

3515 N





① panoramic view along Wallingford Ave. N, looking west



② panoramic view along Wallingford Ave. N, looking east



③ panoramic view towards south from adjacent house to the north

1. Proposal. Statement of development objectives indicating types of desired uses, structure height, number of residential units, amount of commercial square footage and number of parking stalls..

Development Objectives

The development intends to provide a duplex and triplex structure at 3515 Wallingford Avenue N with a shared courtyard and access to parking in between the structures. The project design will address Wallingford Avenue N as well as the adjacent properties to the south, north and west of the site taking particular advantage of views to the south towards Lake Union and downtown Seattle. The courtyard and walkway at the north side of the project will provide the primary entrance to each of the five townhomes. The eastern-most unit that abuts Wallingford Ave N will have an entry door that directly addresses the street. Parking access will be from Wallingford Ave N to five parking stalls, two of which are located in private garages with the remainder of the stalls uncovered. All homes will connect directly to the courtyard with and will have private decks to extend the interior living spaces. In addition all of the homes will have private roof decks as well to access phenomenal views to the south as well as views to the east and west.

Desired Uses

Townhomes

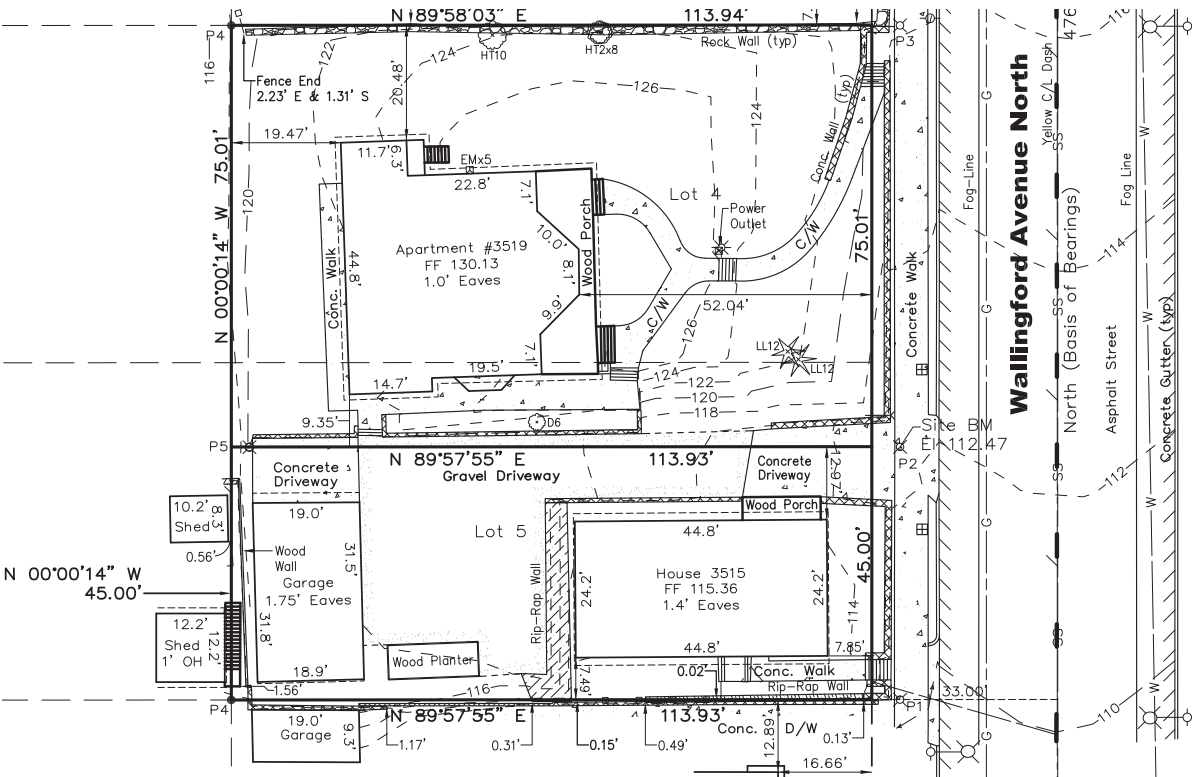
Five townhomes (in one duplex and one triplex) ranging from 1400 to 1500 square feet, will provide the opportunity for people to live just blocks from Gasworks Park, the Burke Gilman Trail and the downtown centers of Wallingford and Fremont. The Burke Gilman Trail provides access to Ballard, the University district and beyond with close access to Dexter Ave N and Westlake that connects to downtown Seattle. The proposed design will organize the townhomes into a duplex and triplex oriented north-south with an entry path along the north property line that connects to a shared courtyard in the middle of the site. Parking will be pushed to the south edge of the site accessed through a new permeable driveway and curb cut at Wallingford Ave N. Thoughtful fenestration, double height spaces, and massing choices express progressive thinking and innovation. Further environmental consciousness will be expressed through material choice, building practices, and site planning. Thoughtful architecture and green building practices will demonstrate that these homes are informed by time and place. These homes will be certified minimum of 4-star Built Green. Further development of the building's exterior through modulation of the exterior wall combined with decks and variation in materials and window treatment will express individual spaces and reduce the mass of the building.

Structure Height

Zoning allows 30 feet in height, with additional 4 feet for a parapet and 10 feet for a roof penthouse. It is our intent to utilize the full height permitted while providing access to roof decks that do not require an actual penthouse structure. The structures follow the site's topography, lower at the street and higher at the rear. Modulation is expressed by shifting building masses around on the site.

Access and Parking

Parking access will be from Wallingford Ave N through a new curb cut. The driveway will run along the south property line providing access to a drive aisle and five parking stalls. Three stalls are located on pervious paving with the remaining two in private garages within two townhouses. The current curb cut will be restored per SDOT standards.





View from Wallingford Ave N. south towards Downtown Seattle.



Commercial buildings on 37th St and Wallingford Ave.



Commercial Building on 34th St and Wallingford Ave.



Gas Works Park.



The Burke-Gilman Trail on N Pacific Street.



A Mixed-Use building on 34th Street and Wallingford.

2 ANALYSIS OF CONTEXT

Initial site analysis addressing site opportunities and constraints, adjacent buildings, zoning of the site and adjacent properties, overlay designations, solar access, views, circulation patterns, community nodes, landmarks, and existing architectural and siting patterns.

Neighborhood Context and Adjacent Zoning

Land Use

The site, shown in orange on the adjacent page in the aerial photo and zoning map is located on Wallingford Ave N between N 35th and N 36th Streets in the new LR-2 zone. The LR2 zoning extends a block south of the development site and east to just before N Pacific St. It also extends north just across N 37th St. Immediately adjacent to the east is SF 5000, which is the predominant zoning in the immediate area north of N 35th Street. South of N 35th St the predominant zoning is mixed between LR2 and C1 and C2 with 30 and 40-foot height limits. Other zoning south of N 35th St includes NC2-65 and IC-45 along Lake Union. Generally, to the east and north along Wallingford Ave N are three-story apartment buildings and one and two-story single-family homes with some townhouse structures. To the west are predominantly one and two-story single-family homes with some multifamily structures. To the south are one and two-story commercial structures with new four-story mixed-use structures. Although the neighborhood has a large percentage of single-family homes, the mix of multifamily and commercial along Wallingford Ave N and along N 34th Street creates an appropriate eclectic mix in this through-out and adjacent to this multifamily zone due to the proximity to Lake Union and the center of Fremont.

Architecture

Although Wallingford is known for its small one and two-story homes there is a range of architecture in this specific area with a variety of building types. The mix of zoning ranging from SF 5000 to C2-40, IC-45 and NC2-65 provides a combination of single-family and multifamily homes of various ages and sizes as well as commercial buildings.

Topography and Views

The subject site is sloped to the south, creating a grade difference from 6 to 10 feet from its north property line to its south property line. Wallingford Avenue N continues sloping downhill to the south, creating opportunities for views to Lake Union and downtown beyond. In addition there are views to the west and southwest towards the Lake Washington Ship Canal and the Aurora and Fremont bridges.



7 A single family home on 35th St and Densmore Ave N



10 A multi family development on 22ND Ave.W. and W.Bertona St.



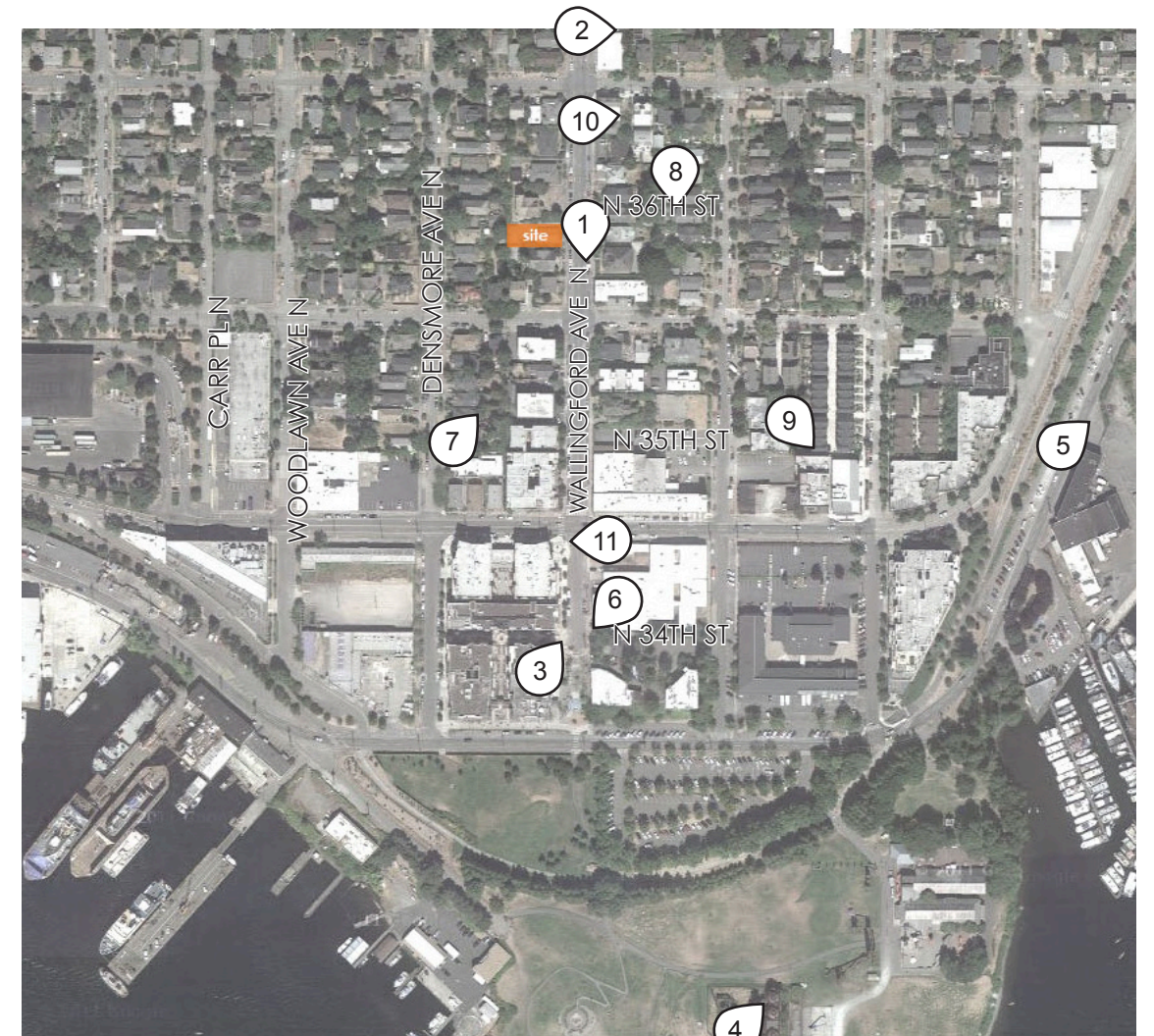
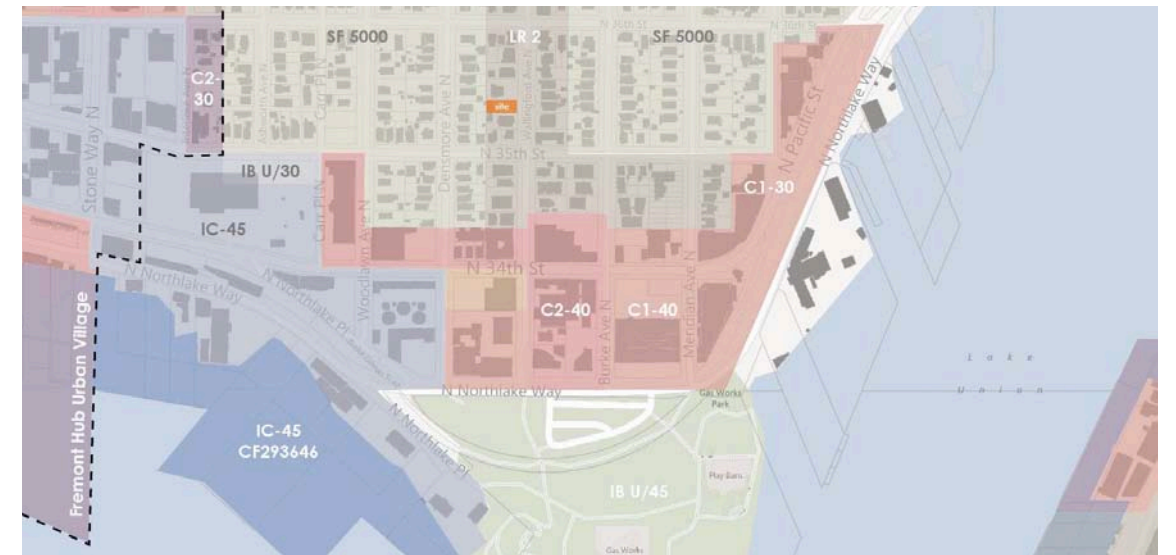
8 A multi family building on N 36th St and Wallingford.

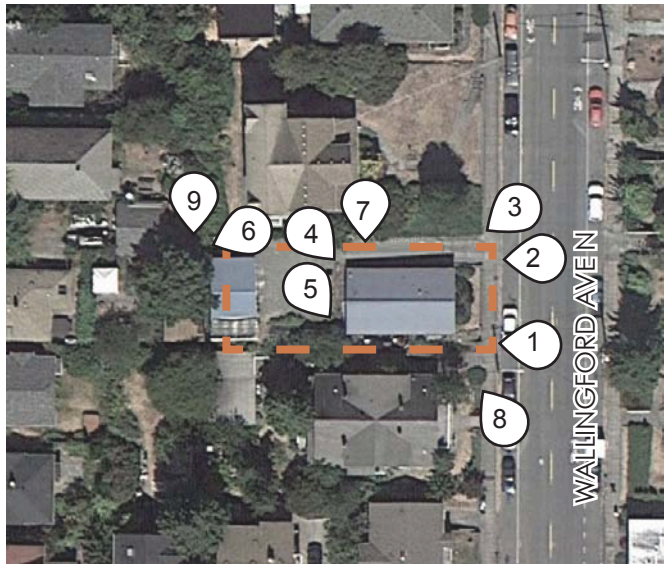


9 A Multi family building on N 35th St and Meridian Ave N.



11 An apartment building on N 34th St and Wallingford Ave





EXISTING SITE. A drawing of existing site conditions, indicating topography of the site or other physical features and location of structures and prominent landscape elements on the site including but not limited to all trees 6 inches or greater in diameter measured 4.5' above the ground (see CAM 242).

Uses

The site is located between N 35th Street and N 36th Street Wallingford Avenue N and is approximately 113 feet east-west and 45 feet north-south. The lot contains an existing single-family house and accessory structure. The project site will undergo a Lot Boundary Adjustment that will change its north-south dimension to 58'-4".

Topography

The site slopes downhill from north to south with an approximate 6 to 10 foot grade change from east to west. The site has views to the south of Lake Union and downtown and the Lake Washington Ship Canal and the Aurora and Fremont bridges.

Access

The site is bounded by Wallingford Ave N to the east. Wallingford Ave N is a collector arterial with a bicycle sharrow providing access to N 45th Street and the Wallingford Residential Urban Village as well as N 34th Street, a principal arterial one and a half blocks south that turns into N Pacific St at Begley Ave N. N 35th is a collector arterial to the west of the site and a residential street east of the site, paralleling N 34th and providing access to the Fremont Hub Urban Village. The Burke-Gilman Trail parallels N 34th and N Pacific, providing bicycle and pedestrian access to the site.



① Looking west from Wallingford Ave N



② Looking west from the driveway.



③ Looking southwest from Wallingford Ave N



④ Looking southeast from the driveway.



⑤ Looking southwest from the driveway.



⑥ Looking west from the driveway.



⑦ Looking south from the driveway.



⑧ Looking northwest from Wallingford Ave N.



⑨ Looking south from the western edge of the site.

existing site conditions

Site analysis summary:

Wallingford Ave N

- Slopes downhill from north to south from N 45th Street to between N 34th Street and N Northlake Way where it terminates.

N 35th Street

- Slopes downhill to the east and west from Wallingford Ave N. It terminates at N Pacific Street to the east and at Fremont Ave N to the west.

Wallingford Ave N traffic

- Collector Arterial connecting the neighborhood to Green Lake and lake Union. There is a bus stop at the corner of N 35th Street for Bus route 26 providing access between Green Lake and downtown Seattle.

N 34th Street traffic

- Principal Arterial connecting the neighborhood to Fremont to N Pacific Street for continued access to the University District.

Solar access

- The site has great solar access to the east, southeast, south, southwest and the west.

Building mass

- Desire to address Wallingford Ave N to the east with modulation along its north and south property lines (side) and west (rear) elevation as well.

Views

- Striking views to the south of Lake Union and downtown Seattle and the Lake Washington Ship Canal and the Aurora and Fremont bridges to the west.

Parking access

- Propose five parking stalls accessed from a new driveway at the southeast corner of the site at Wallingford Ave N. The driveway and parking will be along the south side of the property, creating a buffer to neighboring buildings. Two stalls will be in private garages with the other three on surface.

Biking Access

- The site has great biking access, 1 ½ blocks north of the Burke Gilman Trail. In addition there is a sharrow on Wallingford Ave N in front of the site.



5. Design Guidelines.

A brief description of how the proposal meets the intent of the applicable citywide and neighborhood design guidelines. Identify design guidelines most relevant to the proposal.

A-1. Respond to Site Characteristics:	The project's site planning and massing strategy reflects the slope of the site. The parking and driveway are located at the lowest elevation along the south property line to minimize its impact along the street and the adjacent properties. A desire to gravitate the homes and courtyard to the north side of the site at the higher elevation of the site takes advantage of south-facing views and minimizes impact on adjacent sites. The pedestrian access and common amenity space are located along the north property line in order to separate them from the parking. The common amenity space at grade is sheltered from the street and situated to take advantage of sun exposure. Private amenity spaces are in small decks that extend living spaces and on roof decks to take advantage of views and sun exposure.
A-2. Streetscape Compatibility:	Existing structures establish a consistent pattern along Wallingford Ave N, relatively small front setbacks, with structures ranging from one to three stories. The proposed duplex abutting Wallingford Avenue N provides a consistent setback to its adjacent structures. It provides a clear entrance and balances color and material in a consistent manner to the adjacent structures. Landscaping will be provided that is appropriate in this open space.
A-3 Entrances Visible from the Street:	The street-facing townhouse provides a visible entrance from the street along with an additional entry from the common amenity space. All the entrances are from the prominently visible common walkway accessible from a shared stair at Wallingford Ave N.
A-5 Respect for Adjacent Sites:	The proposed structures minimize their impact on adjacent sites by concentrating their mass towards the north end of the property. The driveway (woonerf) is located adjacent to the site to the south providing a green buffer to the abutting property and apartment structure. There will be a low fence and tall landscaping along the south property line to provide a soft edge in that location. The head in parking at the west end of the driveway is at a lower grade than the adjacent site due to topography and is obstructed by a berm from the abutting parcel to the west. The proposed townhouse structure at the west side of the property is also pushed to the north edge of the development site to provide a buffer to the existing single-family house to the west. It is further buffered from that house by its single-story garage structure at the rear of the adjacent site. The project is oriented to address the street and to the south to take advantage of the predominant views from the property. In order to minimize the impact on the property to the south we have proposed to locate the main living spaces on the second and third floors with views over the structure to downtown and Lake Union. The structure immediately south has been subdivided into 6 apartments, average 470 square feet each with mostly roof and only a few small windows facing the development site. In addition the landscaping on the site immediately south provides privacy for those apartment residents in their back yard.
A-6 Transition Between Residence and Street:	A communal stair on the north side of the development site provides access to a landscaped pedestrian path and courtyard accessible from Wallingford Ave N. The driveway access at the south side of the site will be landscaped where possible at its edges and will include permeable pavers of varying scales to create a pedestrian friendly space.
A-7 Residential Open Space:	The amenity space requirement is provided in a common courtyard accessible to all homes at the center of the site. The courtyard will be terraced to take advantage of the sloping land, providing the largest flat area possible. Additional amenity space is provided on private roof decks for each of the new homes and in the woonerf.
A-8 Parking and Vehicular Access:	Automobile parking shall be provided in private garages for the three of the townhomes with parking for the other two at the end of the driveway. All parking is accessed from Wallingford Ave N through a shared woonerf that will be designed with pavers of varying scales. This will provide additional residential open space when vehicles are not driving through to their parking stalls.

B-1. Height, Bulk and Scale Compatibility:

The project utilizes the existing sloping topography to minimize impact on the adjacent sites by locating the project as far to the north as possible away from abutting residential structures. In addition the bulk is reduced by modulation along the north and south façades which result from shifting the position north-south of the individual homes. The project further minimizes its bulk through material changes and modulation of the façade. The project provides roof decks but minimizes their impact by not utilizing the code allowable penthouses for access. Instead the stair is exterior and accessed from the courtyard/walkway at the north side of the site. All structures are limited below the 30-foot height limit for the zone with a combination of railing and low parapets for the roof deck guardrails. Color and material changes are used to reduce the perception of bulk and to add visual interest to the project.

C-1 Architectural Context:

The proposed architectural solution respects the adjacent context without imitating its somewhat eclectic character. The range of structures is demonstrated in this packet, including small multifamily structures immediately adjacent to the site, single-family structure, apartment buildings and small commercial structures. The proposed three-story structures attempt to complement the context by including elements that divide the façade into smaller elements and contrasting materials. Windows of varying scales and fine detailing at entrances and material changes along with railings will provide building articulation.

C-2 Architectural Concept and Consistency:

The design approach is informed by three primary concepts: express each home by shifting their position in the north-south direction, provide opportunities to gather and pause along a shared walkway and courtyard and minimize the presence of required parking while providing a buffer to adjacent parcels. A narrow framed walkway from the street widens between these two structures and two structures to be proposed on the adjacent property to the north. Materials differences will be used to express the shifted forms and highlight interior spaces and individual dwellings. The project design approach is consistent between the two structures, with a change in color at the exterior of one of the homes to add visual interest in the courtyard.

C-4 Exterior Finish Materials:

We will use durable and maintainable materials at the buildings' exterior that also respect the need for sustainability. A paneled colored material (to be determined) will be used on most surfaces with a contrasting color for infill areas, with accents of painted metal for entry canopies, railings and decks. The painted metal will be used as a frame for the infill panel areas and will extend beyond the siding to create a shadow line at the material changes.

D-5 Visual Impact of Parking Structure:

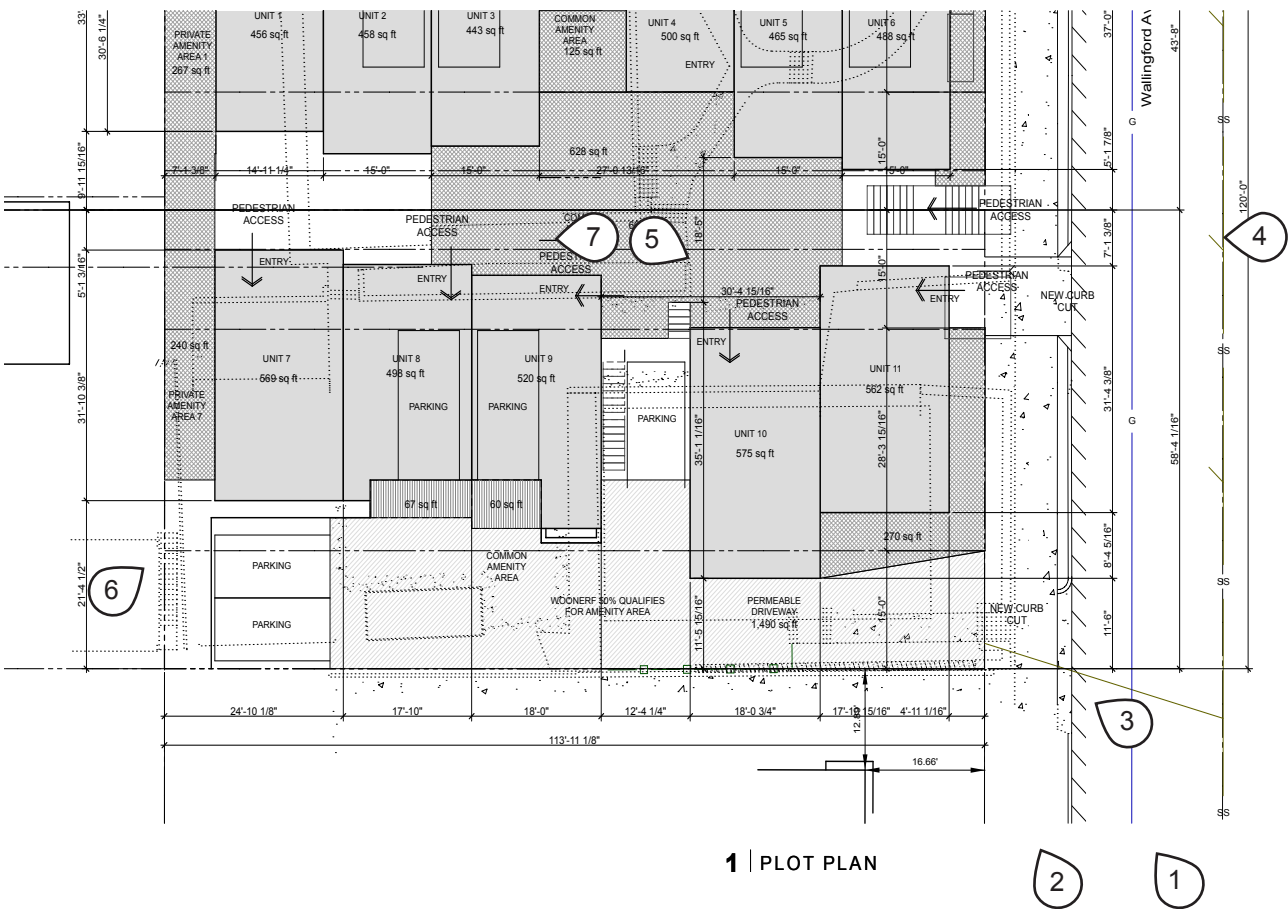
Landscaping, a low fence and a berm, all of which are used to minimize impacts on adjacent sites, bound the proposed parking area. The homes in the structure closest to Wallingford Ave N are shifted south to buffer the sidewalk along Wallingford Ave N from the parking area.

D-7 Pedestrian Safety:

We intend to have all pedestrian access come from Wallingford Avenue N. The access to the courtyard will be well lit and have a direct view from all the homes. The new home abutting the street will maximize glazing in order to create significant interaction with the pedestrian street front. All homes will maximize glazing to the south to provide views into the shared parking area and glazing.

E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites:

The required street trees can be provided within the 5-foot setback on the site due to the insufficient space in the planting strip. If possible, we would request using buckouts in the planting strip created for each tree similar to a project we recently completed on 19th Avenue in the Central District. Landscaping will be concentrated in the site setbacks and will be used to soften and wooner, line the pedestrian walkway in from Wallingford Ave N. The courtyard will be carefully landscaped using native drought tolerant plants. One or two trees will be included in the courtyard along with a line of vertical trees or bamboo at the south property line for a buffer to the property to the south. The landscaping, broadly defined to include existing and new trees, the plants in the amenity spaces, and the plantings in the courtyard shall enhance and help stitch together the project site with its surroundings. We will continue to use the low stone retaining walls along the street to create a level raised front setback with gaps in the wall to provide access to the common pedestrian access and the street-facing home. Planters and landscaping will be used in these areas to add visual interest along the street.



Architectural Concept

The design approach is informed by three primary concepts: express each home by shifting their position in the north-south direction, provide opportunities to gather and pause along a shared walkway and courtyard and minimize the presence of required parking while providing a buffer to adjacent parcels. A narrow framed walkway from the street widens between these two structures and two structures to be proposed on the adjacent property to the north. Materials differences will be used to express the shifted forms and highlight interior spaces and individual dwellings.





④ View of the facade from Wallingford Ave N looking east.



⑤ view of the courtyard looking southeast.



⑥ view from the southwest corner of the site.



⑦ view from the courtyard looking west.

2. .Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.

Site location:	3515 Wallingford Ave N 6646 square feet
Site Zoning:	Lowrise LR2
SEPA Review: CAM 208	Required with construction of over 6 dwelling units in LR2, Not required in this parcel; see density calculation below (23.45.008).
Permitted Uses: 23.45.004	Residential Use: Townhouse, Duplex
Floor Area Ratio: 23.45.510	B. Floor Area Ratios. Floor area ratio limits apply in LR zones as shown in Table A for 23.45.510. Table A. LR2 for Townhouse Developments 1.0 or 1.2. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C C. In LR zones, in order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided.
Density: 23.45.512	Table A. Density Limits in Lowrise Zones: 1/1600 or No limit for Townhouses in LR2 zone. For townhouses that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.
Height: 23.45.514	Table A. Structure Height for Lowrise Zones in Feet. Maximum height is 30 feet for Townhouse Developments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts. D3. In LR3 zones, for structures subject to a 30 foot height limit, the ridge of pitched roofs on principal structures may either: a. extend up to 10 feet above the height limit, if the height exception provided in 23.45.514.F is not used, and the number of full stories above grade is limited to three; or b. extend up to 5 feet above the height limit, if the height exception provided in 23.45.514.F is used. E1. Shed and butterfly roofs in LR zones. In LR zones, the high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in Table A for 23.45.514, provided that the low side(s) of the shed or butterfly roof are no higher than the height limit (see Exhibit A for 23.45.514).
Height: Rooftop features: 23.45.514	J4. In LR zones, the following rooftop features may extend 10 feet above the height limit set in subsections 23.45.514.A and F, if the combined total coverage of all features does not exceed 15 percent of the roof area or 20 percent of the roof area if the total includes screened mechanical equipment: a. Stair penthouses, except as provided in subsection 23.45.514.J.6; b. Mechanical equipment; J6. Subject to the roof coverage limits in subsections 23.45.514.J.4 and 5, elevator penthouses may extend above the applicable height limit up to 16 feet. J7. For height exceptions for solar collectors, see Section 23.45.545
Setbacks and Separations: 23.45.518	A. LR zones. Required setbacks for the LR zones are shown in Table A for 23.45.518. Table A. For apartments the setbacks are as follows; Front: 5 feet minimum; Rear: 15 minimum if no alley Side Setback for Facades greater than 40 feet in length: 7 average; 5 minimum F. Separations between multiple structures. In LR and MR zones the minimum required separation between principal structures at any two points on different interior facades is 10 feet J3. Structures in required setbacks or separations: Uncovered, unenclosed pedestrian bridges, necessary for access and 5 feet or less in width, are permitted in any required setback or separation.

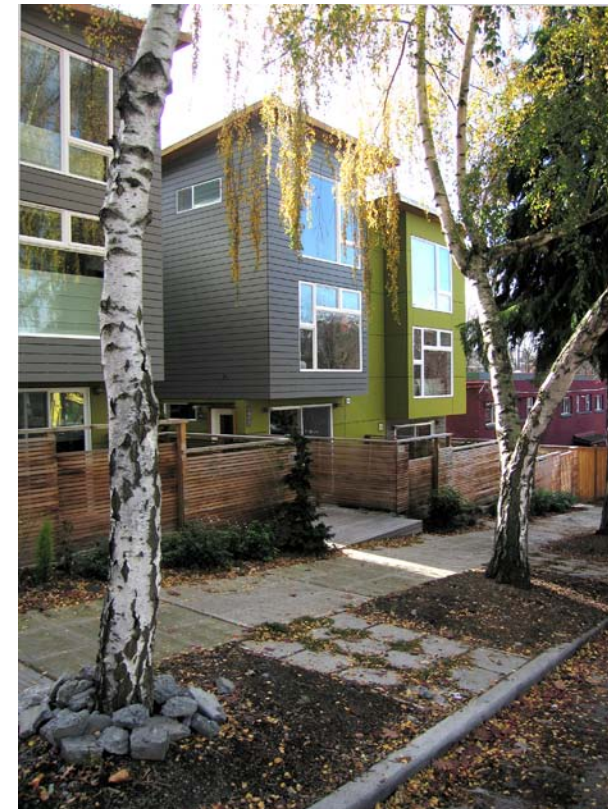
Amenity Areas: 23.45.522	A1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. A2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. A4. For apartments, amenity area required at ground level shall be provided as common space. D1. All units shall have access to a common or private amenity area. D3. Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade. D5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions: a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. b. Common amenity area shall be improved as follows: 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees. 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.
Landscaping standards: 23.45.524	A1. All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings. A2a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score. B1. 1. Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B . 2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.
Structure Width/Depth: 23.45.527	Table A. LR2 is 90 feet. B1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.
Design standards: 23.45.529	B. Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses that do not undergo any type of design review pursuant to Chapter 23.41, except single-family dwelling units.
Standards for certain accessory uses: 23.45.545	C3. Solar collectors on roofs. Solar collectors that meet minimum written energy conservation standards administered by the Director and that are located on a roof are permitted as follows: a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).
Parking: 23.54.015 Required Parking 23.54.030 Parking Space Standards	Table B Residential Uses – Multifamily residential uses, except as provided in Sections B or C of this Table B for 23.54.015. 1 space per dwelling unit. B1. Residential uses. a. When five or fewer parking spaces are provided, the minimum required size of a parking space shall be for a medium car, as described in subsection A.2 of this Section 23.54.030, except as provided in subsection 23.54.030.B.1.d. d. Townhouse units. For an individual garage serving a townhouse unit, the minimum required size of a parking space shall be for a large car, as described in subsection 23.54.030.A. B2. Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except: a. between a principal structure and a street lot line b. in the required front setback or side street side setback; and c. within 7 feet of any street lot line.
23.45.536 Parking location, access and screening	



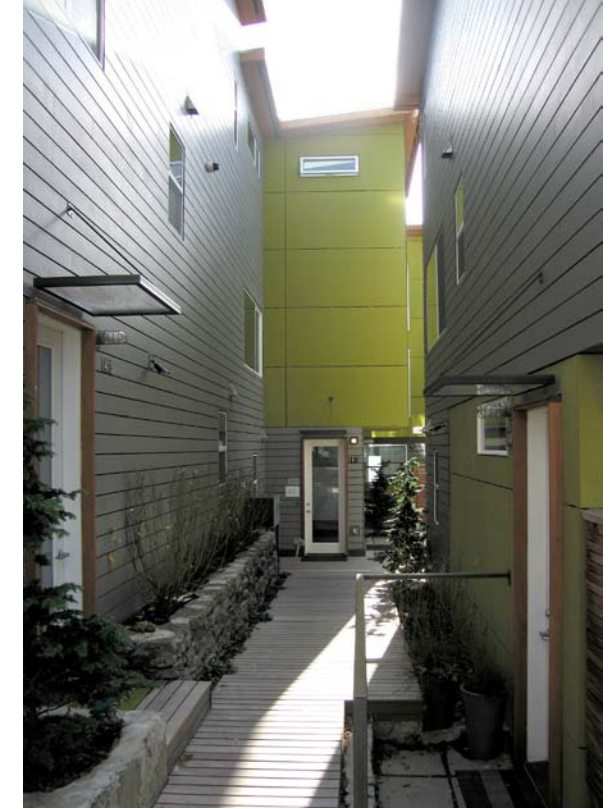
① 208 18th Ave. E. exterior view from street



② 208 18th Ave. E. interior courtyard view



③ 1411 E. Fir St. exterior view from street



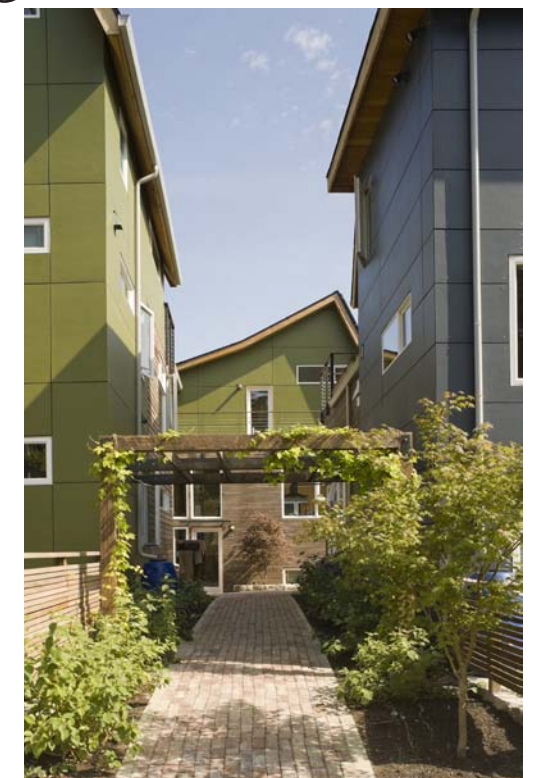
④ 1411 E. Fir St. interior boardwalk view



⑦ 1911 E. Pine St. courtyard view from a deck

⑧ 1911 E. Pine St. view from street

⑥ 1818 E Yesler Way. view of a woonerf



completed work examples

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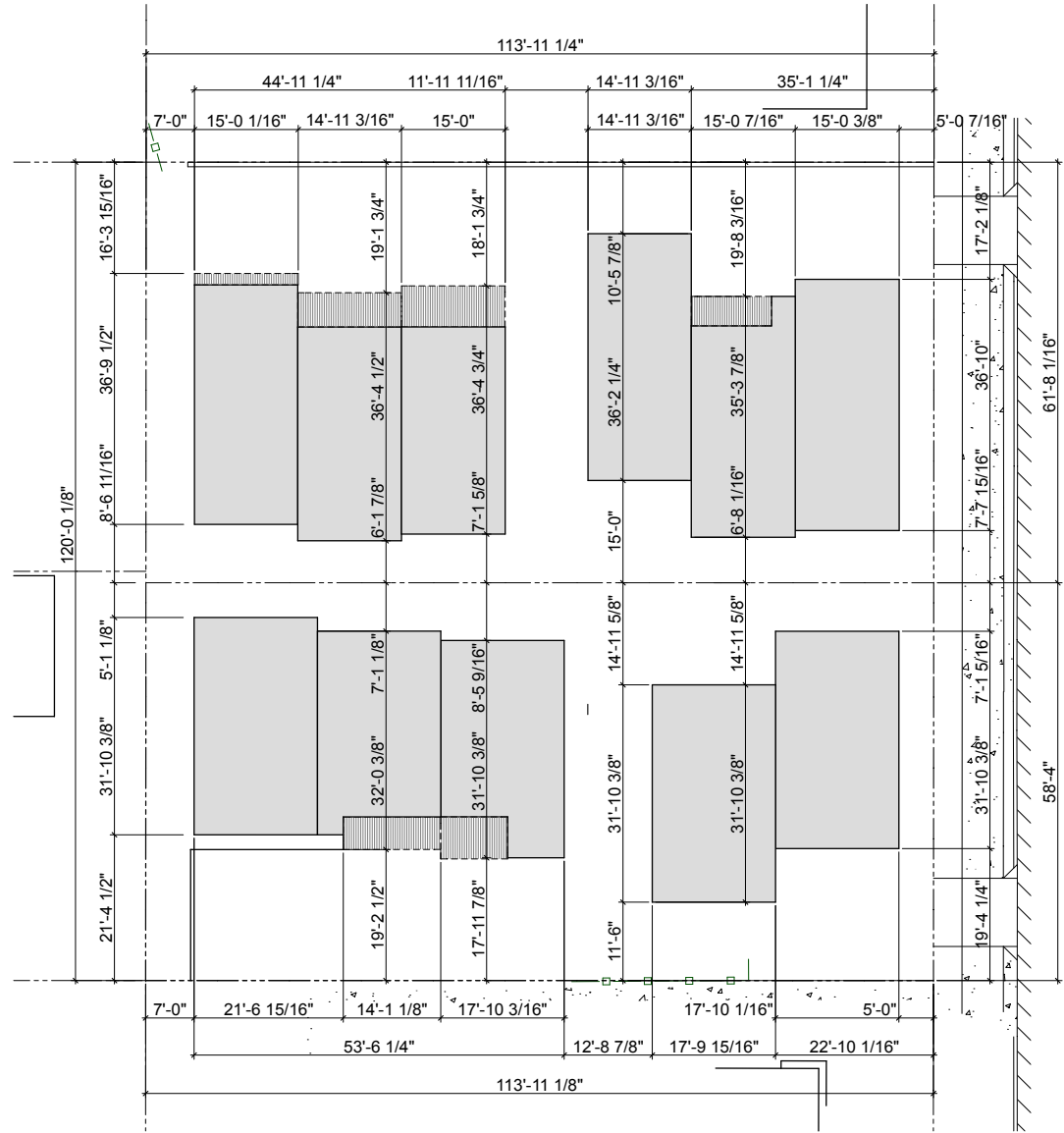
Design Reference:

The design approach for this project results in a project that has multiple “fronts”. The true front of the project is the one internal to the site, facing south on 3519 and north on 3515 Wallingford Ave N. That central space is activated by all front doors and focuses on creating an outdoor space that is terraced and sheltered with direct views to and from each home.

The second front is the Wallingford Avenue N façade. Front doors for each of the street-facing homes and the common stair for each parcel (aggregated to create a 6-foot wide stair) lined by terraced planters activate this façade. The other façades of the projects are equally informed by the design concept but are less active by their nature.

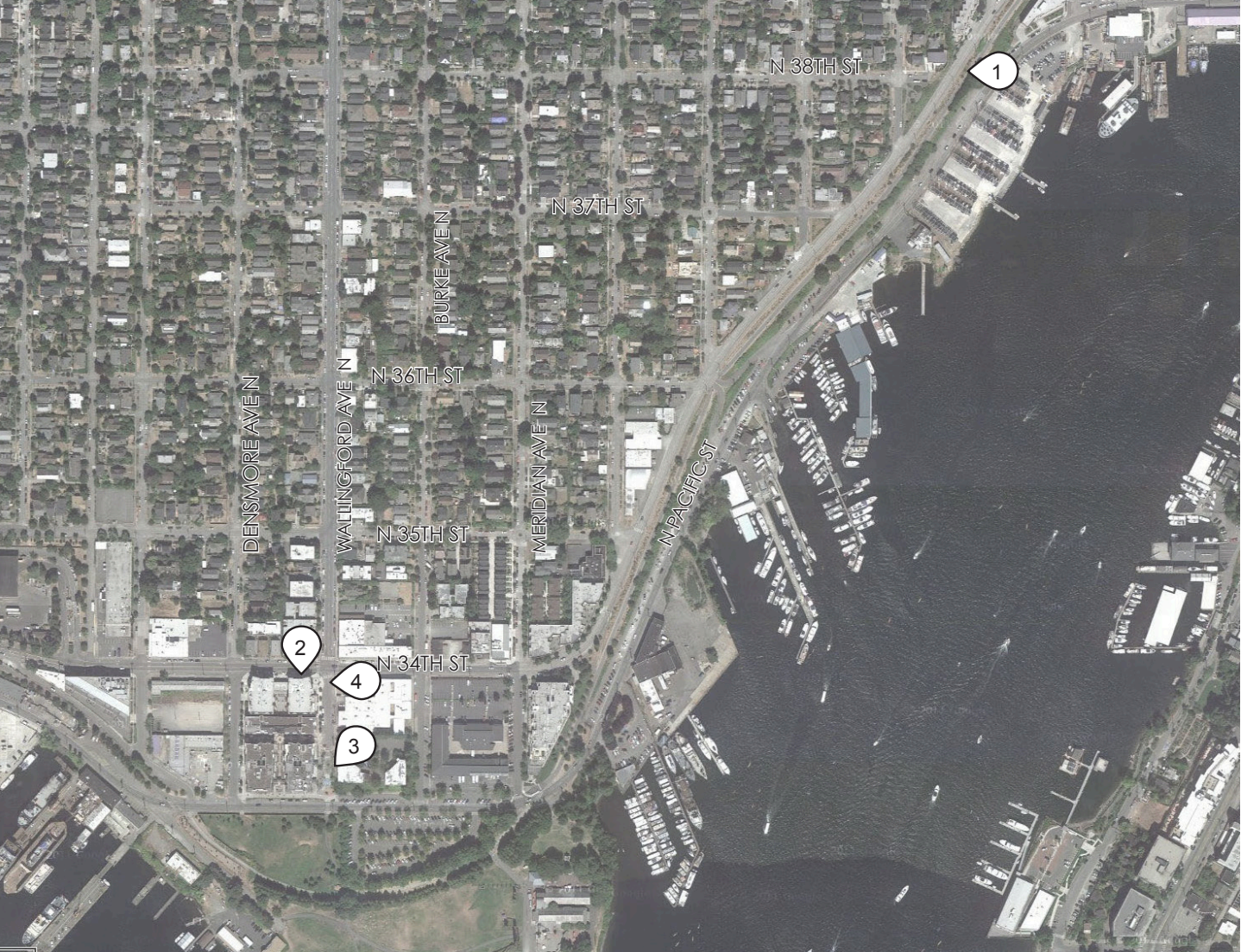
Amenity space is provided in the central courtyard, decks at upper floors, roof decks and the woonerf. These spaces are directly shaped by the primary design focus of the project to express each home’s individuality within the larger projects.

Balancing the design of these multiple fronts and responding to the appropriate design guidelines, we have documented several recently completed projects in the vicinity of our sites. Specific design attention has been focused on creating a bold architectural solution that addresses the design guidelines summarized above. Specific design decisions include:



1. Creating setbacks at cornice and roof lines that are in line with abutting multifamily structures to the north and south along Wallingford Ave N.
2. Expressing their use as a current development of dense urban housing, this design solution that does not utilize gables or shed roofs.
3. Limiting the height of all structures abutting the adjacent single-family zoning to 30 feet in height plus railings/parapets for roof decks per code allowance. There are also setbacks and decks provided at upper levels to minimize the impact on adjacent sites.
4. Dividing the buildings into smaller masses with a variation of side setbacks to adjacent properties. Also we divide the building into smaller masses with a variation of setbacks at upper floors at the street-facing unit on 3519 Wallingford Avenue specifically. Material changes correspond to the massing changes with a highlight color cladding the one stair penthouse to add additional visual interest from the street and sidewalk.
5. Creating a simple material palette that works to minimize size and bulk while adding visual interest and highlighting entrance locations.
6. Along Wallingford Ave N, both site proposals create a reveal and shadow line at material changes. A metal angle will extend perpendicular to the siding material far enough to create a strong shadow line between the different abutting materials. Additional setbacks are described in #4 above.

These decisions are supported by the urban examples shown on the next page that we believe address the guidelines specific to this neighborhood in a similar manner to our proposal without imitating historic examples. Two of these examples are located at 34th and Wallingford Ave N, one and a half blocks south of the site while the other is located a few blocks to the northeast. The map below shows the specific locations. The site plan below provides dimensions for all setbacks to help illustrate the degree to which the proposed solution creates smaller building masses. Since the specific context along Wallingford Ave N is quite eclectic we have proposed a minimal material palette in keeping with the Wallingford specific design guidelines, worked to create a building solution that minimizes height and bulk and created a solution that is unique to this location and time.





① A single family home on 38th St and N Pacific St.

③ An apartment development on 34th St and Wallingford Ave N

② An apartment development on 34th St and Wallingford Ave N

④ An apartment development on 34th St and Wallingford Ave N



EXISTING MULTI FAMILY

PROPOSED TOWN HOUSES

EXISTING DUPLEX