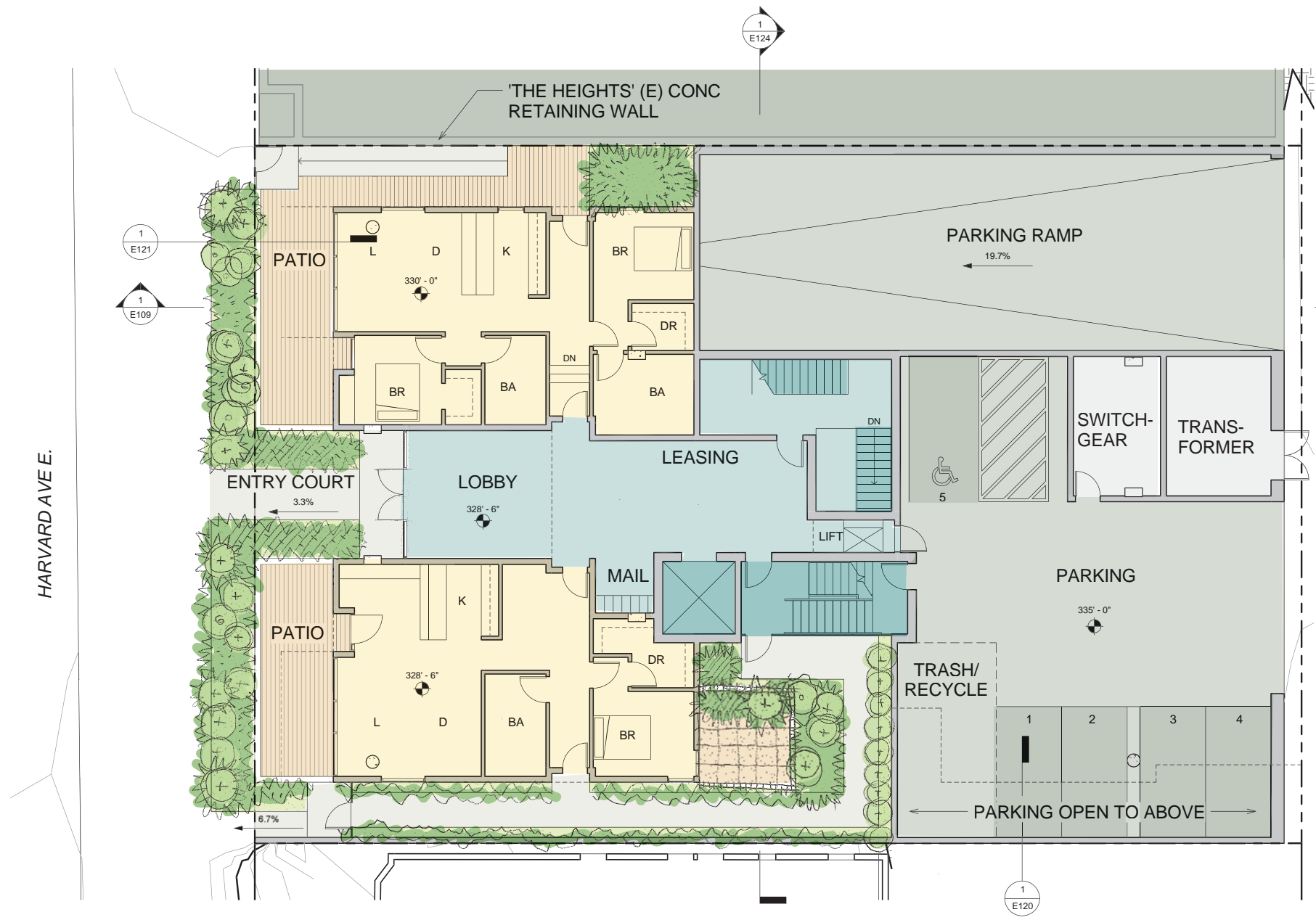
SUMMARY

- Concept C uses the Affordable Housing Incentive Program, per SMC 23.58A.013 and 23.45.516.
- Affordable House Incentive Program allows an increase in the allowable FAR from a Base FAR of 3.2 to a Maximum FAR of 4.25. (SMC 23.45.510, Table B).
- Project will seek a Built Green 4-Star rating, a condition of gaining the Affordable Housing bonus.
- Affordable Housing Incentive Program allows an increase in the allowable height from a base height limit of 60 feet to a maximum height limit of 75 feet (SMC 23.45.514, Table B).
- Proposed building extends the length of the property, from front to rear property lines (departures required).
- Extending the building length allows for the creation of significant open space in the center of the site, on both the north and south property lines. This creates an amenity for the residents of the subject project, and also better sun access and views for the two neighboring apartment buildings.
- The proposed building configuration allows for all residential units to have all living space windows oriented toward Harvard Avenue, the alley, or the one of the interior courtyards.
- Concept C has an entry courtyard on Harvard Avenue located in the center of the project.
- Level One residential units facing Harvard Avenue will have a floor elevation approximately 2 feet higher than the adjacent sidewalk. We propose to maintain/recreate the existing landscaped berm that is within the Right-Of-Way thus reinforcing the residential character of this block of Harvard Avenue. The street facing units will have private terraces adjacent to the Right-Of-Way. The elevation change and the landscape buffer will allow a sense of openness and connection to the street for the Level One units, while maintaining a degree of privacy and defensible space for the residents.
- Due to the low scale of Dick's Drive-in across the alley to the east, the east (alley) elevation of the proposed building will be visible from Broadway. The alley elevation will be treated architecturally with the same level of importance and similar detailing as the Harvard Avenue elevation.
- Common amenity areas will be located in the two center courtyards and at a roof-top garden terrace.

Preferred Concept C – Site Analysis



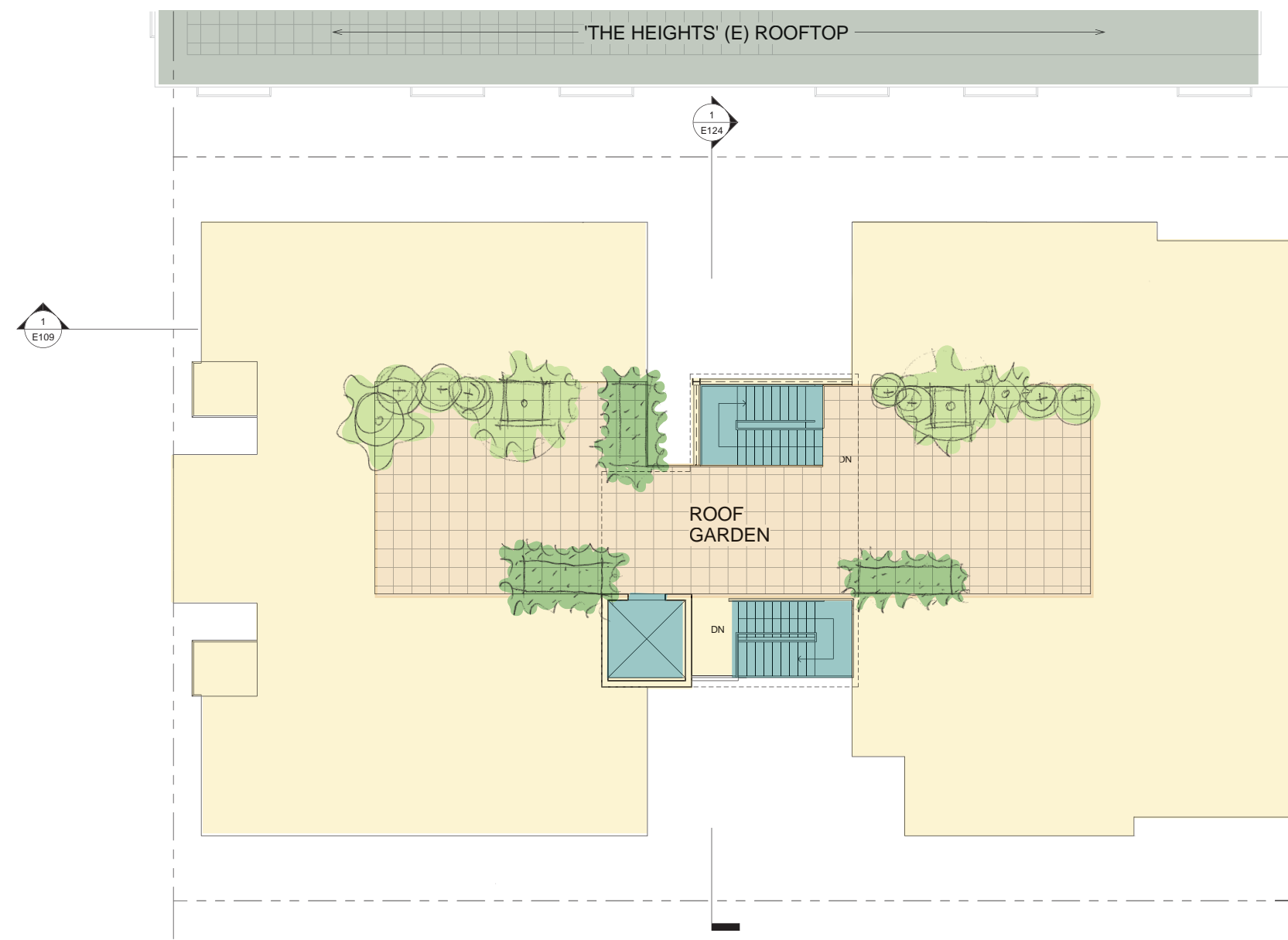
Preferred Concept C – Site Plan



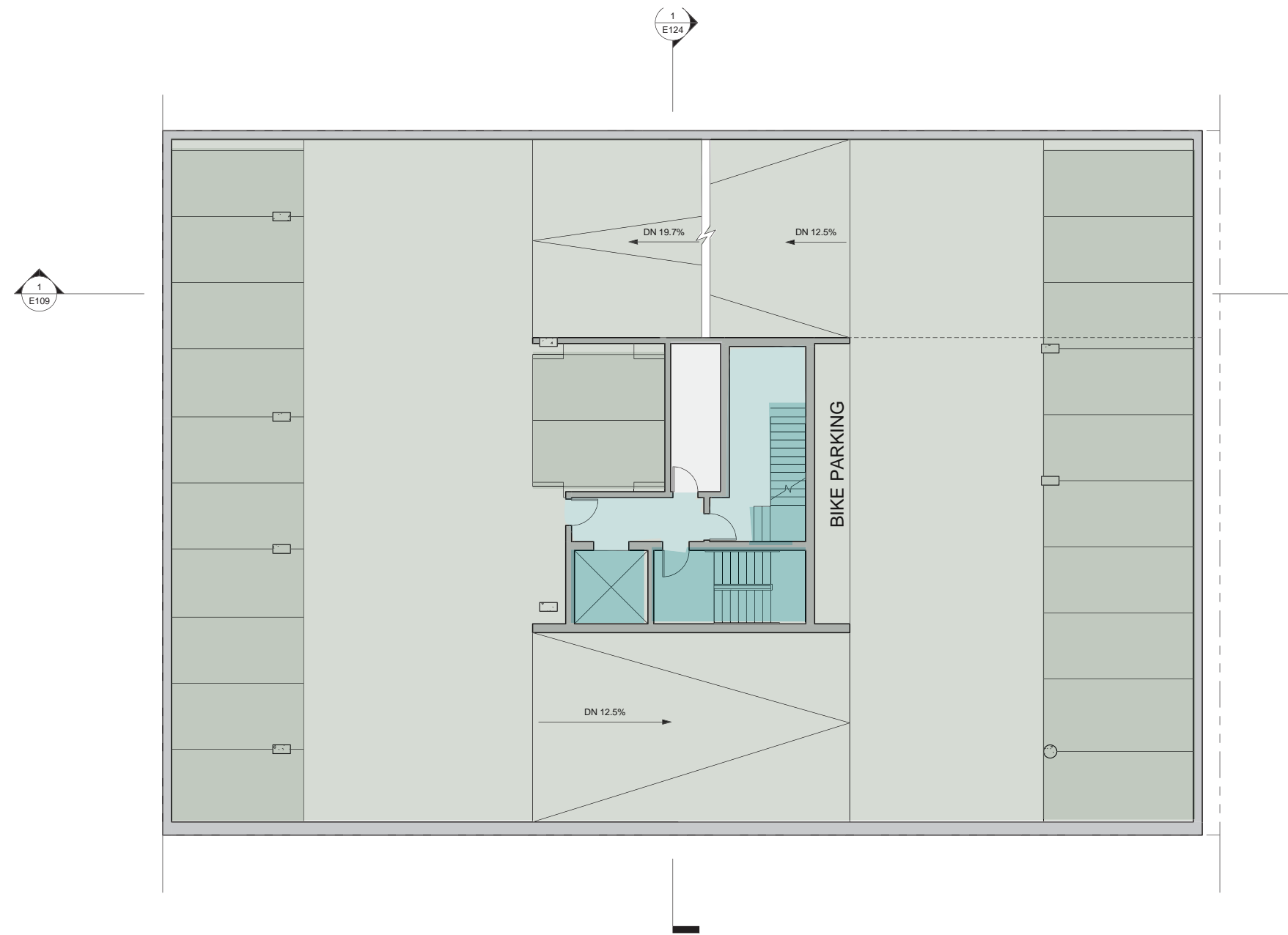
Preferred Concept C – Grade Level Plan



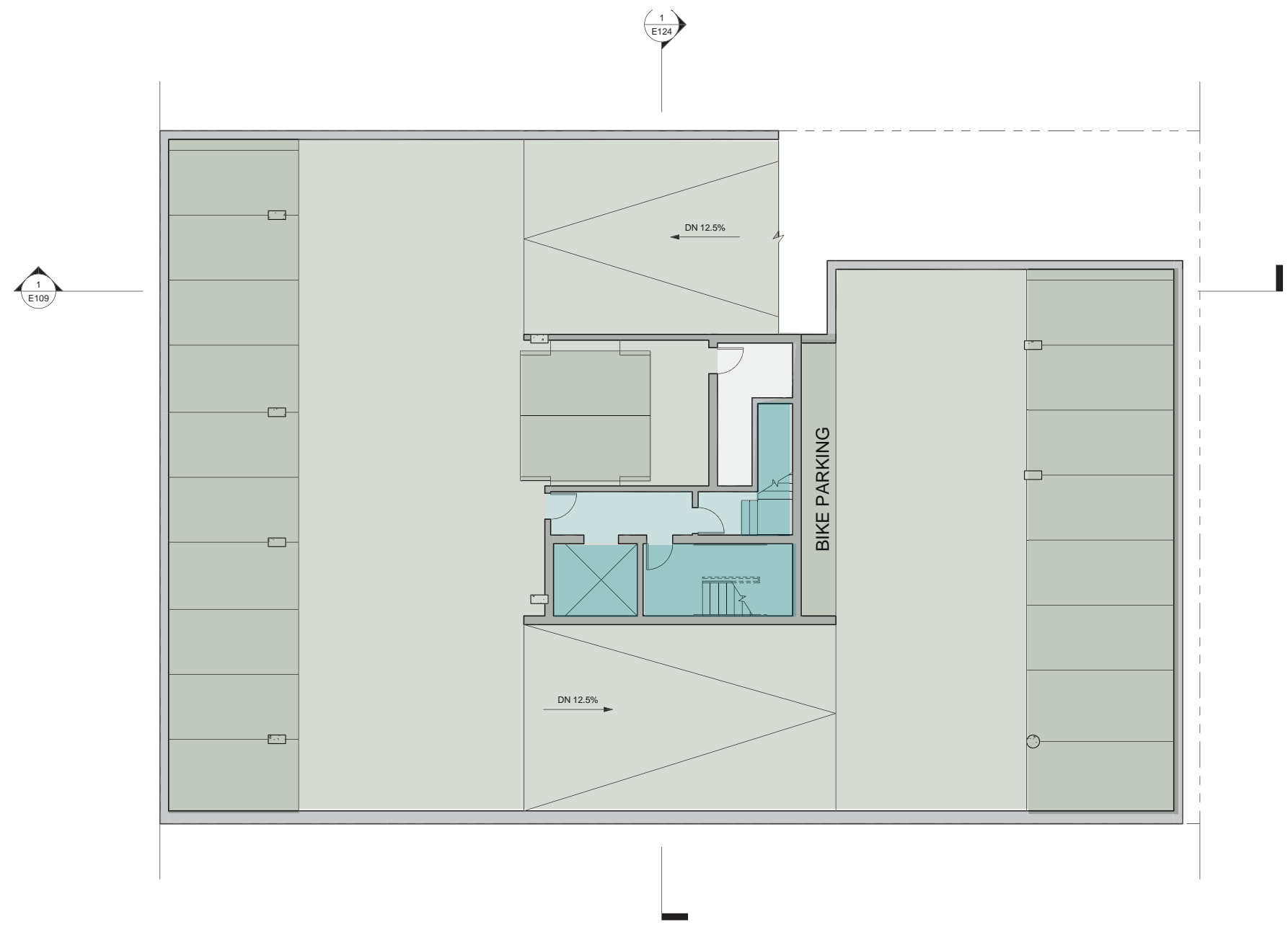
Preferred Concept C – Typical Residential Level



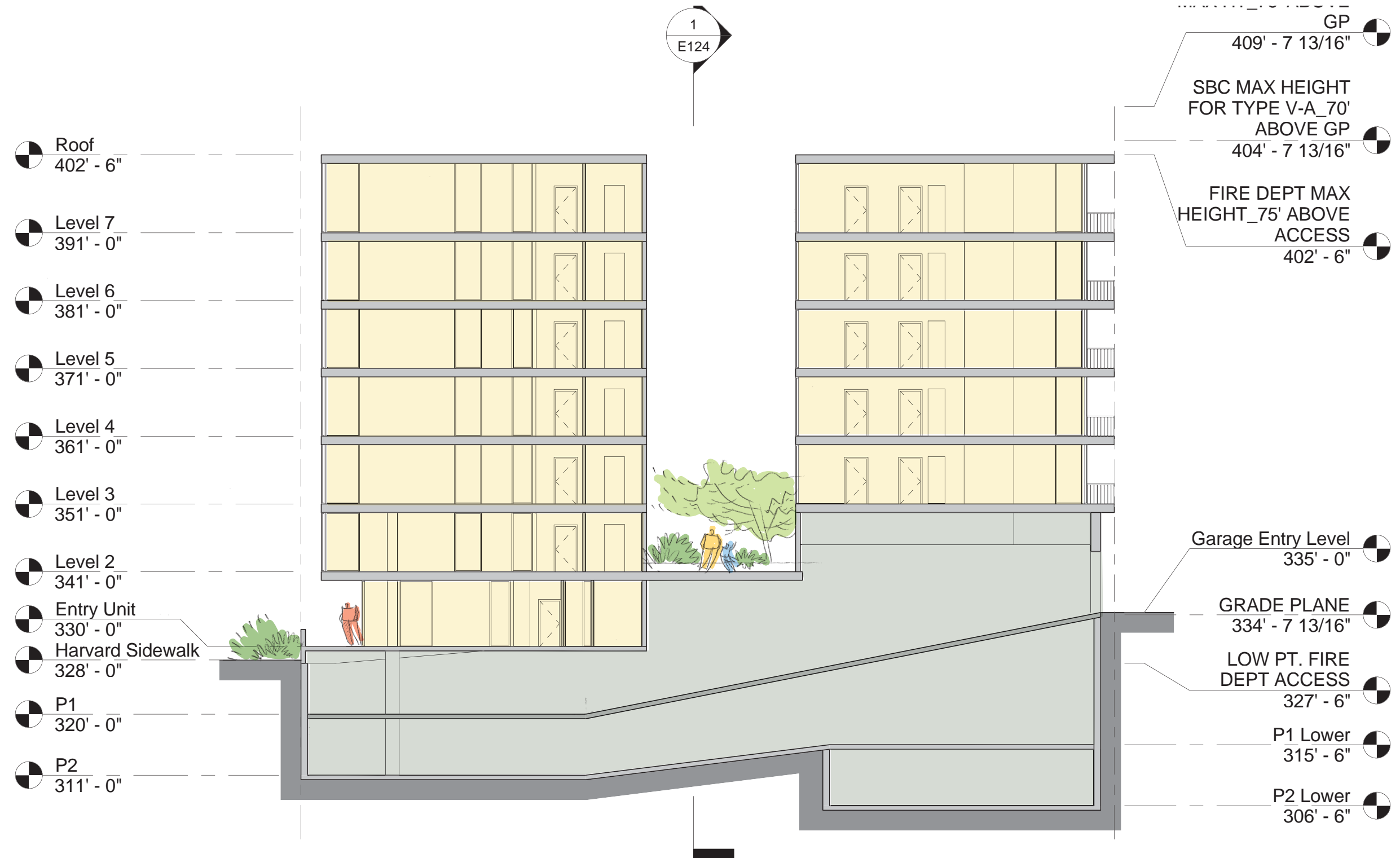
Preferred Concept C – Roof Level



Preferred Concept C – Level P1

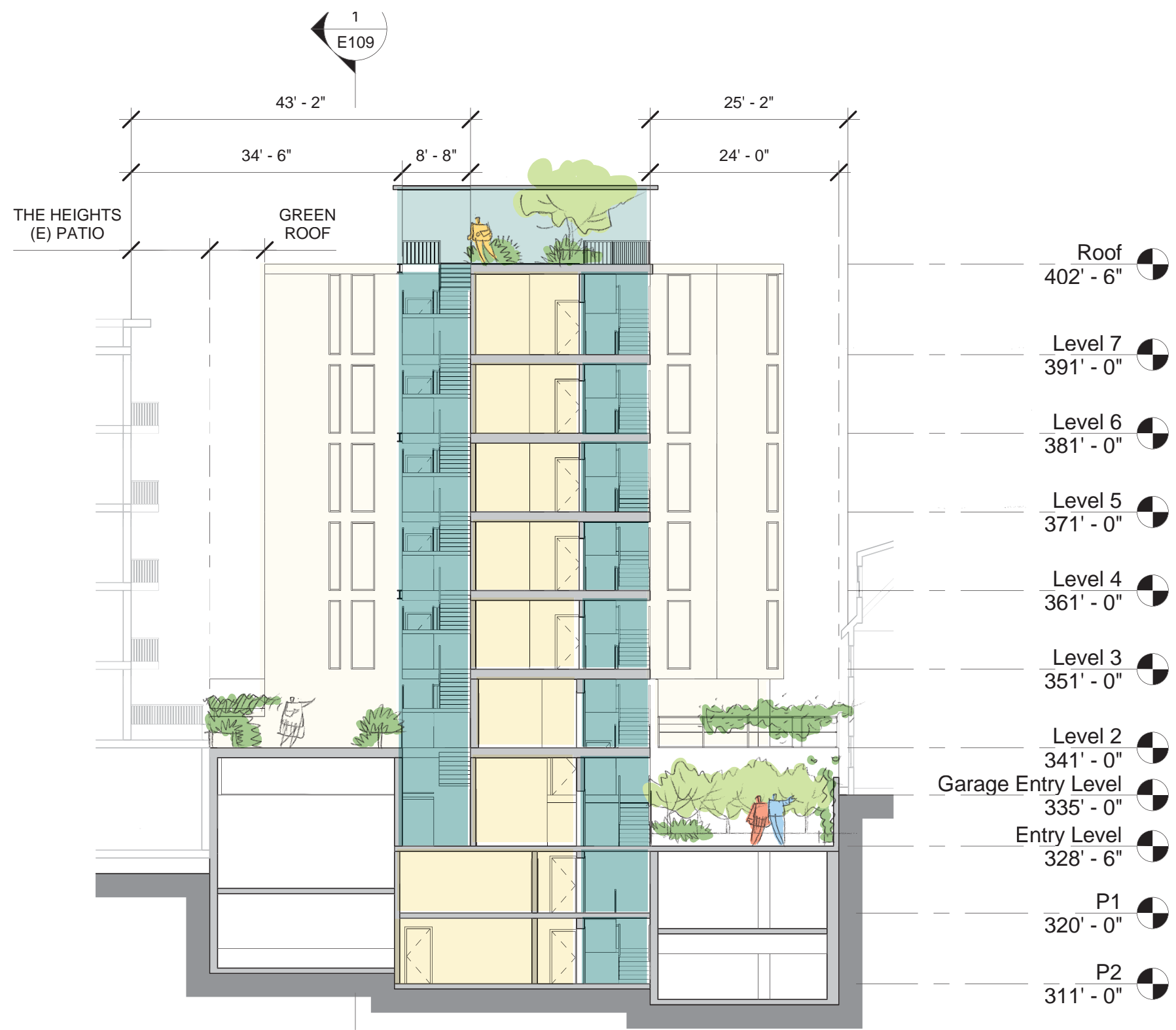


Preferred Concept C – Level P2



Preferred Concept C – Longitudinal Section 1





Preferred Concept C – Transverse Section 2



Preferred Concept C – Aerial View

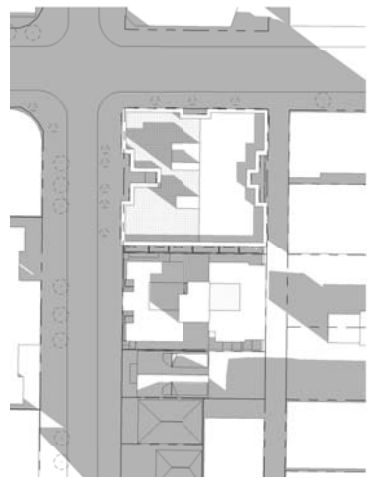


Preferred Concept C – Perspective View from Harvard Avenue East



PERSPECTIVE VIEW FROM BROADWAY EAST

Preferred Concept C – Perspective View from Broadway East



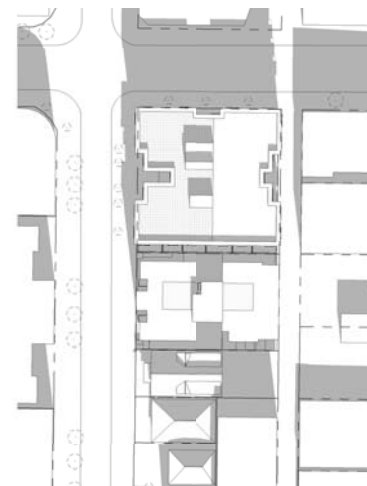
March 9AM



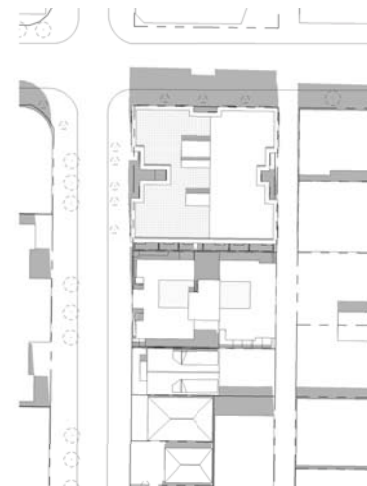
June 9AM



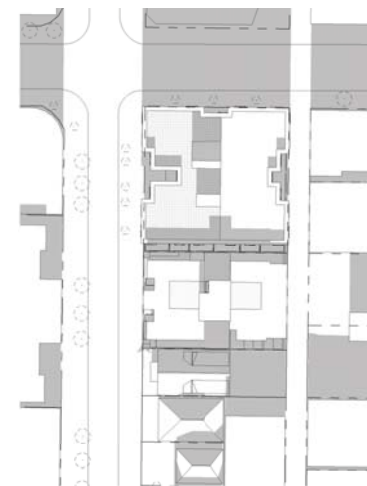
Dec 9AM



March 12PM



June 12PM



Dec 12PM



March 3PM



June 3PM



Dec 3PM

Preferred Concept C – Shadow Studies

REFERENCE	REQUIREMENT	DEPARTURE REQUEST	EXPLANATION	RELEVANT DESIGN GUIDELINE
23.45.526	Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size. The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2	Waive structure depth requirement.	The project site is neighbored by existing apartment buildings to the north and south. The existing apartments have primary windows oriented to the proposed project. The intent of the proposed design is to extend the building to the east and west property lines and create significant landscaped open space in the center of the parcel at both the north and south property lines. This will allow the primary windows in the proposed building to orient to the east and west, rather than create a wall of windows looking at the neighboring apartment units. It will also allow for visual access to light and landscaping for the residents of the adjacent units.	A-5 Respect for Adjacent Sites <ul style="list-style-type: none"> Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings. Reduce the number of windows and decks on the proposed building overlooking the neighbors. Step back the upper floors or increase the side or rear setback so that window areas are farther from the property line. Take advantage of site design which might reduce impacts, for example by using adjacent ground floor area for an entry court. Minimize windows to living spaces which might infringe on the privacy of adjacent residents, but consider comfort of residents in the new building. Stagger windows to not align with adjacent windows.
23.45.518, Table B	Front setback: 7 foot average setback; 5 foot minimum setback	Waive front setback requirement.	The below-grade parking garage extends to the front property line. The elevation of the garage lid will be below the existing grade on the site, and approximately 2'-6" above the grade of the adjacent sidewalk. The existing planting strip in the Right Of Way berms up to the property line. A portion of the existing berm will be removed to enable access to an entry courtyard, thereby exposing a portion of the garage structure finished grade. A departure is necessary to accommodate portions of the garage that are not below the final finished grade.	A-7 Residential Open Space: <ul style="list-style-type: none"> Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries.
23.45.518, Table B	Rear setback: 15 feet from a rear lot line that does not abut an alley; or 10 feet from a rear lot line abutting an alley.	Waive rear setback requirement.	The project site, zoned MR, is located on a block that is approximately two-thirds NC3 zone. In the NC3 zone, no rear setback is required. The existing development on both ends of the alley border the alley with no setback. Our design preference is to repeat this pattern on the project site, and locate the new structure at the alley property line. This enables the proposed structure to be narrowed in the center, allowing for the creation of significant open space in the center of the parcel on both the north and south property lines.	A-7 Residential Open Space <ul style="list-style-type: none"> Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space Set back upper floors to provide solar access to the sidewalk and/or neighboring properties
23.45.518, Table B	Side Setback: Above 42 feet in height: 10 foot average setback; 7 foot minimum setback.	Waive side setback on the north property line for portion of the parking garage that is adjacent to the parking garage structure of the neighboring apartment building.	The apartment building to the north of project site has an above-grade parking structure at the property line with no setback. This existing garage wall is approximately 9 feet above existing grade. The proposed project will have a garage entrance and ramp parallel to the north property line. This departure is to allow a portion of the new structure to abut the existing garage wall, rather than create a narrow (7' minimum) space between these two blank concrete walls between the existing and proposed buildings at the alley grade level. The elevation of the portion of the proposed structure in the side setback will be at or below the elevation of the adjacent garage structure, and will be landscaped on the top to provide screening between the two buildings.	A-7 Residential Open Space <ul style="list-style-type: none"> Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space
23.45.518, Table B	Side Setback: Above 42 feet in height: 10 foot average setback; 7 foot minimum setback.	Waive side setback on the south property line to allow for a landscaped trellis and other screening of alley	The proposed project will have up to six parking spaces extending into the south side setback at the alley grade level. These parking spaces will be screened from the adjacent property by a six-foot high solid fence. This proposed departure will allow for the construction of a landscaped trellis and other screening to extend above the height of six feet to enhance the screening of the parking and site security.	A-5 Respect for Adjacent Sites <ul style="list-style-type: none"> Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

Requested Departures

SCHEME A AREA CALCULATIONS

LEVEL	FLR-TO-FLR	HEIGHT ABOVE GRADE PLANE	CONST. TYPE	PARKING	PKG COUNT	RES	TOTAL AREA ABOVE GRADE	UNIT COUNT	
Roof		68.90	V-A						
7	10.80	58.40	V-A			5,350	5,350	7	
6	10.50	47.90	V-A			5,350	5,350	7	Lot area = 9,600 SF
5	10.50	37.40	V-A			5,350	5,350	7	
4	10.50	26.90	V-A			5,350	5,350	7	Base Allowable FAR = 3.2 x lot area = 30,720 SF
3	10.50	16.40	V-A			5,350	5,350	7	
2	10.50	5.90	I-A			4,550	4,550	3	Maximum FAR per 23.58A and 23.45.516 = 4.25 x lot area = 40,800 SF
1	12.00	-6.10	I-A	2,370	2	2,850	5,220	2	
P1	9.00	-15.10	I-A	9,600	7				ACHIEVED Floor Area countable toward FAR = 36,520 SF
P2	9.00	-24.10	I-A	9,600	16				
				23,010	25	35,325	36,520	40	ACHIEVED TOTAL FAR = 3.80

SCHEME B AREA CALCULATIONS

LEVEL	FLR-TO-FLR	HEIGHT ABOVE GRADE PLANE	CONST. TYPE	PARKING	PKG COUNT	RES	TOTAL AREA ABOVE GRADE	UNIT COUNT	
Roof		68.90	V-A						
7	10.80	58.40	V-A			6,010	6,010	7	
6	10.50	47.90	V-A			6,010	6,010	7	Lot area = 9,600 SF
5	10.50	37.40	V-A			6,010	6,010	7	
4	10.50	26.90	V-A			6,010	6,010	7	Base Allowable FAR = 3.2 x lot area = 30,720 SF
3	10.50	16.40	V-A			6,010	6,010	7	
2	10.50	5.90	I-A			3,350	3,350	2	Maximum FAR per 23.58A and 23.45.516 = 4.25 x lot area = 40,800 SF
1	12.00	-6.10	I-A	3,910	5	3,350	7,260	2	
P1	9.00	-15.10	I-A	9,600	20				ACHIEVED Floor Area countable toward FAR = 40,660 SF
P2	9.00	-24.10	I-A	9,600	20				
				23,110	45	36,750	40,660	39	ACHIEVED TOTAL FAR = 4.24

SCHEME C AREA CALCULATIONS

LEVEL	FLR-TO-FLR	HEIGHT ABOVE GRADE PLANE	CONST. TYPE	PARKING	PKG COUNT	RES	TOTAL AREA ABOVE GRADE	UNIT COUNT	
Roof		68.90	V-A						
7	10.80	58.40	V-A			5,950	5,950	7	
6	10.50	47.90	V-A			5,950	5,950	7	Lot area = 9,600 SF
5	10.50	37.40	V-A			5,950	5,950	7	
4	10.50	26.90	V-A			5,950	5,950	7	Base Allowable FAR = 3.2 x lot area = 30,720 SF
3	10.50	16.40	V-A			5,950	5,950	7	
2	10.50	5.90	I-A			3,310	3,310	2	Maximum FAR per 23.58A and 23.45.516 = 4.25 x lot area = 40,800 SF
1	12.00	-6.10	I-A	3,810	5	3,310	7,120	2	
P1	9.00	-15.10	I-A	9,600	20				ACHIEVED Floor Area countable toward FAR = 40,180 SF
P2	9.00	-24.10	I-A	9,600	20				
				23,010	45	36,370	40,180	39	ACHIEVED TOTAL FAR = 4.19

Area Calculations

REF.	REQUIREMENT	COMPLIES?	NOTES
23.45.510	Floor Area Ratio: Base FAR = 3.2 Maximum FAR per 23.58A and 23.45.516 = 4.25	yes	Project seeking maximum FAR through compliance with Housing Bonus
23.45.514	Structure Height Base Height Limit = 60' Max. height limit if extra residential floor area is gained per 23.58A and 23.45.516	yes	Project seeking extra residential floor area is gained per 23.58A and 23.45.516
23.45.518	Setbacks and Separations		
	Front setback: 7 foot average setback, 5 foot minimum		Project seeking a departure for the front yard setback.
	Rear setback: 10 feet from a rear lot line abutting and alley		Project seeking a departure for the garage portion of the structure adjacent to alley, to reduce setback to 0'.
	Side setback from interior lot line: Above 42 feet in height, 10 foot average setback, 7 foot minimum		Project seeking a departure for the north side setback adjacent to the garage portion of neighboring building
23.45.522	Amenity Area		
	Required amenity area equal to 5% of total gross floor area in residential use.	yes	
	All units to have access to a common or private amenity area	yes	
	No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet.	yes	
23.45.524	Landscape Standards		
	Landscaping that achieves a Green Factor score of 0.5 or greater, determined as set forth in Section 23.86.019,	yes	
23.45.526	LEED, Built Green, and Evergreen Sustainable Development Standards		
	Applicants for all new development gaining extra residential floor area, pursuant to this Chapter 23.45, or seeking to qualify for the higher FAR limit in Table A for 23.45.510, except additions and alterations, shall make a commitment that the structure will meet green building performance standards by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties	yes	Project will be seeking either a Built Green 4-Star rating or LEED Gold rating
23.45.526	Structure width and depth limits for lots in Mid-rise zones greater than 9,000 square feet in size		
	The width of principal structures shall not exceed 150 feet.	NA	Site is only 80' wide
	The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2.		Project is seeking a departure to increase structure depth from 75% to approximately 87.5%.

REF.	REQUIREMENT	COMPLIES?	NOTES
	Exceptions to structure depth limit. To allow for front setback averaging and courtyards as provided in Section 23.45.518, structure depth may exceed the limit set in subsection 23.45.528.B.1 if the total lot coverage resulting from the increased structure depth does not exceed the lot coverage that would have otherwise been allowed without use of the courtyard or front setback averaging provisions.	yes	Project seeking to use exception for front setback averaging.
23.45.528	Design Standards		
	Facade openings: At least 20 percent of the area of each street-facing facade shall consist of windows and/or doors.	yes	
	Facade articulation:		
	If the street-facing facade of a structure exceeds 750 square feet in area, division of the facade into separate facade planes is required.		Project seeking exception to facade articulation requirements per 23.45.528.C.2.e.
	In order to be considered a separate facade plane for the purposes of this subsection 23.45.529.C.2, a portion of the street-facing facade shall have a minimum area of 150 square feet and a maximum area of 500 square feet, and shall project or be recessed from abutting facade planes by a minimum depth of 18 inches.		Project seeking exception to facade articulation requirements per 23.45.528.C.2.e.
	Trim that is a minimum of 0.75 inches deep and 3.5 inches wide is required to mark roof lines, porches, windows and doors on all street-facing facades.		Project seeking exception to facade articulation requirements per 23.45.528.C.2.e.
	The Director may allow exceptions to the facade articulation requirements in this subsection 23.45.529.C.2, if the Director determines that the street-facing facade will meet the intent of subsection 23.45.529.A.1		Project seeking exception to facade articulation requirements per 23.45.528.C.2.e.
	1) Variations in building materials and/or color, or both, that reflect the stacking of stories or reinforce the articulation of the facade;	yes	
	2) Incorporation of architectural features that add interest and dimension to the facade, such as porches, bay windows, chimneys, pilasters, columns, cornices, and/or balconies;	yes	
	3) Special landscaping elements provided to meet Green Factor requirements pursuant to Section 23.45.524, such as trellises, that accommodate vegetated walls covering a minimum of 25 percent of the facade surface;	yes	
	4) Special fenestration treatment, including an increase in the percentage of windows and doors to at least 25 percent of the street-facing facade(s).	yes	

Land Use Compliance

REF.	REQUIREMENT	COMPLIES?	NOTES
23.45.526	Parking location, access and screening		
	Location of parking:		
	Parking in a structure. Parking may be located in a structure or under a structure, provided that no portion of a garage that is higher than 4 feet above existing or finished grade, whichever is lower, shall be closer to a street lot line than any part of the first floor of the structure in which it is located;	yes	Project seeking to locate some parking at alley grade, partially within the sideyard setback, open to the air and screened by a 6' high fence.
	Access to parking		
	Alley access required.	yes	
23.45.534	Light and glare standards		
	Exterior lighting shall be shielded and directed away from adjacent properties.	yes	
23.53.030	Alley Improvements		
	Table C for Section 23.53.030 Required minimum right-of-way width for existing alleys in MR Zone = 16'		
	23.53.0230.D.2: If an alley abuts lots in more than one zone category, the minimum alley width shall be determined based on the requirements in Table C for Section 23.53.030 for the zone category with the most frontage excluding Zone Category 1. If the zone categories have equal frontage, the one with the wider requirement shall be used to determine the minimum alley width.		
23.58A	Incentive Provisions		
	All or a percentage of the extra residential floor area on a lot shall be housing bonus residential floor area pursuant to Section 23.58A.014. Unless otherwise expressly provided in the provisions of the zone:	yes	Project seeking extra residential floor area gained by Housing Bonus.
	If the maximum height limit for residential use is 85 feet or lower, all extra residential floor area shall be housing bonus residential floor area.	yes	
	An applicant using the performance option shall provide low-income housing with a gross floor area at least equal to the greatest of:		
	(a) 17.5 percent of the net bonus residential floor area obtained through the performance option, except that an applicant may elect to provide low-income housing equal to 10 percent of the net bonus residential floor area obtained through the performance option if the housing is affordable to, and restricted to occupancy by, households with incomes no higher than 50% of median income as defined by Section 23.84A.025; or	yes	
	(b) 300 net residential square feet; or		
	(c) any minimum floor area specified in the provisions of the zone.		