

416 E





① panoramic view along 19th Ave. E, looking west



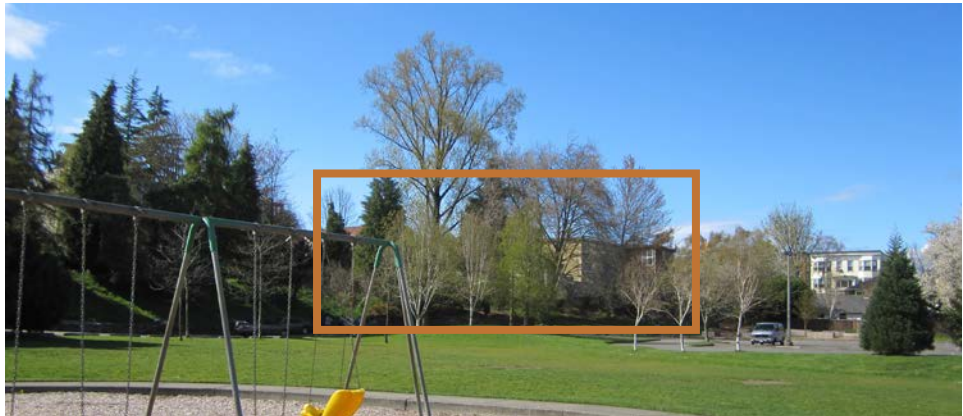
② panoramic view along 19th Ave. E, looking east



③ panoramic view along the alleyway, looking west



④ panoramic view along the alleyway, looking east



⑤ panoramic view from Pendleton Miller Playfield looking north



1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

Site
 416 19th Avenue East, our site, is located on the east side of 19th Avenue East, one property south of Republican Street. Its dimensions are 120 feet east-west and 40 feet north-south. Adjacent to the south of our site, and wrapping around to the east of the nearby properties is a large civic campus, anchored by a play field, tennis courts, Miller Community Center, and Nova School ("Miller Campus"). The site shares a border with the campus' northwest corner, which is a hillside treed with very mature pine, fir, and maple trees. The site's east border is a paved alley. The site's north border is an apartment building and associated parking lot.

Uses
 The lot contains an existing single-family house, built in 1906, that will be deconstructed. There is a concrete wall or abandoned foundation on the property that will be removed.

Topography
 The site is generally flat south to north, but slopes downhill to the east, creating a 12' grade difference between 19th Ave E and the alley, at its east property line.

Access
 19th Avenue E, between E. Union and E. Galer, is a collector arterial and the site falls almost at the midpoint of this stretch, offering excellent vehicular, bus, bicycle and pedestrian access. 19th is basically flat, and it links Pratt park to the south and Interlaken park to the north. Running east-west, and only one property north of the site is E Republican St, which is a modest street with relatively low speed traffic, and provides excellent walking and biking access to the top of Capitol Hill. In the area close to our site E Republican generally slopes downhill from west to east. Parking is ample along both sides of 19th Ave E and on the north side of E Republican. Nearby to the south lies E. Thomas Street, which links 19th to 15th Avenue E, a minor arterial and popular shopping district. E Madison Street, seven blocks to the south, is a principal arterial.
 There are nearby bus stops at E Republican Street and 19th Ave E and E Thomas and 19th Ave E. These provide access to Metro bus lines numbers 8,12 and 43. These routes serve Capitol Hill, downtown Seattle, Madison Valley, Lower Queen Anne, and the University district.



① Looking southeast from 19th Ave. E



② Looking east from 19th Ave. E



③ Looking northeast from 19th Ave. E



④ Looking north east from 19th Ave E..



⑤ Looking northwest from the park



⑥ Looking south from the alleyway



⑦ Looking northwest from the park



⑧ Looking south from the center of the site



⑨ Looking at the site from the alley

Site analysis summary:

19th Avenue E

- Is flat between E Aloha and E Union Streets, sloping downhill from E Aloha to E Galer where it terminates at Interlaken Park with a slight slope downhill from south to north from E John Street to E Thomas Street.

E Republican Street

- Slopes downhill to the east from 14th Ave E to 23th Ave E, with its steepest section from 18th Ave E to 19th Ave E.

E Republican Street traffic

- Minor residential street with parking allowed on the north side only.

19th Avenue E traffic

- Collector arterial between E Aloha and E Union Streets, connecting the neighborhood between Interlaken Park and Pratt Park. Connects to E Madison Street that provides access to Capitol Hill, downtown Seattle, Madison Valley and Madison Park. There are nearby bus stops at E Republican Street and 19th Ave E and E Thomas and 19th Ave E. These provide access to the 8,, 12 and 43 providing easy access to Capitol Hill, downtown Seattle, Madison Valley, Lower Queen Anne, and the University district.

Solar access

- The site has great solar access to the east, southeast and south, with good access to the southwest and the west. The entire site has uninterrupted access to direct southern light, filtered through trees on the Pendleton Miller Playfield.

Building mass

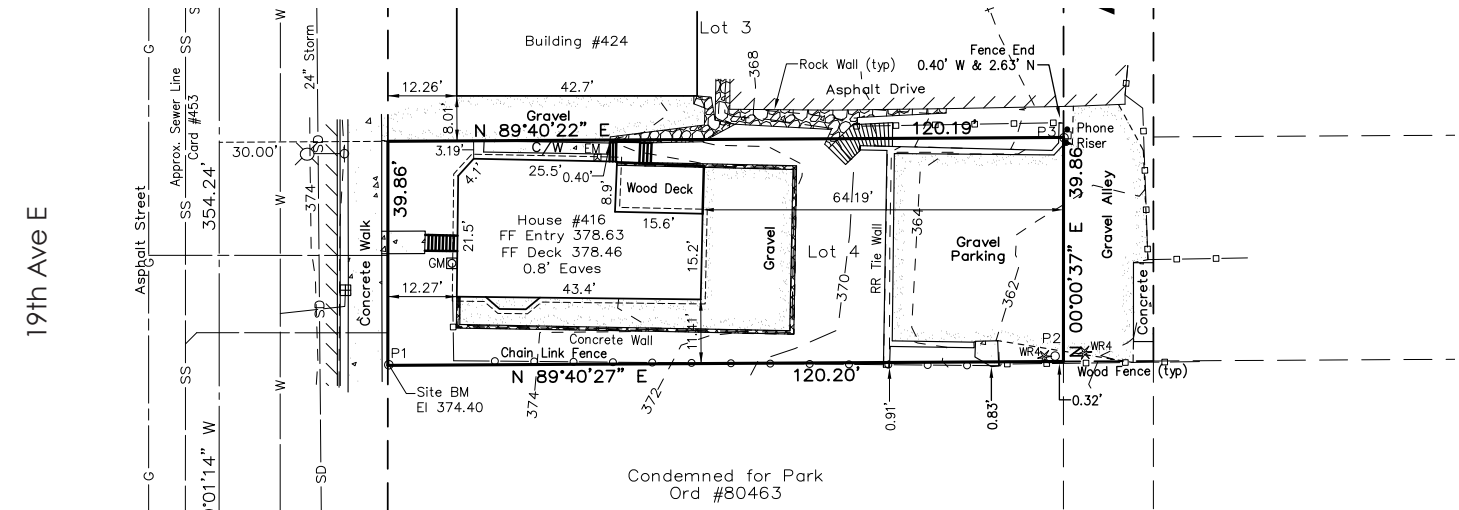
- The dominate site features of 19th Ave E and the Miller Campus' tree covered hillside drive the careful attention paid to massing and fenestration. The massing essentially runs east west, with all the homes lining up to have direct southern exposure. The south-facing façade will be almost entirely glass, with solid vertical components adding both rhythm and modulation as they will push out past the glass walls and delineate the homes. The west side responds to 19th by offering strong visual cues of the homes' entries and balancing the need for light and privacy with thoughtfully placed windows. The east side essentially mirrors the west side. The north side is driven by the need to bring light into the middle homes, which helps avoid a blank façade. Stair penthouses will be aggregated together when possible and pushed towards the south side of the structure to minimize impact on adjacent properties' solar access.

Views

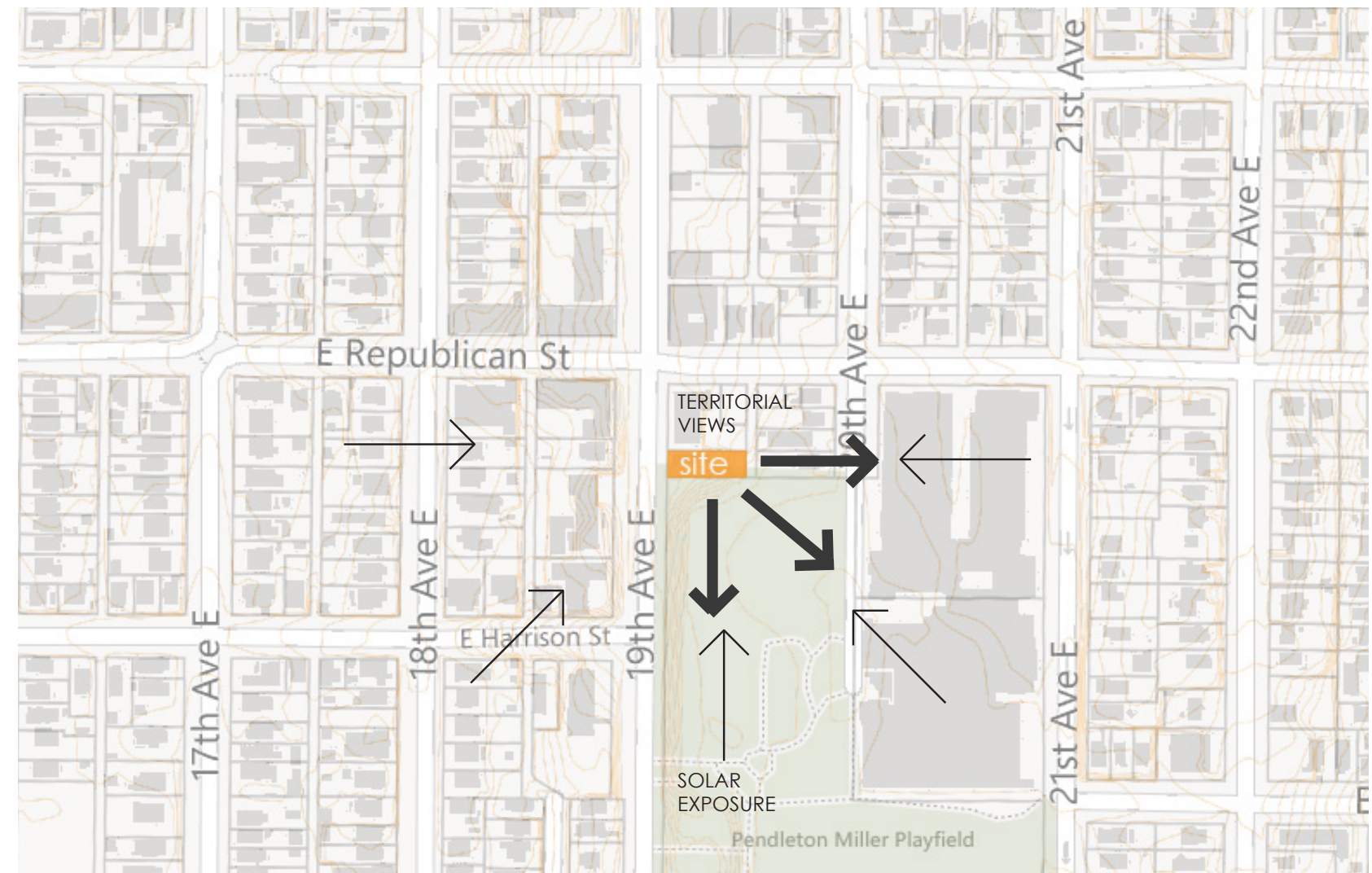
- There will be campus through-the-trees, or bird in the trees views to the south, with possible Mount Rainer views from roof top decks, augmenting the Cascade Mountain and territorial views to the east. The north view is either of the apartment building or territorial, as is the west view.

Parking access

- No off-street parking will be provided; there is plenty of street parking in this area.



existing survey

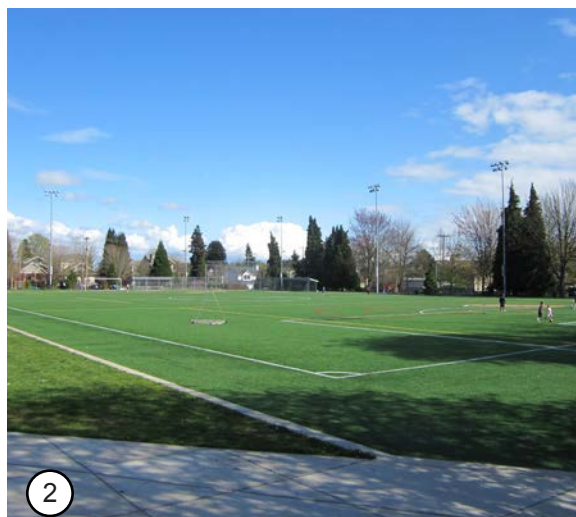


2. .Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.	
Site location:	416 19th Avenue E 4800 square feet
Site Zoning:	Lowrise LR2
Permitted Uses: 23.45.004	Residential Use: Townhouse and Single Family
Height: 23.45.514	Table A. Structure Height for Lowrise Zones in Feet. Maximum height is 30 feet for Townhouse Developments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts. D3. In LR3 zones, for structures subject to a 30 foot height limit, the ridge of pitched roofs on principal structures may either: a. extend up to 10 feet above the height limit, if the height exception provided in 23.45.514.F is not used, and the number of full stories above grade is limited to three; or b. extend up to 5 feet above the height limit, if the height exception provided in 23.45.514.F is used. E1. Shed and butterfly roofs in LR zones. In LR zones, the high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in Table A for 23.45.514, provided that the low side(s) of the shed or butterfly roof are no higher than the height limit (see Exhibit A for 23.45.514). F. For apartments in LR2 zones, and for all residential uses in LR3 zones, the applicable height limit is increased 4 feet above the height shown on Table A for 23.45.514 for a structure that includes a story that is partially below-grade, provided that: 1. This height exception does not apply to portions of lots that are within 50 feet of a single-family zoned lot, unless the lot in the LR zone is separated from a single-family zoned lot by a street; 2. The number of stories above the partially below-grade story is limited to three stories for residential uses with a 30 foot height limit and to four stories for residential uses with a 40 foot height limit; 3. On the street-facing facade(s) of the structure, the story above the partially below-grade story is at least 18 inches above the elevation of the street, except that this requirement may be waived to accommodate units accessible to the disabled or elderly, consistent with the Seattle Residential Code, Section R322, or the Seattle Building Code, Chapter 11; and 4. The average height of the exterior facades of the portion of the story that is partially below-grade does not exceed 4 feet, measured from existing or finished grade, whichever is less
Height: Rooftop features: 23.45.514	J4. In LR zones, the following rooftop features may extend 10 feet above the height limit set in subsections 23.45.514.A and F, if the combined total coverage of all features does not exceed 15 percent of the roof area or 20 percent of the roof area if the total includes screened mechanical equipment: a. Stair penthouses, except as provided in subsection 23.45.514.J.6; b. Mechanical equipment; J6. Subject to the roof coverage limits in subsections 23.45.514.J.4 and 5, elevator penthouses may extend above the applicable height limit up to 16 feet. J7. For height exceptions for solar collectors, see Section 23.45.545
Floor Area Ratio: Table A for 23.45.010	B. Floor Area Ratios. Floor area ratio limits apply in LR zones as shown in Table A for 23.45.510. Table A. LR2 for Townhouse Developments 1.0 or 1.2. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C C. In LR zones, in order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided.
Density: Table A for 23.45.512	Table A. Density Limits in Lowrise Zones: 1/1600 or No limit for Townhouses in LR2 zone. For townhouses that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.
Structure Width: Table A for 23.45.527	Table A. LR2 is 90 feet. B1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.

Setbacks and Separations: Table A for 23.45.518	For All LR Zones: Setback Front Rear Side Setback for Facades 40 feet or less Side Setback for Facades 40 feet or greater	Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.	Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.
23.45.518	F1. Separations between multiple structures. In LR zones, the minimum required separation between principal structures at any two points on different interior facades is 10 feet		
Parking: 23.54.015 Required Parking Standards 23.54.030 Parking Space Standards 23.45.536 Parking location, access and screening	Table B Residential Uses – Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District(1) - No minimum requirement. B1. If parking is required, it shall be located on the same lot as the use requiring the parking, except as otherwise provided in this subsection 23.45.536.B . B2. Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except: a. between a principal structure and a street lot line b. in the required front setback or side street side setback; and c. within 7 feet of any street lot line.		
Landscaping standards: 23.45.524	A1. All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings. A2a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score. B1. 1. Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B . 2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.		
Amenity Area: 23.45.522	A1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. A2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. A4. For apartments, amenity area required at ground level shall be provided as common space. D1. All units shall have access to a common or private amenity area. D3. Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade. D5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions: a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. b. Common amenity area shall be improved as follows: 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees. 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.		
Design standards: 23.45.529	B. Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses that do not undergo any type of design review pursuant to Chapter 23.41 , except single-family dwelling units.		
Standards for certain accessory uses: 23.45.545	C3. Solar collectors on roofs. Solar collectors that meet minimum written energy conservation standards administered by the Director and that are located on a roof are permitted as follows: a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).		



View of Pendleton Miller Playfield towards the site.



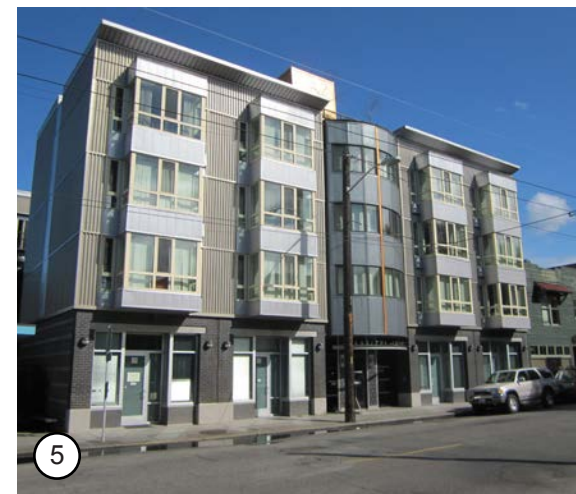
View of the South end of Pendleton Miller Playfield.



A school building on E Republican and 20th Ave E.



Commercial District on 19th Ave E.



A mixed use building on 19th Ave E



Miller Community Center.

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Land Use

The site, shown in orange on the adjacent page in the aerial photo and zoning map is located in the LR-2 zone with NC1-40 across E Republican for two blocks to the north and SF 5000 directly across 19th Avenue to the west. There is a concentration of LR-2 along 20th Ave E between E Republican and E Mercer St. The Miller Campus is zoned SF 5000. The multifamily and commercial zoning begins again just one and a half blocks south before E Thomas Street and three blocks west at 16th Ave E.

Uses and Physical Features

There exists a variety of three and four-story mixed-use buildings interspersed with one-story single-family dwellings along 19th Avenue. Immediately adjacent to the north is a three-story apartment building with a blank south-facing façade. The density decreases to primarily single-family dwellings to the east and west. Directly across the alley to the east are single-family homes and a preschool. The Miller Campus has a variety of civic uses, and directly across Republican Street is the Republican P-Patch. Broccoli is prohibited. A small vibrant commercial district is located one-half block to the north on 19th Avenue with a diversity of uses including several restaurants and cafés, a country doctor clinic, Spanish immersion preschool and a Russian community center.

Architecture

The architecture on 19th avenue varies dramatically in scale and building type. To the west of the site there are four-story apartment buildings adjacent to single-family homes. Across E Republican St to the north, there are commercial buildings mixed with multi-family and single-family dwellings of varying ages. To the south the Miller Campus, which has a variety of institutional building types. There is no single dominant building typology or architecture, reflecting this mix of zones.

Views

There will be campus through-the-trees, or bird in the trees views to the south, with possible Mount Rainer views from roof top decks, augmenting the Cascade Mountain and territorial views to the east. The north view is either of the apartment building or territorial, as is the west view.

Community Landmarks

The Miller Campus is certainly a community landmark, as its civic uses draw people from throughout the City. If you have ever had Miss Mary Mac's Fried Chicken Salad at the Kingfish Café, just north of the site on 19th, you would agree that that restaurant is also a community landmark. The Country Doctor, also north on 19th, provides an incredible community service.



Single family homes on 18th Ave. S and E Republican St.



A multi family development on 20th Ave E and E John St.



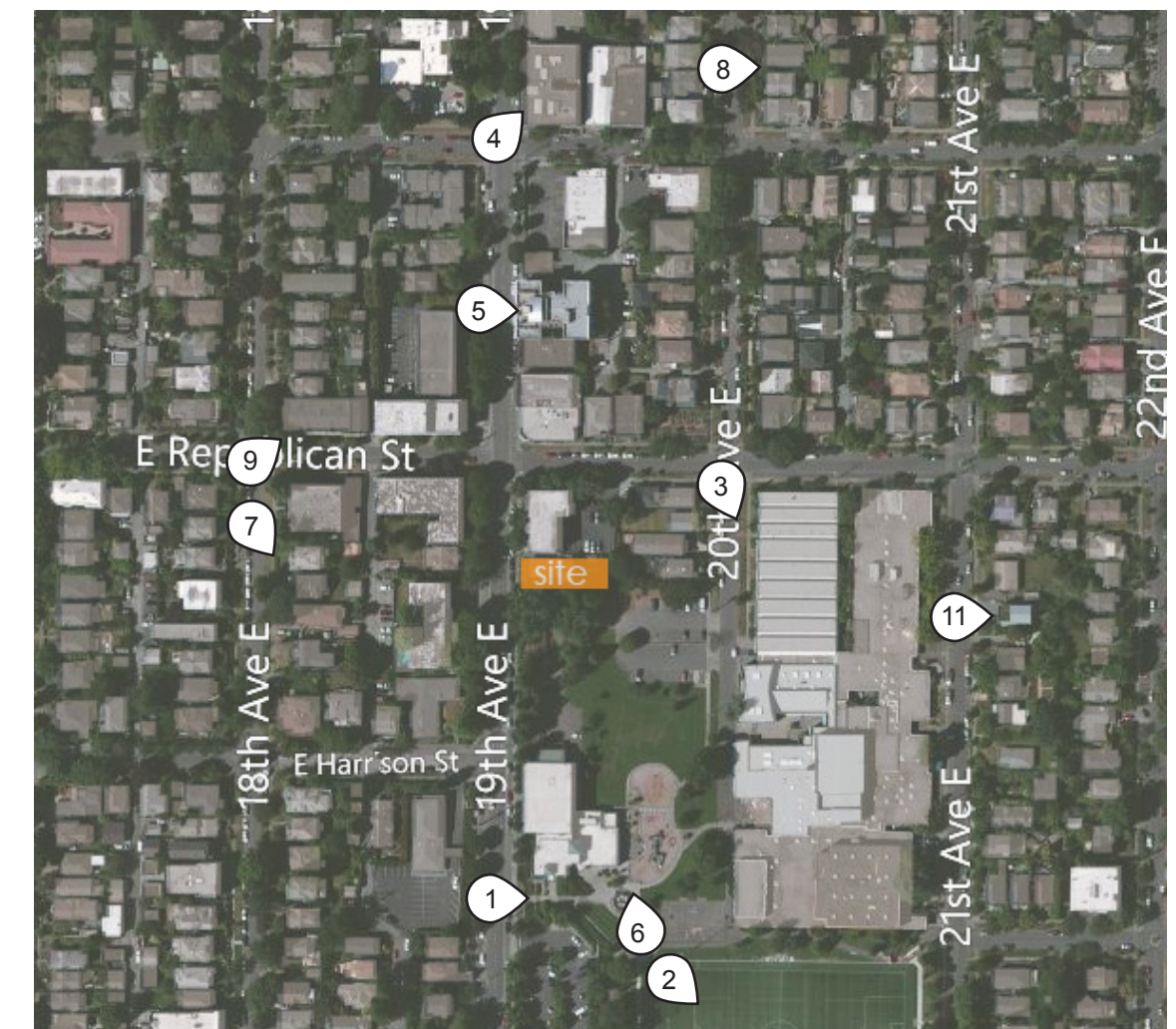
A single family house on 20th Ave E and E Mercer St.



A Multi family building on 18th Ave. S and E Republican St.



A single family home on 21ST Ave E and E Republican St



1. Please describe the proposal in detail, including types of uses, size of structure(s), location of structure(s), amount, location and access to parking, special design treatment of any particular physical site feature, etc.

Development Objectives

We strive to create a compelling community of homes; homes that acknowledge the area and the times, but also inject fresh concepts and energy into an existing neighborhood. We are proposing a group of five new homes, four of which are attached townhouses, and the fifth is a detached single-family house. All homes shall have access to an outdoor, shared courtyard. The courtyard provides a communal space at the heart of the project. All homes will connect visually to the Miller Campus with the street-facing unit connecting to 19th Ave E as well. The south facing façade will be the true front of the project with its second front facing 19th Ave E. Private roof decks extend the interior living spaces and take advantage of the unique adjacency to the park and the south and southwest views.

Desired Uses

Townhomes

Four townhomes at 1100 square feet each located in Capitol Hill will provide the opportunity for residents to easily access the Pendleton Miller Playfield, Cal Anderson, Interlaken, the Arboretum and Volunteer Parks. Just across the block is a Route 12 bus stop providing access to downtown Seattle. The new Capitol Hill Light Rail stop will be located within a 15-minute walk from the site. The proposed design will orient the townhomes primarily south providing excellent access to daylight and territorial views of the park and Mount Rainier beyond. Roof decks providing private outdoor space and views will be accessed from within the units. Thoughtful fenestration, double and triple-height spaces, and massing choices express progressive thinking and innovation. Further environmental consciousness will be expressed through material choices, building practices, and site planning. Thoughtful architecture and green building practices will demonstrate that these homes are informed by time and place. Further development of the building's exterior through modulation of the exterior wall combined with decks and variation in materials and window treatment will express individual spaces and reduce the mass of the building. No parking is being provided for the townhomes.

Single-Family Home

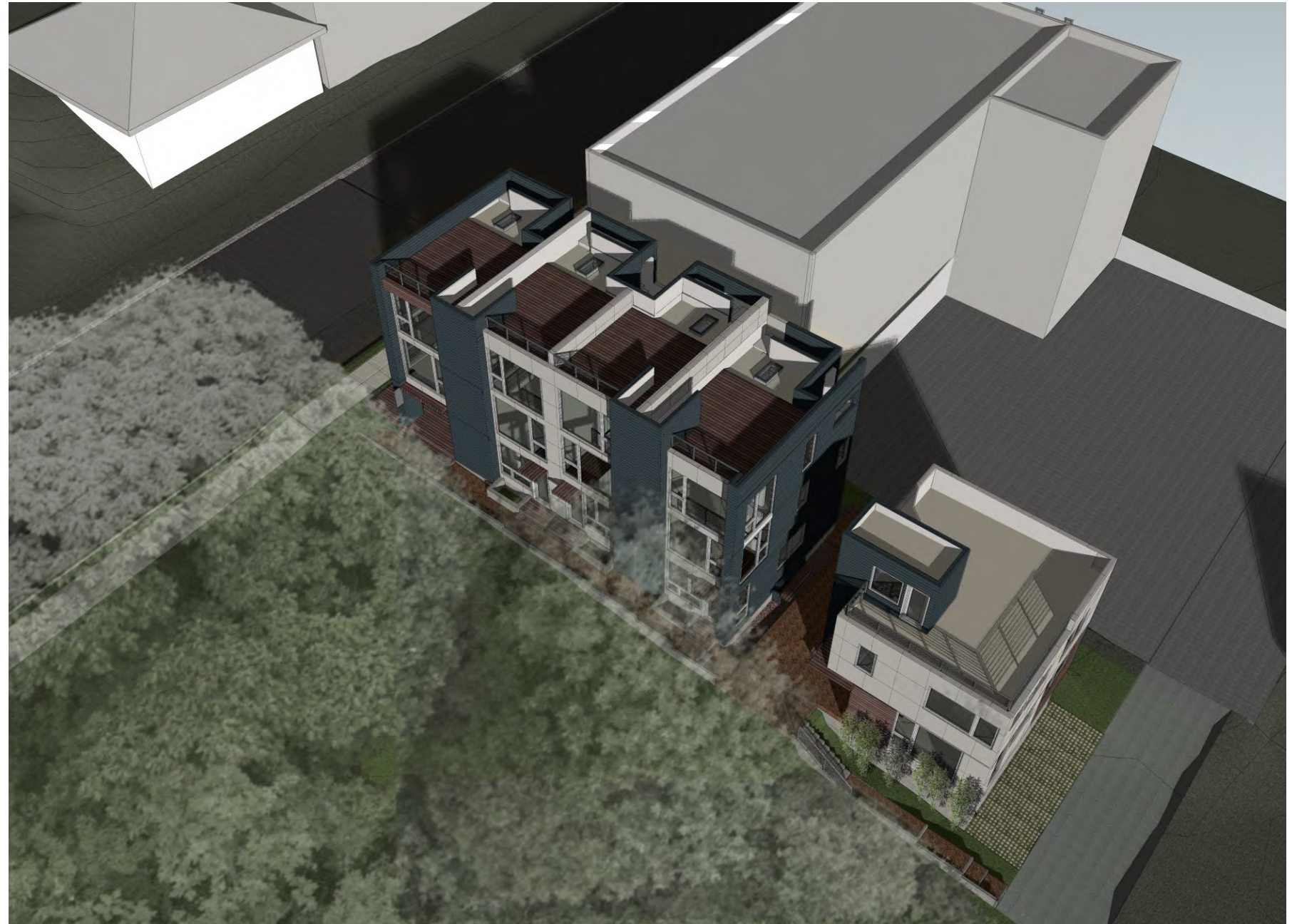
The single family home is located at the eastern edge of the site raised up from the alley. The design responds to the slope of the site and relates to the adjacent townhomes through its massing, materiality, and relationship to the park. It will also share a communal courtyard and pedestrian access to 19th avenue with the townhomes providing the opportunity for interaction between residents. No parking is being provided for the single-family home. At two stories, the home is designed to be attractive to families, with all bedrooms on the second floor. This is intended to create diversity within the housing provided.

Structure Height

While the townhomes will use the maximum allowable height, the single-family house is designed to be two stories with a crawl space to make a true family home as part of the development. Its siting at the east edge of the property will provide great solar access from the east and southeast to the shared communal space.

Access and Parking

Given the site's location within the Madison-Miller Residential Urban Village and immediate proximity to the Capitol Hill Urban Center Village and the Pike-Pine Urban Center Urban Village, no on-site parking is being provided.



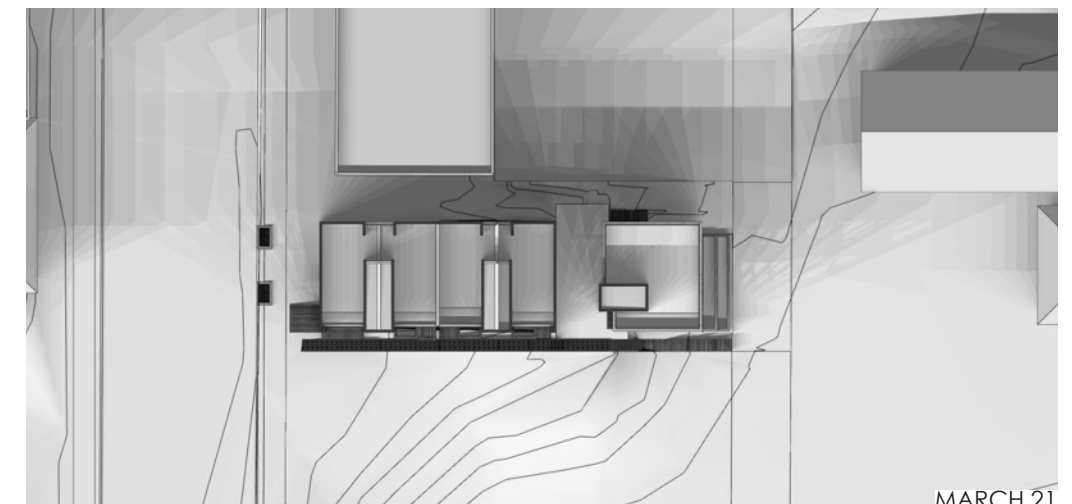
aerial view from southeast



view to courtyard from miller pendleton playfield from southeast



JUNE 21



MARCH 21



DECEMBER 21

sun study
proposed structure has no impact on
adjacent park to the south

2. Please indicate in text and on plans any specific requests for development standard departures, including specific rationale(s) and a quantitative comparison to a code-complying scheme. Include in the MUP plan set initial design response drawings with at least four (4) colored and shadowed elevation drawings

DEPARTURE MATRIX FROM DEVELOPMENT STANDARDS:

Development Standard	Requirement	Proposed	Comment/Rational BY Architect	Recommendation
1. Side Setback. 23.45.518.A	For façades greater than 40 feet in length for townhouse uses, the side setback shall be 7 feet average, 5 feet minimum.	6'-5" average, 5 feet minimum on south side 5 feet average, 5 feet minimum on north side	In order to minimize the mass of the single-family structure on the site and maximize density, we are requesting a design departure for our north side and south side setbacks. The required setback for the townhouse structure is 5-foot minimum with 7-foot average. Our proposed north side setback is 5 feet, and is abutting a blank façade on an apartment structure and a fenced in parking area as shown on page 3 of this packet. The apartment structure, built in 1969, contains 15 units with an average unit size of 668 square feet and 14 off-street parking stalls at the rear of the site. The south side setback is proposed to be a minimum of 5 feet with an average of 6.42 feet. The portions of the façade that project into the 7 foot average setback highlight the individual units along the pedestrian access from 19th Ave E.	
5. Façade Length 23.45.527.B	The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.	South side varies from 91'-7 1/2" at the first and second floors or 76% and is 77'-5 5/8" at the third floor or 64%; North side varies from 88'-11 1/2" at the first and second floors or 74% and is 64 feet at the third floor or 53%.	Due to the site constraints and abutting uses, the design proposal reduces the height, bulk and mass at the east edge of the site opposite the alley from the abutting single-family uses. The massing along the north and south façades is modulated to reduce the scale and presence of the wall. In addition, of the abutting parcel to the north has no glazing on its south-facing wall and abutting the site to the south is 8.25 acre Pendleton Miller Playfield.	

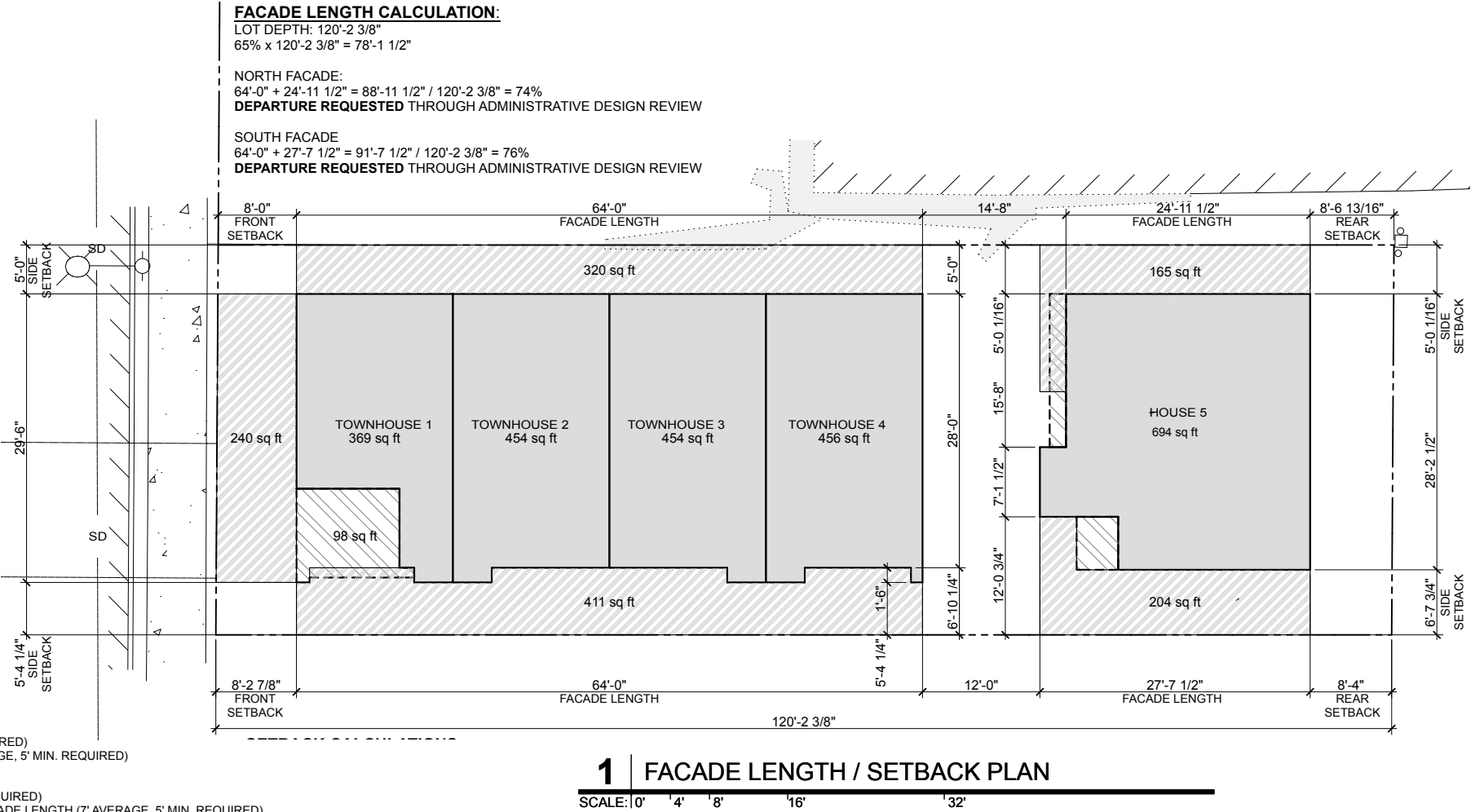
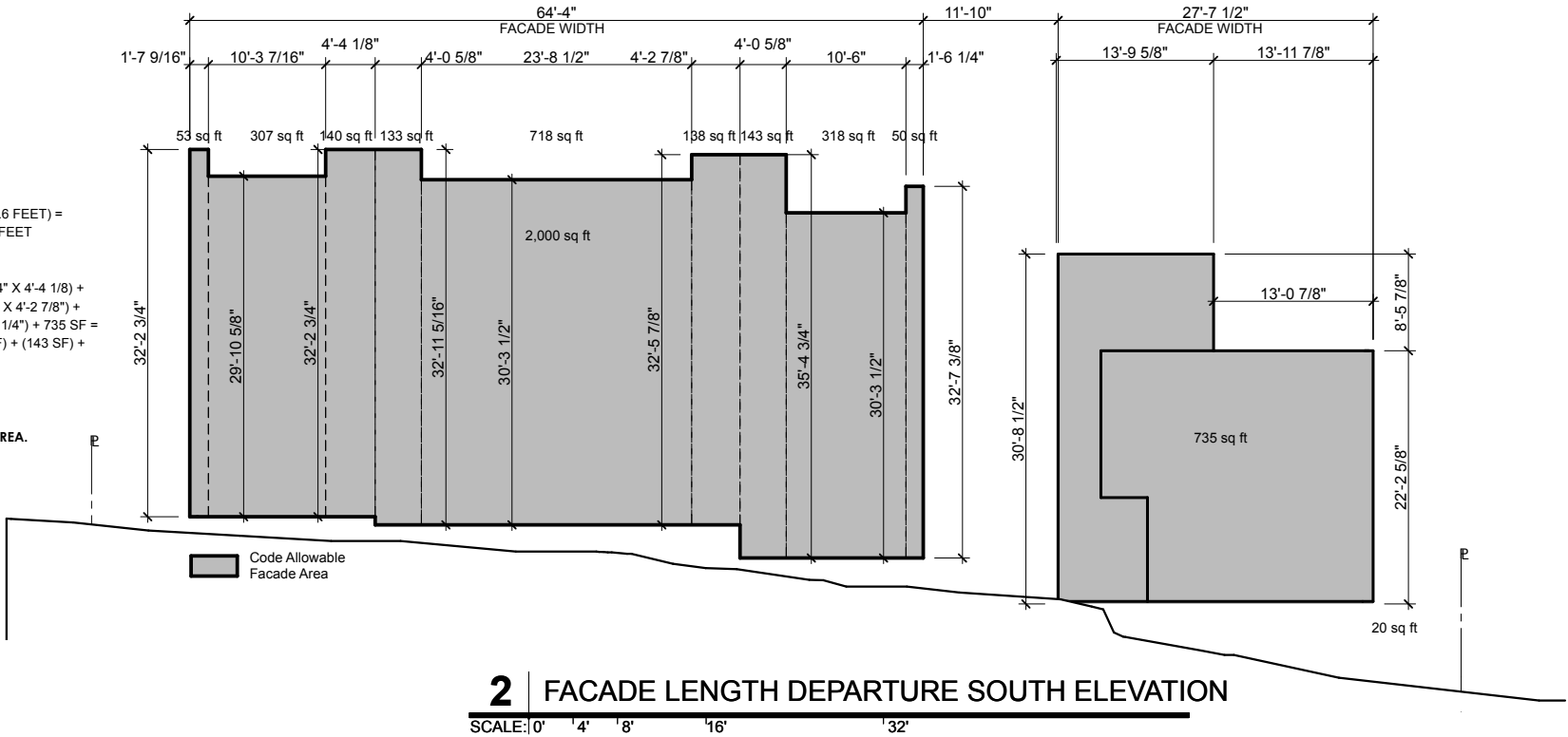
SETBACK CALCULATIONS:

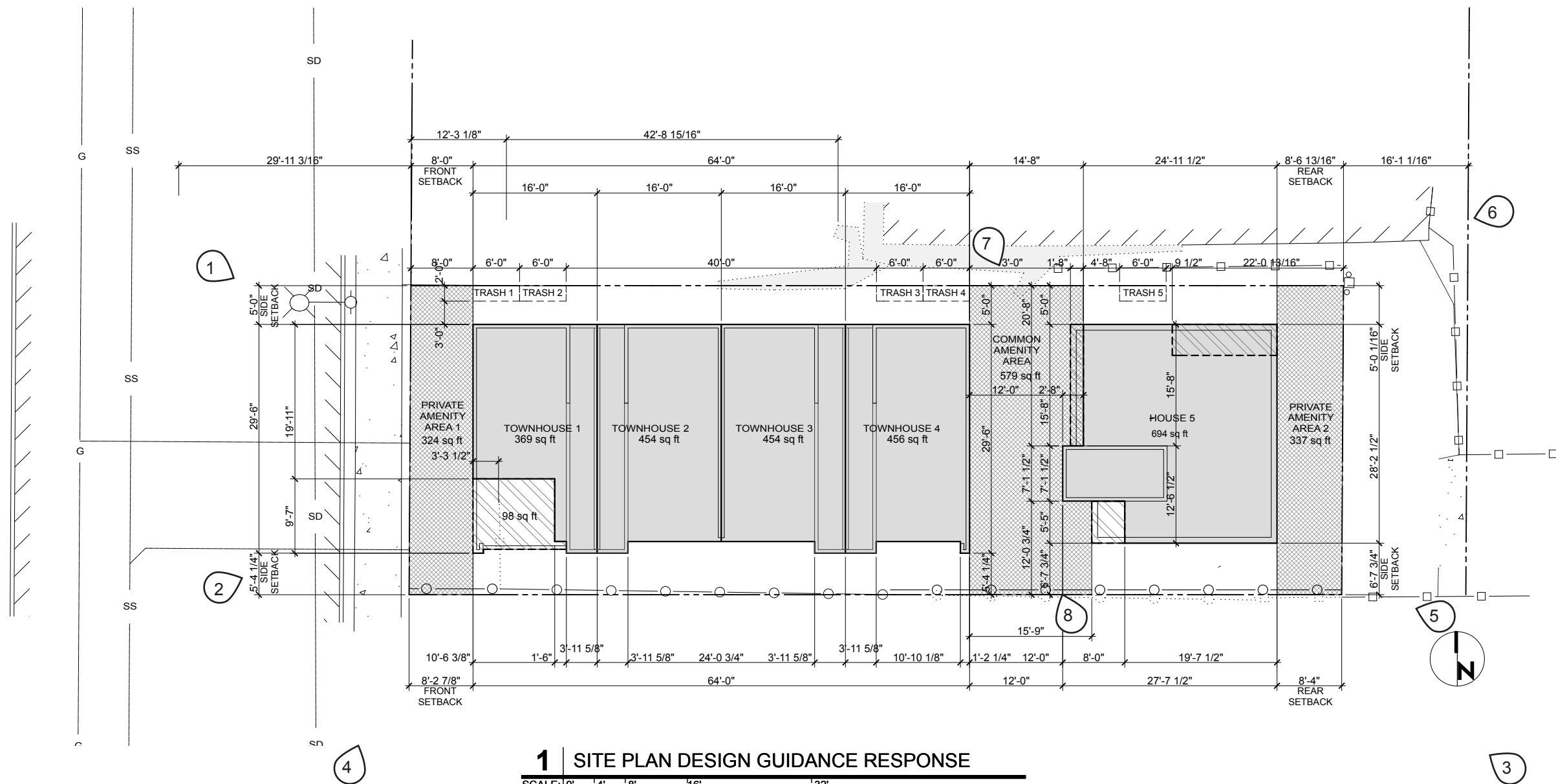
FRONT SETBACK: 8'-1 1/2" AVERAGE, 8'-0" MIN. (7' AVERAGE, 5' MIN. REQUIRED)
SIDE SETBACK NORTH:
5'-0" FOR PROPOSED HOUSE 5 STRUCTURE 24'-11 1/2" FACADE LENGTH, (5' REQUIRED)
5'-0" FOR PROPOSED TOWNHOUSE STRUCTURE 64'-0" FACADE LENGTH (7' AVERAGE, 5' MIN. REQUIRED)
DEPARTURE REQUESTED
SIDE SETBACK SOUTH:
6'-7 3/4" FOR PROPOSED HOUSE 5 STRUCTURE 27'-7 1/2" FACADE LENGTH, (5' REQUIRED)
5'-4 1/4" MIN, 6'-5" AVERAGE FOR PROPOSED TOWNHOUSE STRUCTURE 64'-0" FACADE LENGTH (7' AVERAGE, 5' MIN. REQUIRED)
DEPARTURE REQUESTED
REAR SETBACK: 8'-5 1/2" AVERAGE, 8'-4" MIN. (7' AVERAGE, 5' MIN. REQUIRED)

FAÇADE AREA AT A HEIGHT OF 34 FEET FOR PARAPET + ROOF PENTHOUSE STAIR:
CODE ALLOWED:
(78 FEET X 34 FEET) + (6 FEET X 8 FEET X 2 + 6 FEET X 13.6 FEET) = 2652 SQUARE FEET + 178 SQUARE FEET = 2830 SQUARE FEET

PROPOSED THROUGH ADR WITH DEPARTURE:
(32'-2 3/4" X 1'-7 9/16") + (29'-20 5/8" X 10'-3 7/16") + (32'-2 3/4" X 4'-4 1/8") + (32'-11 5/16" X 4'-0 5/8") + (30'-3 1/2" X 23'-8 1/2") + (32'-5 7/8" X 4'-2 7/8") + 35'-4 3/4" X 4'-0 5/8") + (30'-3 1/2" X 10'-6") + (32'-7 3/8" X 1'-6 1/4") + 735 SF = (53 SF) + (307 SF) + (140 SF) + (133 SF) + (718 SF) + (138 SF) + (143 SF) + (318 SF) + (50 SF) + 735 SF = 2,000 SF + 735 SF = 2735 SQUARE FEET

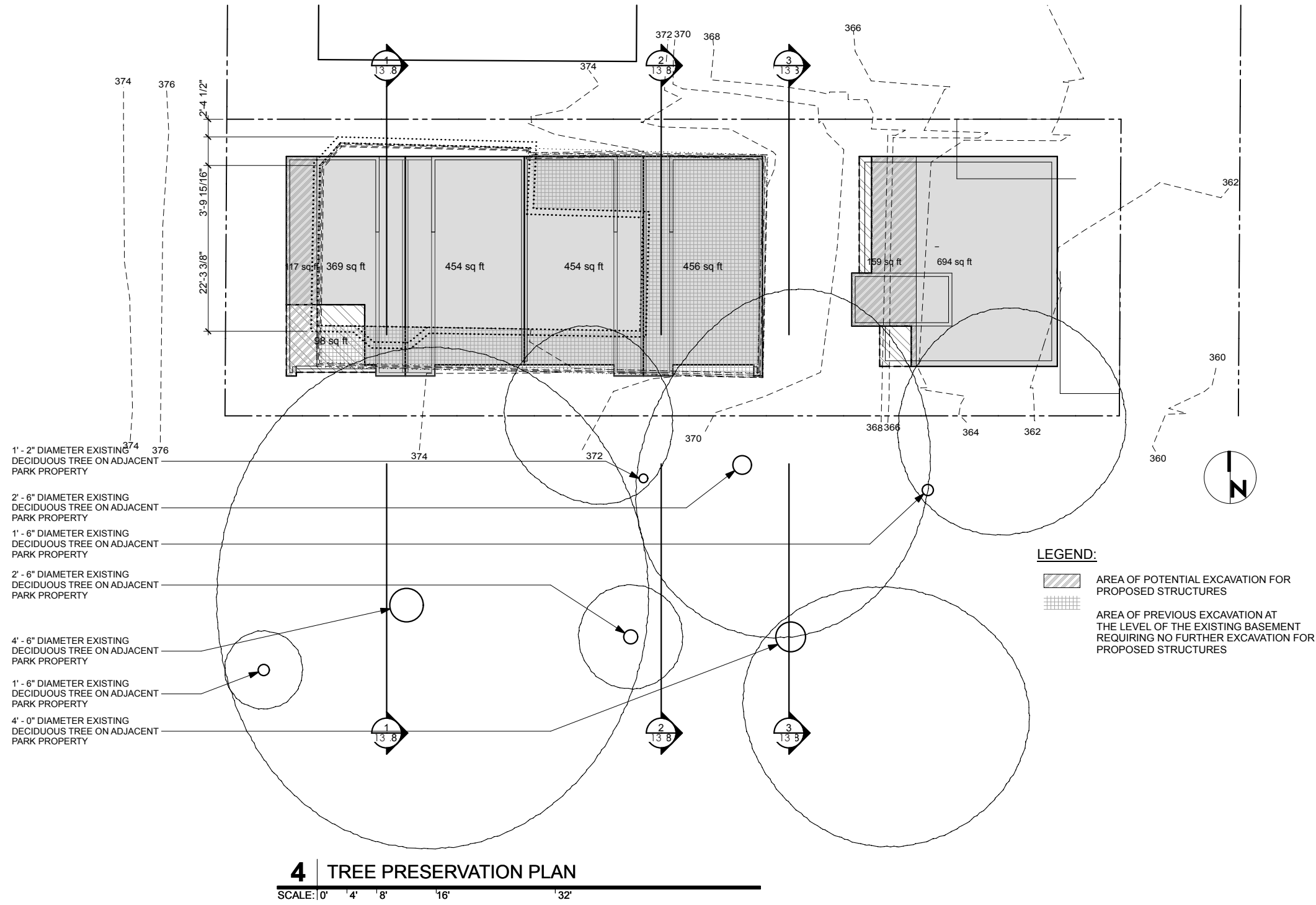
2735 SF / 2830 SF = 96.6% OF CODE ALLOWABLE FACADE AREA.





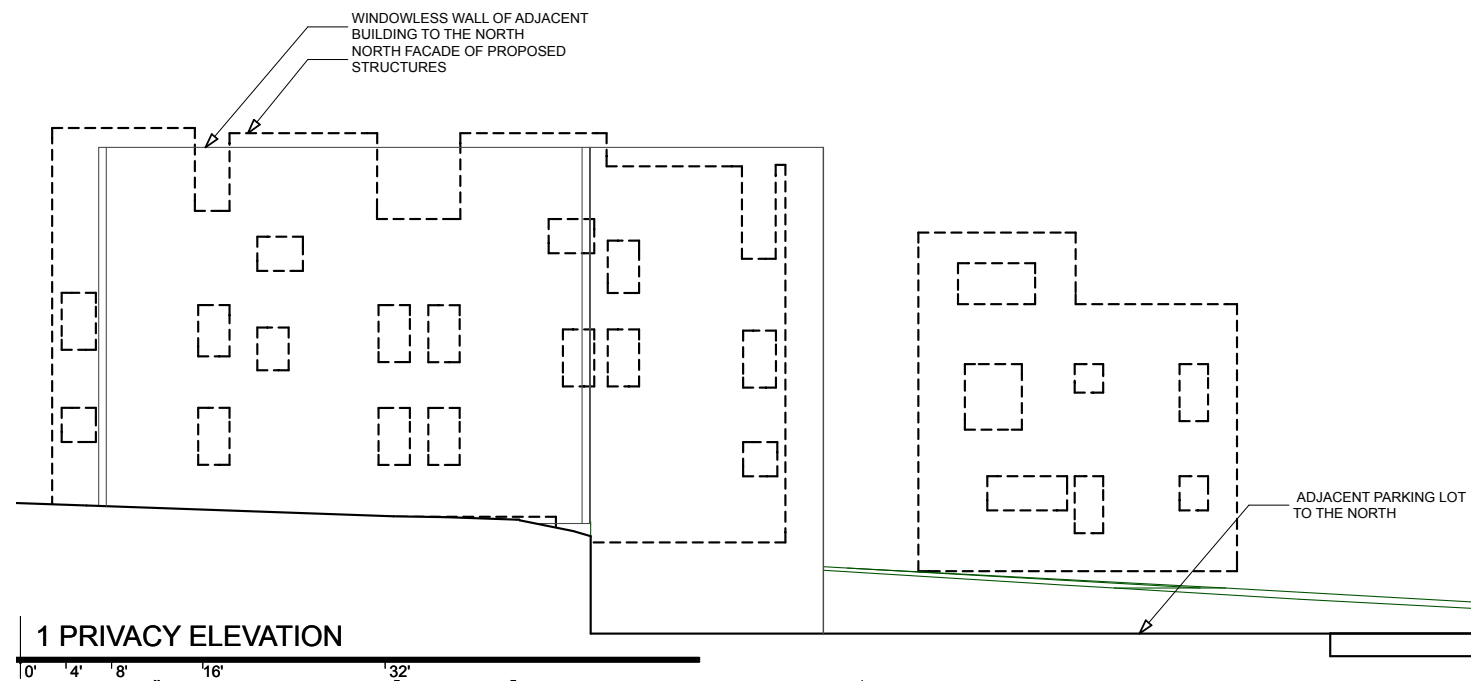
1 | SITE PLAN DESIGN GUIDANCE RESPONSE
 SCALE: 0' 4' 8' 16' 32'

keyed views appear on pages 14-17



4 TREE PRESERVATION PLAN

SCALE: 0' 4' 8' 16' 32'



1 PRIVACY ELEVATION

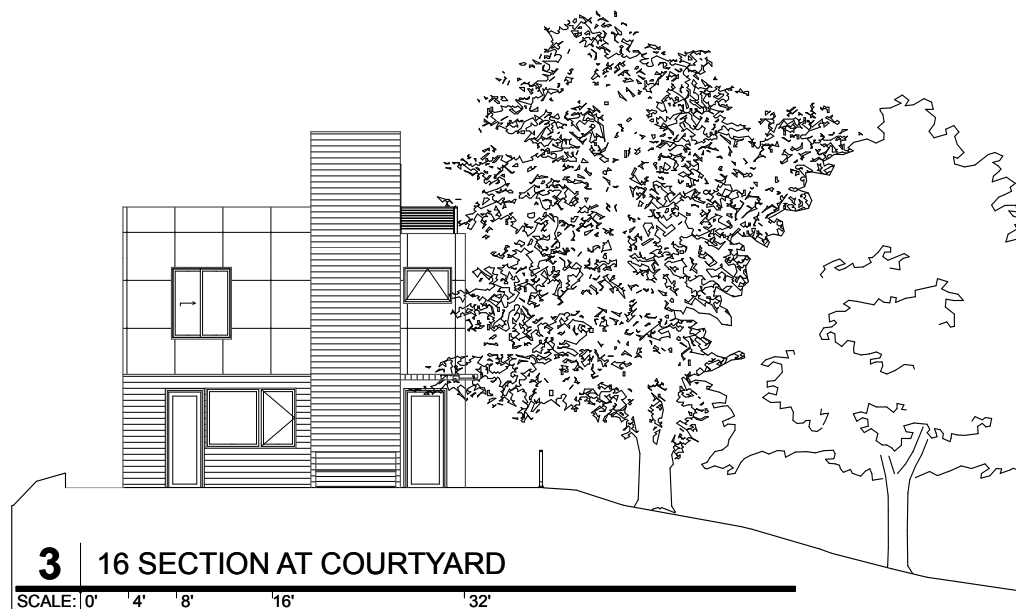
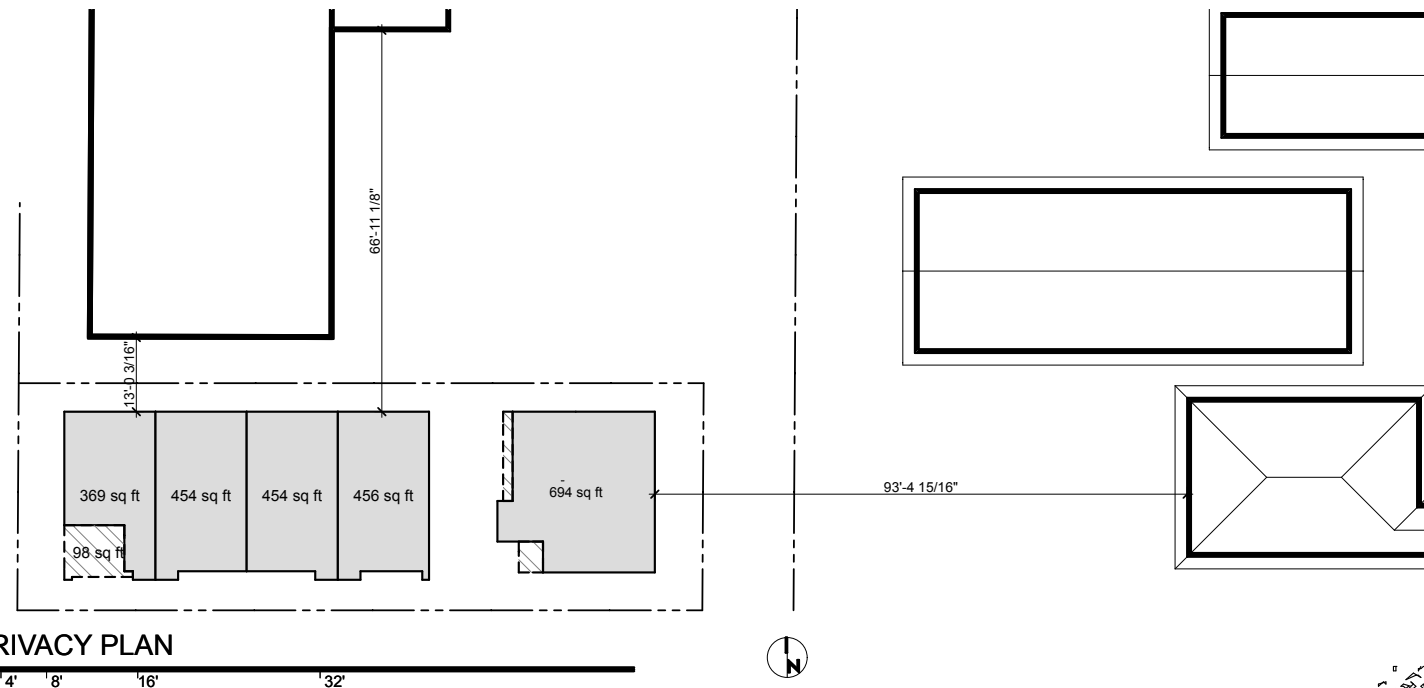
response to design guidelines:

maximize privacy. the development is sited and designed to minimize impacts on adjacent residential structures. (refer to sheet a1.7)
a. the adjacent residential structure to the north has no windows facing our site. its south façade is nearly 43 feet long and is a completely blank three-story wall. across the alley to the east there is a 6-foot tall fence and dense vegetation obscuring views in that direction. in addition the residential structure is set back nearly 60 feet from its alley property line, creating a distance of nearly 85 feet between the east wall of the proposed single-family structure on our site. (a-5)
b. all high use living spaces in the proposed development face onto

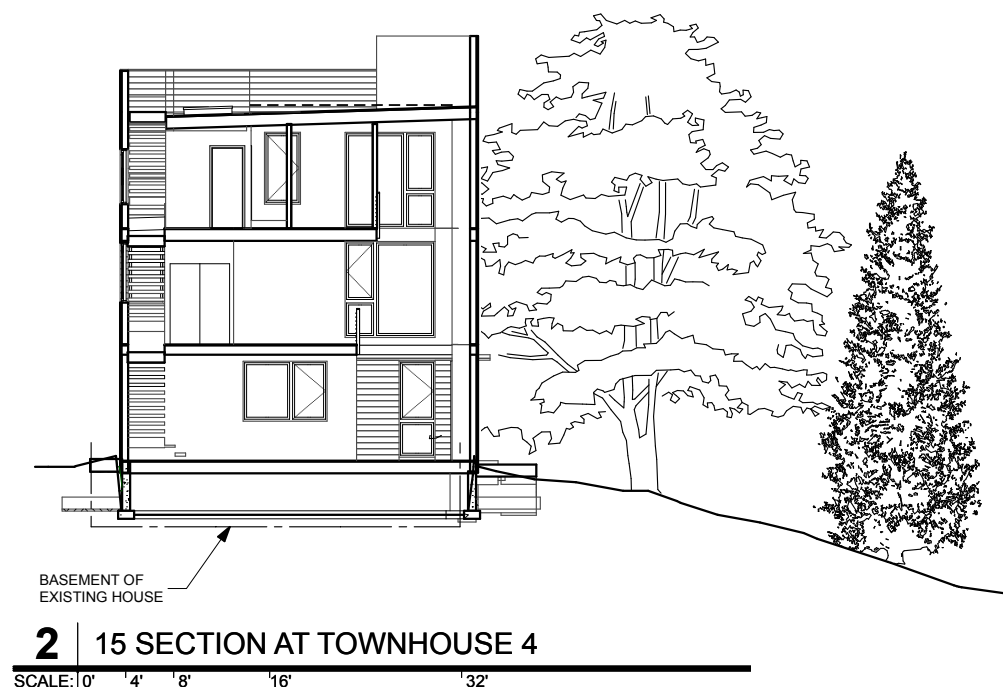
the park to the south and will provide a safer environment for the park as a result. the majority of the windows on the north façade of both residential structures proposed have no view into adjacent properties. the only space that is viewable directly from the proposed single-family structure is the large surface parking area of the apartment structure to the north. again, this will provide increased safety rather than an imposition on privacy. (a-5)
c. within the project, the walls are designed to minimize direct views across the courtyard while avoiding blank walls. windows are located not directly opposite each other. (a-5, d-2)

2 PRIVACY PLAN

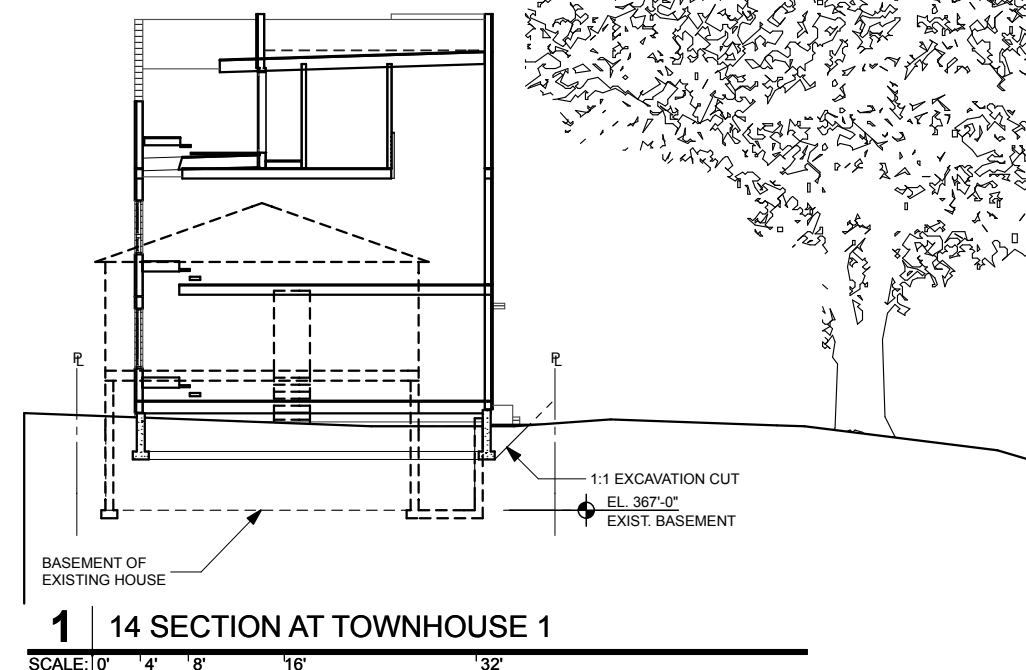
SCALE: 0' 4' 8' 16' 32'



3 16 SECTION AT COURTYARD



2 15 SECTION AT TOWNHOUSE 4



1 14 SECTION AT TOWNHOUSE 1

response to design guidelines:

identifiable residential entries.

- all residential entries are easily identifiable, with similar wood deck platforms raised above adjacent grade and with wood canopies providing weather protection as well as strong visual cues. (a-3)
- the street-facing townhouse maintains its primary entry along 19th avenue with wood detailing and recessed porch. this porch is also accessed from the park side along the shared walkway and echoes the other homes' canopy detail. (a-3)
- clear signage will be provided. provide arbor and steel numbers for addresses, street facing unit is on the street-facing façade with rest on arbor. each home facing the walkway gets an address adjacent to the front door. (a-3)
- as described in 'a' above, the wood entries are provided for all homes, including the single family structure. (a-3, c-2)
- the shared walkway connecting 19th avenue to the alley will be out of reclaimed brick and will follow the existing topography down the slope. at each home's entry, a wooden deck platform with stair will create a small stoop that directly engages the walkway and miller park. larger areas for pause along the walkway are provided between the individual entries at each stair tower volume. the brick paving widens in these areas to maintain a simple continuous palette. planters will be located between these larger areas along the walkway and each residential entry stoop. (a-4, a-6)
- areas of reprieve as described above are created along the common pathway, as well as in the courtyard. (a-4, a-6)

10-foot separation from back of sidewalk accommodates street trees unable to fit in the undersized planting strip per guideline A-6 transition between residence and street.

modulation along north facade per guideline B-1, height, bulk and scale compatibility

canopy trellis highlights street-facing townhome's entrance and shared entry walkway. creates a visual connection to all home's entrances per guideline A-3 entrances visible from the street

steel plate displays homes' addresses adjacent to the shared walkway from 19th Avenue E per guideline A-2 streetscape compatibility. see page 21 for detail.

shared walkway for all homes connects 19th Avenue to the site's abutting alley along the shared park boundary per guideline A-2 streetscape compatibility



① view from 19th Ave E.



② view of the walkway looking east

response to early design guidance:

adjacency to miller park. the proposal engages the park directly by focusing its living spaces and locating its shared communal walkway along the parks north boundary. due to the unique site conditions the proposal has no impact on the park's existing vegetation. (refer to sheets a1.7 and 1.8)
a. since the project directly connects with miller park, all residential entries and living space windows are fronting the park. (a-1)
b. because of existing conditions on the development site, little to no excavation will be necessary along the side of the property that abuts miller park. there is a "moat" surrounding the basement of the existing structure that is below the expected foundation depths

and within the boundary of the proposed structure where any mature trees might be impacted. see diagrams on sheet a1.8 (a-1)
c. at the rear of our site, we have increased the south side setback where the proposed single family structure abuts the park by 1'-7 ¾". at 6'-7 ¾" currently, it exceeds the 5-foot minimum requirement for façade lengths of 40 feet or less. its façade length is 27'-7 ½". (a-1)
d. we have provided shadow diagrams on sheet a1.8 demonstrating that the proposed development has no impact on the adjacent park property to the south. rather the mature vegetation on the park provides shadows on the proposed development. (a-5)

modulation and material change along south facade adds rhythm and minimizes bulk per guideline B-1, height, bulk and scale compatibility.

structures steps down to the east following site's topography per guideline A-5 respect for adjacent sites

entry canopies highlight townhome entrances along the shared entry walkway. creating a visual connection to the street per guideline A-3 entrances visible from the street

green wall applied to fence along south property line will differentiate the park property from the semi-private shared residential walkway per guidelines D-7, E-1, and E-2.

durable, maintainable, high quality materials include painted cement board and ship lap siding, contrasted with a sustainable hard wood per guideline C-4, exterior finish materials

shared walkway for all homes connects 19th Avenue to the site's abutting alley along the shared park boundary per guideline A-2 streetscape compatibility



③ view from the southeast from Pendleton Miller Playfield.



④ view from southwest on 19th Ave E

screening foliage will be provided along the south walkway and courtyard space. omitted in foreground for clarity.

response to design guidelines:

massing compatibility. the design proposal is sensitive to its edges by providing structures that follow the sloping topography and vary in density and massing. (refer to sheets a1.7 and a1.9)

a. the two structures have been maintained with each relating to the sloping topography of the site. we have lowered the eastern most townhouse and the single family house to reduce their overall height as well. (a-1, b-1)

b. the structure maintains its proposed three-story façade abutting 19th avenue with the stair penthouse access setback from the street façade. (c-1, b-1)

c. the proposed single-family structure is retained as a two-story structure with crawl space and stair penthouse. the crawl space increases in height towards the east, responding to the topography of the site. this creates a strong relationship to the courtyard between the

two structures. the height of the wall abutting the alley to the east is mitigated with landscaping. (b-1)

d. the stair penthouse massing is a dominant feature in the project's design. these are retained as solid with large expanses of glazing adjacent to them connecting primary living spaces directly to the park to the south. (b-1, c-2)

e. we have provided additional documentation demonstrating the design of the north façade. see sheets a1.9 and a3.12 for the three dimensional rendered views as well as rendered elevation drawing. the massing of the stair towers and infill glazing along the south façade inform the massing design decisions on the north façade. in addition, glazing is minimized where possible and strategically placed to provide adequate natural lighting to the proposed development. the abutting apartment structure to the north has no windows on its south façade. (b-1)

f. the design review packet has been updated to include a code complying massing alternative. (b-1)

solid waste and recycling enclosures to be provided along the north side. the small enclosed will be roofed and sided with a material wood.

structures step down to east following site's topography per guideline A-1 respond to site characteristics

modulation and material change along north facade expresses access points to roof decks and minimizes bulk by removing stair penthouses per guideline B-1, height, bulk and scale compatibility.



bamboo planting adjacent to single family structure against foundation per guideline D-2 blank walls

5 view from southeast

response to design guidelines:

further treatment of setbacks. the front and rear setbacks provide usable spaces for the residents and provide a transition to the abutting right-of-ways. the south setback provides access from 19th ave e and the alley to the entrances to all homes and the communal courtyard space. (refer to sheet a1.7 and a1.9)

a. the north setback allows for a dense landscaped buffer to the abutting parcel's blank south-facing wall and surface parking lot. windows are positioned to provide views into the setback area from within each home. lighting will be provided to appropriately light the

space without spilling onto adjacent properties. (d-7, e-2)

b. the setback has been increased adjacent to the proposed single-family home at the east end of the development. vertical landscaping will be provided along the fence separating the park property from the development site to differentiate the semi-private shared resident walkway. (d-7, e-1, e-2)

c. the 8-foot proposed front setback provides a 9-foot wide space for street trees to be planted. per a conversation with shane dewald on 08/17/2012 at sdot urban forestry, this distance is sufficient. the front setback is more than what is required by code, providing a minimum of 8 feet, and an average of 8'-1 1/2". the adjacent apartment structure



the space to the north will of the townhouse structure will be landscaped to provide a buffer to the abutting apartment structure

6 view from northeast

to the north is 12'-3". given the potential to provide a strong presence at the north boundary of miller park, we feel that the 8-foot minimum setback is well-scaled to its context. for comparison, existing structures across e republican street to the north and across 19th to the west are set very close to their front property lines. (a-2)

d. although considered, low terraced retaining walls with sculptured landscaping, the development team chose to provide vertical landscaping along the concrete foundation wall adjacent to the alley and park. images on sheet a1.9 demonstrate the benefit of this approach. stepped landscape walls would instead provide a physical barrier along the shared property line with the alley. the proposal

instead provides to plant mature bamboo in this location. (c-3, d-2, d-3, d-8, e-1, e-2)

e. lighting will be provided along the shared walkway with low lights along the pathway and entry lights above each dwelling's front door. in addition lighting will be provided in the courtyard that will be activated by motion sensors. (a-6, d-7)

f. solid waste and recycling storage spaces are provided along the north setback adjacent to each unit. (d-6)

response to design guidelines:

develop courtyard amenity space. the courtyard space between the townhouse and single-family structures provides a place for all residents to gather as well as a break in the massing for adjacent structures. (refer to sheet a1.9)

a. the courtyard will provide planting along its north, west and east edges and will remain open to the park and shared walkway. we will leave the space unprogrammed to allow the residents to decide how to use it. if there are young families, it could be a place for a swing or perhaps an area for a bbq. brick walkway spills into the space as a continuation of the pattern of widened areas of reprieve along the walkway. (a-4, a-7, d-7, e-2)

b. there are no blank walls in the courtyard. please refer to sheets a3.10 to a3.13 for rendered building elevations demonstrating intended window locations, massing modulation and materials. (a-7, d-2)

c. the space is intended as a common amenity area for all residents with private spaces focused primarily on each home's roof deck. design details include: reclaimed brick patio for the majority of the space that is a continuation of the pattern of widened areas of reprieve along the walkway. this will be softened by areas of planting along the building facades with a specimen fruit tree at the north end of the courtyard. (a-4, a-7)

planters incorporated as part of architecture in order to emphasize entries per guideline E-2, landscaping to enhance the building or site

entry canopies highlight townhome entrances along the shared entry walkway. creating a visual connection to the street per guideline A-3 entrances visible from the street

shared walkway for all homes connects 19th Avenue to the site's abutting alley along the shared park boundary per guideline A-2 streetscape compatibility

building modulation creates courtyard and distinctive seating and landscaping per guideline E-2, landscaping to enhance the site



7 view into courtyard from the north

central courtyard is accessible to all homes with a direct view of Pendleton Miller Playfield per guideline A-7 residential amenity space
space for shared seating per guideline A-7 residential open space




8 view into courtyard from the south

communal walkway will be well lit and have a direct view from all the homes. an active space, it provides access to the entrances of all homes and the the courtyard at the center of the site. Glazing along the walkway provides a strong visual connection from the inside of the homes. per guideline D-7 pedestrian safety


screening foliage provided throughout courtyard space to enhance amenity area and obscure line of site to adjacent uses per guideline A-5 respect for adjacent sites and A-7 residential open space


response to design guidance:

- develop material palette.** (refer to sheet a 1.9 and a3.10 to a 3.13)
- a. (c-4) the material palette consists of:
 - i. reclaimed brick for the shared walkway
 - ii. sustainable hardwood for the entry stoops, soffit and canopies and at entry recess for street facing unit.
 - iii. gray painted horizontal ship lap siding for the "solid" elements.
 - iv. painted or integrally colored 4' x 4' panels for the infill material between the "solid" elements.
 - v. white windows
 - vi. gray painted steel railings behind roof deck parapets.
 - vii. galvanized metal coping at the top of the parapets
 - b. (c-1, c-4) the materials specified are durable and a good complement to the existing neighborhood material context.

 tree

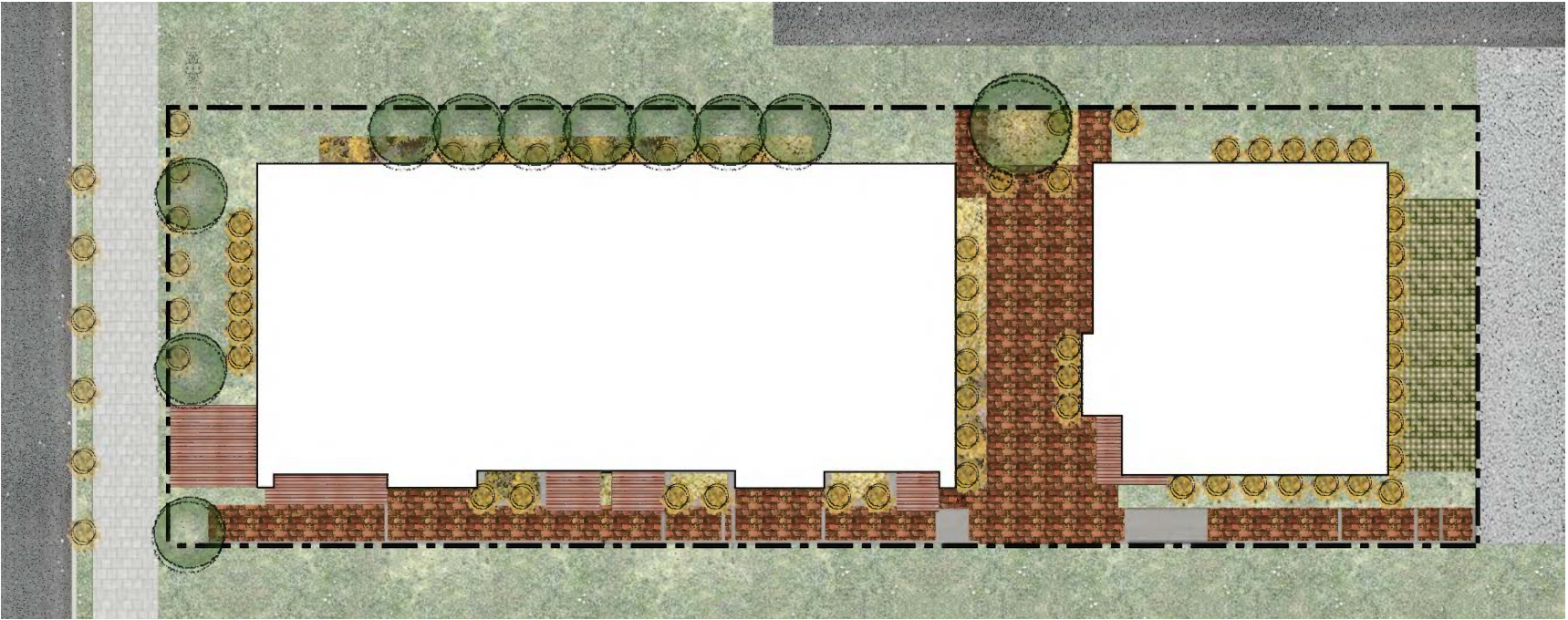
 drivable grass

 shrub

 open wood decking

 reclaimed brick pavers

 landscape area



1 GREEN FACTOR PLAN
SCALE: 0' 2' 4' 8' 16'



1" x 6" Kayu Batu Wood Decking and Siding

Location: Unit entries and awnings. siding on the single-family and multifamily south and west elevations.



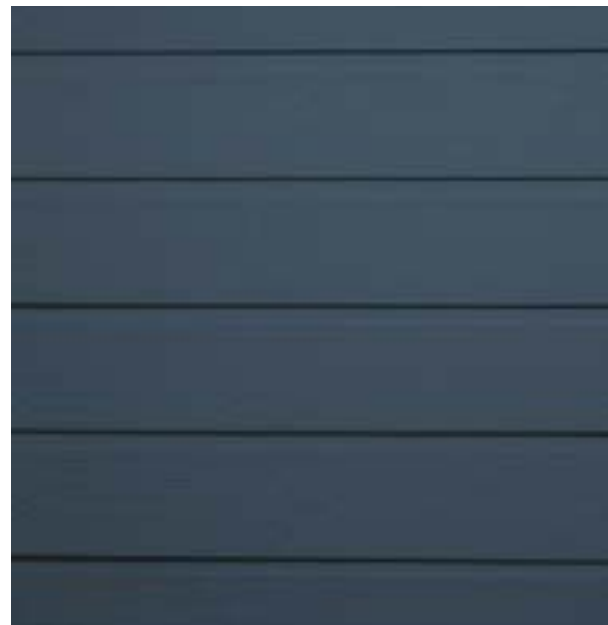
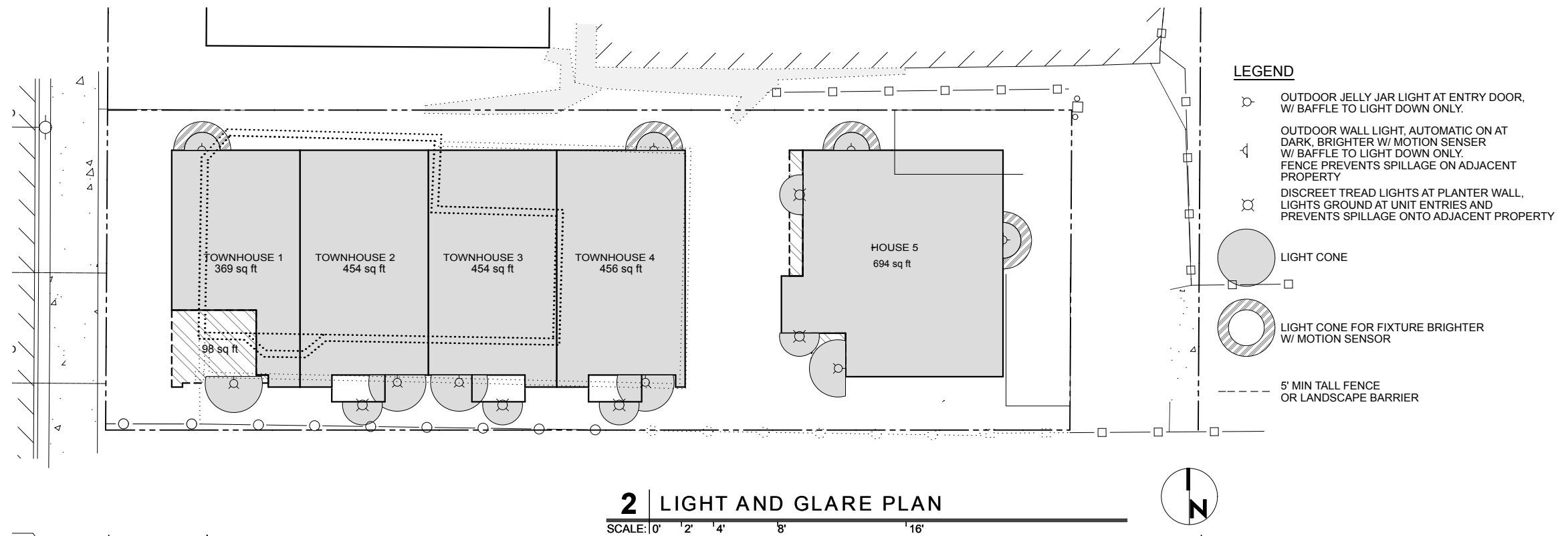
Reclaimed Brick Pavers

Location: Entry walkway along south side and surface of the courtyard.



Steel Residential Signage

Location: At entry walkway parallel to 19th avenue. Mild Steel Plate to be clear coated and attached to siding at shared walkway. Address numbers to be cut out of steel plate



1" x 6" Ship Lap Siding

Location: Siding of multifamily and single-family structures. Painted Benjamin Moore "Bluenote" (blue-gray).



Hardie Panel Siding

Location: Siding for multifamily and single-family structures.



Exterior Railing

Location: Parapet of townhouse and single-family structures. Gray powder coated steel railing.



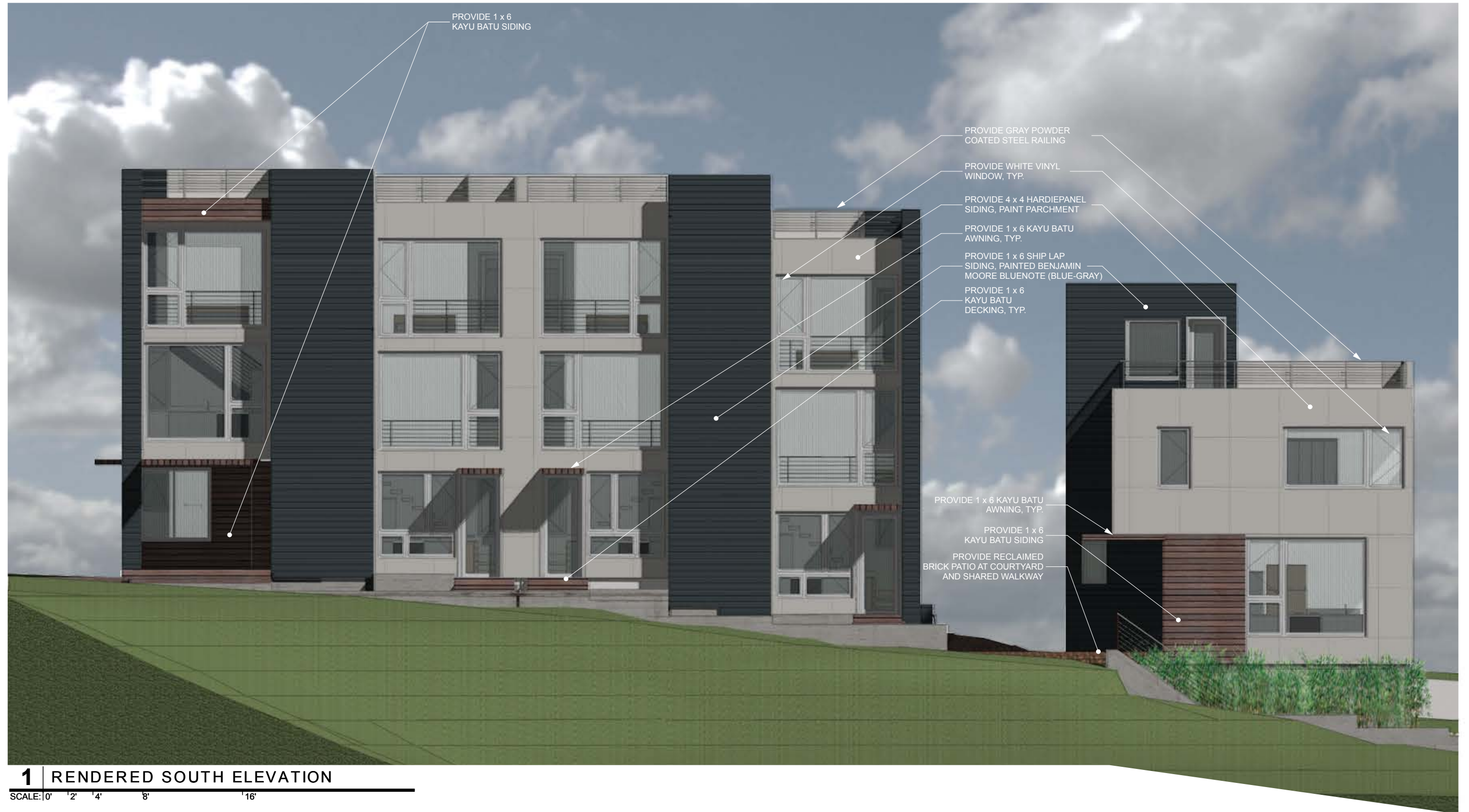
1 | RENDERED WEST TOWNHOUSE ELEVATION

SCALE | 0' 2' 4' 8' 16'



2 | RENDERED EAST TOWNHOUSE ELEVATION

SCALE | 0' 2' 4' 8' 16'

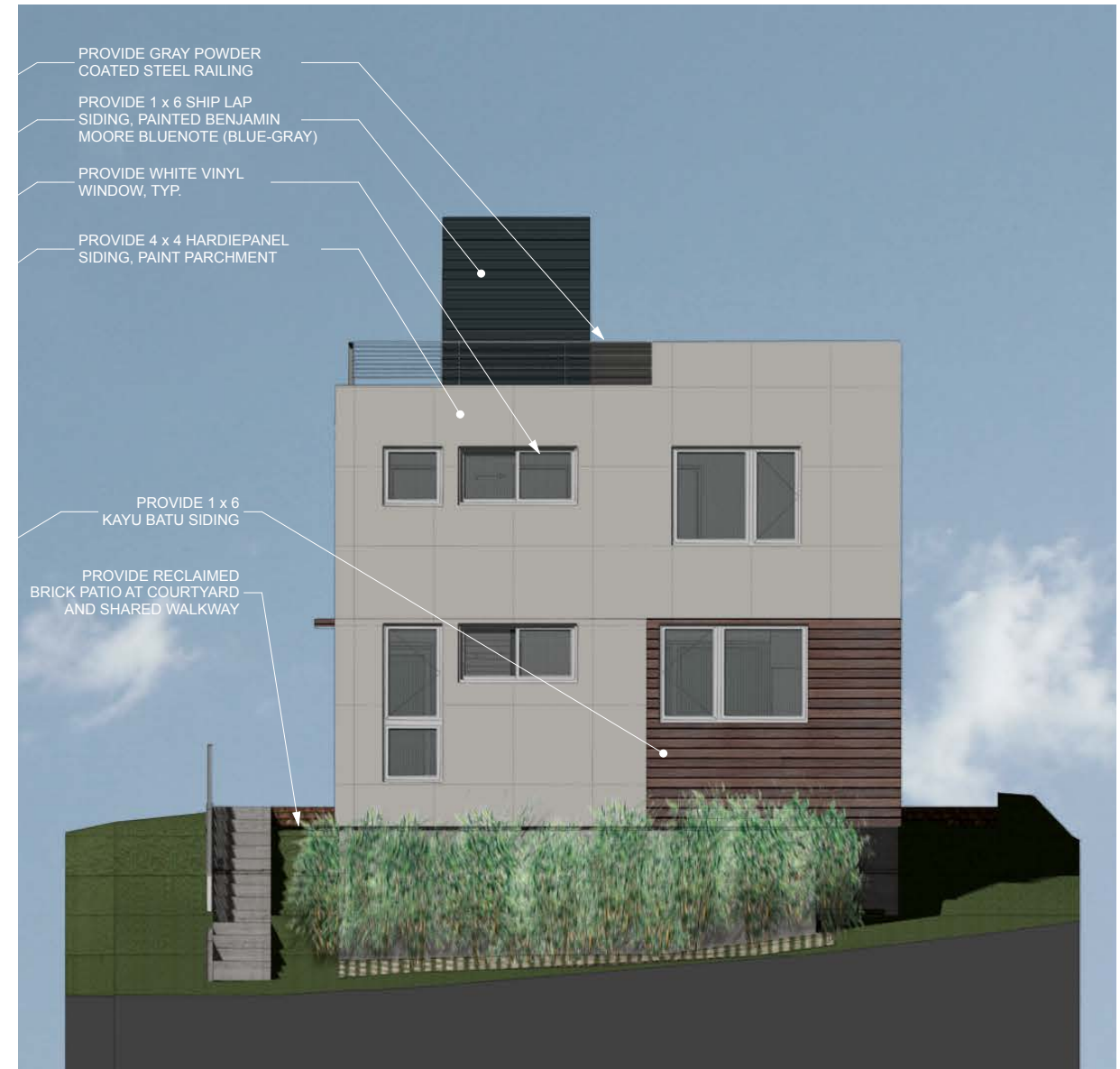






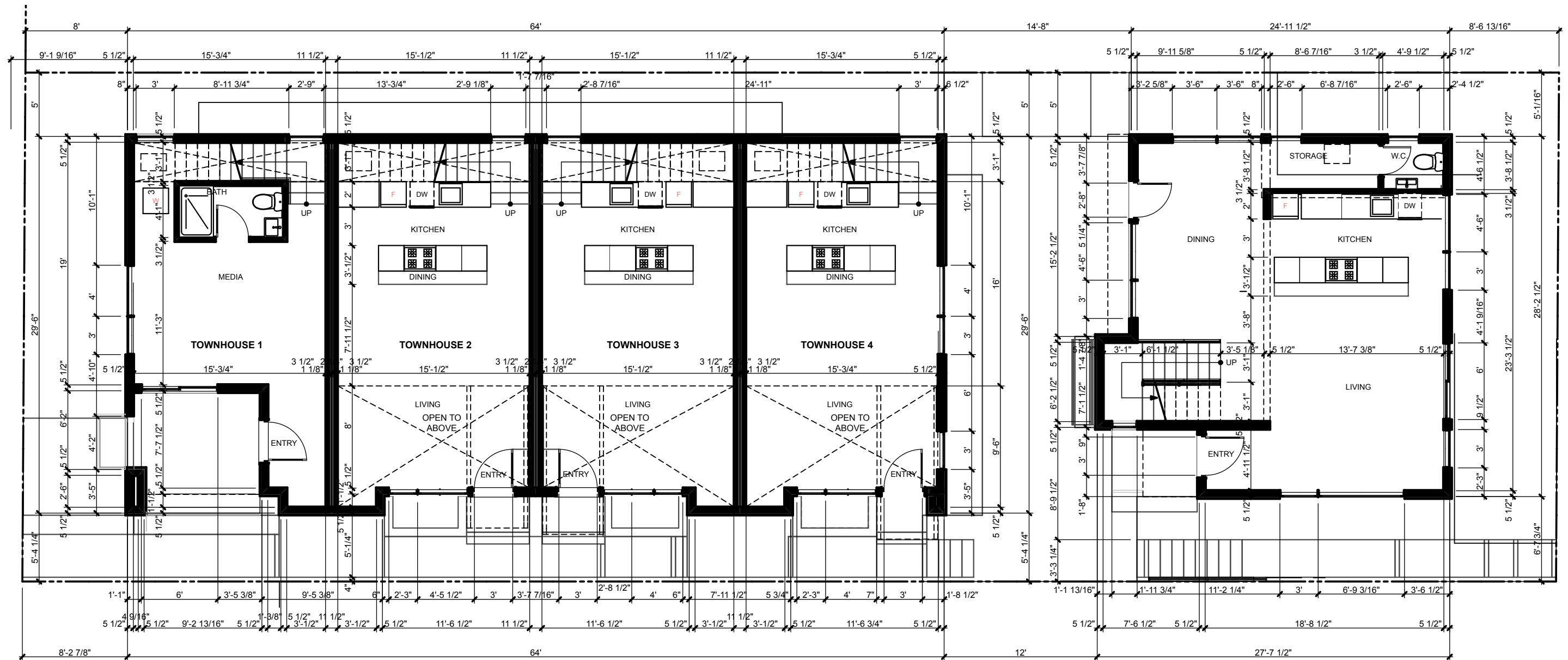
1 | RENDERED WEST SINGLE FAMILY ELEVATION

SCALE: 0' 2' 4' 8' 16'



2 | RENDERED EAST SINGLE FAMILY ELEVATION

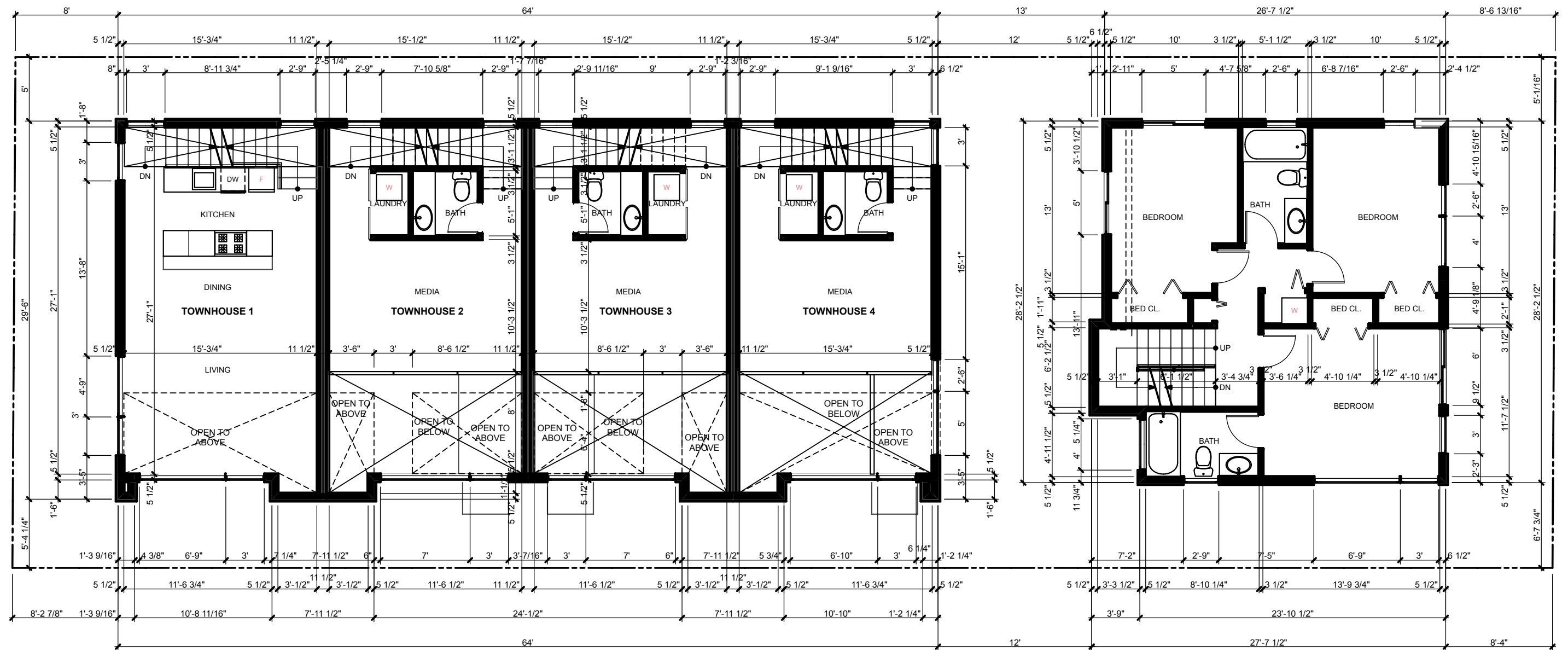
SCALE: 0' 2' 4' 8' 16'



1 FIRST FLOOR PLAN

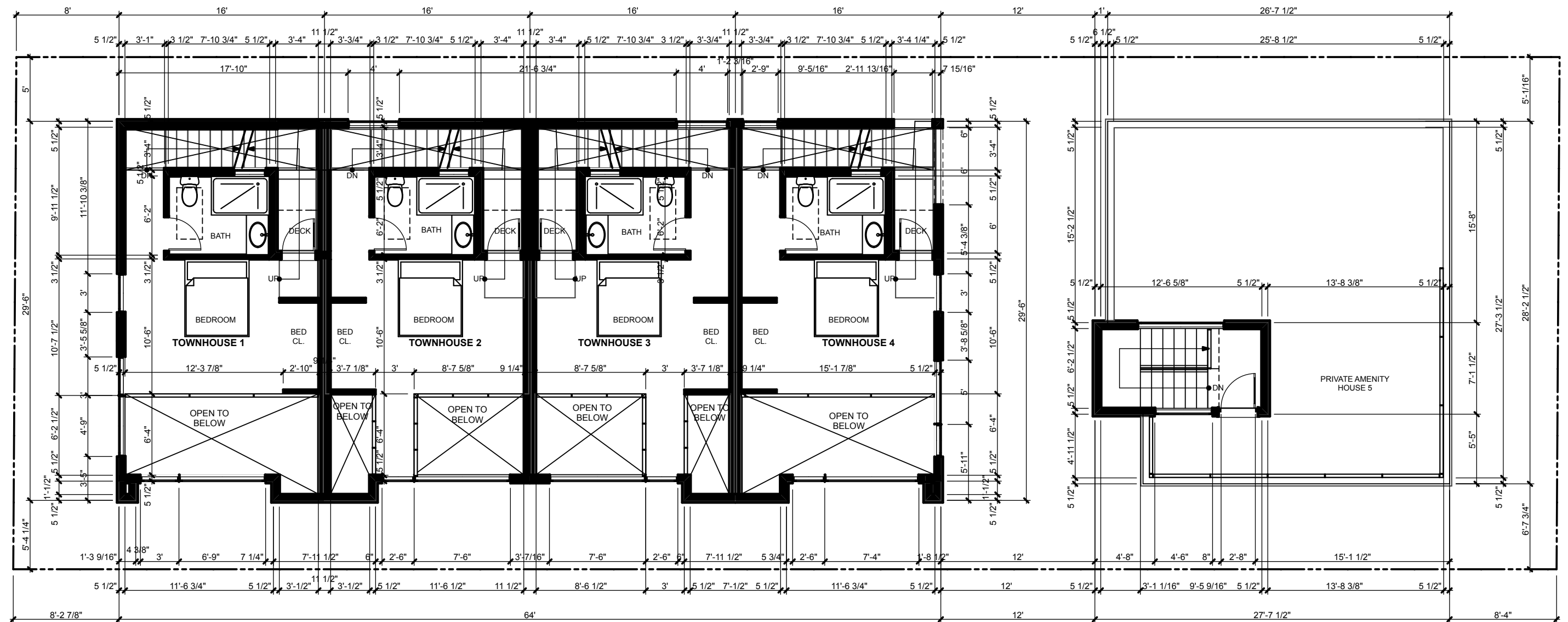
SCALE: 0' 4' 8' 16' 32'

first floor plan



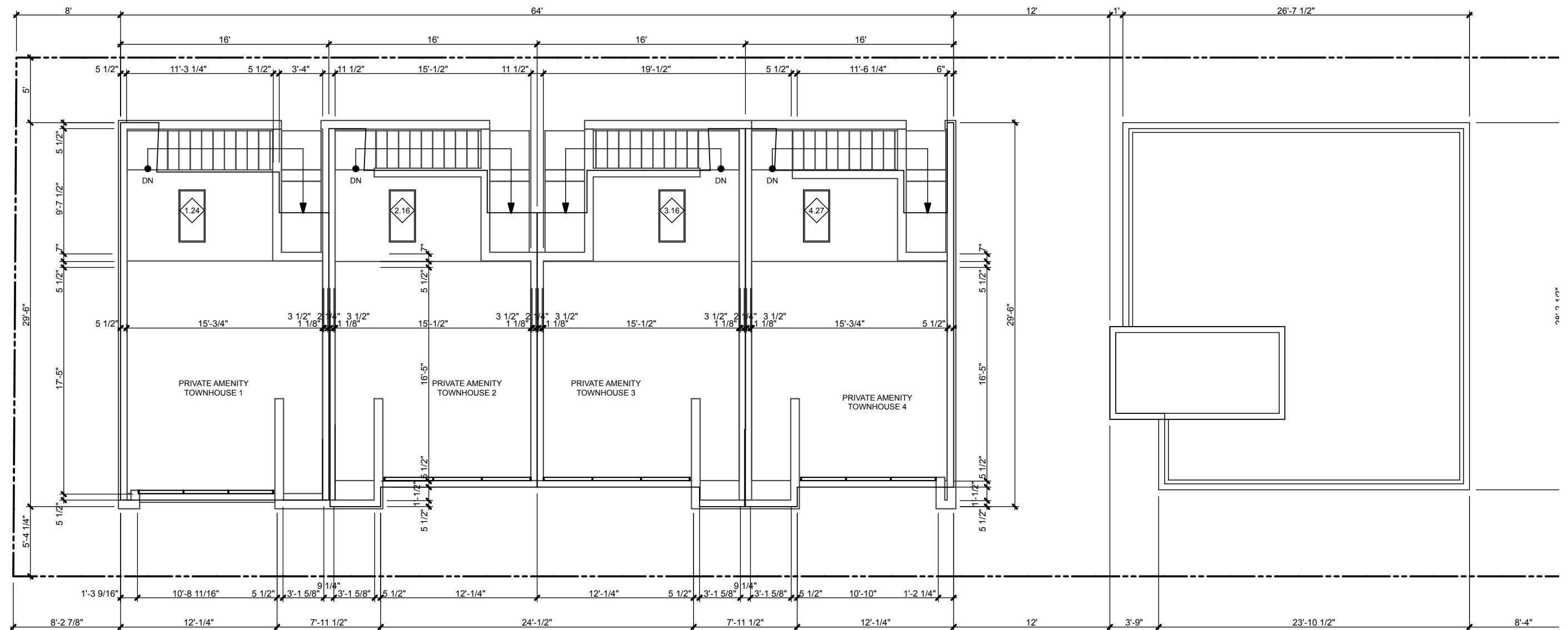
2 SECOND FLOOR PLAN

SCALE: 0' 4' 8' 16' 32'



3 THIRD FLOOR PLAN

SCALE: 0' 4' 8' 16' 32'



4 | 4. ROOF PLAN

SCALE: 0' 4' 8' 16' 32'