

TABLE OF CONTENTS:

site information, code compliance - 1

site context - 2

existing site plan - 6

proposed site plan - 7

amenity/FAR breakdown, prelim. landscape plan - 8

height caluclations - 9

design guidelines - 10

proposed structures - 11

EARLY DESIGN GUIDANCE

4526 41st AVE SW



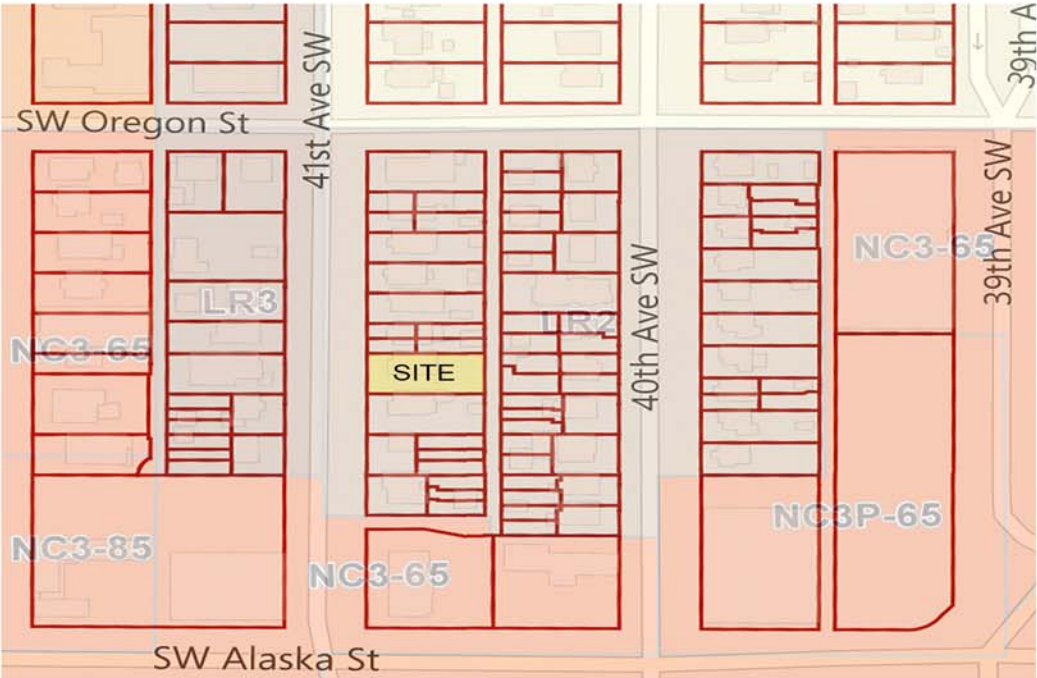
vicinity

Development Proposal:

Construct two multi-family structures located at 4526 41st Avenue SW, providing four new contemporary townhome units that fit within the fabric of the existing neighborhood

SITE ADDRESS:	4526 41st AVE SW
ZONE:	LR-2
USES: SMC 23.45.504 Table-A	Residential Uses Permitted
BUILDING HEIGHT: SMC 23.45.514 Table-A	30'-0"
SMC 23.45.514.E.	Shed and butterfly roofs in LR zones. 1. In LR zones, the high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in Table A for 23.45.514, provided that the low side(s) of the shed or butterfly roof are no higher than the height limit (see Exhibit A for 23.45.514). 2. The roof line of a shed or butterfly roof may be extended in order to accommodate eaves and gutters, provided that the highest point of the roof extension is no more than 4 feet above the height limit.
FLOOR AREA RATIO: SMC 23.45.510 Table-A	1.2 - The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C. C. In LR zones, in order to qualify for the higher FAR limit shown in Table-A for 23.45.510, the following standards shall be met: 1. Applicants shall make a commitment that the structure will meet green building performance standards by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties, except that an applicant who is applying for funding from the Washington State Housing Trust Fund and/or the Seattle Office of Housing to develop new affordable housing, may elect to meet green building performance standards by meeting the Washington Evergreen Sustainable Development Standards (ESDS). The standards referred to in this subsection 23.45.510.C.1 are those identified in Section 23.45.526, and that section shall apply as if the application were for new development gaining extra residential floor area. 2. For all categories of residential use, if the lot abuts an alley and the alley is used for access, improvements to the alley shall be required as provided in subsections 23.53.030.E and F, except that the alley shall be paved rather than improved with crushed rock, even for lots containing fewer than ten dwelling units. 3. Parking location if parking is provided. a. For rowhouse and townhouse developments, parking shall be totally enclosed within the same structure as the residential use, located in a structure or portion of a structure that meets the requirements of subsection 23.45.510.E.5, or located in a parking area or structure at the rear of the lot.
SETBACKS & SEPERATIONS: SMC 23.45.518	Front: 7 average; 5 minimum Rear: 7 average; 5 minimum Side for Facades 40 feet or less in length: 5 Side for Facades 40 feet or greater in length: 7 average; 5 minimum F. Separations between multiple structures. 1. In LR and MR zones, the minimum required separation between principal structures at any two points on different interior facades is 10 feet, except for cottage housing developments, and principal structures separated by a driveway or parking aisle.
AMENITY AREA SMC 23.45.522	A. Amount of amenity area required for rowhouse and townhouse developments and apartments in LR zones. 1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. 2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. 3. For rowhouse and townhouse developments, amenity area required at ground level may be provided as either private or common space. 4. Private amenity area. a. There is no minimum dimension for private amenity areas, except that if a private amenity area abuts a side lot line that is not a side street lot line, the minimum horizontal dimension measured from the side lot line is 10 feet. b. An unenclosed porch that is a minimum of 60 square feet in size, and that faces a street or a common amenity area, may be counted as part of the private amenity area for the rowhouse, townhouse, or cottage to which it is attached. 5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions: a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. b. Common amenity area shall be improved as follows: 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees. 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided. c. The common amenity area required at ground level for apartments shall be accessible to all apartment units.
LANDSCAPING STANDARDS SMC 23.45.524	A. Landscaping requirements. 1. Standards. All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings. These standards may include, but are not limited to, the type and size of plants, number of plants, spacing of plants, depth and quality of soil, use of drought-tolerant plants, and access to light and air for plants. 2. Green Factor requirement. a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.
STRUCTURE WIDTH AND FAÇADE LENGTH LIMITS IN LR ZONES SMC 23.45.527	60 Feet per Table-A B. Maximum facade length in Lowrise zones. 1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2. 2. For a rowhouse development on a lot that abuts the side lot line of a lot in a single-family zone, the maximum combined length of all portions of facades within 15 feet of the abutting side lot line is 40 feet.

Site Information & Code Compliance



Zoning Map



Ariel Site Map



Neighboring townhome is of a Modern design. Appropriate plantings in front setback creates engaging open area



Abutting townhomes to North with fenced in, disengaged, front yard. Access to rear units and parking is through narrow alley-like sidewalk



Site is overgrown disrupting pedestrian link with site. Brightly colored door defines entry



Neighboring townhome located behind SFR. Open access to rear units with appropriate site plantings

Site Context



Nearby mixed-use with QFC supermarket, retail spaces and apartments above.



Single family structures front 41st Ave with townhomes along western alley



Elevation increases to West, tall developments from 42nd ave overshadow structures on 41st



Undeveloped lots to Northwest

Site Context





Nearby townhomes with double-wide walkway access to internal yards



Adjacent site is overgrown with dilapidated shed



Site has 12" Juniper tree adjacent to driveway

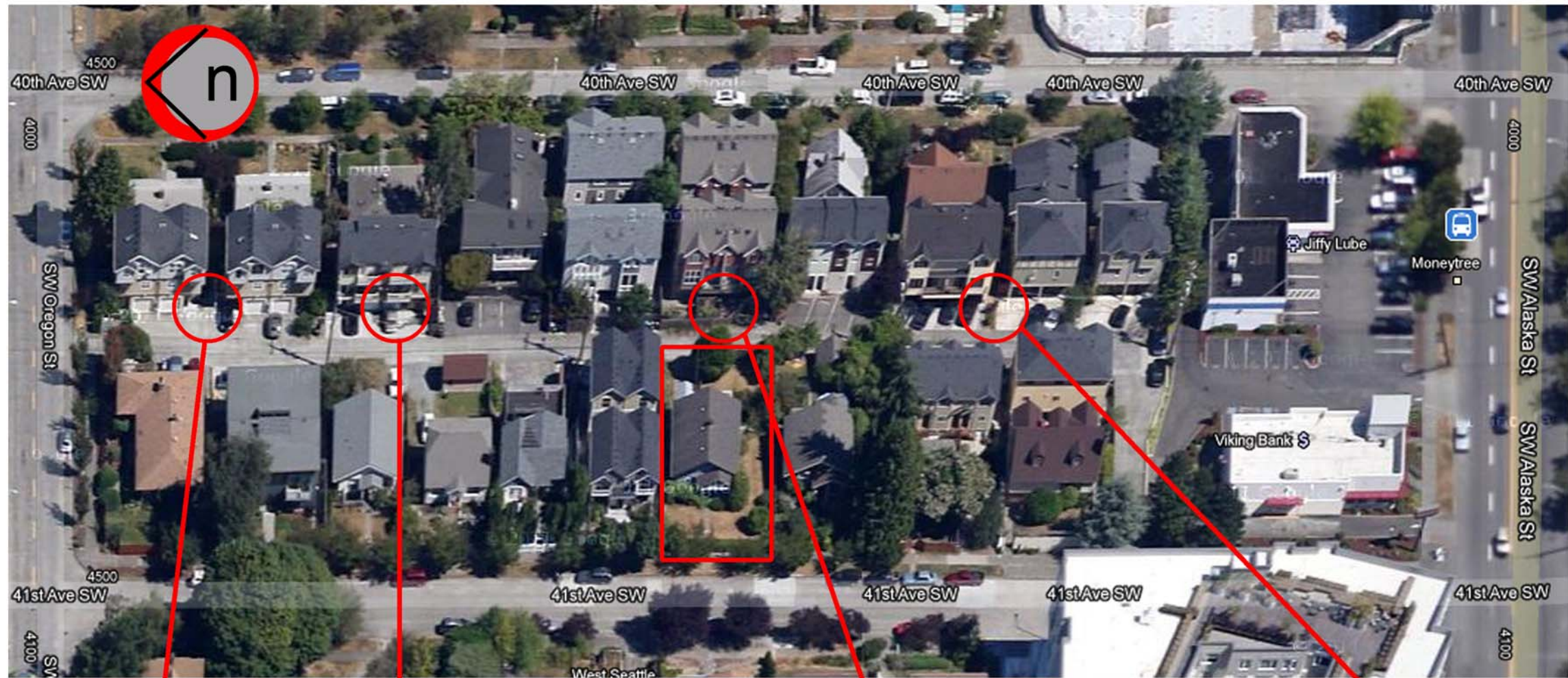


Abutting townhomes with cantilever over parking area



Large corner windows, native plantings and deep overhangs

Site Context



Eastside of alley lined with townhomes and parking



Use of various materials; board & batten, cedar shake and lap siding



Rear yard of alley abutting neighbor is fenced in except for vehicle access to internal parking.



Simple facades with cantilevers over rear entries

Site Context

BUILDING A

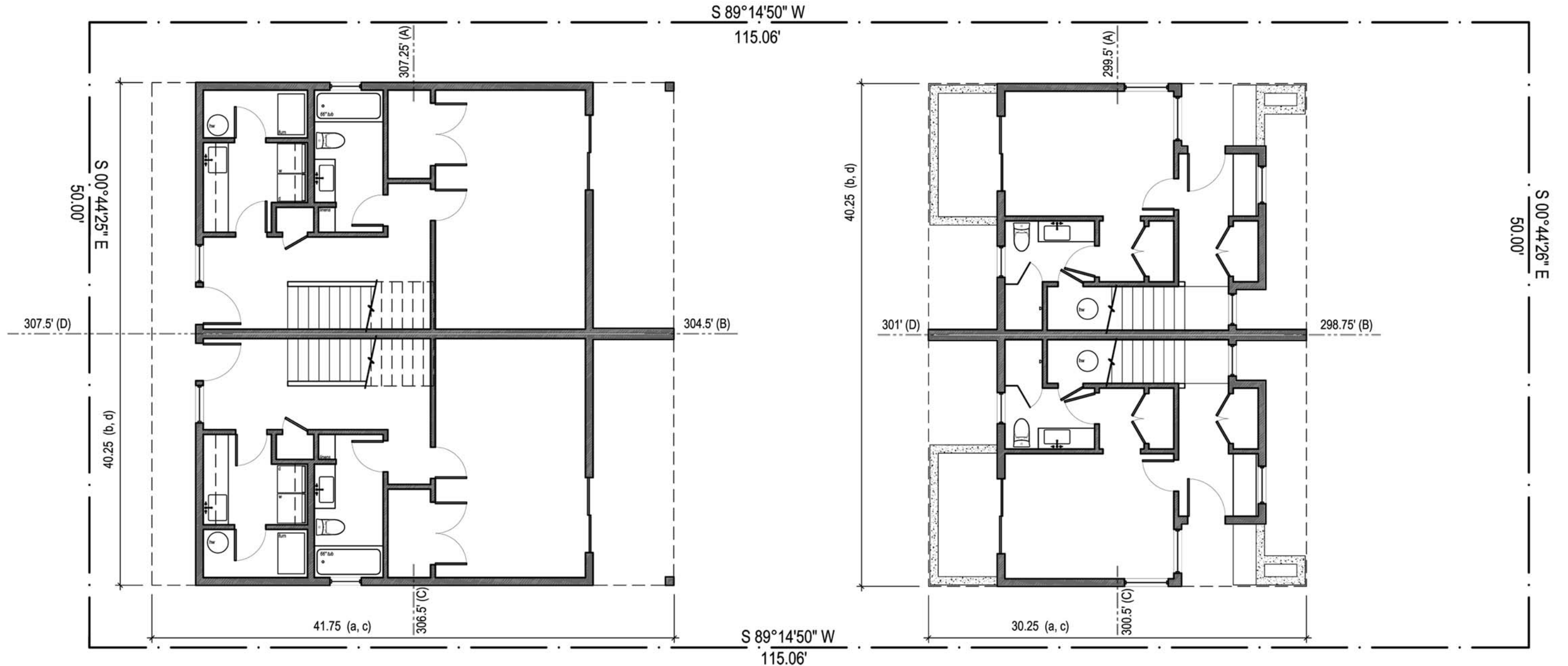
307.25*41.75	=	12827.6875	AVERAGE GRADE = 306.445'
304.50*40.25	=	12256.125	MAX BUILDING HEIGHT = 30'-0"
306.50*41.75	=	12796.375	BUTTERFLY ROOF ADD = 3'-0"
307.50*40.25	=	12376.875	MAX ELEVATION BUILDING A = 339.445'
164	/	50257.0625	PROP ELEVATION BUILDING A = 338.833'

HEIGHT CALCULATION FORMULA DR 4-2012

$$\frac{(A*a)+(B*b)+(C*c)+(D*d)}{a+b+c+d}$$
 ZONE - LR2
 MAX BUILDING HEIGHT = 30'-0"
 BUTTERFLY ROOF ADD = 3'-0"

BUILDING B

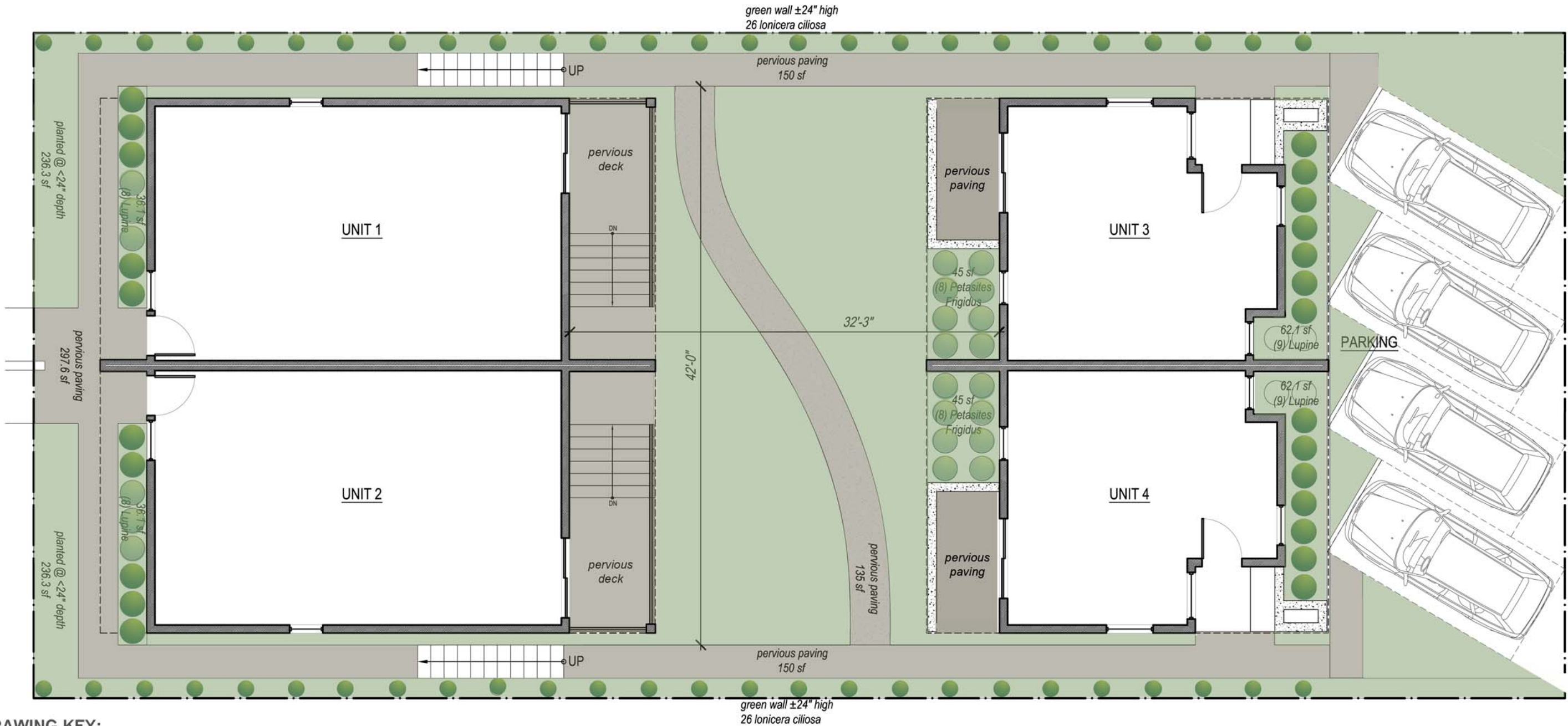
299.50*30.25	=	9059.875	AVERAGE GRADE = 299.928'
298.75*40.25	=	12024.6875	MAX BUILDING HEIGHT = 30'-0"
300.50*30.25	=	9090.125	SHED ROOF ADD = 3'-0"
301.00*40.25	=	12115.25	MAX ELEVATION BUILDING B = 332.93'
141	/	42289.9375	PROP ELEVATION BUILDING B = 327.75'



Preliminary Height Calculations



FLOOR AREAS		UNIT 2		UNIT 3		UNIT 4		LOT		LOT AMENITY AREA	
UNIT 1											
ENTRY LEVEL	588.3 sf	ENTRY LEVEL	588.3 sf	ENTRY LEVEL	347.6 sf	ENTRY LEVEL	347.6 sf	LOT AREA	= 5753 sf	LOT AREA	= 5753 sf
MAIN LEVEL	712.8 sf	MAIN LEVEL	712.8 sf	MAIN LEVEL	558.6 sf	MAIN LEVEL	558.6 sf	(1.2) FAR	= 6903.6 sf	25%	= 1438.25 sf
UPPER LEVEL	683.5 sf	UPPER LEVEL	683.5 sf	UPPER LEVEL	558.6 sf	UPPER LEVEL	558.6 sf	UNIT TOTALS	= 6898.8 sf	MIDDLE YARD	= 1480.5 sf
TOTAL	1984.6 sf	TOTAL	1984.6 sf	TOTAL	1464.8 sf	TOTAL	1464.8 sf		6898.8sf < 6903.6sf		1480.5sf > 1438.25sf



DRAWING KEY:

- indicates area of native planting
- indicates area of pervious paving

amenity/FAR breakdown, prelim. landscape plan



DESIGN GUIDELINES

A-1 RESPOND TO SITE CHARACTERISTICS

The Development site and adjacent lots are dominated by vegetation within the ROW and in front setbacks

Appropriate native plantings have been selected from the ‘Seattle Green Factor Plant List’. Recesses and covered ‘welcoming gathering areas’ have been created along both 41st Ave SW and adjacent alley for gathering.

A-2 STREETScape COMPATIBILITY

Existing residential structures are varied in form and style, providing an opportunity to establish a stronger street presence.

Proposed structure will be of a modern design, similar style is present with various newly constructed structures within the immediate vicinity.

A-3 ENTRANCES VISIBLE FROM THE STREET

Create readable entries to help define the space.

Recessed entry vestibules for units will have warm, tactile siding that differentiates them from the overall mass of the structures. Walkways on both North and South sides of site will provide through lot access to rear units will be planted and well lit to provide a welcoming and illuminated entry.

A-5 RESPECT FOR ADJACENT SITES

This neighborhood is in transition, be mindful of openings (doors, windows, decks, etc.) onto adjacent properties.

Window openings along the side lot lines have been minimized to preserve privacy.

B-1 HEIGHT, BULK AND SCALE COMPATIBILITY

In keeping with the spirit of the anticipated development by the Land Use Code this development will achieve a height that is no more than currently allowed by code. The adjacent alley is lined with similarly scaled three story multifamily homes, this development mimics its neighbors with sweeping overhangs and alley parking.

C-2 ARCHITECTURAL CONCEPT AND CONSISTANCY

Define development site with a coherent design concept that is not run of the mill.

Keeping with the nature of the heavily planted and ‘neighborhoody’ feel of the area this development seeks to strike a balance between the lush greenery of 41st Ave and the barren pavement of the alleyway.

C-4 EXTERIOR FINISH MATERIALS

Quality, Quality, Quality

While budget will always have the advantage over aesthetics, this development intends to incorporate the use of cedar siding, steel railings and high-end panelized siding.

D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES

Seek a balance between pedestrian open spaces and entrances, where pockets are created to allow social engagement.

While respecting the existing neighborhood context, entries have been recessed and upper floors cantilevered to create covered open spaces for gathering, prominent unit entries, and an open neighborhood feel.

D-8 TREATMENT OF THE ALLEY

Take the opportunity to elevate design, not treating the rear (alley) as a backdoor.

As with the Avenue façade, this development has recessed, covered entries wrapped in cedar to create a welcoming, tactile experience.

D-12 RESIDENTIAL ENTRIES AND TRANSITIONS

As previously noted this development has recessed, covered entries wrapped in cedar to create a welcoming, tactile experience. Additionally the interstitial space will be developed as amenity space with a walking path and plantings.

E-1 LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE

Use a light hand in the front setback.

Given the overgrown nature of the street, South abutter, and even the development site as it currently sits, the concept of creating a ‘middle ground’ between greenery and hardscape will be incorporated.





view from 41st looking Northeast

natural cedar soffits

dark bronze windows

natural cedar siding

dark grey hardi paneling



view from 41st looking East

corner windows help expand visual perspective and enhance architectural character

floor to ceiling glazing provides natural light/ventilation as well as visibility

balcony w/ metal railing provides exterior living space and helps define entry

natural cedar lap siding give tactile/human scale at ground level

native planting softens front facade



view from alley looking Northwest

differentiated roof forms give separate identities to the buildings and bring architectural interest to the neighborhood

balcony provides outdoor living area and helps to activate the alley

cedar siding provides tactile/human scale at the ground level

native planting provides buffer and softens the building's edge along the alley



view from alley looking Southwest



view of rear-unit entry

changes in planes help to break up the structure and provide covered entry alcoves for occupants and guests.

planted "green walls" w/ pervious paved paths lead tenants into the property and provide a natural aesthetic. native planting and pathways continue into interstitial common/gathering area