



schemata

workshop

capitol hill urban cohousing

1720 12th avenue | seattle, washington

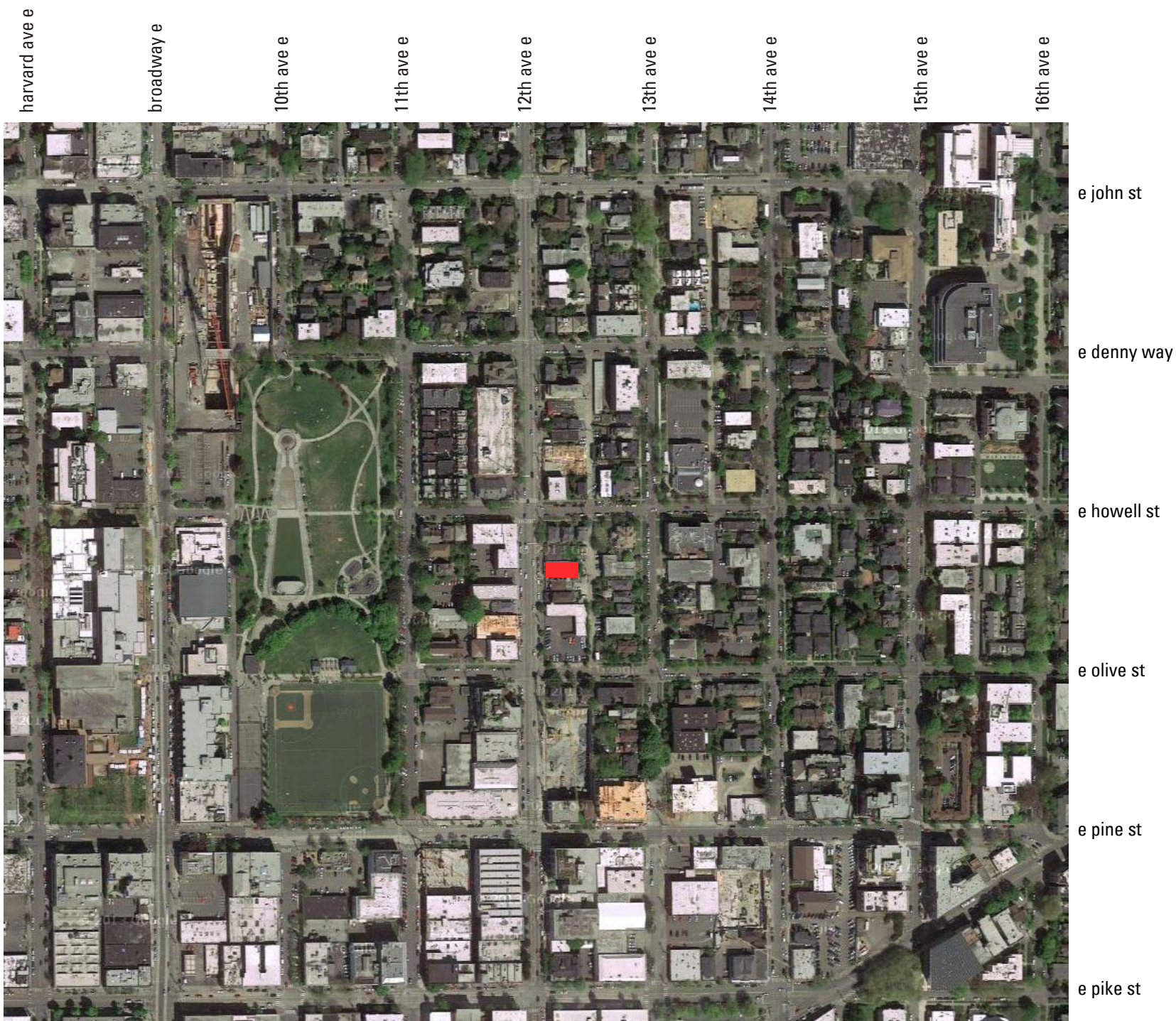
design review board

recommendation hearing

19 march 2014

A/P # 3013374

proposed development information



development summary

Lot size	4,520 SF
Base FAR	4.0
Base Allowable area	18,080 SF
Commercial Space	1,970 SF
Residences	9 Units
Parking Spaces	0

resident developer

Frog Pond, LLC
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Seattle, WA 98122
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architect

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development objectives

The proposed, mid-block project is a five-story, mixed-use apartment building with 9 dwelling units over a street level commercial space. The site is within a 5-minute walk of the Capitol Hill Light Rail Station, and between two key pedestrian streets that provide access to Cal Anderson Park one-block to the east.

The property is being developed around the Danish model of “cohousing”, a term that simply applies to the concept of future residents intentionally organizing and collectively building a community. This specific group began meeting in Spring 2010 with the interest in developing a highly sustainable, urban community in a central Capitol Hill location. The physical building is very similar to many other multi-family buildings, with the addition of extensive common areas that provide for opportunities to create a stronger sense of community within. This happens through a regularly occurring meals, guest room, and outdoor and indoor common areas. Future residents have already committed to sustainability at multiple levels. We believe this project will have a positive impact on Capitol Hill goals for neighborhood sustainability as a high-performance energy and water district (or, “ecodistrict”), as well as making progress toward building strength and resiliency in our city.

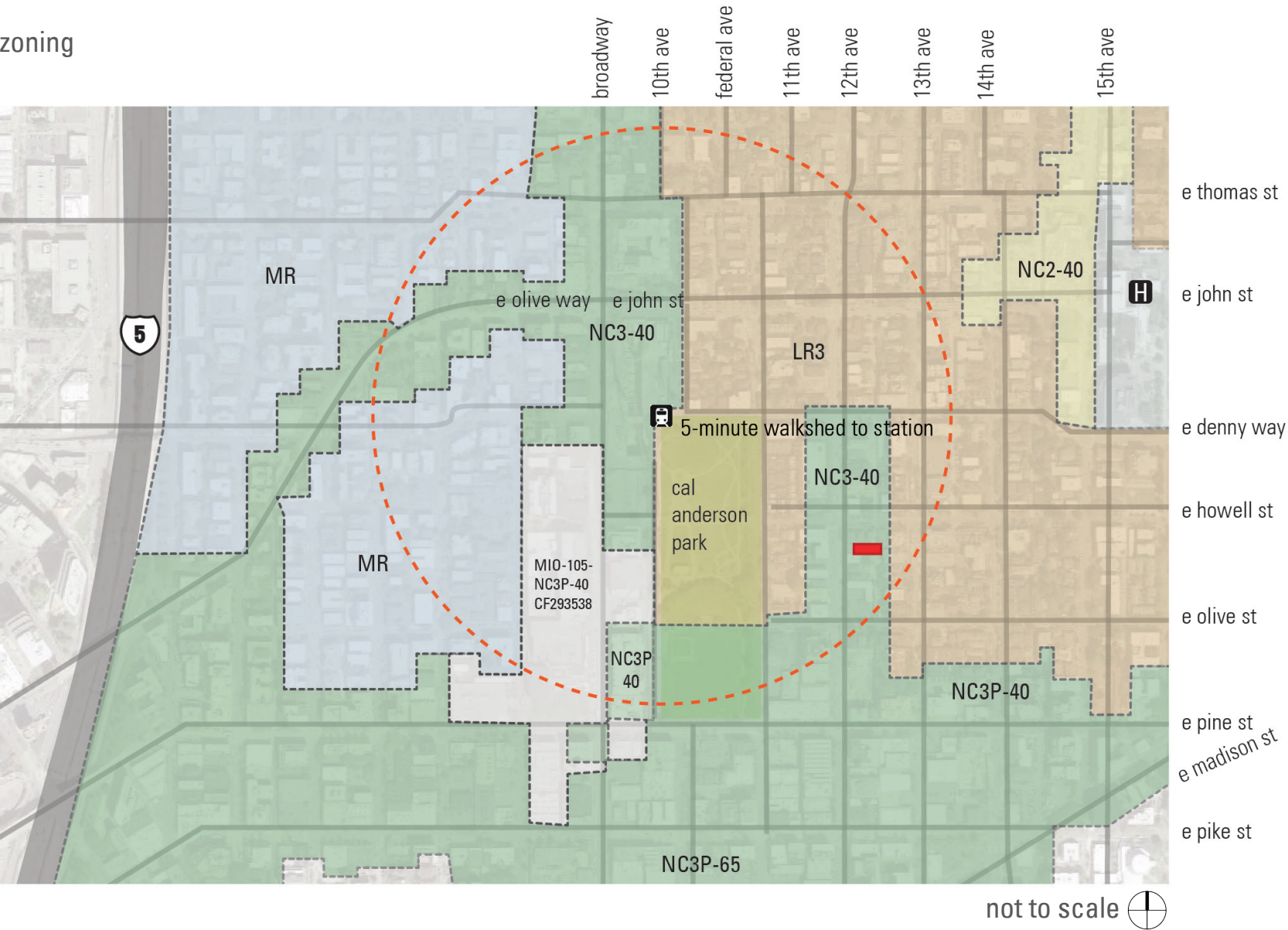
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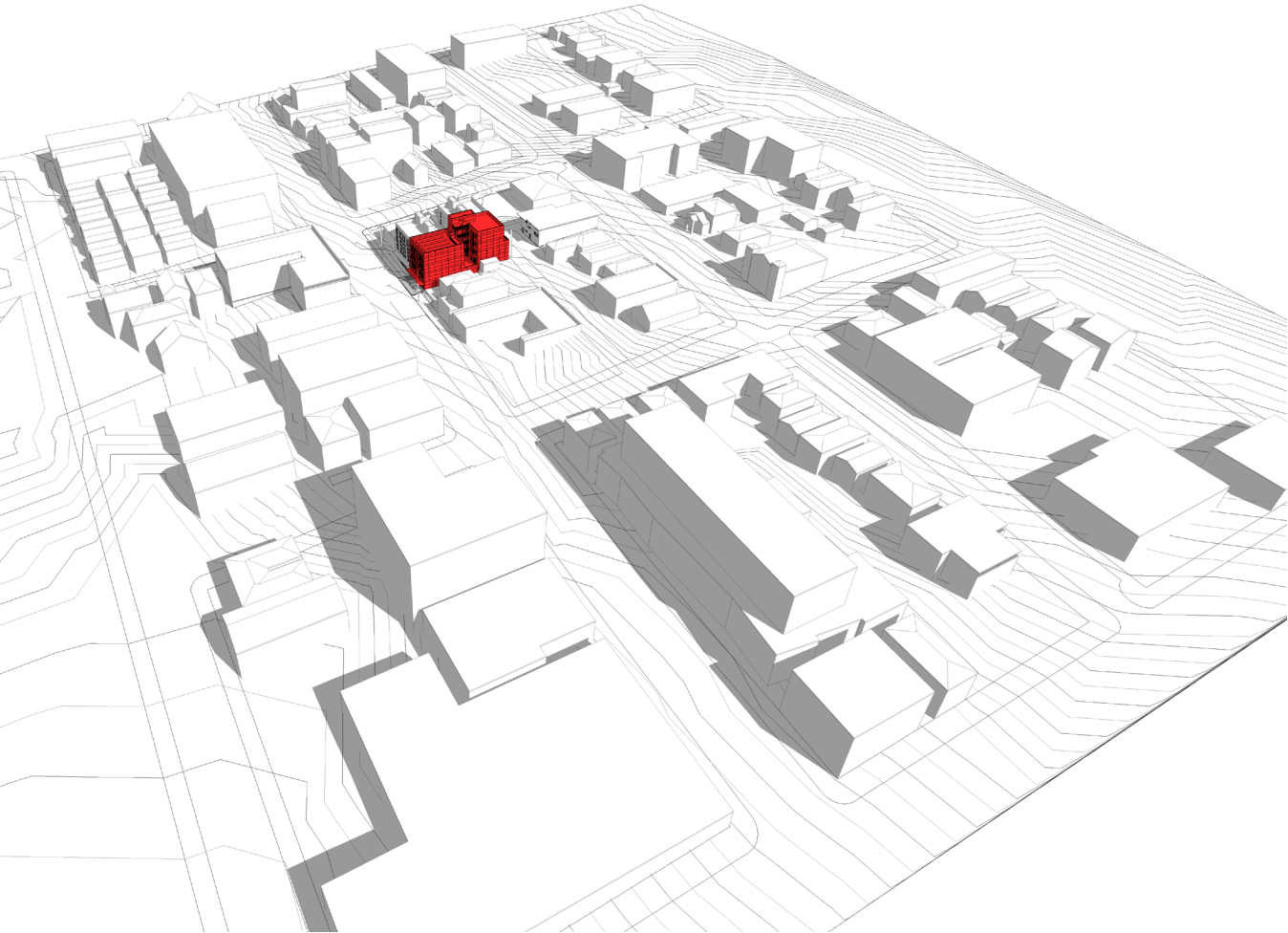


urban design analysis

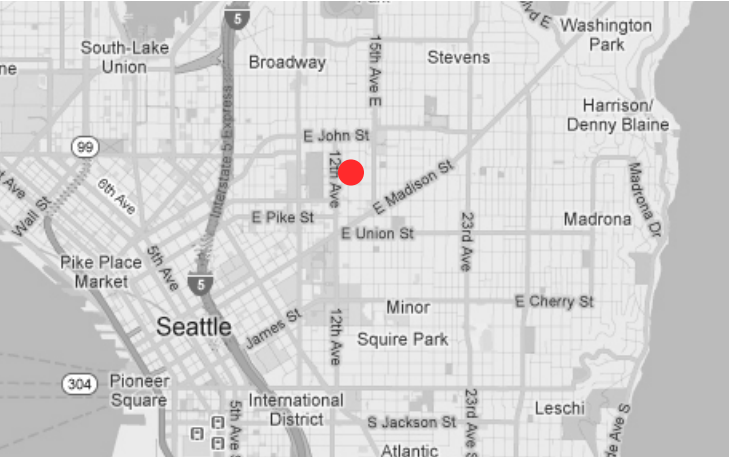
zoning



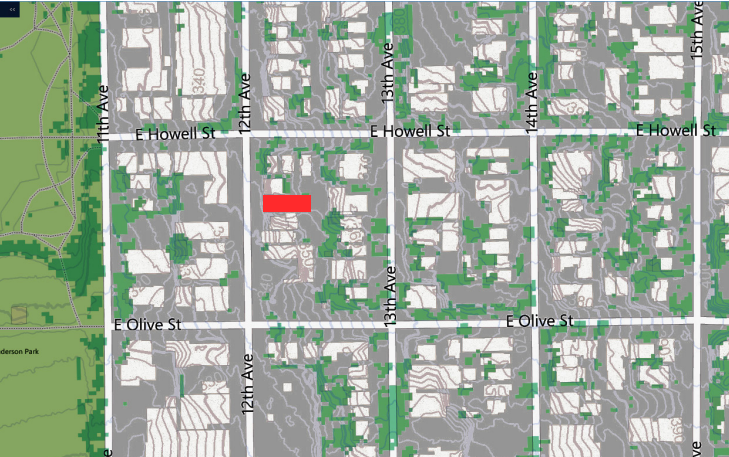
9 block massing diagram



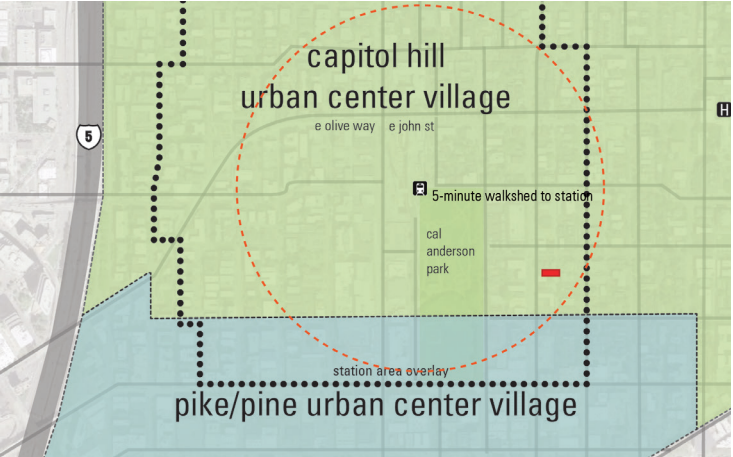
vicinity map



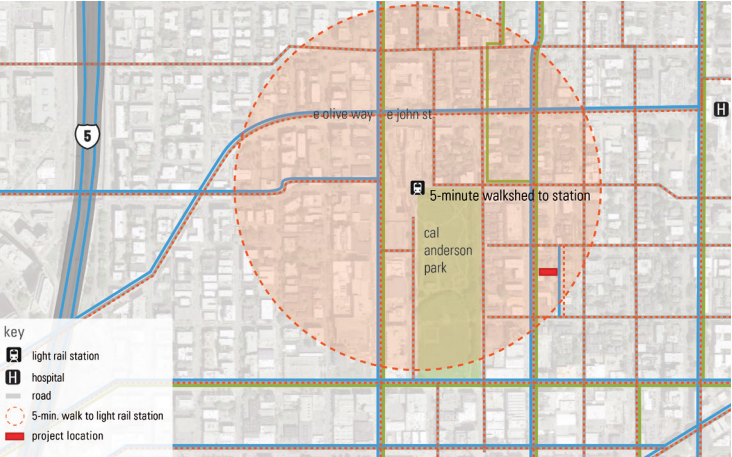
tree cover



overlay



site access



urban design analysis - neighborhood



- map key
- 1 Artist Trust Building
 - 2 Apartment Building
 - 3 Single Family Homes
 - 4 Cafe Argento/Condominium Building
 - 5 Greek Orthodox Church
 - 6 Capitol Hill Arts Center and housing
 - 7 Apartment building 1711 12th Avenue
 - 8 Russian Orthodox Cathedral
 - 9 German United Church of Christ
 - 10 1828 12th Avenue
 - 11 Mixed-use Micro-Apartment Building
 - 12 Mixed-use Micro-Apartment Building

not to scale



design guidelines

A-1 Responding to site characteristics

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Response: This urban in-fill project occupies a sloping site in an underdeveloped portion of 12th Avenue. The main pedestrian entrances to the building will be off 12th avenue which is a very pedestrian-friendly street. There will be no automobile parking provided in this project.

A-2 Streetscape compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Capitol Hill-specific Supplemental Guidance:

- Retain or increase the width of sidewalks.
- Vehicle entrances to buildings should not dominate the streetscape.
- For buildings that span a block and “front” on two streets, each street frontage should receive individual and detailed site planning and architectural design treatments to complement the established streetscape character.
- New development in commercial zones should be sensitive to neighboring residential zones. Examples include lots on Broadway that extend to streets with residential character, such as Nagle Place or 10th or Harvard Avenues East. While a design with a commercial character is appropriate along Broadway, compatibility with residential character should be emphasized along the other streets.

Response: The sidewalk width along 12th avenue will be increased by an average of three feet. Salvaged brick paving, relating in scale and color to the brick buildings in the neighborhood, will be used to enhance parts of the sidewalk landscape character and act as permeable paving. No vehicular access is provided and the existing curb cut will be removed.

A-3 Entrances Visible to the Street

Entries should be clearly identifiable and visible from the street.

Response: The primary residential entrance to the building off 12th avenue is designed to be distinct from the commercial space entrance. Clad in vibrantly painted cement board panels, the residential entry will contrast the transparent storefront system at the commercial space.

A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

Capitol Hill-specific supplemental guidance:

- Provide for sidewalk retail opportunities and connections by allowing for the opening of the storefront to the street and displaying goods to

the pedestrian.

- Provide for outdoor eating and drinking opportunities on the sidewalk by allowing for the opening the restaurant or café windows to the sidewalk and installing outdoor seating while maintaining pedestrian flow.
- Install clear glass windows along the sidewalk to provide visual access into the retail or dining activities that occur inside. Do not block views into the interior spaces with the backs of shelving units or with posters.

Response: The building will have a commercial space for lease at the street level. The commercial facade will be designed with transparency to allow a visual connection to the sidewalk. The increased sidewalk width will allow for bike parking, seating opportunities and an “art bench” in the landscape adjacent to the street.



A-5 Respect for Adjacent Sites

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

Response: The majority of building openings are on the east and west facades, thereby minimizing disruption to the privacy of adjacent neighbors to the north and south. Green screens in the form of a trellis provide privacy from neighbors at the roof top garden and second floor courtyard spaces.

A-6 Transition Between Residence and Street

For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

Response: The street level facade of the building will be set back from the property line to widen the sidewalk and create a more secure transition for residents between the building and the street. The residential entrance is setback further from the commercial entrance. Overhead weather protection will also be provided as well as space for outdoor seating and bike parking to encourage interaction among residents and neighbors.



A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Capitol Hill-specific supplemental guidance:

- Use landscape materials that are sustainable, requiring minimal irrigation or fertilizer.

Response: The proposed in-fill development will include a courtyard at the second level as an amenity and social focus for the residents. An urban farm is proposed for the fifth level roof deck of the building as an amenity with designated areas for resident use. Although there are currently no street trees along the lot width on 12th Avenue, two street trees will be added along with drought tolerant landscaping in the planting strip.

A-8 Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Capitol Hill-specific supplemental guidance:

- Preserve and enhance the pedestrian environment in residential and commercial areas by providing for continuous sidewalks that are unencumbered by parked vehicles and are minimally broken within a block by vehicular access.

Response: No vehicular parking is proposed in this building. There will be no vehicular impact to pedestrians and adjoining property. The existing curb-cut will be removed. The alley is envisioned as a pedestrian/people place.

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

Capitol Hill-specific supplemental guidance:

- Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.
- Consider existing views to downtown Seattle, the Space Needle, Elliott Bay and the Olympic Mountains, and incorporate site and building design features that may help to preserve those views from public rights-of-way.
- Design new buildings to maximize the amount of sunshine on adjacent sidewalks throughout the year.

Response: Redevelopment at the scale of this project is consistent with recent and ongoing development in the surrounding area. The proposed development will hold the street edge and provide street-level improvement to enhance the pedestrian experience. The south facade is divided into two masses by the central courtyard, and has patterning that relates to the openings on the east, west and courtyard facades. The level 4 roof deck on the east facade will set the building back from the alley.



C-1 Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Response: The existing architectural styles along 12th avenue are varied and many are in disrepair. The proposed building is designed and detailed to complement desirable characteristics of buildings in the neighborhood and establish a new precedent of quality design. The architectural treatment of the facade will distinguish the commercial spaces at the ground level and the residential floors above.

design guidelines

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.

Capitol Hill-specific supplemental guidance:

- Incorporate signage that is consistent with the existing or intended character of the building and the neighborhood.
- Solid canopies or fabric awnings over the sidewalk are preferred.
- Avoid using vinyl awnings that also serve as big, illuminated signs.
- Use materials and design that is compatible with the structures in the vicinity if those represent the desired neighborhood character.

Response: The 12th Avenue and alley facades aspire for an elegantly simple form with appropriate detail at the street level and within view of pedestrians to support the civic scale of the street. Building signage at the residential and commercial entrances will be pedestrian scaled. A solid canopy will extend across the entire street facing facade. The aluminum storefront, cement board cladding, and window sizes are consistent with other recently built projects in the neighborhood.

C-3 Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

Capitol Hill-specific supplemental guidance:

- Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building’s architecture.
- Improve and support pedestrian-orientation by using components such as: non-reflective storefront windows and transoms; pedestrian-scaled awnings; architectural detailing on the first floor; and detailing at the roof line

Response: The street level of the building will be set back from the property line to provide a more spacious pedestrian experience with seating and bike parking. The residential entrance is further set back from the commercial facade to emphasize the separate entrance with a transparent crafted art gate. The street level commercial space will have non-reflective storefront to provide transparency to pedestrians. The overhead canopy will be at pedestrian scale.

D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building’s entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Capitol Hill-specific supplemental guidance:

- Provide entryways that link the building to the surrounding landscape.
- Create open spaces at street level that link to the open space of the



- sidewalk.
- Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles.
- Minimize the number of residential entrances on commercial streets where non-residential uses are required. Where residential entries and lobbies on commercial streets are unavoidable, minimize their impact to the retail vitality commercial streetscape.

Response: The street level landscape design responds to the locations of the building entrances. The building entrances have been limited to 1 residential and 1 commercial entrance. The recessed residential entrance also allows for concealed access to the fire sprinkler room, and the entry sequence extends to the street ROW.

D-2 Blank Walls

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

Response: The street-facing commercial facade will be highly transparent and the overhead canopy will provide shading of the commercial facade that will change the lighting of the facade throughout the day. The south walls of the building will have a patterning of panel joints that relate to the openings on the east, west and courtyard facades. A change in color of panels surrounding the courtyard wraps the window patterning of the courtyard to the south facade.

D-6 Screening of Dumpsters, Utilities, and

Service Areas

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Capitol Hill-specific supplemental guidance:

- Consolidate and screen dumpsters to preserve and enhance the pedestrian environment.

Response: All dumpsters and service areas are screened from view and located within the building with access from the alley.

D-7 Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Capitol Hill-specific supplemental guidance:

Consider:

- Pedestrian-scale lighting, but prevent light spillover onto adjacent properties
- Architectural lighting to complement the architecture of the structure
- Transparent windows allowing views into and out of the structure—thus incorporating the “eyes on the street” design approach
- Provide a clear distinction between pedestrian traffic areas and commercial traffic areas through the use of different paving materials or colors, landscaping, etc.

Response: The residential entrance on 12th Avenue will incorporate adequate overhead lighting to ensure high visibility. The street level of the building will be designed with adequate transparency from the residential entrance and commercial space to allow a visual connection to the sidewalk. The east facade at the alley has a considerable amount of glazing to provide “eyes on the alley” to improve pedestrian safety at the alley. Departure Request #1 will help create a more pedestrian-scaled alley.

D-9 Commercial Signage

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

Response: Street-level signage is designed to complement the building facade at an appropriate scale for the building and neighborhood.

D-10 Commerical Lighting

Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building



façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.

Response: Adequate light levels will be provided to illuminate the commercial spaces and create interest. The regularly spaced up lights along the street front building facade will illuminate the sidewalk and overhead canopy.

D-11 Commercial Transparency

Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

Response: The ground level commercial space facade will be designed with a high level of transparency.

D-12 Residential Entries and Transitions

For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

Response: As also mentioned in the responses to A-3 and D-1, the transition between the sidewalk and a residential entrance will be designed with features that provide visual distinction.

E-1 Landscaping to Reinforce Design Continuity

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Response: New landscaping will be added to the streetscape in front of the building including two large street trees, native shrubs and ground cover, reclaimed brick paving and seating. The new landscaping will tie into the planting strip of the adjacent property to the north, and helps provide for a rich pedestrian appearance.

E-2 Landcaping to Enhance the Building/Site

Landscaping including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Response: In addition to the streetscape landscaping mentioned in E-1, landscape elements will be incorporated throughout the building including planters at the alley, roof decks, courtyard and exterior courtyard railings.

EDG response

Height, Bulk and Scale

1. The proposed design should demonstrate a response to the sloping lot. (A-1)

Response: The proposed design responds to the sloping site by nature of the land-use code. The building is separated into two volumes: one which responds to the maximum height in the alley, one which responds to the maximum height of the street.



2. Setting back the upper story at the east façade should be considered, or demonstrate how the proposed departure #3 better meets DR Guidelines in this area. (A-5, B-1)

Response: Proposed building is one level shorter than EDG submittal and now complies with the required alley setback over 40’.

3. On 12th Ave, the bulk is less concerning but the applicant should demonstrate how the proposed design relates to the pedestrian scale. The Board had some concern with the ‘fins’ that extend down to grade and may interrupt the potential sidewalk width. (A-1, A-2, A-4)

Response: Overhead weather protection is located 10’ above sidewalk at a more pedestrian scale. Proposed building no longer has ‘fins’.



4. The Board was concerned with the impacts of Departures 1 and 2, given the neighbors to the east. The applicant should demonstrate how the departures are necessary for the Living Building Pilot requirements, and demonstrate how the proposed upper mass is

- arranged to minimize impacts to the neighbors. (A-1, A-5, A-7, B-1)
- a. Explore options to minimize the impacts of the stair and elevator tower:
 - i. Erode the mass physically, and/or use a high level of transparency or other efforts.
 - ii. Consider flipping the floor plan or locating the elevator/stair tower to a different location on site with fewer impacts to adjacent neighbors.

Response: Departures 1 & 2 are no longer being pursued. Proposed building is one story shorter at alley side and street side. Stair tower height is appropriate when compared with stair towers to the north. Elevator does not extend to upper roof, so mechanical penthouse height is reduced.



- b. Consider relocating the courtyard/light well to respond to likely future development. It will likely serve as a light well rather than an open courtyard, given proposed and future development.

Response: Given new development of northern neighboring parcel and the lack of windows looking out onto their courtyard, this proposal’s courtyard is appropriately located.

- c. Demonstrate how the rooftop urban farm and height departure is required for the Living Building requirements (the occupation of the upper roof mandates the requirement for the elevator tower, so reducing the occupiable roof area may reduce impacts of the elevator tower to nearby neighbors).

Response: Height departure is no longer being requested and Living Building Pilot is no longer being pursued.

Architectural Concept

1. The applicant should consider using the program as more of a demonstration opportunity – for instance, place the common kitchen with transparency facing the alley or street frontage. (A-4, C-2)

Response: Common kitchen is located between the courtyard and the alley and is now designed with a greater level of transparency.

2. The treatment of north and south facades should be consistent with overall concept (four planes of the building that are consistent with

the overall design concept). (C-2)

Response: The north facade will be blocked from view from the building to the north. The south facade is designed for consistency with the overall facade concept of the building perimeter.

3. The proposed development will set a new precedent for design on the block. The future of 12th Ave will likely respond to the 40-44’ height. The design of the façade scale should consider this future context. (A-2, C-3)

Response: The proposed development is now responding to precedent currently being set along 12th Ave and falls within the 40’-44’ height.

4. The design concept and materials should express and reinforce the 250 year building lifespan goal. (C-4)

Response: The extended lifespan of a timber building proved to not be achievable for the community, but materials and massing are still intended as long-term.

5. The landscape plan should enhance the site and set a high standard for future development in the vicinity. (E-2)

Response: Street trees, permeable paving and native landscape are being added to a landscape strip along 12th Ave.

Blank Walls

1. Green walls of the proposed height are hard to maintain.

Response: North facade not considered a blank wall due to coverage by neighboring building. Green walls are no longer an option for the south facade.

2. Consider the strategy used at 1310 Union that integrated an architectural solution rather than an applied art solution alone. The two strategies together could be successful.

Response: An integrated exterior cement board panel pattern is proposed for the south elevation.

3. The north and south facades could include a surface material that adds to the public education component of the Living Building Challenge (for example, if a heavy timber structure is used, perhaps the timber could be expressed at the north and south edges).

Response: Living Building Pilot no longer being pursued. Budget dictates cement board siding.

4. The bold architectural concept should be carried through the blank wall areas.

Response: The south elevation reflects the overall design concept.

Alley

1. The applicant should demonstrate how the proposed design concept could be expressed at the alley, given the alley conditions. (C-2, D-8)

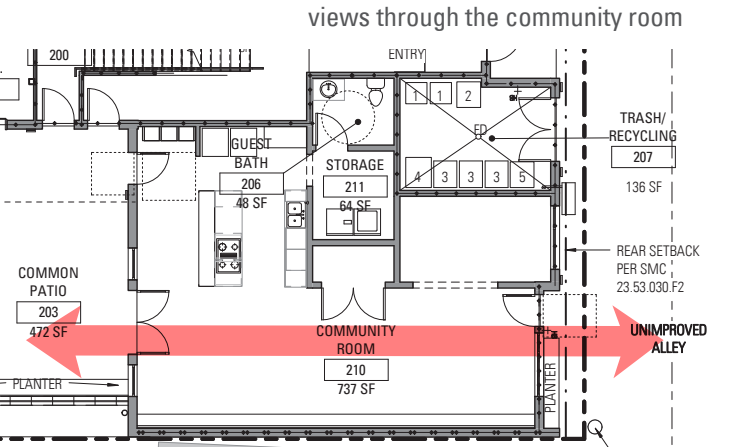
Response: The alley facade is consistent with the street facade, with the intent of creating two pedestrian focused facades in the interest of no apparent “rear/back”.

2. The alley façade should be activated and respond to the context at that edge. (A-4, A-5)
 - a. A building entry with a patio or similar surface treatment near the building might be appropriate, given the alley context. (D-1, E-2)

Response: The primary residential entrance to the building on 12th Avenue is designed to be distinct from the entry into the commercial space. Clad in vibrantly painted cement board panels the residential entry will contrast the storefront door which will be the entry to the commercial space. Departure #1 helps to activate the alley.

- b. The common kitchen could also be located adjacent to the alley, to express the cohousing nature of the proposed use and provide human activity at the alley façade. (A-4, C-2)

Response: The community room which is attached to kitchen extends from the courtyard to the alley and provides transparency between all three spaces which will bring human activity to the alley.



EDG scheme 1

description

This scheme adopts a conventional approach of maximizing floor area for the unit layouts. The ground level has commercial/retail spaces and a storage space for residents. Tandem parking spaces are provided on level two with access from the alley. Levels three and four have four units each while level five has two units with an outdoor patio amenity for residents.

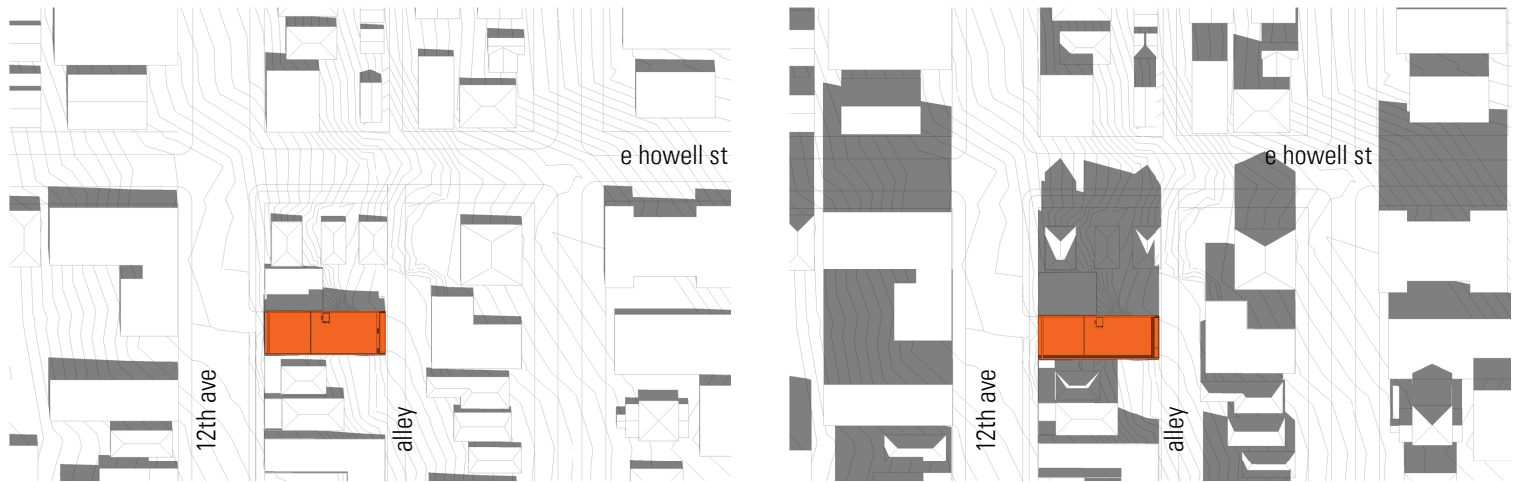
pros

- reinforces the street edge with the full height, west facade
- code compliant
- maximizes buildable area
- parking off alley in lieu of using curb cut onto 12th Avenue

cons

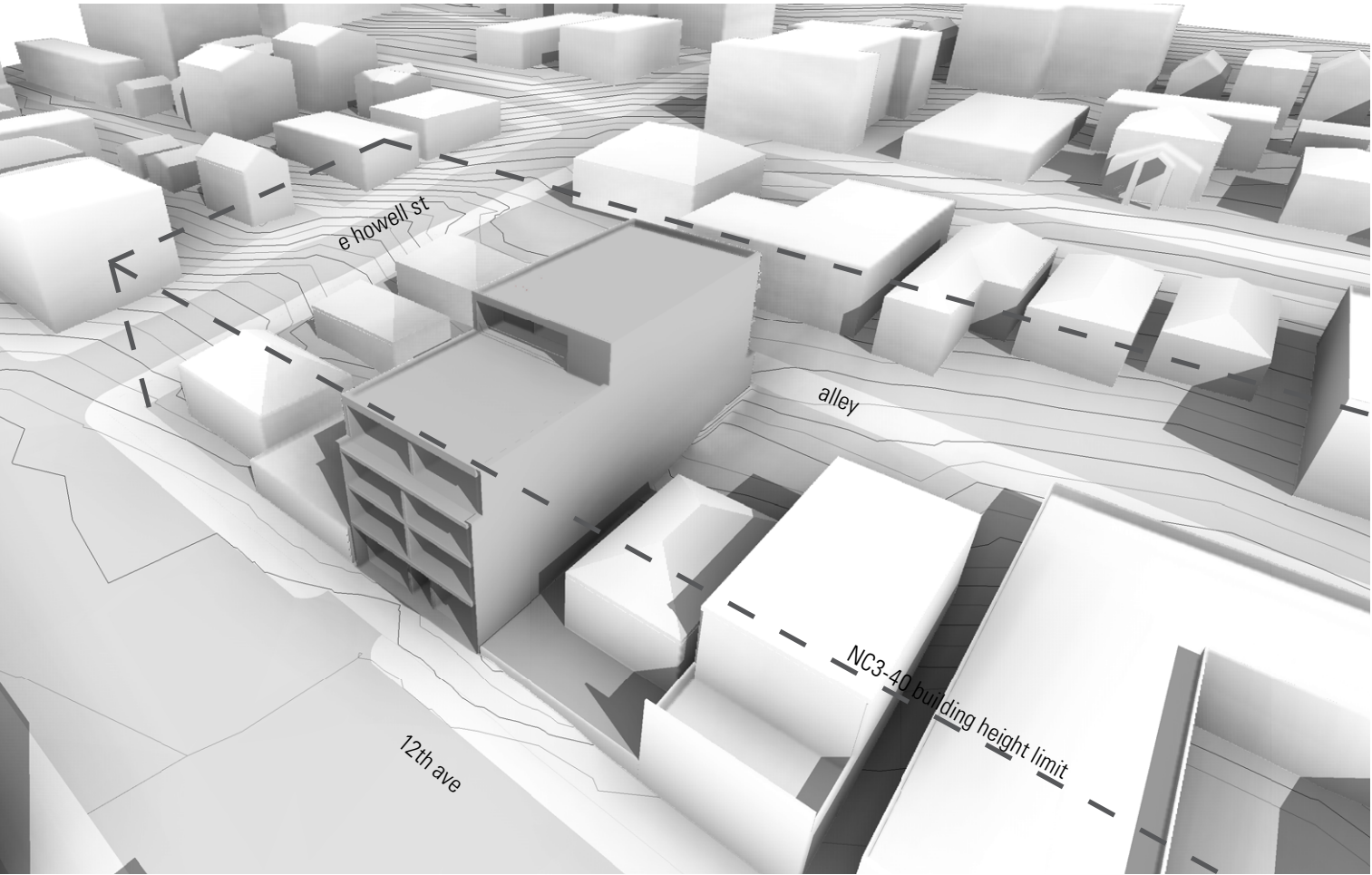
- bulky massing due to maximizing floor area
- no central community space
- no internal courtyard
- single-loaded floor plan with no through ventilation
- floor layout does not support the community aspect of cohousing
- floor configuration creates long, shoebox residential units with daylight from one side only
- limited flexibility for commercial space due to residential access corridor that splits the space in half.

shadow study

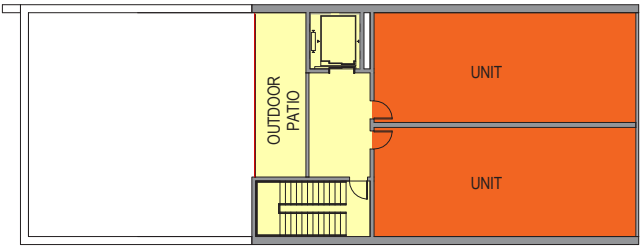


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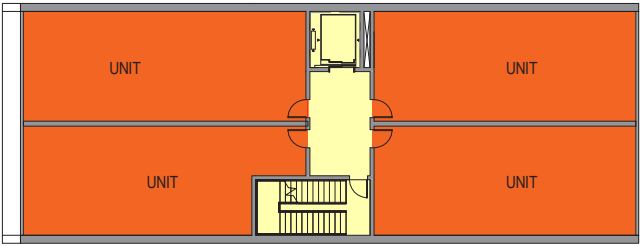
december 21 12 pm



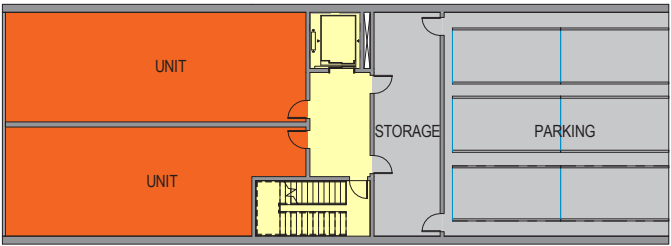
conceptual view looking northeast



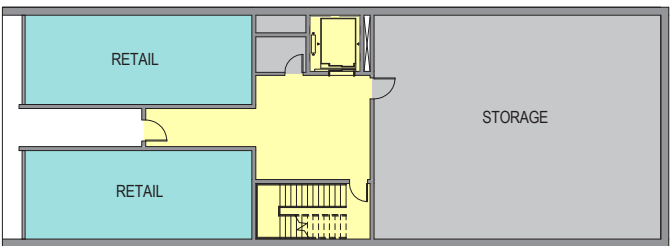
fifth floor



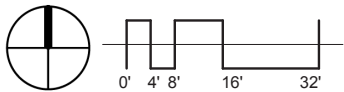
third and fourth floor



second floor



ground floor



EDG scheme 2

description

This scheme steps back from the street providing extensive outdoor spaces for residents at upper levels. The ground level remains commercial/retail spaces with storage similar to Scheme 1. Tandem parking spaces are provided on level two with access from the alley. Floors have varying number of units due to a considerable reduction in floor area due to stepping back.

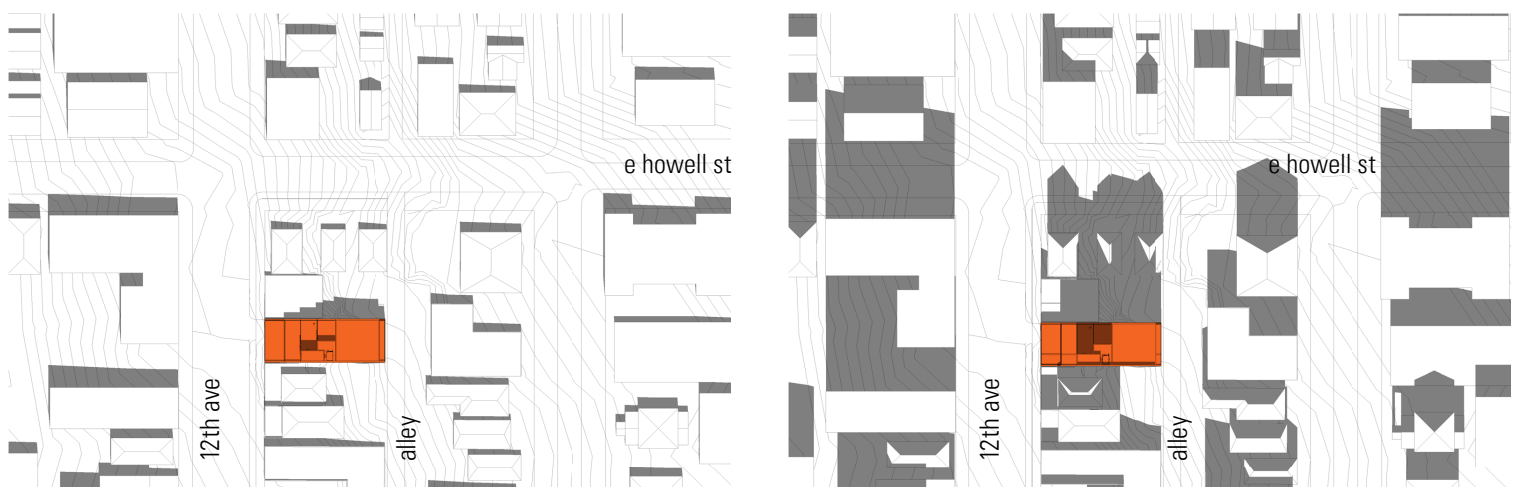
pros

- code compliant
- allows more daylight to the sidewalk by stepping back from the street
- less bulky massing due to stepping back from the street
- parking off alley thereby minimizing impact to 12th avenue facade

cons

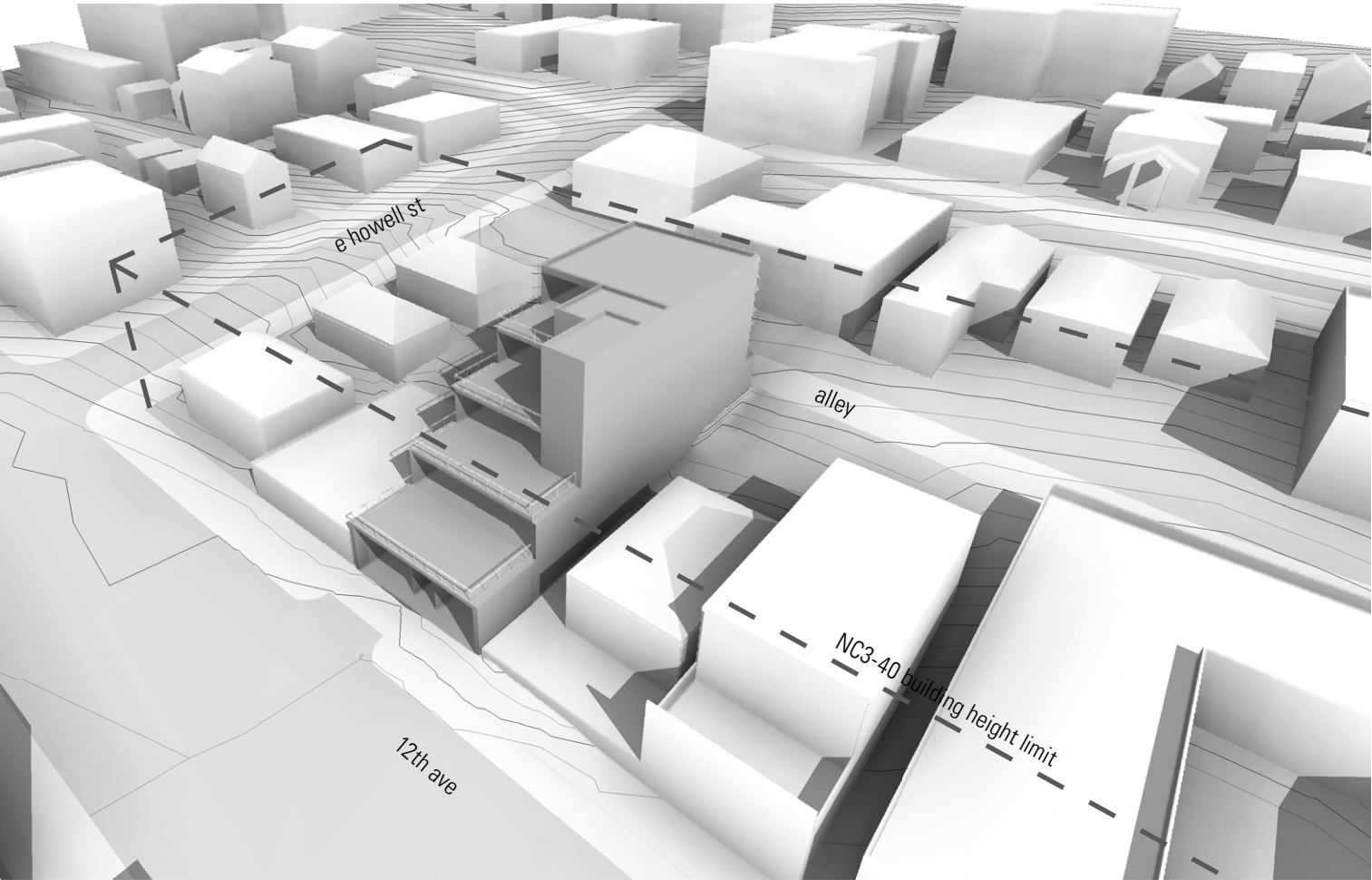
- does not hold the street edge, thereby not reinforcing urban character
- no central community space
- no internal courtyard
- no possibility of through ventilation
- floor layout does not support the community aspect of cohousing
- not a financially viable project due to low number of residential units
- second floor, alley side residential units are not attractive due to direct alley frontage
- stair and elevator shade outdoor space and eliminate opportunities for windows

shadow study

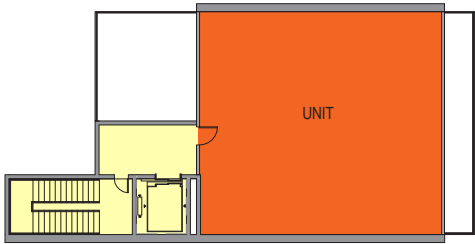


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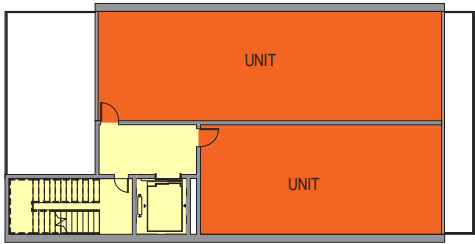
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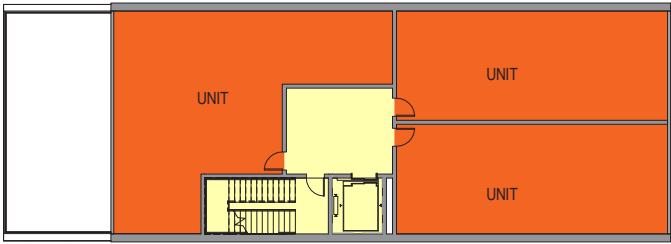
conceptual view looking northeast



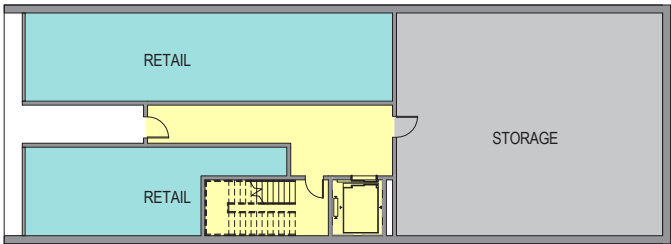
fifth floor



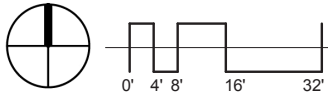
third and fourth floor



second floor



ground floor



EDG scheme 3

description

This scheme adopts an approach that begins focus on passive energy strategies. The introduction of a lightwell in the middle of the floor plate provides more daylight and through ventilation to the units. The ground level remains commercial/retail spaces with storage similar to Scheme 1. A interior community space for resident use is provided on the east end of level two in lieu of parking. Typical floors have four units each and the topmost floor has two units with a rooftop urban farm as an amenity for the residents.

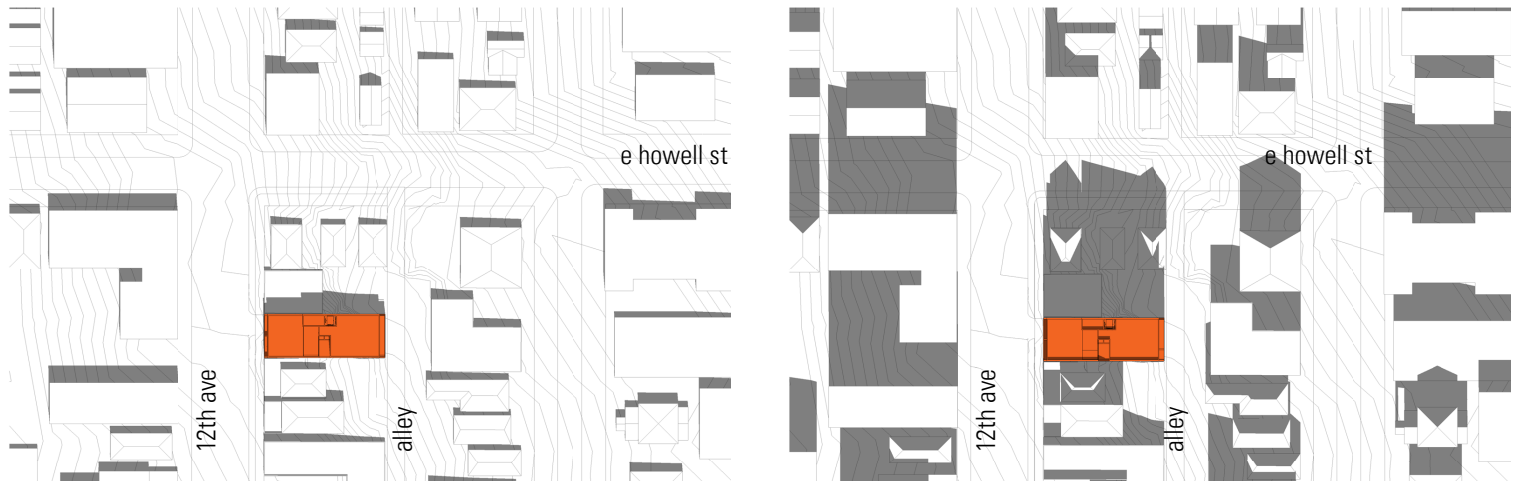
pros

- more daylight and through ventilation in units
- large number of units in the building could begin to support a rooftop farm
- reinforces the street edge with the full height, west facade
- community space located between alley and lightwell makes better use of this space, versus residences

cons

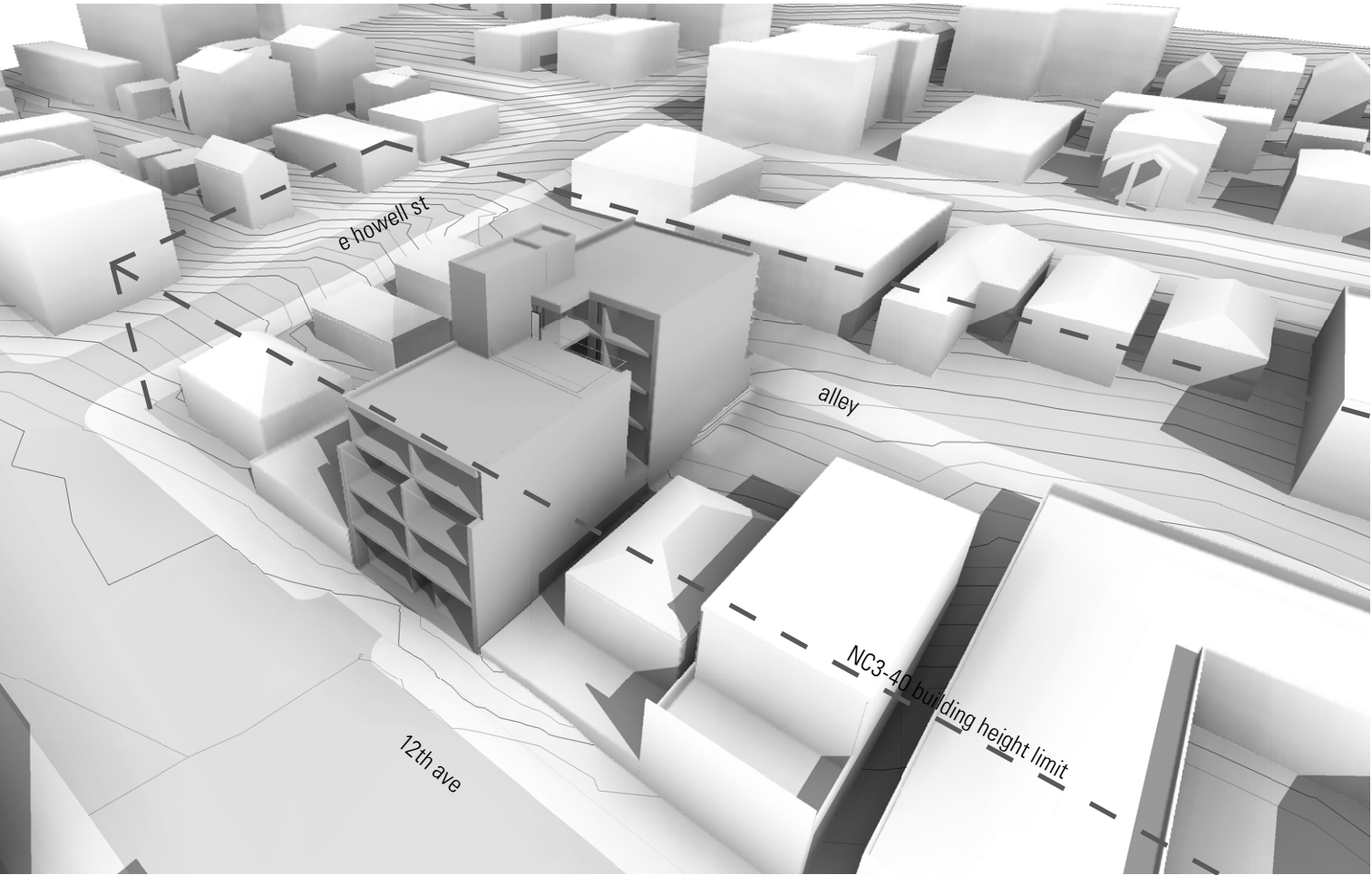
- light well inadequate to function as a community feature
- loss of floor area for units due to lightwell

shadow study

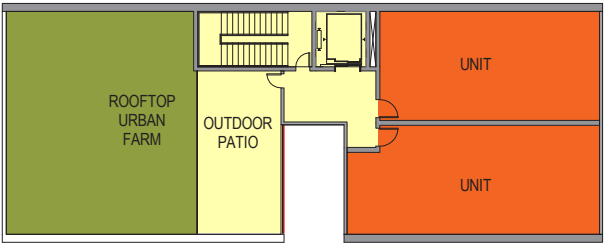


june 21 12 pm

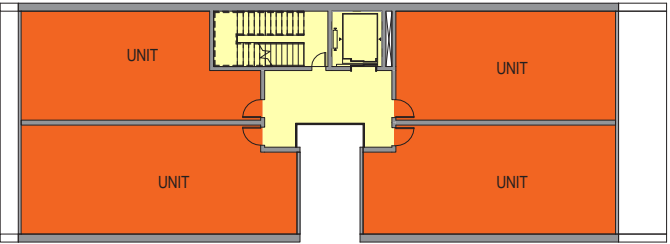
december 21 12 pm



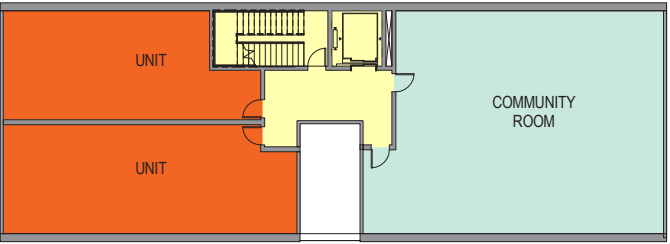
conceptual view looking northeast



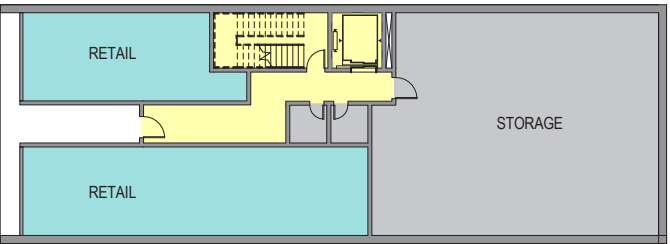
fifth floor



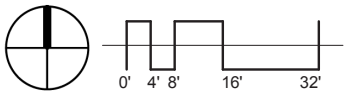
third and fourth floor



second floor



ground floor



EDG scheme 4 (preferred)

description

Our preferred scheme seeks to further enhance the community-focused approach of Scheme 3 by participating in the Living Building Pilot Program. As a part of the Program, a detention vault for rainwater collection will be constructed below ground level. A larger courtyard is provided to better augment the social principles of cohousing while enhancing daylighting and through ventilation for the units. The ground level retains commercial/retail spaces to activate the sidewalk, while storage is provided on the east end for resident use. The community space on level two uses the enlarged courtyard as an outdoor gathering space and provides adequate distance between residential units on the courtyard to configure kitchens as semi-public areas of the home clustered around this common area.

pros

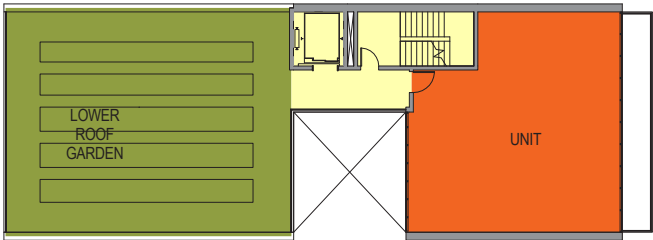
- reinforces the street edge with the full height, west facade
- increased daylighting through larger courtyard
- larger number of units in the building supports a greater sense of community in the building.
- commercial space at street level is one, contiguous space that provides for tenant flexibility
- increased through ventilation through larger courtyard
- buildable floor area given to the courtyard is compensated for with additional FAR and height, as allowed per the LBP.
- larger roof farm area to support urban agricultural program
- larger number of units in the building supports a much more extensive energy and water strategy
- loss of floor area for units due to lightwell

cons

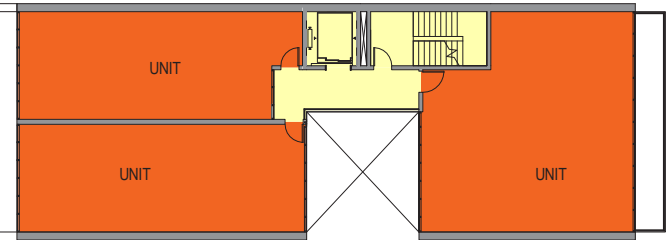
- exceeds allowable FAR and building height except under the provisions of the LBP



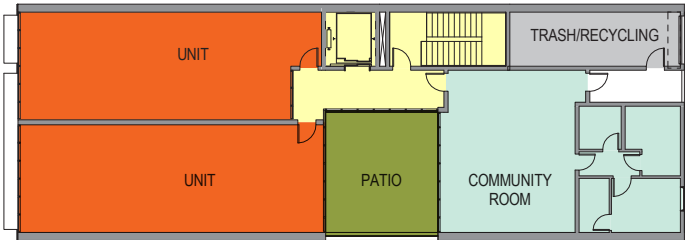
conceptual view looking northeast



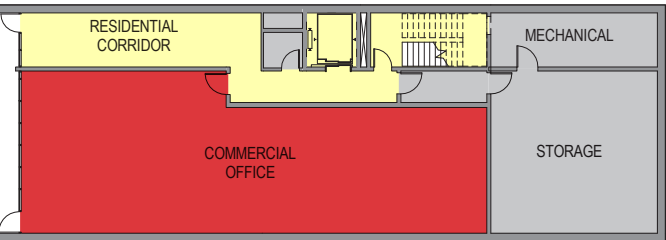
sixth floor



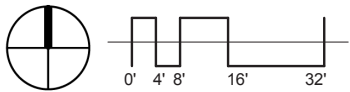
third, fourth and fifth floor



second floor



ground floor



DRB scheme

comparison to preferred option 4 from EDG

massing

The building massing is primarily the same between the preferred option presented in the EDG presentation and the final design being presented in this DRB presentation. The building consists of two masses which are separated by a large common courtyard for resident use. One change to the massing is that the lower three floors no longer step forward.

height

The two masses stagger in height from the street front to the alley which reflects the slope of the site. However, now that the Living Building Pilot is no longer being sought, the building height complies with the NC3-40 building height limit. Elevator does not continue up to the upper roof level which minimizes elevator overrun and penthouse height.

design

In addition to one less residential level (three less units) the building program per level is identical to that presented at EDG. The west and east elevations have changed from large emphasized fin walls with floor to ceiling glazing in between to a larger mass emphasized with punched glazing.

context

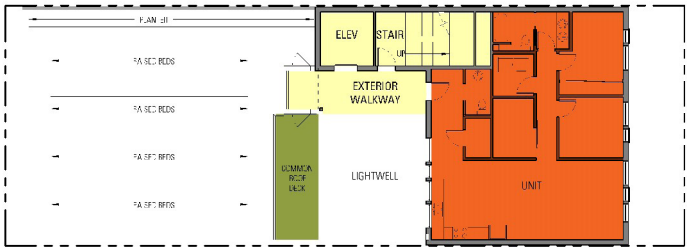
By shedding one story from the design, the building meets the current character which is now being developed in the neighborhood. The micro-apartment building currently under construction to the north is the same height. Since the EDG hearing for this project the context within the neighborhood has greatly changed. With the building to the north nearly complete the shadow cast by this project is negligible. See shadow studies on the following pages.

pros

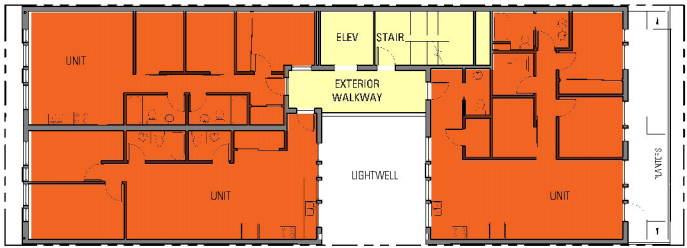
- reinforces the street edge with the full height, west facade
- increased daylighting through larger courtyard
- commercial space at street level is one, contiguous space that provides for tenant flexibility
- roof farm area to support urban agricultural program
- upper roof is preserved for future rainwater collection and PV
- alley facade helps activate the alley



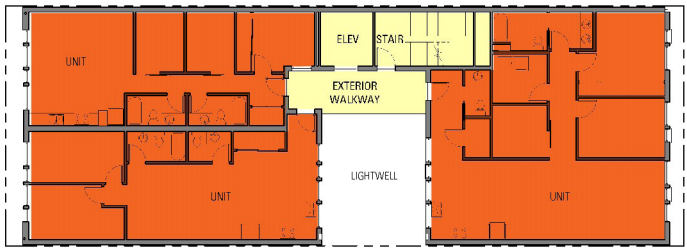
conceptual view looking northeast



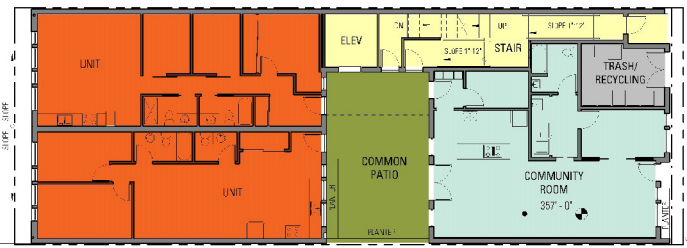
fifth floor



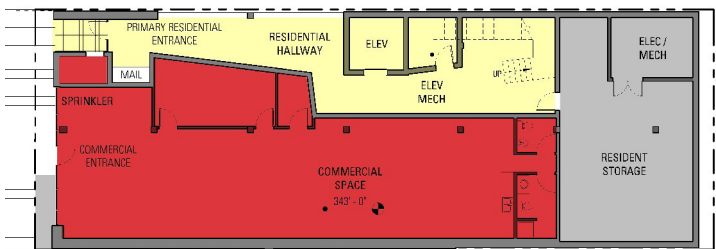
fourth floor



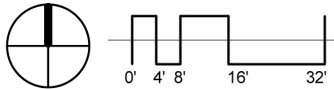
third floor



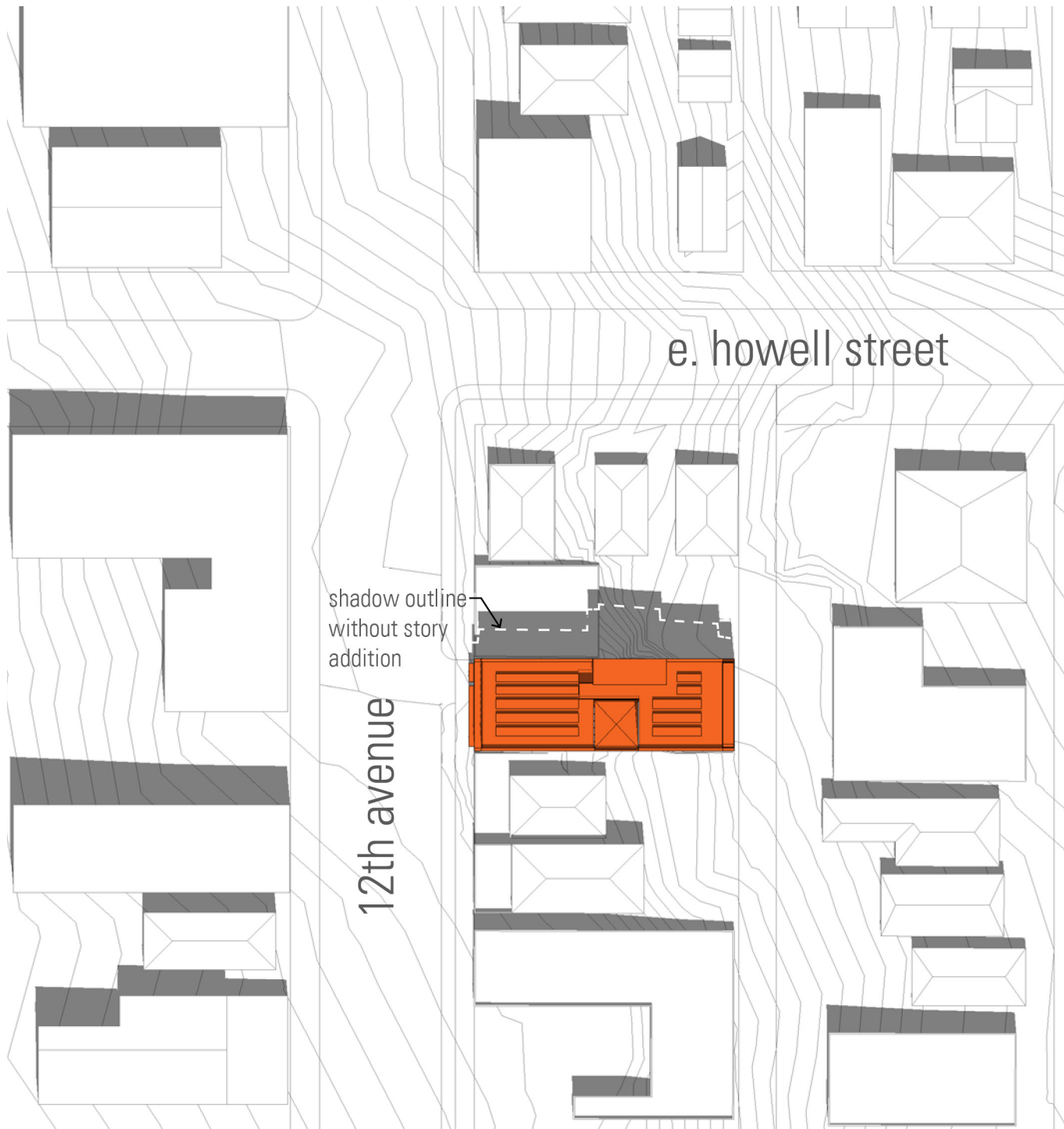
second floor



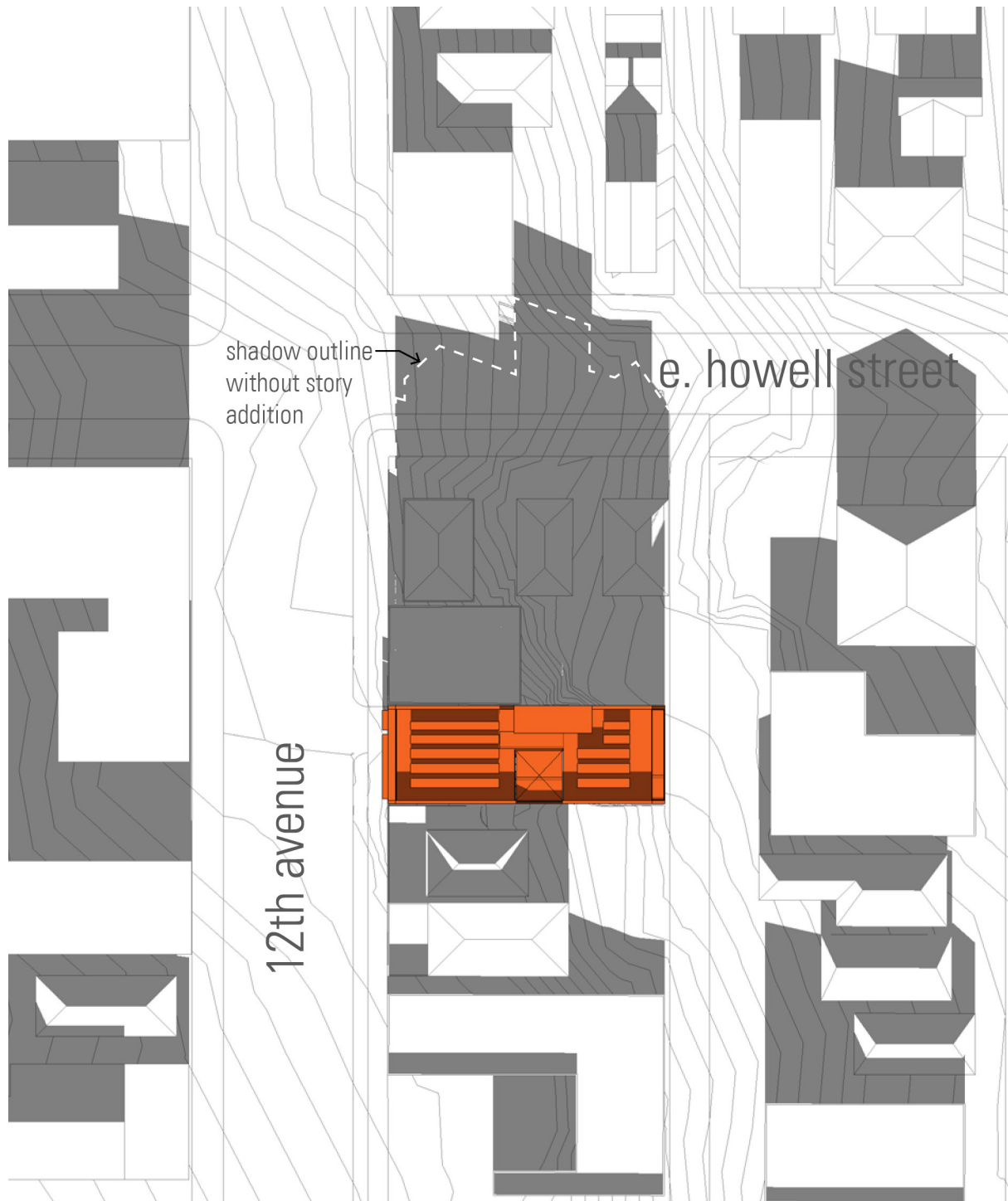
ground floor



EDG scheme 4 (preferred) - shadow studies

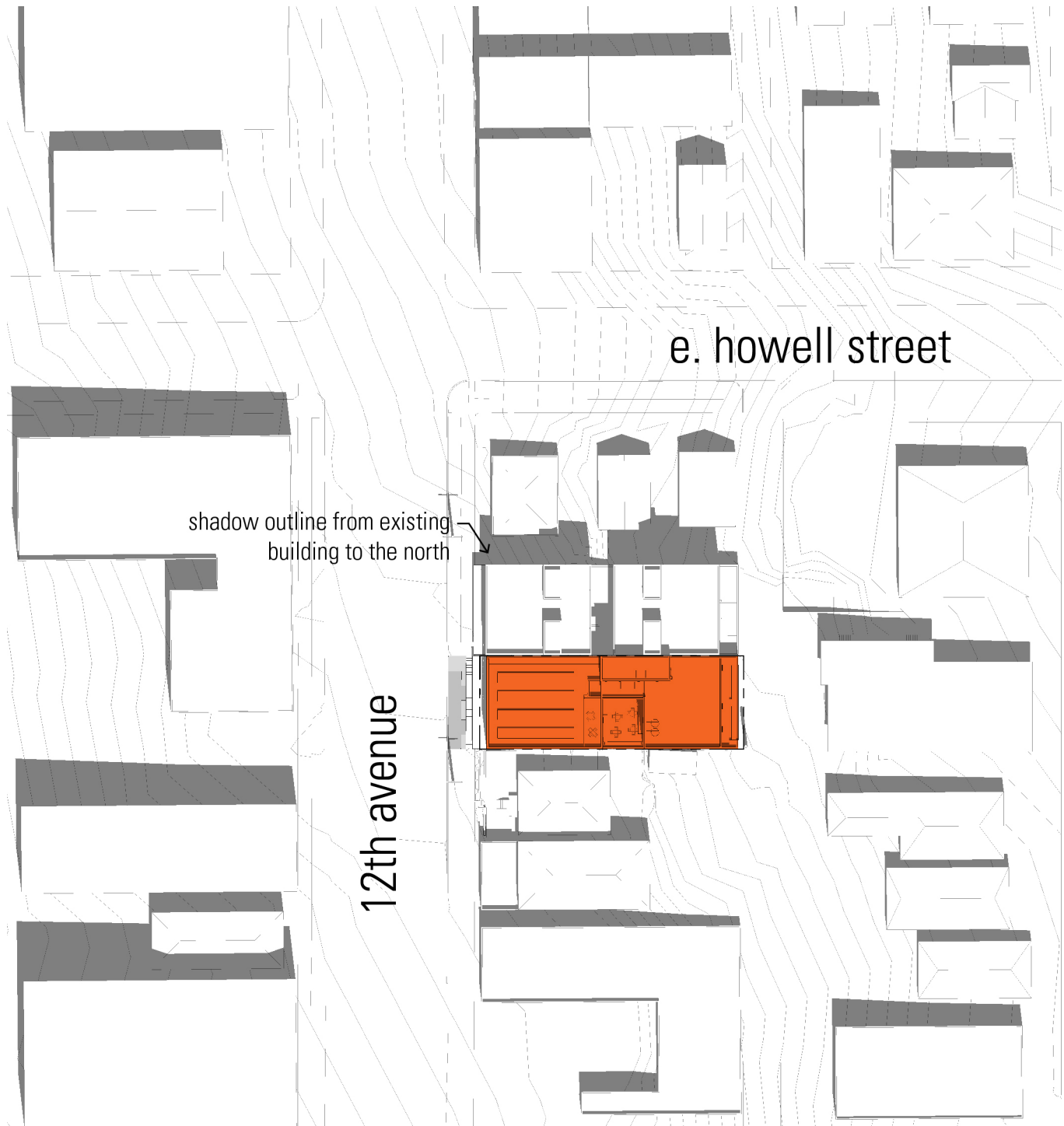


june 21 12 pm

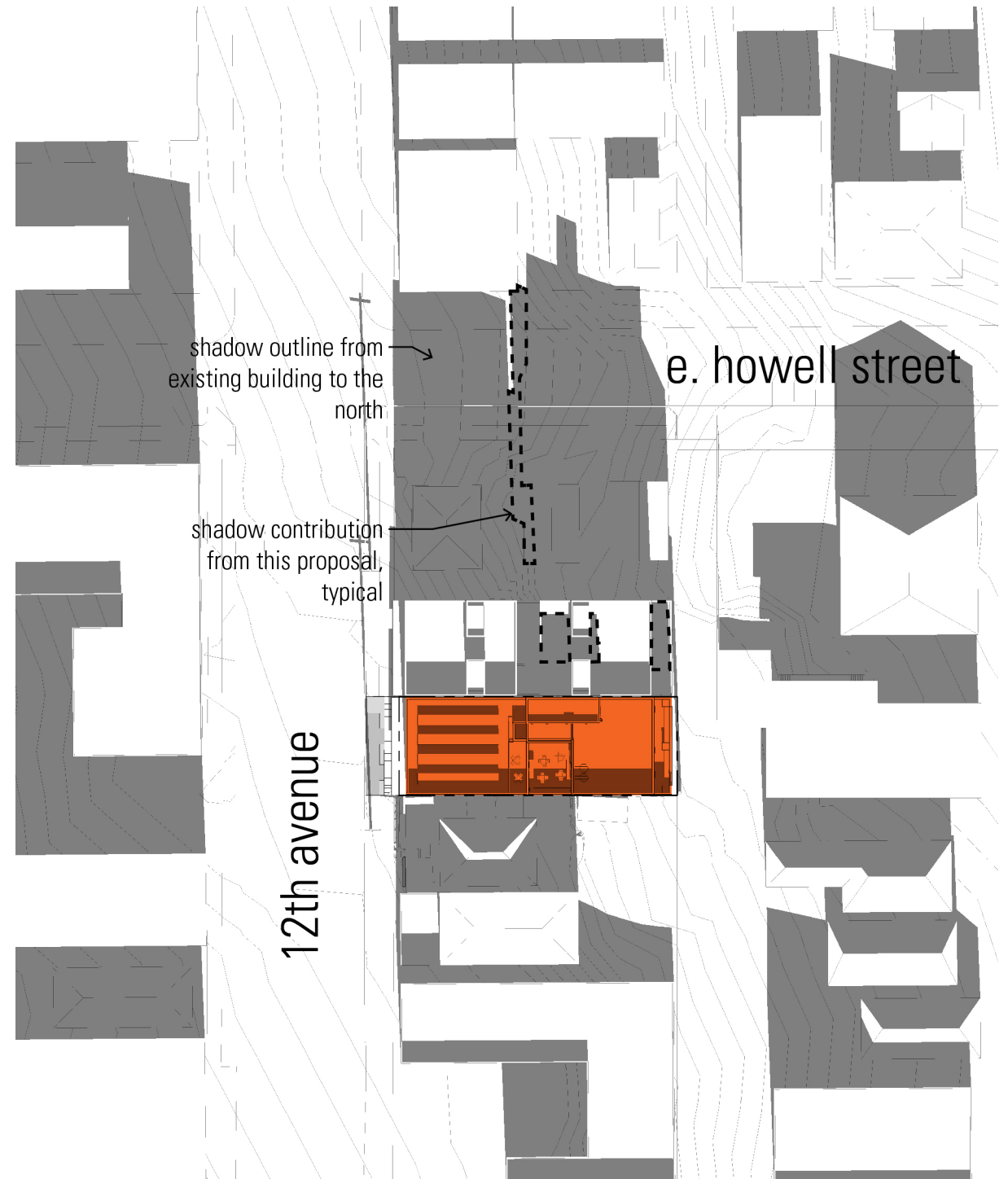


december 21 12 pm

DRB scheme - shadow studies

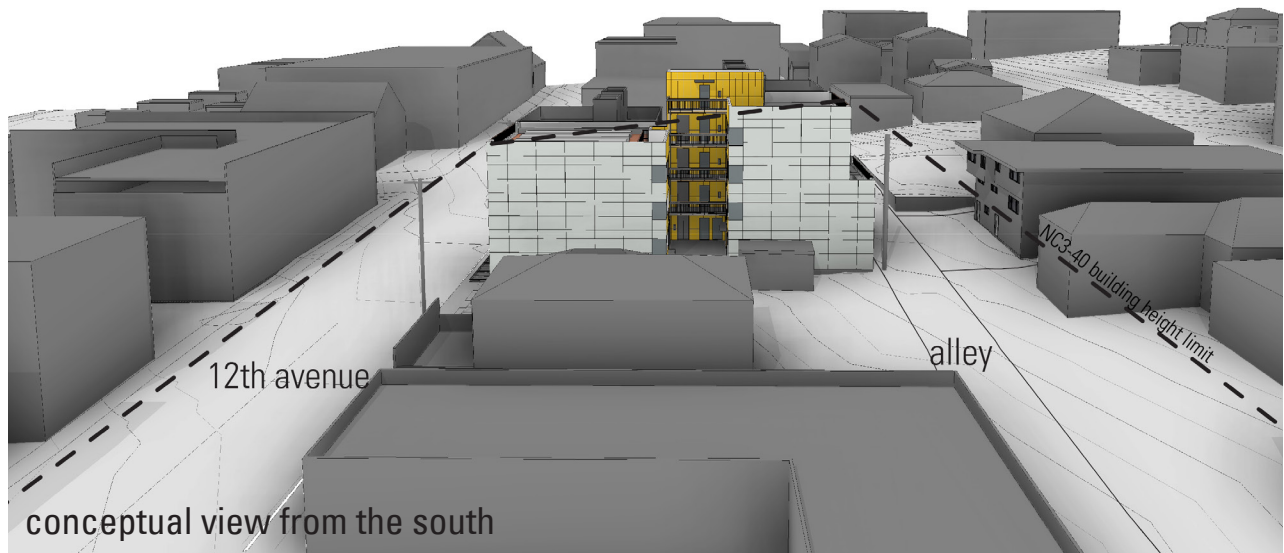


june 21 12 pm

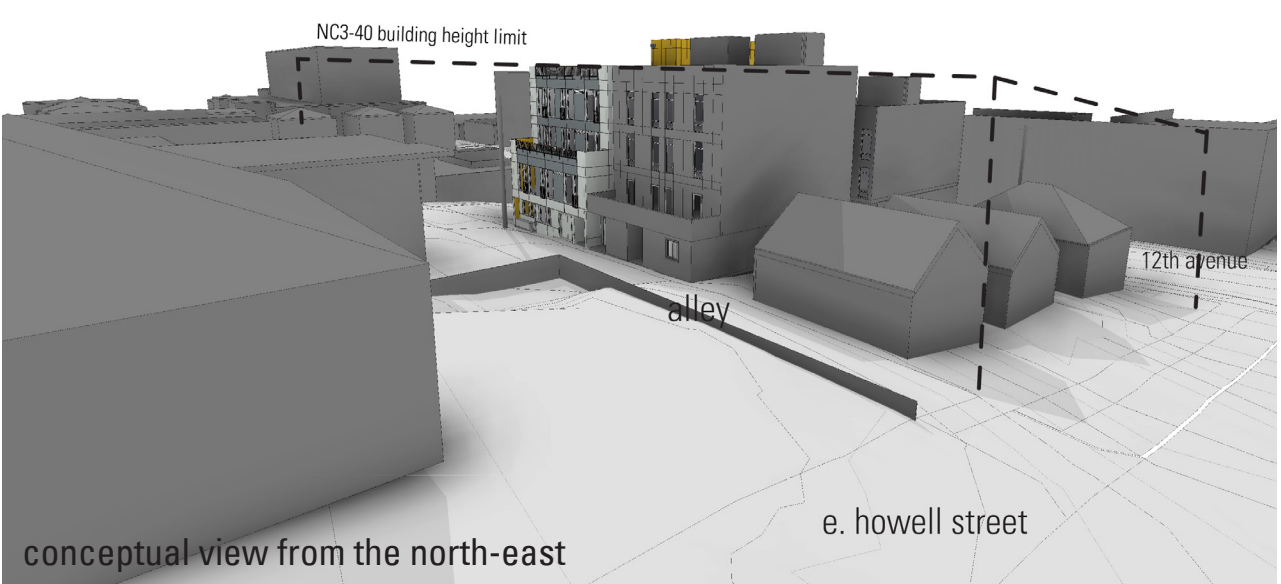
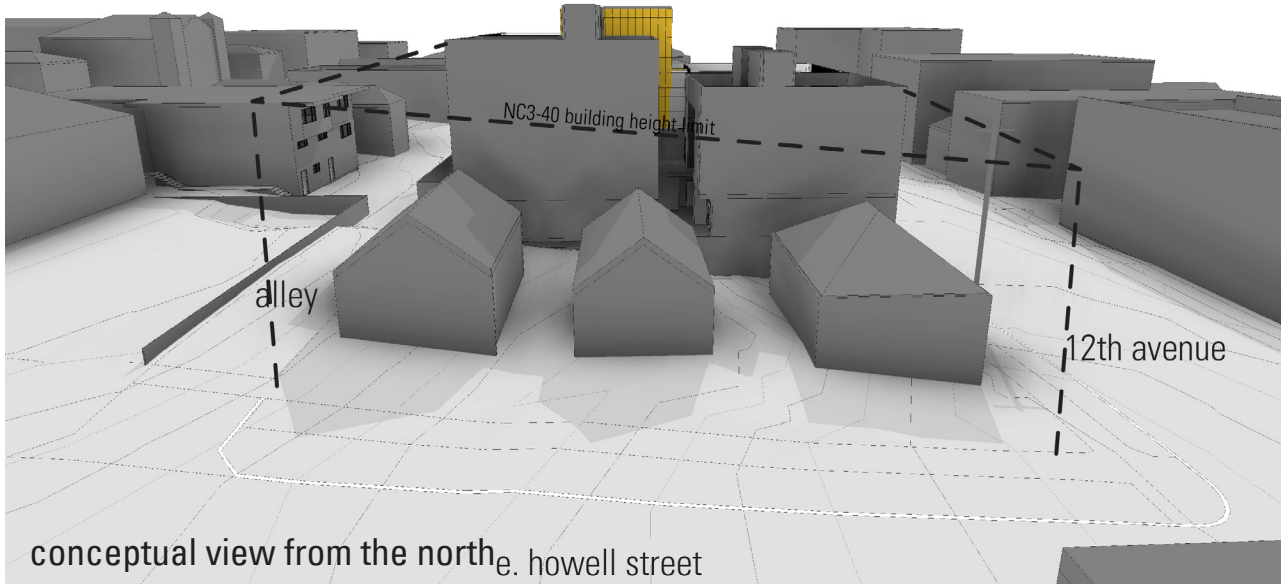


december 21 12 pm

conceptual views



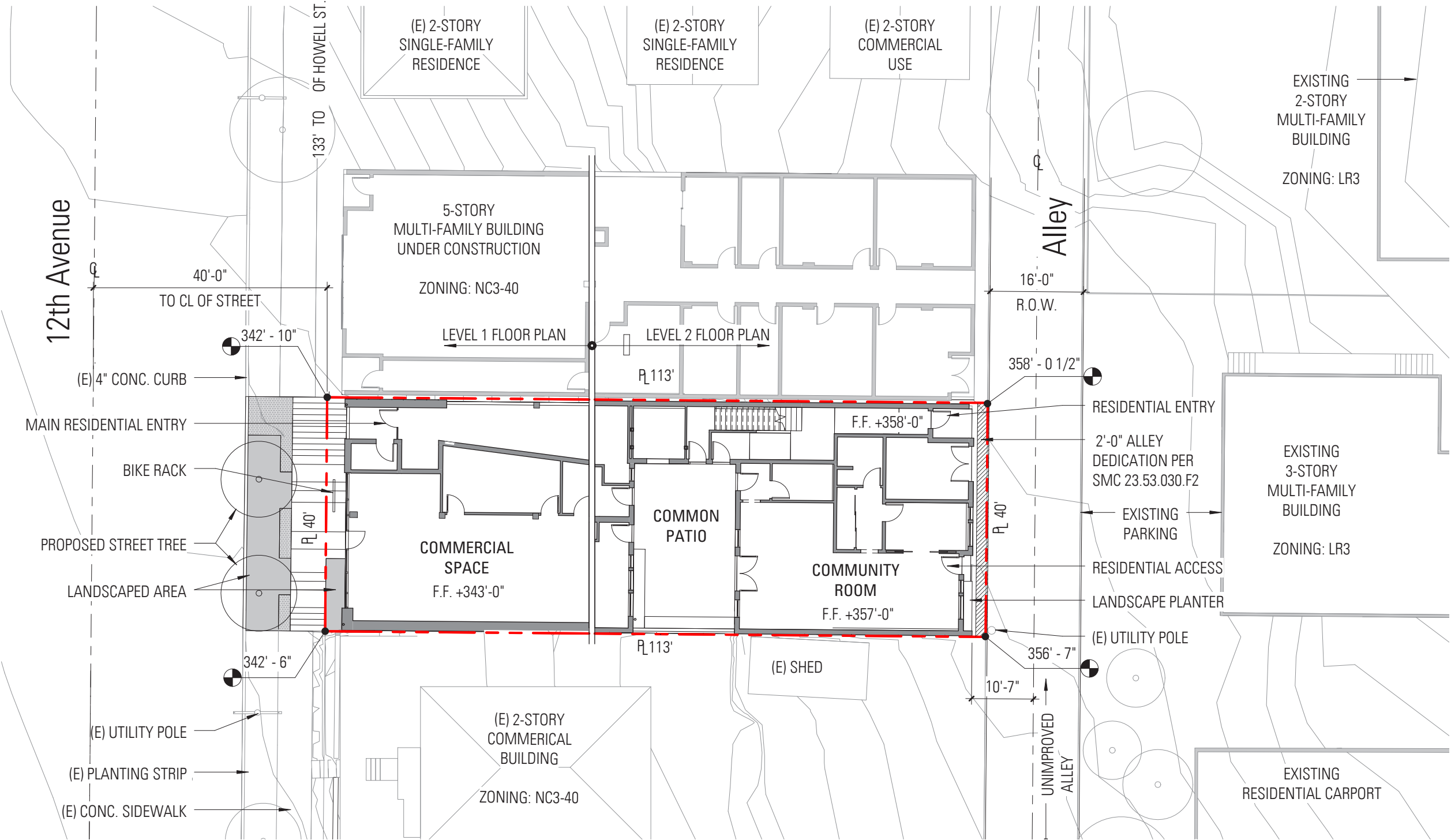
conceptual views



land use code analysis

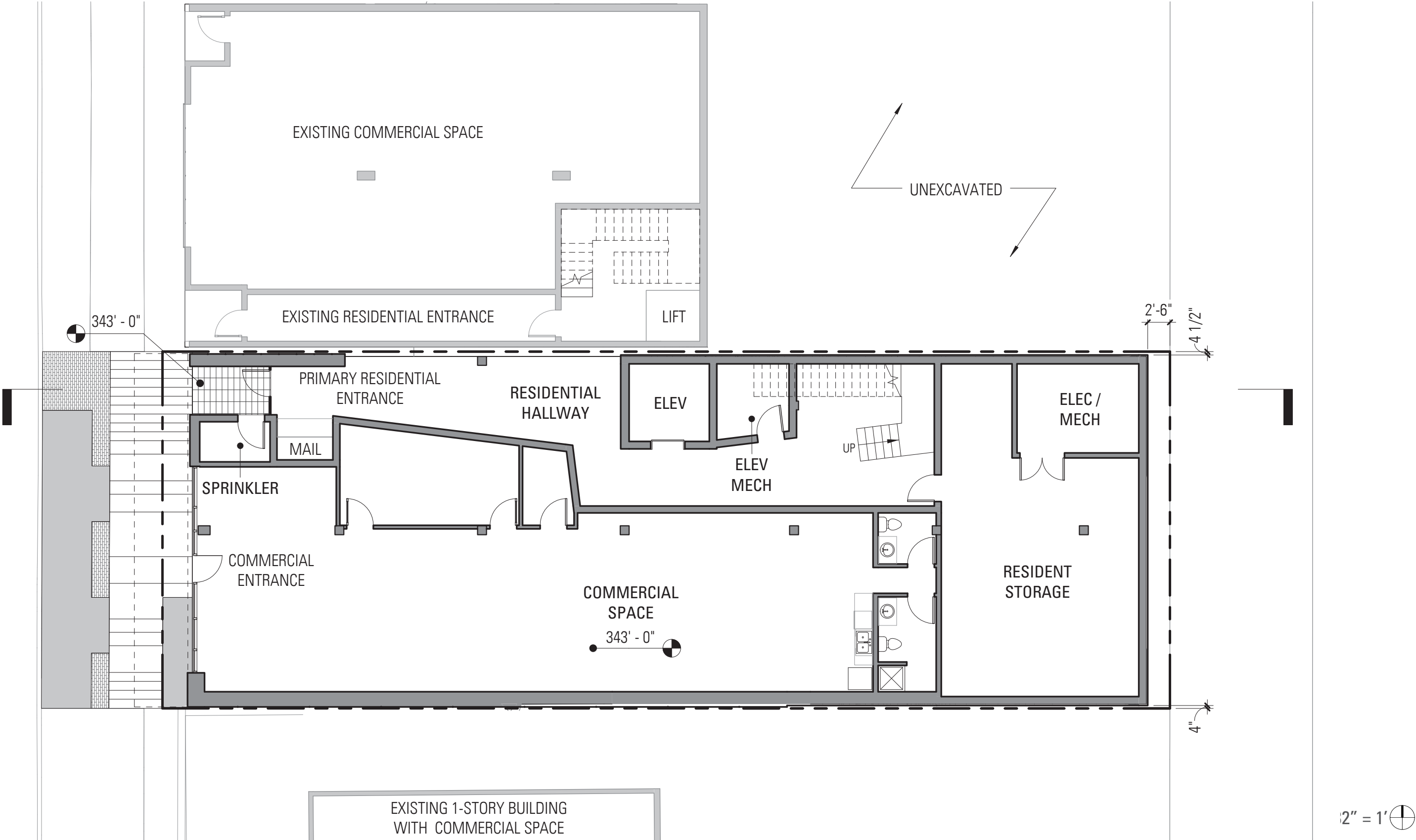
Address	1720 12th Avenue, Seattle, WA 98122
Site Area	4,520 sf
Site Zoning	NC3-40
Overlay	Station Area Overlay, Capitol Hill Urban Village
Adjacent Zoning	LR-3 (East), NC3-40 (North), NC3-40 (South)
Permitted Uses	Residential, Commercial and Urban Farm
Pedestrian zone	No
Street-level development standards (23.47A.008)	<p>B.2 Transparency.</p> <p>a. Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.</p> <p>b. Transparent areas of facades shall be designed and maintained to allow unobstructed views from the outside into the structure or, in the case of live-work units, into display windows that have a minimum 30-inch depth.</p> <p>B.3 The following height and depth provisions apply to new structures or new additions to existing structures:</p> <p>a. Nonresidential uses shall extend an average of at least 30 feet and a minimum of 15 feet in depth from the street-level street-facing facade. If the combination of the street-facing facade requirement of subsection 23.47A.008.D.1 and this depth requirement would result in a requirement that an area greater than 50 percent of the structure’s footprint be dedicated to nonresidential use, the Director may modify the street-facing facade or depth requirements, or both, so that no more than 50 percent of the structure’s footprint is required to be nonresidential</p> <p>b. Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.</p> <p>D. The provisions of this subsection apply to structures with residential uses located along a street-level street-facing facade:</p> <p>1. Residential uses are limited to 20% of the street-level street-facing facade under section 23.47.005.D;</p> <p>2. At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry.</p>
Structure Height (23.47A.012)	40 feet + 4 feet for 13 foot high street level = 44 feet
Rooftop Features (23.47A.012)	<p>C.4 - The following rooftop features are permitted to extend up to 15 feet above the applicable height limit: a) Solar collectors, b) Mechanical equipment f) Stair and elevator penthouses.</p> <p>C.6 - Greenhouses that are dedicated to food production are permitted to extend 15 feet above the applicable height limit if the combined total coverage of all features gaining additional height listed in this subsection 23.47A.012.C does not exceed 50 percent of the roof area, and the greenhouse adheres to the setback requirements in subsection 23.47A.012.C.7.</p>
Required Setbacks (23.47A.014)	<p>B.3 - For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows:</p> <p>a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and</p> <p>b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet (Exhibit C for 23.47A.014).</p> <p>B.4 - One-half of the width of an abutting alley may be counted as part of the required setback. For the purpose of this Section 23.47A.014, the alley width and the location of the rear lot line shall be determined prior to any dedication that may be required for alley improvement purposes.</p>
Required Parking and loading (23.47A.030)	No minimum requirement for Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District
Landscaping and screening standards (23.47A.016)	<p>Green factor score of 0.30 required for NC3 zone</p> <p>Green factor score of 0.40 required for DPD Priority Green permitting process/Living Building Pilot Program</p>

site plan

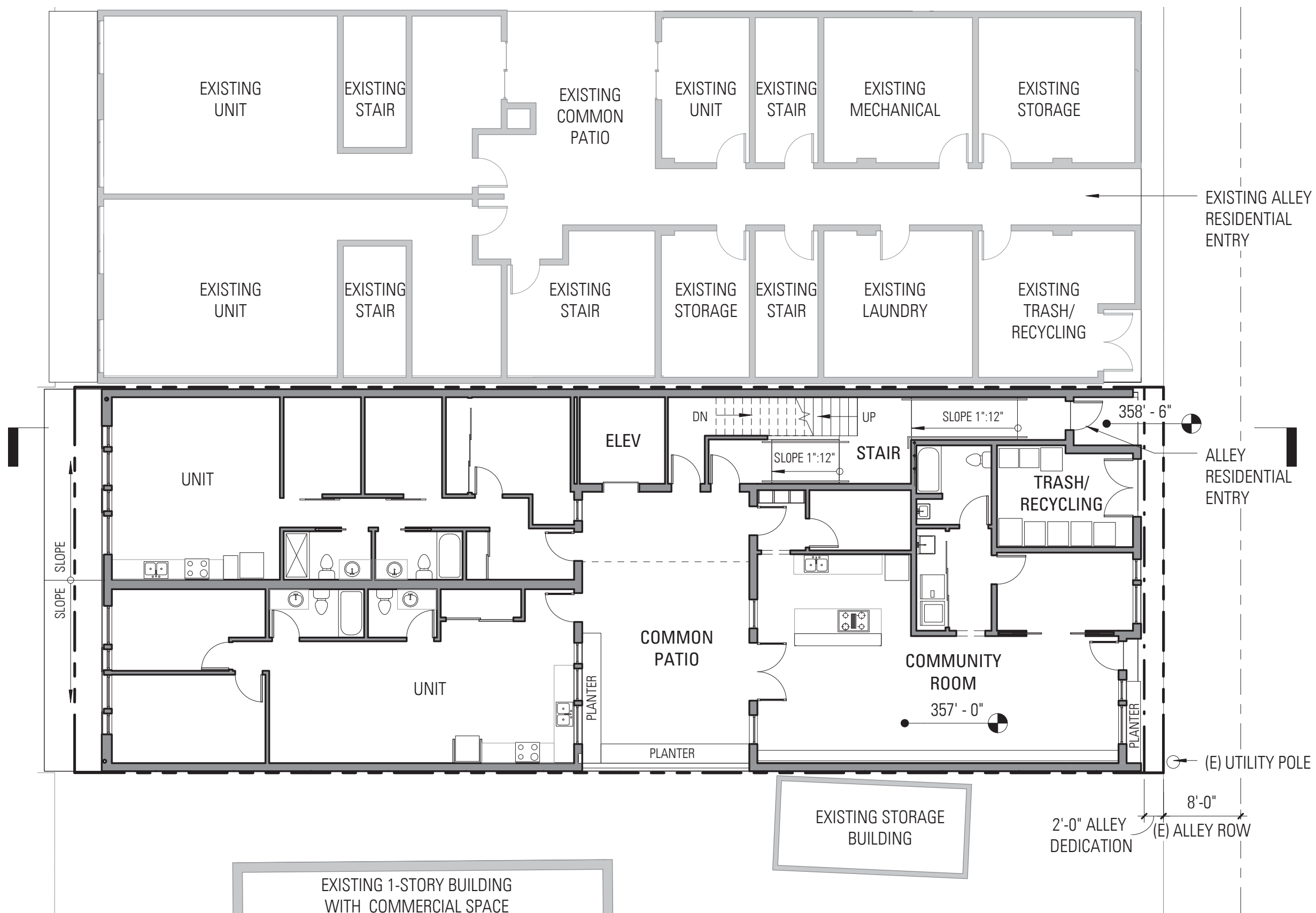


1" = 30' 

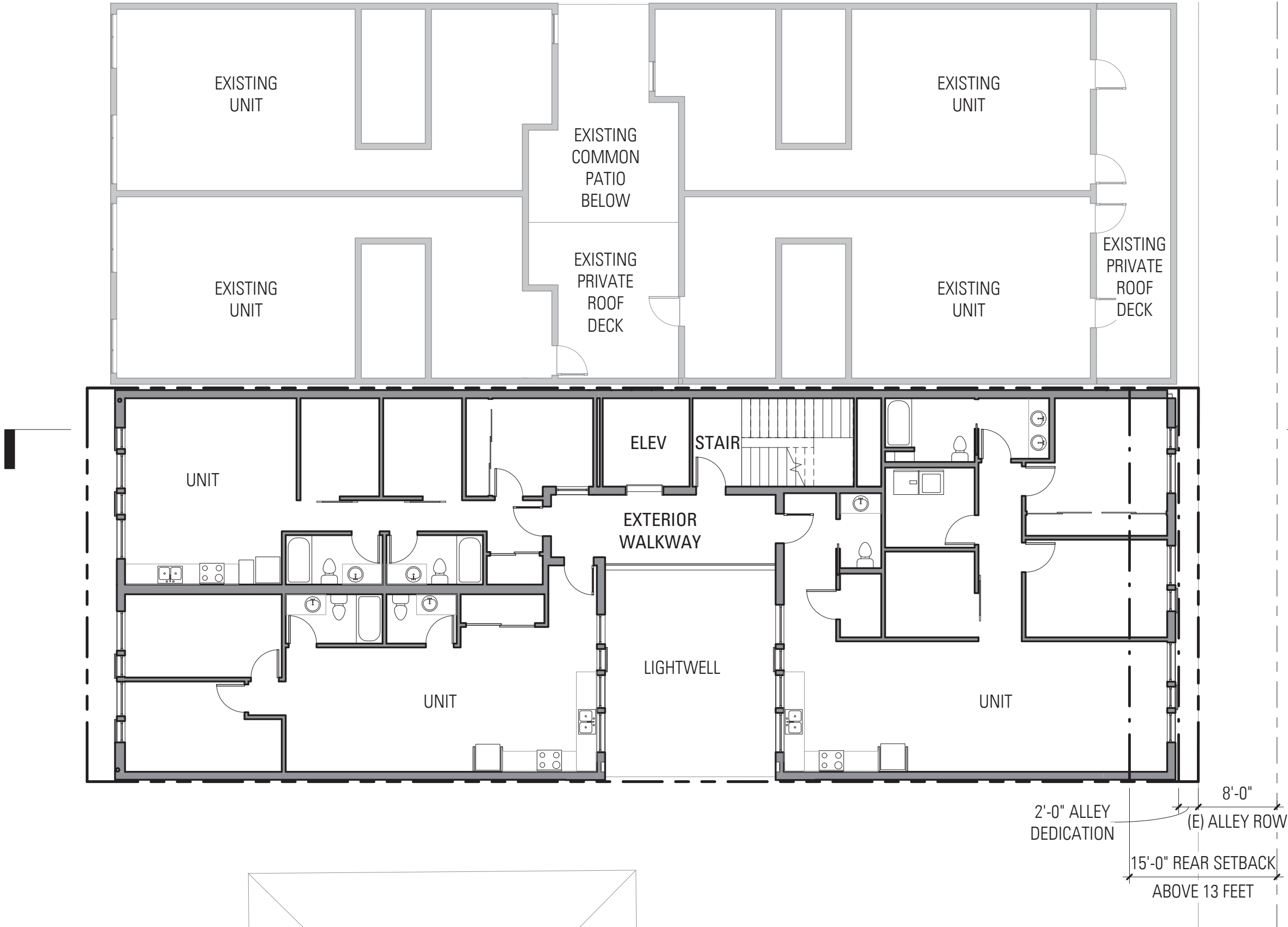
floor plan - level 1




floor plan - level 2

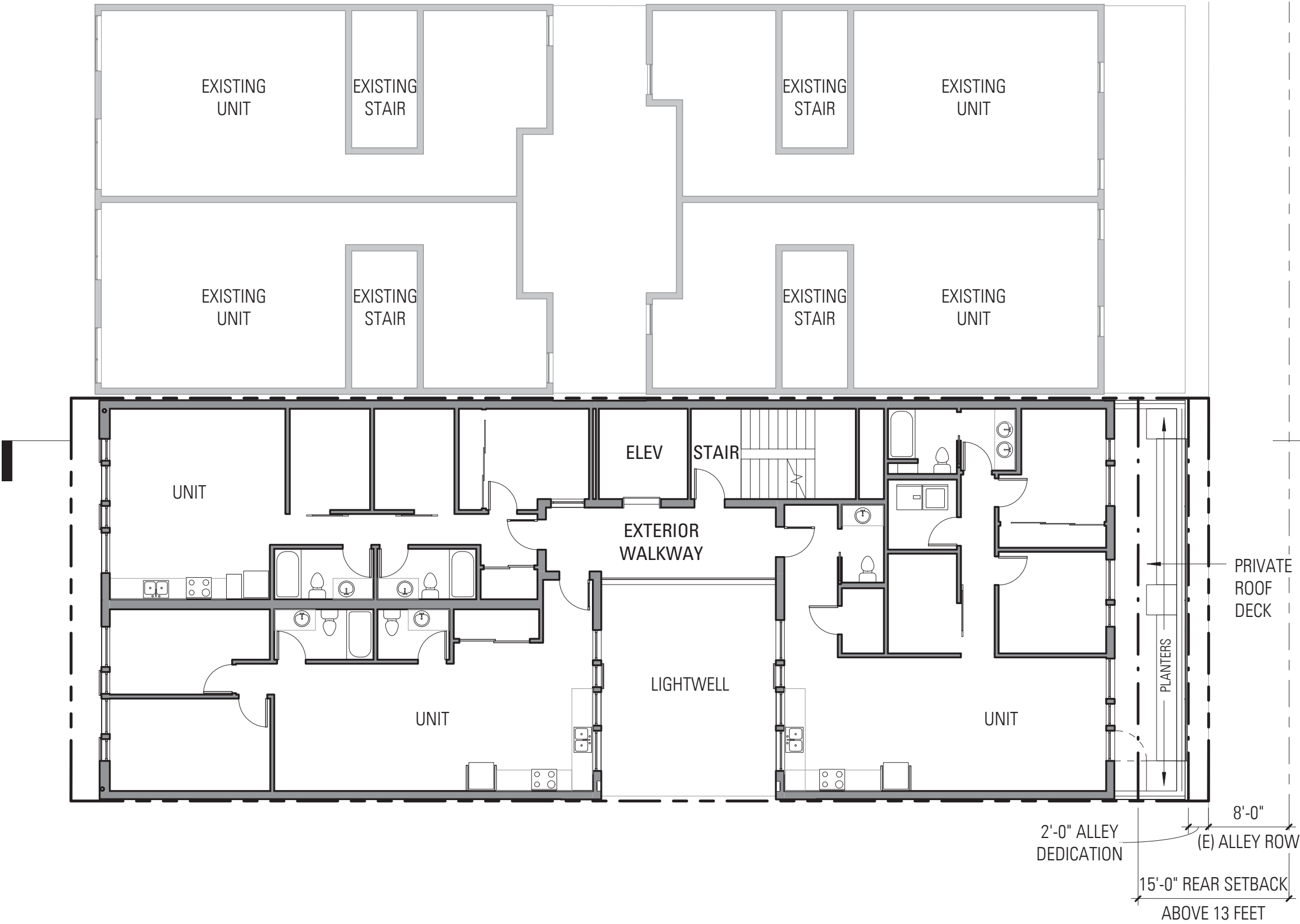


floor plan - level 3

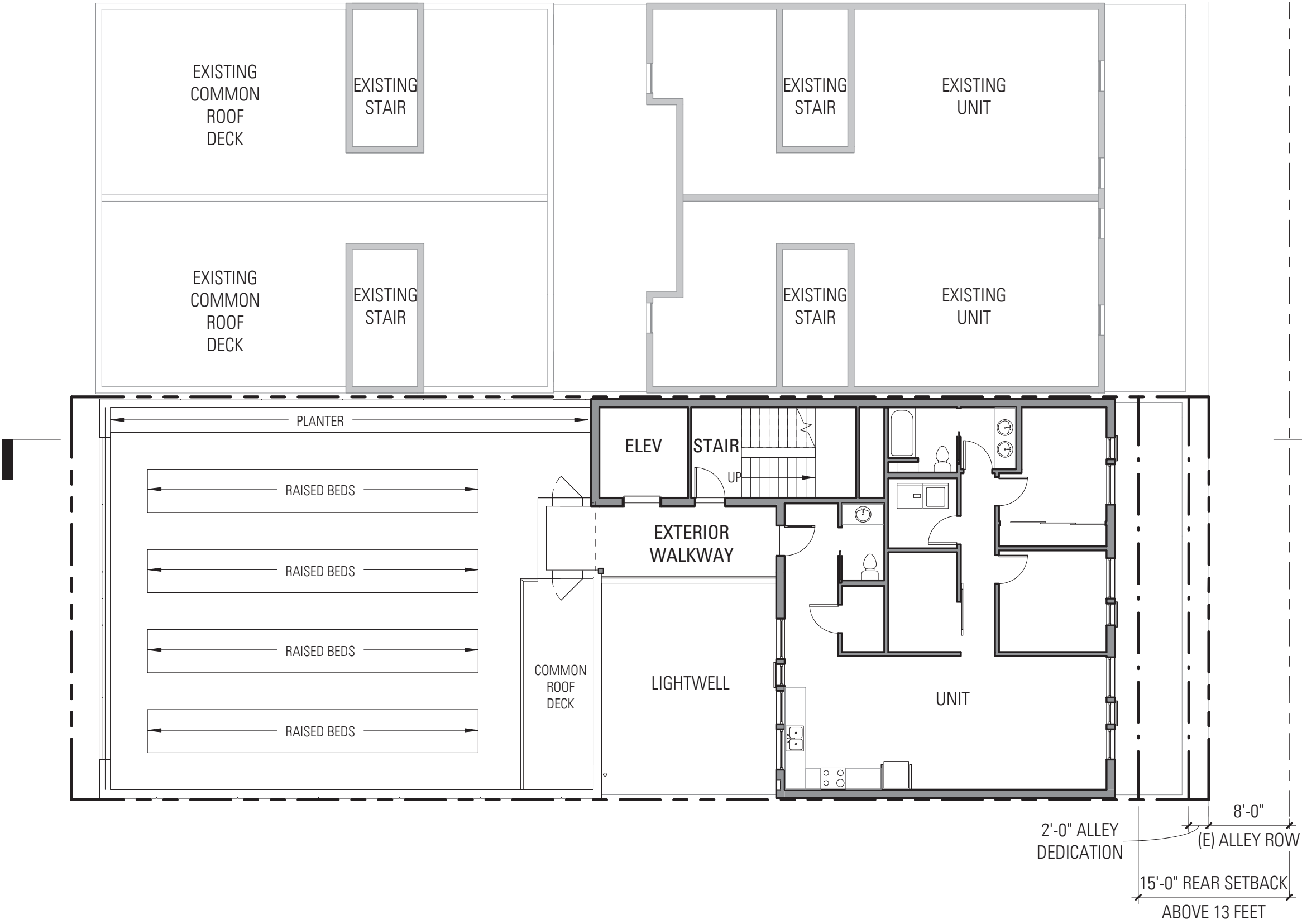



3/32" = 1' 

floor plan - level 4



floor plan - level 5



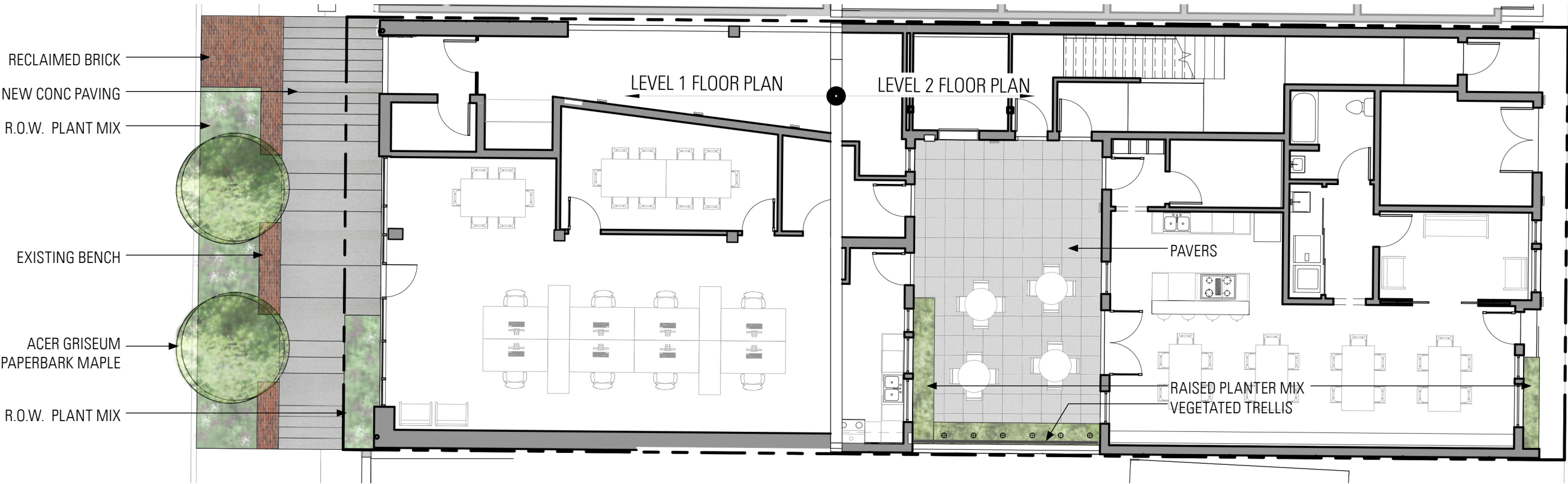
3/32" = 1' 

floor plan - level 6



3/32" = 1' ⊕

composite landscape / hardscape plan



- R.O.W. PLANT MIX**
DWARF RED TWIG DOGWOOD
TUFTED HAIR GRASS
BEACH STRAWBERRY
CREEPING OREGON GRAPE
DWARF MOCK ORANGE
WESTERN SWORD FERN
RED FLOWERING CURRANT
OREGON STONECROP

- RAISED PLANTER MIX**
RED COLUMBINE
TUFTED HAIR GRASS
WESTERN SWORD FERN
TASSEL FERN
EVERGREEN HUCKLEBERRY

- RAIL PLANTER HERB MIX**
TRAILING ROSEMARY
PURPLE SAGE
LAVENDER
CURLED PARSLEY
COMMON THYME



- GROUND COVER**
KINKINNICK
BEACH STRAWBERRY

- FOOD CULTIVATION**
BY LOCAL FARMER

- VINES**
HARDY KIWI VINE
CHOCOLATE VINE
STAR JASMINE VINE



specified plants



Thymus vulgaris
Common Thyme



Salvia officinalis
Purple Sage



Culinary Herbs



Aquilegia formosa
Red Columbine



Vaccinium ovatum
Evergreen Huckleberry



Polystichum polyblepharum
Tassel Fern



Arctostaphylos uva ursi
Kinnikinnick



Polystichum munitum
Western Sword Fern



Deschampsia cespitosa
Tufted Hair Grass



Cornus sericea 'Kelsey'
Dwarf Redtwig Dogwood



Mahonia repens
Creeping Oregon Grape



Philadelphus x virginalis 'Snowflake'
Dwarf Mock Orange



Ribes sanguineum
Red Flowering Currant



Sedum oregonum
Oregon Stonecrop



Fragaria chiloensis
Beach Strawberry

building elevations

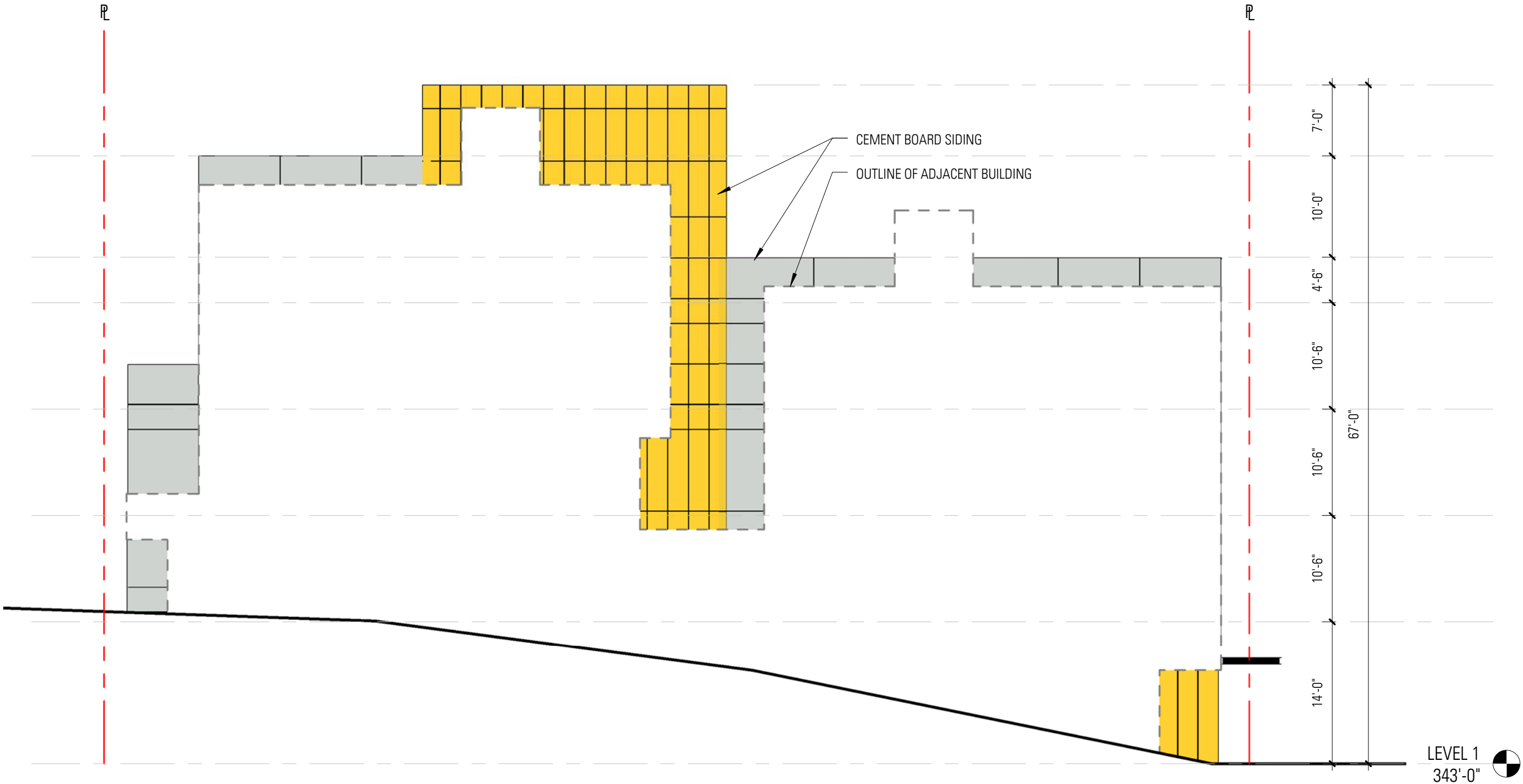


building elevations



south elevation 3/32" = 1'

building elevations



north elevation 3/32" = 1'

building elevations



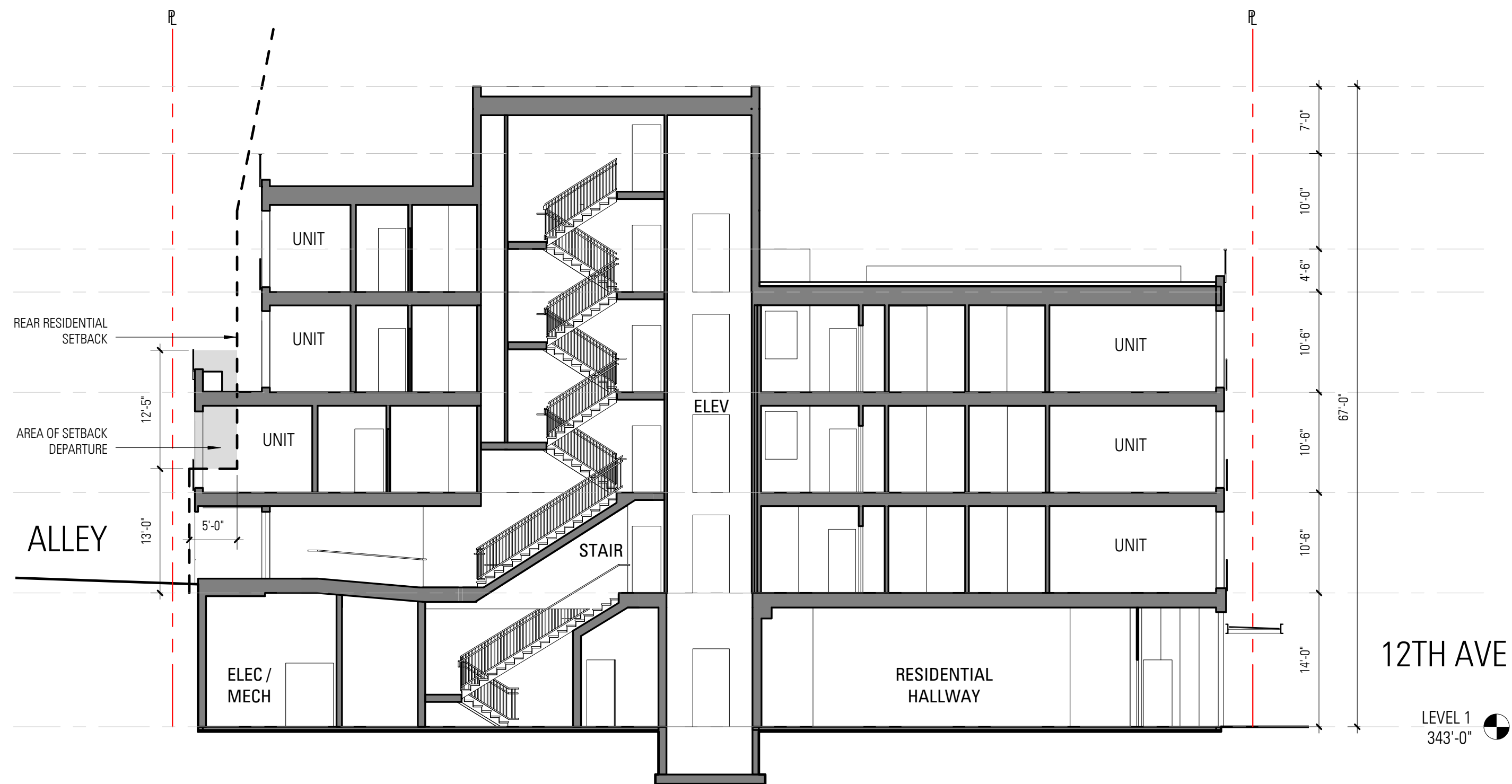
east courtyard elevation

south courtyard elevation

west courtyard elevation

3/32" = 1'

building section



perspective - bird's eye view



perspective - view from across street



perspective - street front



perspective - pedestrian environment



perspective - courtyard views



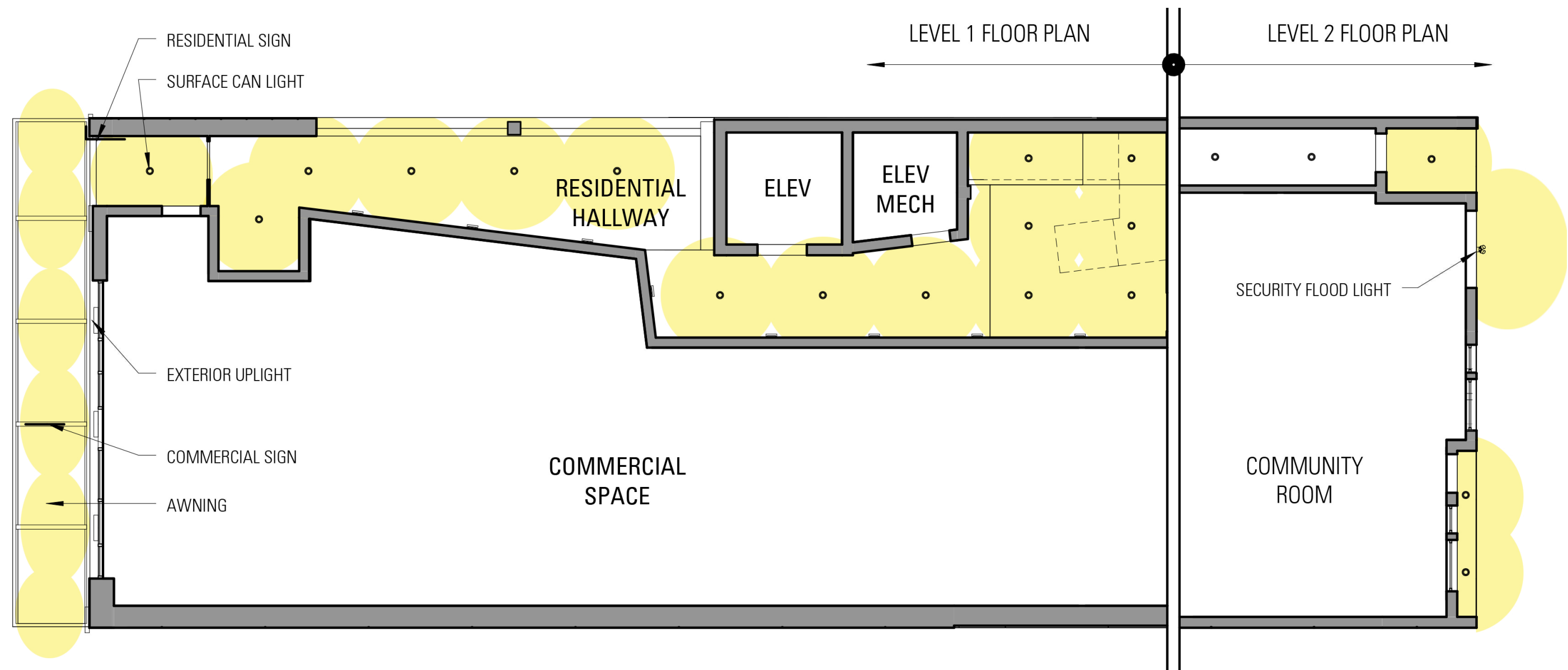
perspective - alley views




section perspective



exterior lighting / signage



3/32" = 1' 

exterior light / signage



exterior up light



surface can light



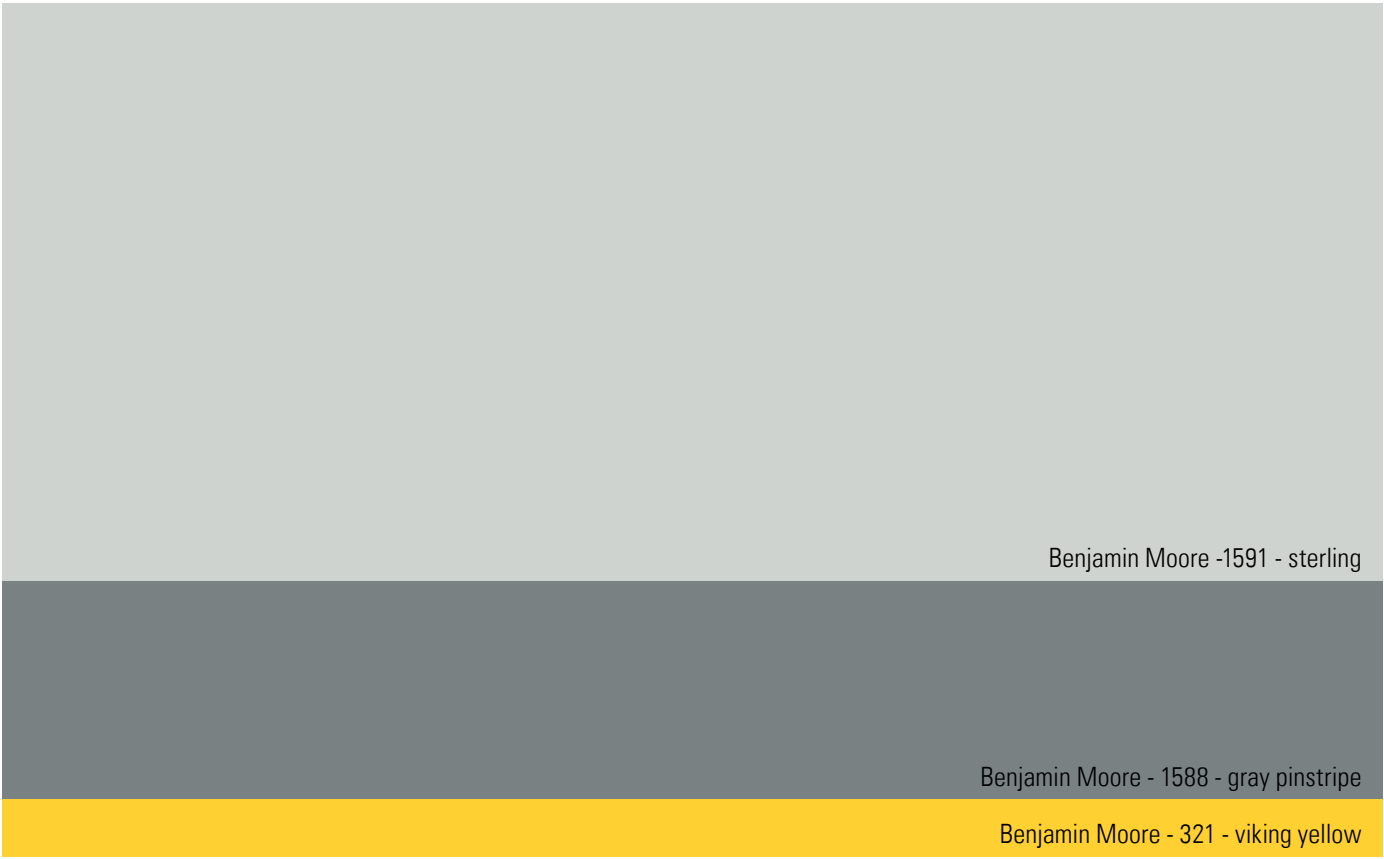
security flood light



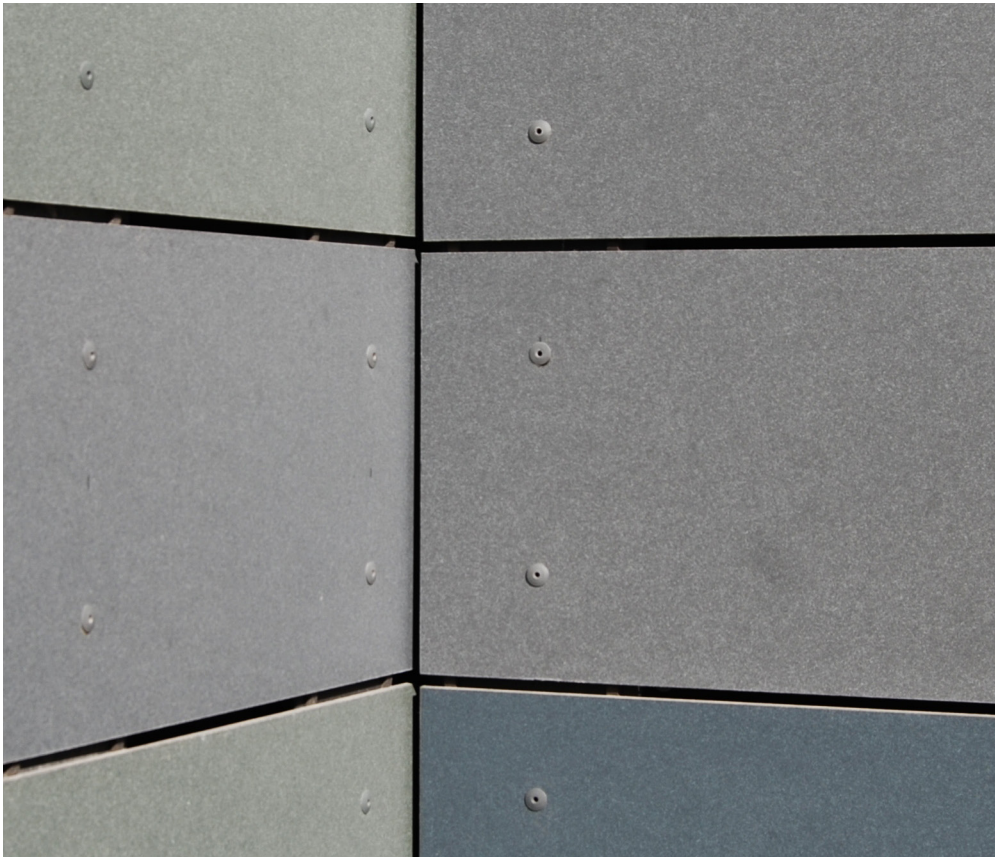
residential signage

commercial signage

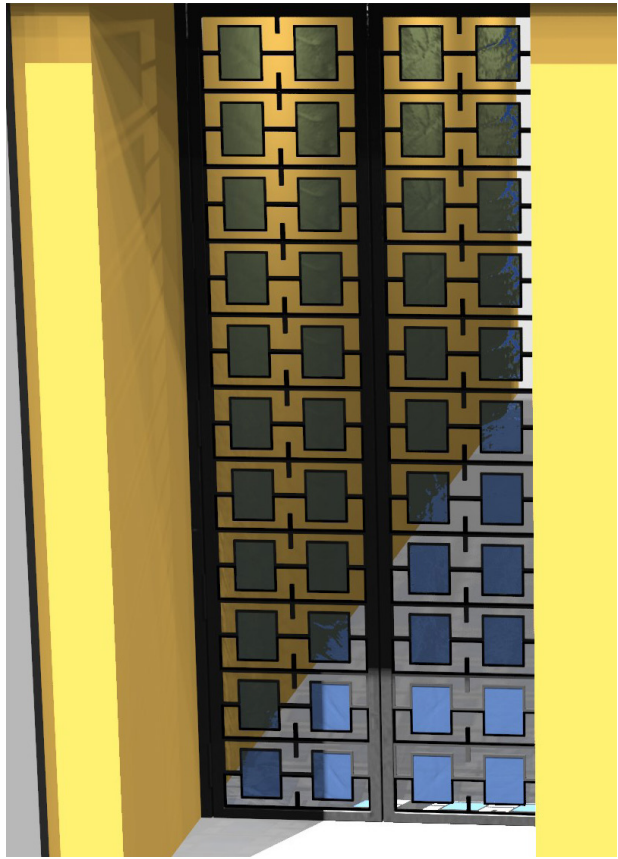
exterior finishes and materials



Cement Board Siding Color Palette



Cement Board Siding



Residential Entry Gate



Metal Awning



Exterior Railings

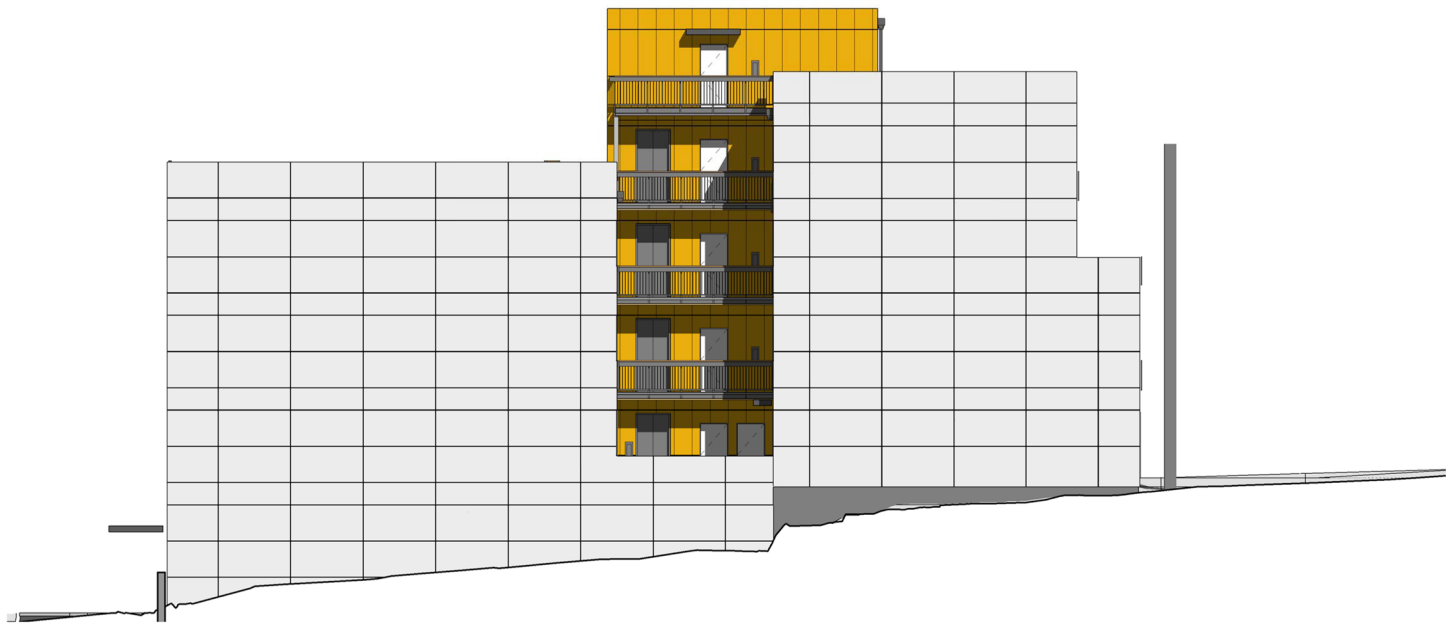


Steel Planters

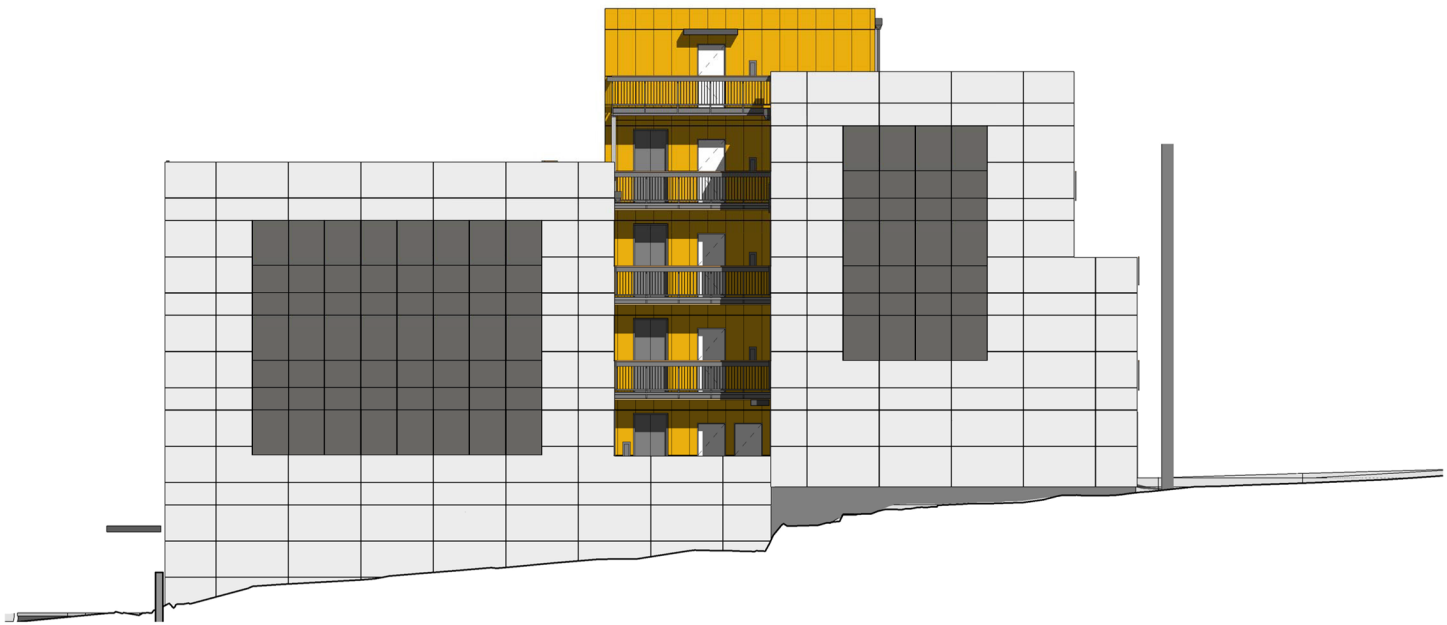


Steel Building Sign

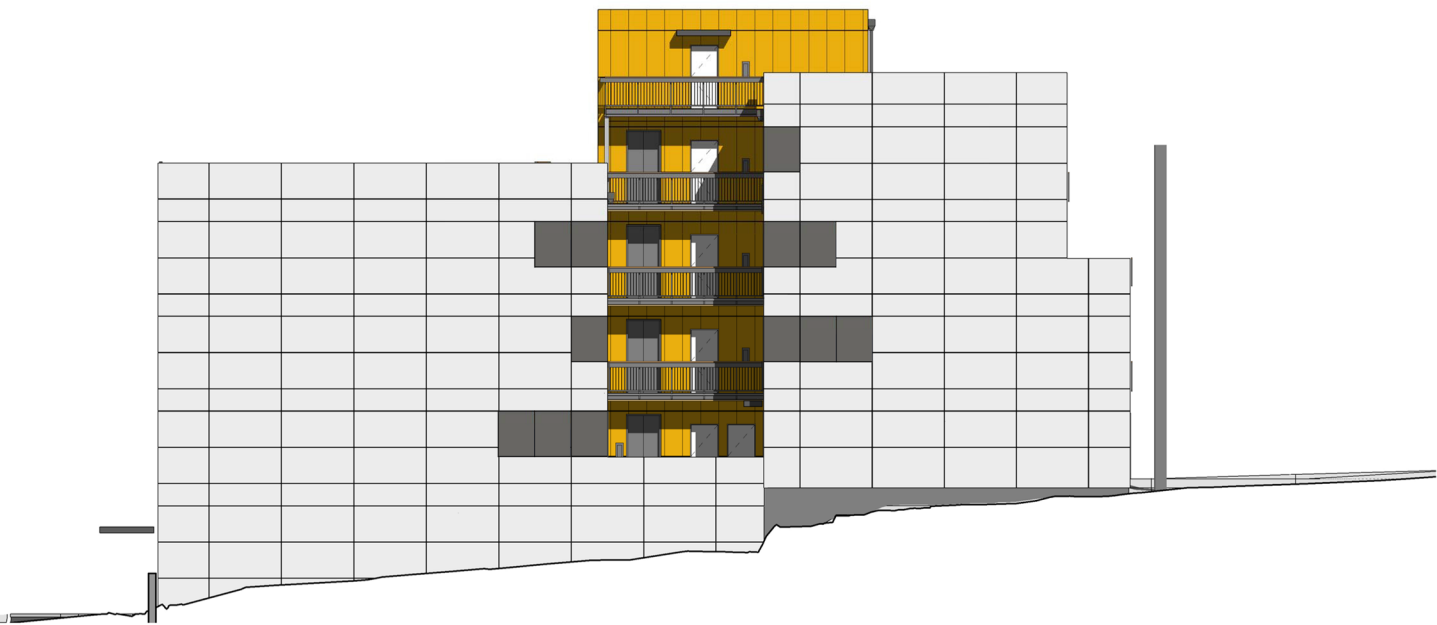
south elevation options



option 1 - panel patterning only



option 2 - blocks of color



option 3 - random panel wraps



option 4 (preferred) - regular panel wraps

design departures

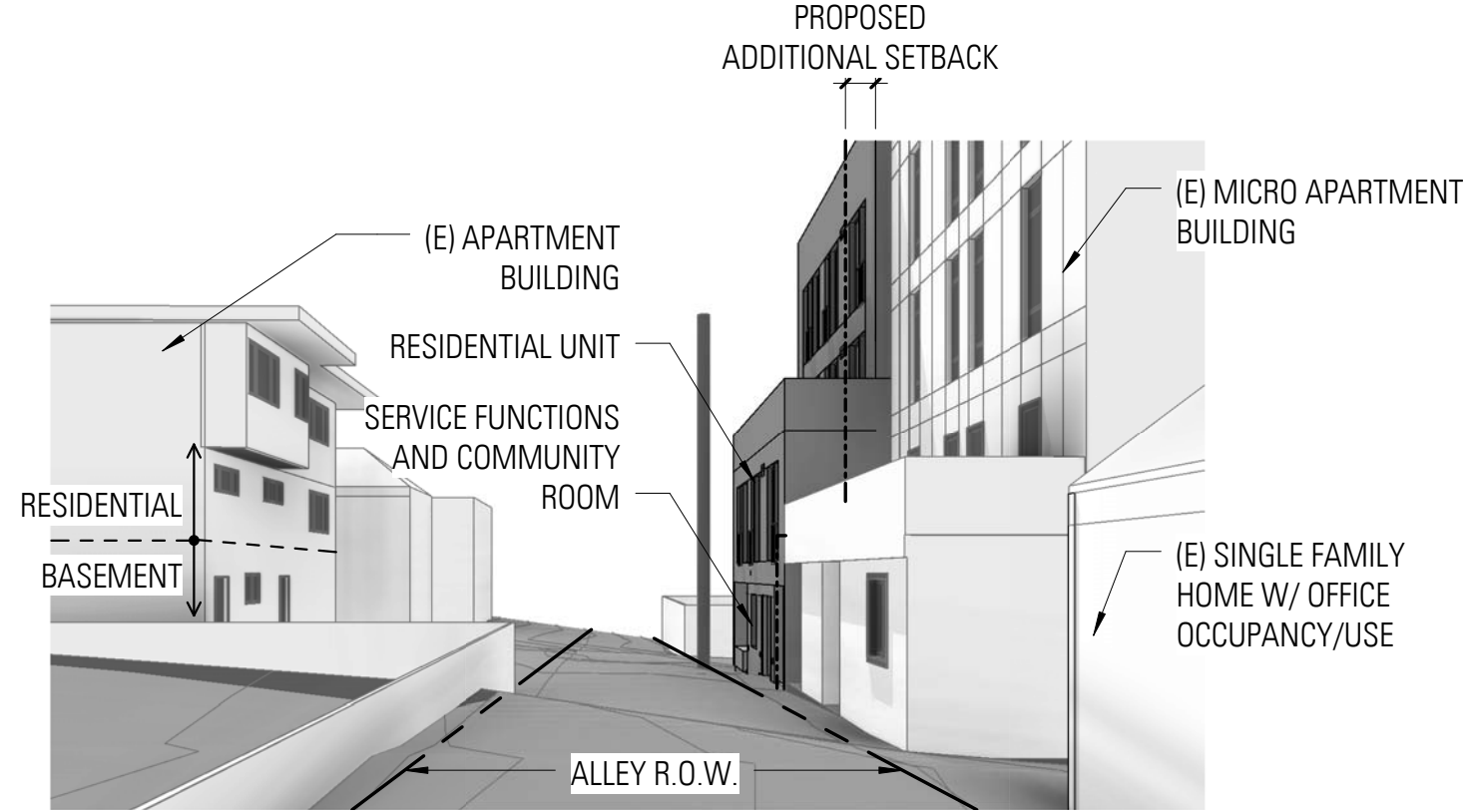
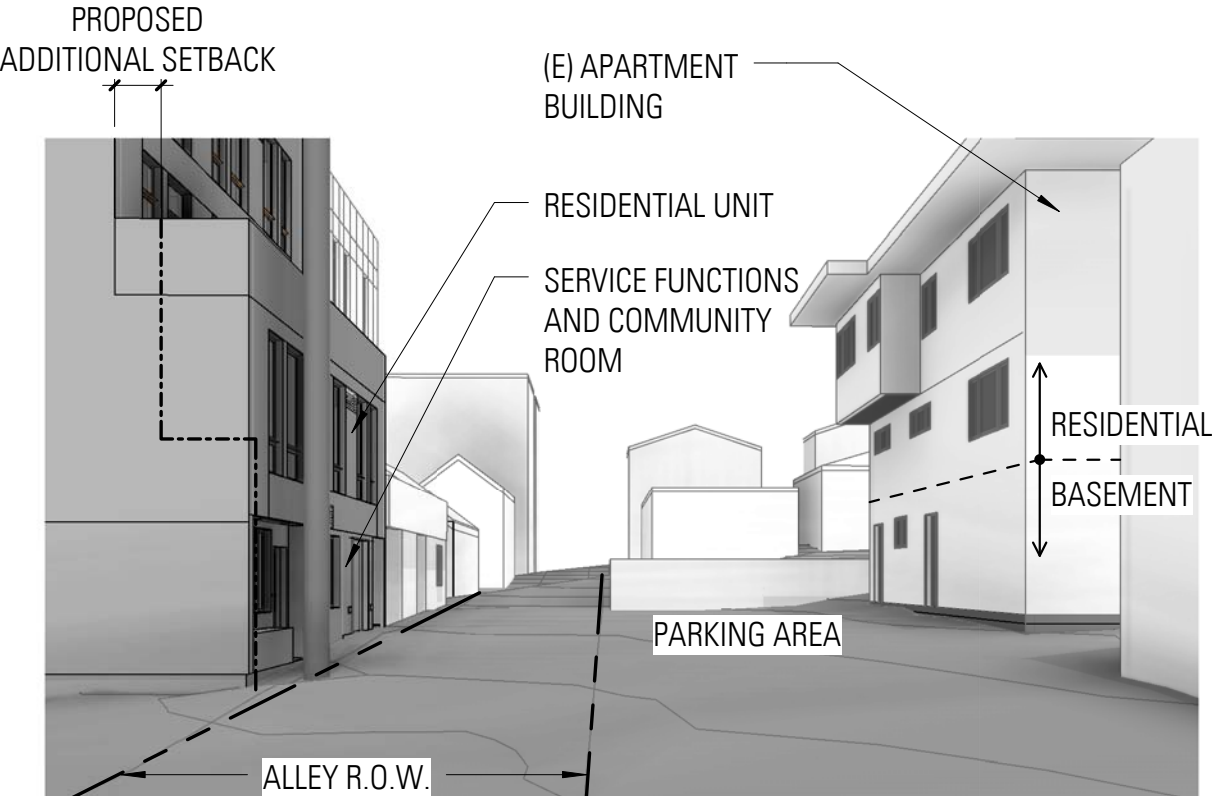
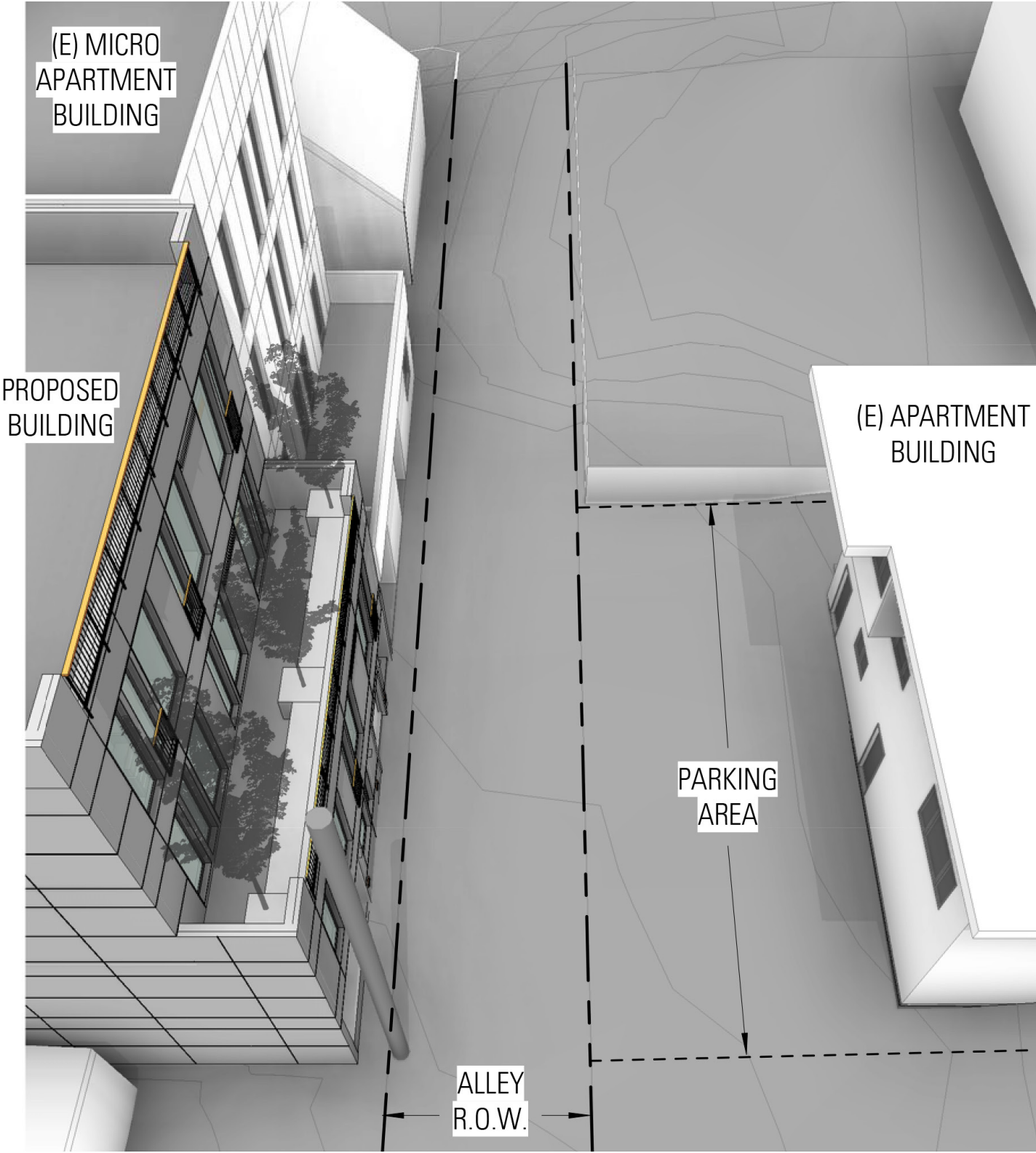
EDG departures

	Code Reference	Existing Standard	Proposed Departure	Rationale	code compliant			LBP compliant
					Scheme 1	Scheme 2	Scheme 3	Scheme 4 (preferred)
LIVING BUILDING PILOT ORDINANCE	SMC 23.47A.012 Structure height	Maximum building height in NC3-40 zone is 40 feet	We propose 10 feet above the 44 foot limit (for a total of 54 feet). See SMC 23.41.012.2.F	Projects participating in the Living Building Pilot Program are permitted up to 10 feet above the applicable limit. This additional height offsets the loss of floor area due to the sustainable energy strategies achieved with the courtyard.	N/A	N/A	N/A	YES
	SMC 23.47A.013 Floor area ratio	C. Maximum FAR allowed in NC zones or C zones within the Station Area Overlay District is shown in Table B for 23.47A.013	We propose an FAR increase of 15% for a total allowable building square footage of 20,792 sf.	Projects participating in the Living Building Pilot Program may be allowed a 15% increase above the otherwise allowable limit. See SMC 23.41.012.D. This additional FAR offsets the loss of floor area due to the sustainable energy strategies achieved with the courtyard.	N/A	N/A	N/A	YES
SEATTLE MUNICIPAL CODE	SMC 23.47A.013 Floor area ratio	B.3 - For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows: b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet (Exhibit C for 23.47A.014).	We propose to continue the 15’-0” setback (from the centerline of alley) for the entire height of the east facade of the building.	Maintaining the same setback along the east facade of the building allows a more unified treatment of the facade. It is our belief that the balconies provided on the east facade help break down the size of the east facade and do not adversely affect the LR-3 zone buildings on the opposite side of the alley.	N/A	N/A	N/A	YES

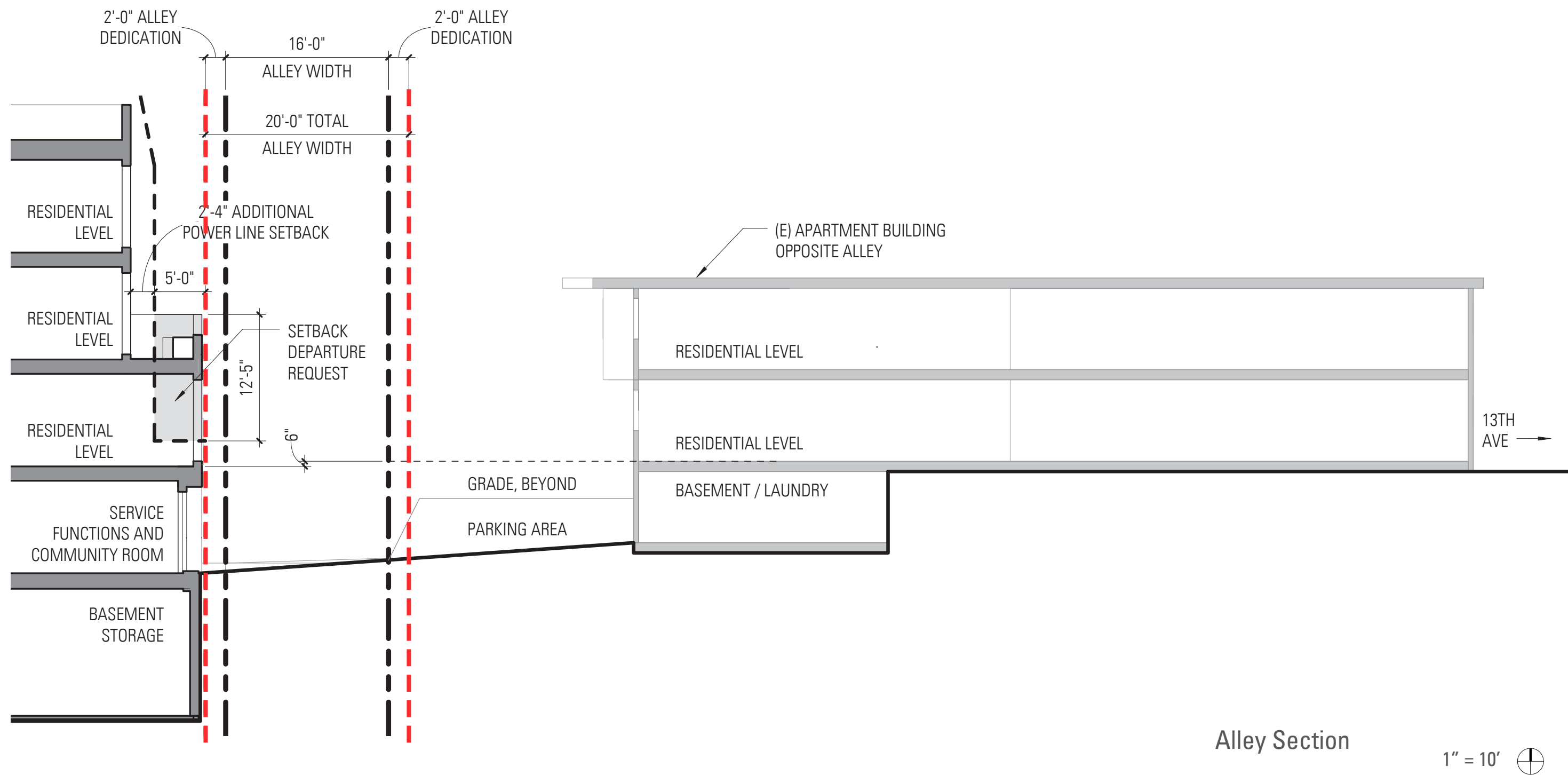
DRB departures

	Code Reference	Code Requirement	Proposed Departure	Rationale
SEATTLE MUNICIPAL CODE	SMC 23.47A.014A3a Setback Requirements	For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows: a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet	No. 1 We propose to begin the 15’ rear setback above 25 feet in height (12’ above current setback height).	Our proposed departure from the alley setback results in a design that better meets the intent of the Design Review Guidelines for the following reasons: 1. Eyes on the Streets – The proposed project would like to create a safer alley for pedestrians and residents. The second alley level residential unit has extensive glazing which allows for more eyes on the alley. If the second level was set back as required by the Seattle Municipal Code, the residential unit would be setback from the alley and the view to the alley would be blocked by a roof deck above the first level and the surrounding parapet as the 1728 Micro Apartment Building demonstrates in the attached sketch. 2. Sloped Site – The sloped site of the property results in the first residential level of the existing apartment building across the alley from the proposed building to be at approximately the same level of the second alley level of the proposed building. The ground level of the existing apartment building across the alley is a basement with no residential units. The setback departure does not allow for the second level residential units in the proposed building to have a view into residential units in adjacent buildings at lower levels. See attached sketches showing perspectives of the alley and a section through the alley showing the proposed building and apartment building across the alley. 3. Power Line Setback – The upper levels of the proposed building have a required power line setback that is approximately 2’-4” greater than the setback required by the Seattle Municipal Code. Though the proposed building is requesting a lesser setback at the second level, it is providing for a larger setback at levels 3 and 4. See attached sketches showing perspectives of the alley and a section through the alley showing the proposed building and apartment building across the alley.
	SMC 23.47A.008A3 Basic Street Level Requirements	3. Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.	No. 2 Proposed residential entry to be located within 12 feet of the street lot line, and within 9 feet of the street-facing façade.	Our proposed departure from the streetfront setback results in a design that better meets the intent of the Design Review Guidelines because it provides a more comfortable pedestrian environment through a wider sidewalk.

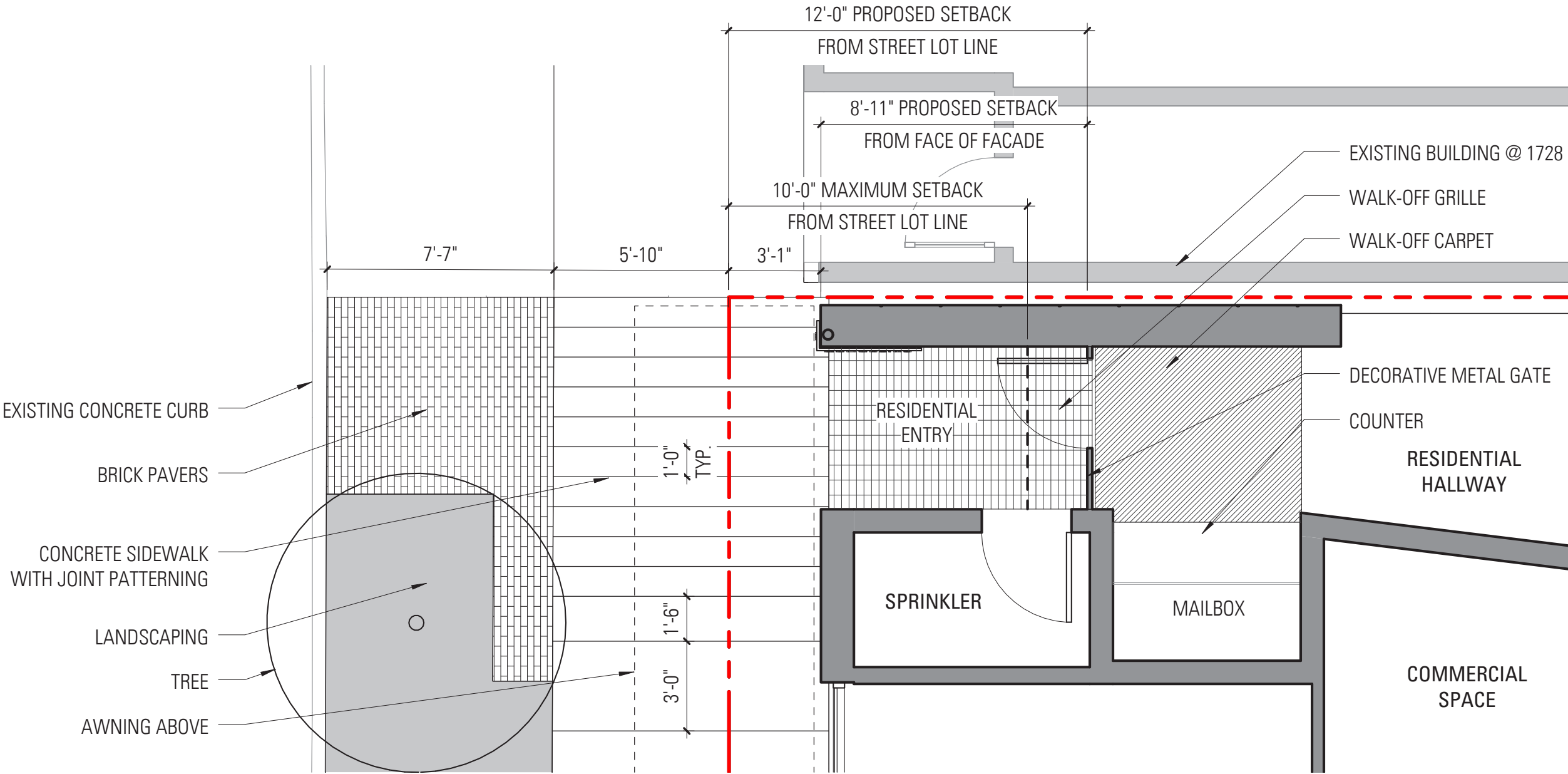
departure no. 1 diagrams - rear setback



departure no. 1 diagram - rear setback



departure no. 2 diagram - residential entry setback



Residential Entry Plan 1/4" = 1' 