



515 Harvard Avenue East
Seattle WA 98102



Design Review: Recommendation Proposal
(DPD#3013291)
prepared for Broadway Estates LLC
October 23, 2013

HEWITT

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DEVELOPMENT GOALS

SENSE OF COMMUNITY A commitment to create a meaningful neighborhood destination.

STREET ENHANCEMENT To energize a section of Harvard Avenue East that enhances the pedestrian experience.

WORKFORCE HOUSING To align the project with the City's incentive to promote housing affordability.

EXISTING SITE

The project site is located in the Capitol Hill neighborhood within the Capitol Hill Urban Center Village and adjacent to the Capitol Hill Light Rail Overlay District on Broadway Avenue East (a principal pedestrian street) and is zoned MR.

The site is an 18,213 SF through lot between Boylston Avenue East and Harvard Avenue East. The site contains an existing 5 story, wood-framed apartment building with 20 units fronting on Boylston Avenue East, over (2) below grade levels of parking with 25 stalls total. The project was completed in 1997 and is referred to in this document as "Phase I."

- **515 Harvard Avenue East** – This parcel contains approximately 63,500 SF of developable floor area.

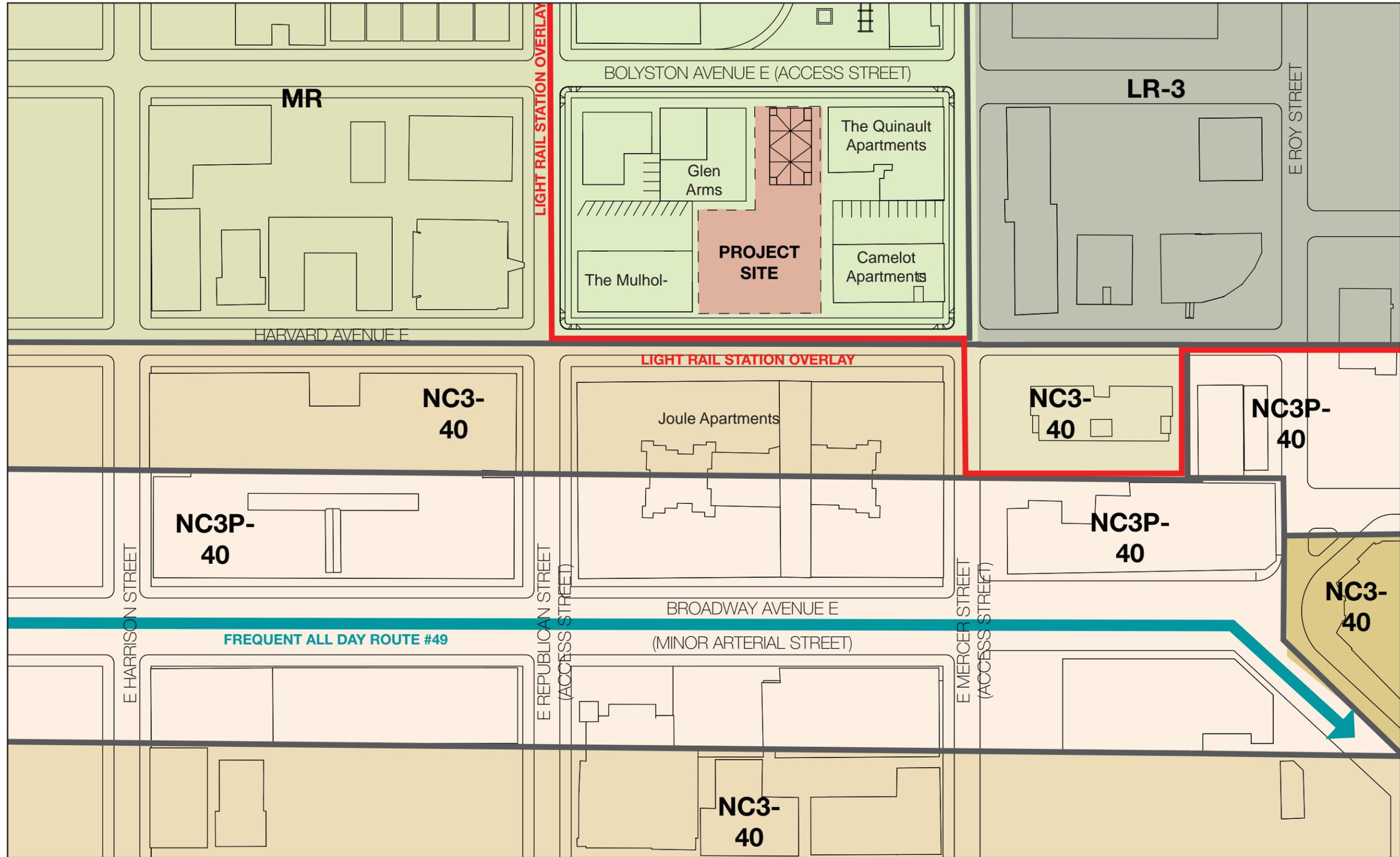
PROPOSAL

The applicant proposes a new multi-family residential project with approximately 59 market-rate units, 14 affordable units and approx 900 SF of general sales and services (Cafe.) These uses will be over 2 levels of below grade parking with 65 stalls to match and connect to the existing below-grade parking of the Phase 1 structure. The applicant's intent is to create a destination at the center of the block with a pocket of neighborhood scale commercial space (cafe) activated by a public open space at the building entry. The residential lobby, amenity and outdoor court at the center of the site is also integrated with the cafe providing a public quality to the ground level. Use of widened landscape areas filtering private residential patios on Harvard Avenue East are intended to soften and filter the pedestrian experience; allowing the building to engage with the street level with vibrance and activity.

VICINITY

Across Harvard to the east is the large-scale Joule mixed-use development that fronts onto Broadway East with significant retail and dining. The site is bordered to the north by the Camelot Apartments and to the south by the brick Mulholland Apartments. To the west is the Glen Arms Apartments and the existing Phase 1 structure that will be connected to the new development via an open courtyard and pedestrian path that terminates at the adjacent Tashkent Park. With a Walk-Score rating of 98, this site is within three blocks of essential services and amenities.

Development Objectives



Zoning Map



- PROJECT SITE
- RETAIL
- RESIDENTIAL
- PUBLIC USE

EXISTING USES

1. Project Site
2. Existing Phase 1
3. Camelot
4. The Quinault
5. Glen Arms
6. Aya Terrace
7. Mulholland Apartments
8. Capitol Hill Library
9. Vertigo
10. Viceroy
11. Tashkent Park
12. 615 E. Mercer Apartments
13. 700 E. Mercer Apartments
14. Cornish College
15. Harvard Court
16. Harvard Exit Theater
17. Rainier Chapter House
18. Loveless Building (Mixed-use, Residential)
19. Roy Street Cafe, Fedex, Residential
20. Byzantion, Rom Mai, Aoki, ChoiceTobbaco, Social Skin, Dreamscape Massage, Metrix Create: Space, Deluxe
21. Joule Apartments (Mixed-Use)
22. Broadway Market (QFC, Mixed-Use Retail/Commercial)
23. All Pilgrims Church

Existing Uses/Site Context



A. Harvard Avenue East – Looking West



B. Harvard Avenue East – Looking East



Harvard Avenue East Streetscape



C. Boylston Avenue East – Looking West



D. Boylston Avenue East – Looking East



Boylston Avenue East Streetscape



1. View Looking East on Boylston (Phase I)



3. View Looking West on Boylston (Tashkent Park)



6. View Looking South (Harvard Exit Theater)



4. View Looking Northeast On Harvard (Olivar, Joe Bar, Kobo)



7. View Looking East from Harvard (The Joule)



2. View Looking North on Harvard (Joule & Mulholland)



5. View Looking North On Harvard (Rainier Chapter House)



Context Photographs



9. View Looking West On Harvard (Camelot)



11. View Looking Southwest towards The Project Site From Harvard



10. View Looking South On E. Republican (Capitol Hill Library)



12. View Looking Northwest At The Project Site From E. Republican St.



8. View Looking South On Harvard (Broadway Market Qfc)



Context Photographs

Base Zone: MR
Capitol Hill Urban Center Village

REF.	REQUIREMENT	COMPLIES?	NOTES
23.45	MULTI-FAMILY		
23.45.510	Floor Area Ratio		
	Base FAR = 3.2 Maximum FAR per 23.58A and 23.45.516 = 4.25	yes	Project seeking maximum FAR through compliance with Housing Bonus. Also seeking to use combined FAR of the site including Phase 1.
23.45.514	Structure Height		
	Structure Height: Base Height Limit = 60' Max. height limit if extra residential floor area is gained per 23.58A and 23.45.516 = 75'	yes	Project seeking extra residential floor area is gained per 23.58A and 23.45.516
	Green Roofs. For any structure with a green roof that meets standards promulgated by the Director and that covers at least 50% of the surface for the roof, up to 2 feet of additional height above the maximum height otherwise allowed for the roof is allowed to accommodate structural requirements, roofing membranes, and soil.	yes	
23.45.518	Setbacks and Separations		
	Front setback: 7 foot average setback, 5 foot minimum		Project seeking a departure for the front yard setback.
	Rear setback: 15 feet from a rear lot line that does not abut an alley.	yes	
	Side setback from interior lot line: 42 feet or less in height: 7 foot average setback; 5' minimum setback Above 42 feet in height, 10 foot average setback, 7 foot minimum	yes	
23.45.522	Amenity Area		
	Required amenity area equal to 5% of total gross floor area in residential use.	yes	
	All units to have access to a common or private amenity area	yes	
	No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet.	yes	
23.45.524	Landscape Standards		
	Landscaping that achieves a Green Factor score of 0.5 or greater, determined as set forth in Section 23.86.019,	yes	

23.45.526	LEED, Built Green, and Evergreen Sustainable Development Standards		
	Applicants for all new development gaining extra residential floor area, pursuant to this Chapter 23.45, or seeking to qualify for the higher FAR limit in Table A for 23.45.510, except additions and alterations, shall make a commitment that the structure will meet green building performance standards by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties	yes	Project will be seeking either a Built Green 4-Star rating or LEED Gold rating
23.45.528	Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size		
	The width of principal structures shall not exceed 150 feet.	NA	Site is only 80' wide
	The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2.		Project will seek departure for structure depth.
	Exceptions to structure depth limit. To allow for front setback averaging and courtyards as provided in Section 23.45.518, structure depth may exceed the limit set in subsection 23.45.528.B.1 if the total lot coverage resulting from the increased structure depth does not exceed the lot coverage that would have otherwise been allowed without use of the courtyard or front setback averaging provisions.		Project may seek to use the courtyard exception.
23.45.536	Parking location, access and screening		
	Parking in a structure. Parking may be located in a structure or under a structure, provided that no portion of a garage that is higher than 4 feet above existing or finished grade, whichever is lower, shall be closer to a street lot line than any part of the first floor of the structure in which it is located;	Yes	
	Access to parking		Through phase 1 garage, entered from Boylston Ave
23.45.534	Light and glare standards		
	Exterior lighting shall be shielded and directed away from adjacent properties.	yes	
23.58A	Incentive Provisions		
	All or a percentage of the extra residential floor area on a lot shall be housing bonus residential floor area pursuant to Section 23.58A.014. Unless otherwise expressly provided in the provisions of the zone:	yes	Project seeking extra residential floor area gained by Housing Bonus.
	If the maximum height limit for residential use is 85 feet or lower, all extra residential floor area shall be housing bonus residential floor area.	yes	
	An applicant using the performance option shall provide low-income housing with a gross floor area at least equal to the greatest of:		
	(a) 17.5 percent of the net bonus residential floor area obtained through the performance option, except that an applicant may elect to provide low-income housing equal to 10 percent of the net bonus residential floor area obtained through the performance option if the housing is affordable to, and restricted to occupancy by, households with incomes no higher than 50% of median income as defined by Section 23.84A.025; or	yes	
	(b) 300 net residential square feet; or		
	(c) any minimum floor area specified in the provisions of the zone.		

	A-3 ENTRANCES VISIBLE FROM THE STREET	A-6 TRANSITION BETWEEN RESIDENCE AND STREET	A-7 RESIDENTIAL OPEN SPACE	C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY	C-3 HUMAN SCALE	D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES
City Design Guidelines	Entries should be clearly identifiable and visible from the street.	For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.	Residential projects should be sited to maximize opportunities for creating usable, attractive, well integrated open space.	Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.	The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.	Convenient and attractive access to the building entry should be provided. Opportunities for creating lively, pedestrian-oriented open spaces should be considered.
Capitol Hill Supplemental Guidelines	no supplement	Incorporate building entry treatments that welcome and protect people from the elements and emphasizes the building's architecture.	Incorporate quasi-public open space with new residential development. Create substantial courtyard-style open space that is visually accessible to the public view	Use materials and design that is compatible with structures in the vicinity if those represent the desired neighborhood character.	Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building's architecture.	Provide entryways that link the building to the surrounding landscape. Create open spaces at street level that link to the open space of the sidewalk.



Pertinent Design Guidelines



1. View Looking East From Site



2. View Looking South From Site



3. View Looking West From Site



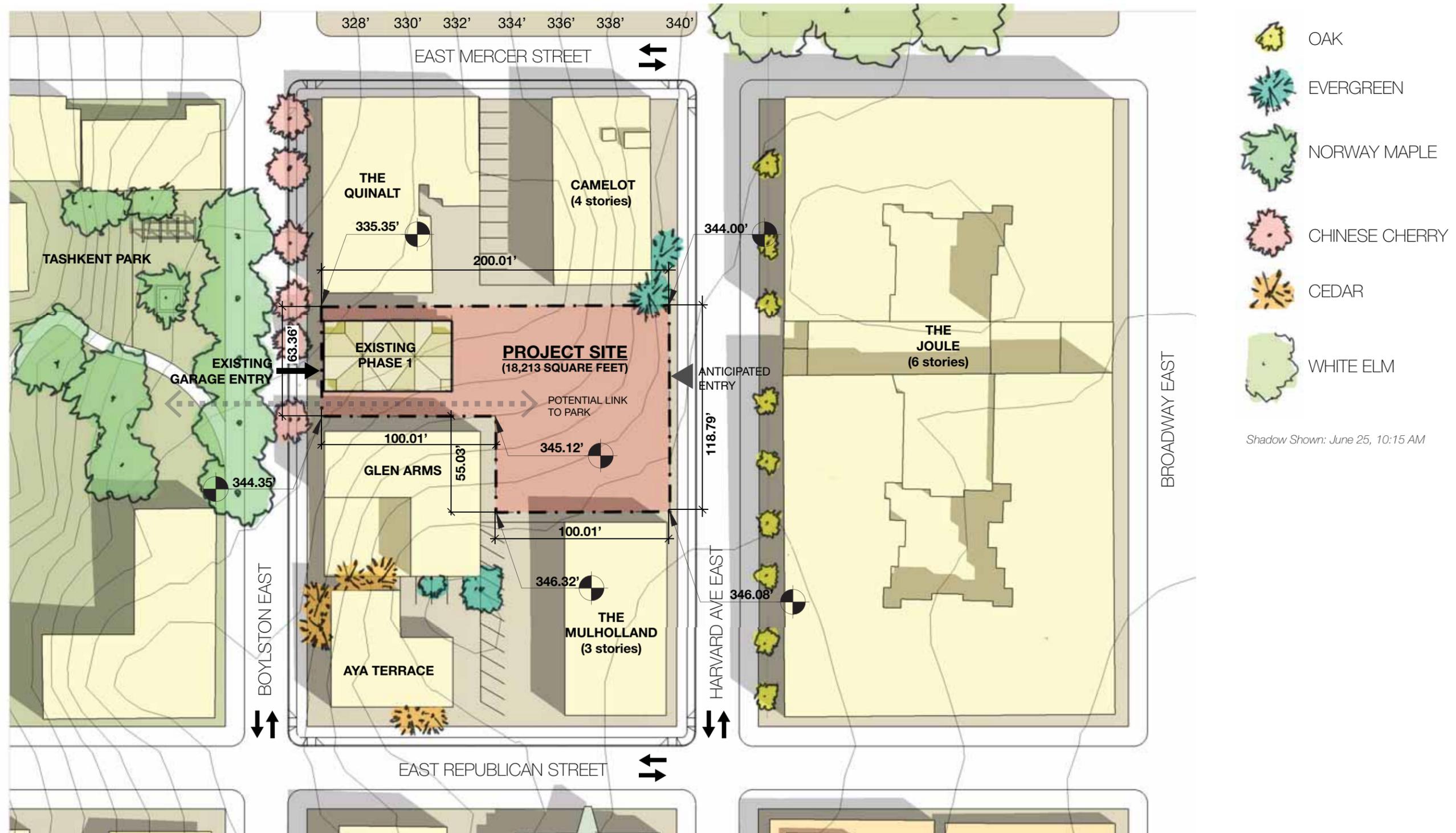
4. View Looking North From Site



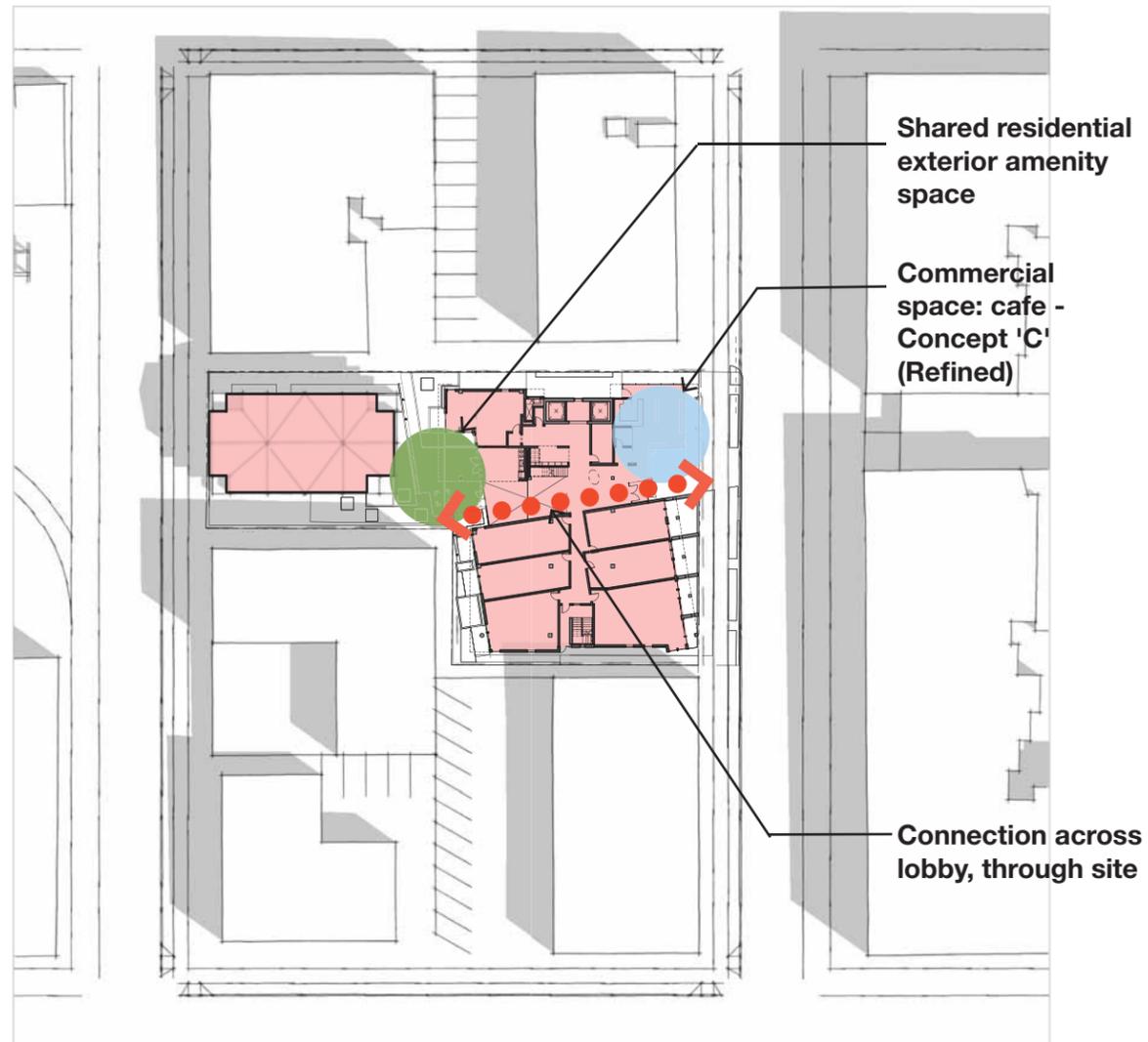
5. View Looking West Into Site From Joule



Site Photographs



Site Survey



Community



Street Character/Pedestrian Experience



DESIGN CONCEPT AND "CUES"

COMMUNITY

The proposal's through lot and existing Phase 1 structure lends itself to considering interaction and connection from the public street of Harvard Ave. E through Phase 2's ground floor. All proposed concepts herein position residential indoor and outdoor amenity space as part of the entry sequence creating residential gathering spaces visible from the street, through the site.

STREET CHARACTER / PEDESTRIAN EXPERIENCE

Harvard Ave. E from E. Republican to E. Mercer contains well defined street edges with only minor, but repetitive variations in the existing facades. Planting strips, street trees, and front yard landscaped setbacks soften the pedestrian experience. The proposal continues a softened landscape edge on the street while introduces mid block variation to the facades and massing.

Site Analysis / Design Concept Diagrams





CONCEPT A

Summary

Concept A establishes an entry off of Harvard Avenue East into a community space for residents flanked by dedicated amenity areas, vertical circulation and an outdoor garden for residents of the existing multi-family structure (Phase 1) and the proposed building.

Advantages

- Straight forward application of land use code using front and side yard setbacks, and structure depth for sites over 9,000 sf.
- Limitation of structure depth allows for wider potential ground level landscaped area along Harvard Avenue East.

Challenges

- Structure depth limitations reduce flexibility for front and rear facade modulation. Side yard modulation restricted to averaging and permitted projections into side yards for bays, balconies and limited floor area per SMC 23.45.518.H.
- No alley for mechanical, electrical, and service access .



CONCEPT B

Summary

Concept B proposes an open courtyard along Harvard Avenue East per SMC 23.45.518 "Exhibit A." This courtyard establishes an identity of shared semi-public space on site. The courtyard also establishes the beginning of a shared community space for residents from Harvard Avenue East through the proposed building, to an outdoor amenity garden area. The permitted courtyard allows for no setback requirement along Harvard Avenue East, establishing a strong street edge. A two-story high 8' +/- deep, front yard setback would be proposed to allow for exterior private terraces, second floor balconies and a vertical metal scrim / garden trellis and planting edge along the front lot line to soften the pedestrian experience from the sidewalk.

Advantages

- Courtyard offers modulation and smaller scaled portions of the building facade along Harvard Avenue East.
- The courtyard serves as a clear, identifiable semi-public amenity for residents.
- More building modulation offers more opportunity for light, air and views from units along Harvard Avenue East.

Challenges

- Courtyard is a larger scaled element concentrating relief of building mass from the street.
- Vertical orientation to the Harvard Avenue East facade counters the lower building masses to the north and south of the project site.
- Decreased variation of unit types.
- No alley for mechanical, electrical, and service access.



CONCEPT C

Summary

Concept C promotes a one and two story high vertical trellis / garden screen at the street front with setback building facades at the lower level. These elements continue the established pedestrian experience of the residential street. Above the garden screens and setback building fronts, the massing of the building above is angled and varied introducing diversity to the street's character. Like the courtyard scheme, the upper building elements provide relief from the consistency of Harvard Avenue East. Unlike the concentrated gap created by the courtyard in Concept B, Concept C spreads the setback relief and interest of the upper massing across the entire width front lot line.

Advantages

- Smaller scaled modulation and variation along Harvard Avenue East.
- More variation of unit types.
- Takes advantage of territorial view opportunities by placing building masses on the upper level corners.

Challenges

- Unique massing requires careful consideration of construction detailing and support.
- No alley for mechanical, electrical and service access.



CONCEPT C "REFINED"

Summary

Concept C, "Refined" incorporates aspects of concept B and C. First, the setback at the residential entry is enlarged relative to option C in order to form an irregularly shaped outdoor space at the entry much like the defined 35' wide x 20' deep courtyard of concept B. This relief from the street adds varied pedestrian experience. Above, the angled setback building fronts, juxtaposed with massing parallel to the street, introduces diversity to the street's character as well as creating a softened landscaped semi private buffer from the sidewalk. Like the courtyard scheme, the upper building elements provide relief from the consistency of Harvard Avenue East. Unlike the concentrated gap created by the courtyard in Concept B, Concept C "Refined" spreads the setback relief and interest of the upper massing across the entire width front lot line.

Advantages

- Smaller scaled modulation and variation along Harvard Avenue East.
- More variation of unit types.
- Takes advantage of territorial view opportunities by placing building masses on the upper level corners.
- Provides larger modulation at the ground level in spirit of SMC 23.45.518.H. than previous schemes.

Challenges

- Unique massing requires careful consideration of construction detailing and support.
- No alley for mechanical, electrical and service access.

Concept Summary

PRIORITIES & BOARD RECOMMENDATIONS

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the following siting and design guidance. The Board identified the following Citywide Design Guidelines & Capital Hill Neighborhood Design Guidelines (as applicable) of highest priority for this project.

The Priority guidelines are summarized below. For the full text of all guidelines please visit the [Design Review website](#).

A. Site Planning

A-2 Streetscape Compatibility. The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Capitol Hill-specific supplemental guidance:

- Retain or increase the width of sidewalks.
- Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.
- Vehicle entrances to buildings should not dominate the streetscape.
- Orient townhouse structures to provide pedestrian entrances to the sidewalk.

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- For buildings that span a block and “front” on two streets, each street frontage should receive individual and detailed site planning and architectural design treatments to complement the established streetscape character.
- New development in commercial zones should be sensitive to neighboring residential zones. Examples include lots on Broadway that extend to streets with residential character, such as Nagle Place or 10th or Harvard Avenues East. While a design with a commercial character is appropriate along Broadway, compatibility with residential character should be emphasized along the other streets.

At the Early Design Guidance Meeting, the Board discussed how the proposed modulated frontage and vertical proportions could provide a desirable break in a block with typically flat and/or repetitive street walls. The Board supported the absence of a curb cut on Harvard and the consolidation of vehicular access at the existing Boylston garage door, although they agreed that the garage door and frontage deserved improvements. The Board supported the recessed courtyard/lobby and the residential patios as contributing to the streetscape, contingent upon a well-resolved material and public-private layering.

A-5 Respect for Adjacent Sites. Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

At the Early Design Guidance Meeting, the Board extensively discussed how the proposed massing and details –such as window placement for privacy – must be better analyzed and adjusted to respect adjacent residents. This is especially true as the proposal is relatively tall, has long side walls, and minimum setbacks. The Board stated that all the building perimeter edges and corners deserve careful study, and they expect to see “reflected window” elevation drawings at the recommendation meeting; living room windows should be staggered or buffered from those adjacent.

While supporting the use, the Board advised extra care to address noise and other impacts from the proposed café at the northeast corner, to the residents immediately adjacent and across the street. The Board also suggested re-evaluation of the elevator core location – the tallest element – being at the north building wall, and its consequent shadow and bulk impacts on the context; shadow impacts should inform the specific massing.

A-6 Transition Between Residence and Street. For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

At the Early Design Guidance Meeting, the Board agreed the setback residential patios proposed could provide street scale and buffering, but was concerned the tall,

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perpendicular privacy walls and columns might be overly compartmentalized and harsh, especially if taken all the way to the street property line. The Board supported the angled building walls leading to the lobby/café entrance, but the detailed character of the transitions - from street to semi-public patios to internal space, must be carefully developed at the Recommendation stage. If these are private spaces, the Board did not support that area being tabulated as part of the courtyard rationale for any departure.

A-7 Residential Open Space. Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Capitol Hill-specific supplemental guidance:

- Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries.
- Create substantial courtyard-style open space that is visually accessible to the public view.
- Set back development where appropriate to preserve a view corridor.
- Set back upper floors to provide solar access to the sidewalk and/or neighboring properties.
- Mature street trees have a high value to the neighborhood and departures from development standards that an arborist determines would impair the health of a mature tree are discouraged.
- Use landscape materials that are sustainable, requiring minimal irrigation or fertilizer.
- Use porous paving materials to minimize stormwater run-off.

At the Early Design Guidance Meeting, the Board agreed this guideline is promoted by the proposed lobby entrance and its through-building connection to Phase 1, and the landscaped court at the middle of the site. The Board needs to review more perspective studies of the scale and transparency through these linked spaces, and detailed landscape development of the courtyard, and any roof decks.

B. Height, Bulk and Scale

B-1 Height, Bulk, and Scale Compatibility. Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

Capitol Hill-specific supplemental guidance:

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- Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.
- Consider existing views to downtown Seattle, the Space Needle, Elliott Bay and the Olympic Mountains, and incorporate site and building design features that may help to preserve those views from public rights-of-way.
- Design new buildings to maximize the amount of sunshine on adjacent sidewalks throughout the year.

At the Early Design Guidance Meeting, the Board generally supported Option C, and agreed a 7 story building could be compatible with the context (which is largely MR zoning), if very carefully designed. The Board applauded the massing moves on the street façade to break down the scale and create modulation. However, they strongly agreed the south, west and north walls and corners must be carefully studied to mitigate impacts on adjacent residents and the surrounding public realm. The Board expects to see site sections through the proposed building and adjacent buildings, as well as studies showing massing/ privacy design adjustments at the Recommendation meeting.

C. Architectural Elements and Materials

C-1 Architectural Context. New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

At the Early Design Guidance Meeting, the Board discussed how a contemporary expression provides relief in this block’s streetwall and material context, yet there may be subtle cues inspired from the local context to help this building fit and reinforce this specific physical and/or cultural setting. As currently shown, Option C ‘refined’ could be found in Belltown or any Seattle locale; it should instead, demonstrate elements and character specific to Capital Hill.

C-2 Architectural Concept and Consistency. Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

Capitol Hill-specific supplemental guidance:

- Incorporate signage that is consistent with the existing or intended character of the building and the neighborhood.
- Solid canopies or fabric awnings over the sidewalk are preferred.
- Avoid using vinyl awnings that also serve as big, illuminated signs.

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- Use materials and design that is compatible with the structures in the vicinity if those represent the desired neighborhood character.

At the Early Design Guidance Meeting, the Board agreed with the stated goal of a richly modulated street wall, and emphasizing the 5 over 2 proportions, but also suggested consideration of the horizontally stacked expression in the context, perhaps at a subordinate reading. To serve this, the Board required more elevations and street level views that include more of the surrounding buildings for context, and accurate photo mapping on those adjacent buildings, and they not be 'grayed out'.

- C-3 **Human Scale.** The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

Capitol Hill-specific supplemental guidance:

- Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building's architecture.
- Improve and support pedestrian-orientation by using components such as: non-reflective storefront windows and transoms; pedestrian-scaled awnings; architectural detailing on the first floor; and detailing at the roof line.

At the Early Design Guidance Meeting, the Board supported some scale making efforts at the ground level street edge, but was concerned the privacy walls shown were too tall and long, creating compartments, and the proposed 'scrim/trellis' evokes the intimidating fence/cages newly installed (without approval) across the street. At the Recommendation meeting, the Board expects more gracious and subtle methods to create human scale, at the residential patios, the entry courtyard, and along the entire street edge.

- C-4 **Exterior Finish Materials.** Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Capitol Hill-specific supplemental guidance:

- Use wood shingles or board and batten siding on residential structures.
- Avoid wood or metal siding materials on commercial structures.
- Provide operable windows, especially on storefronts.
- Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.

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- Consider each building as a high-quality, long-term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.
- The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is discouraged, especially on ground level locations.

At the Early Design Guidance Meeting, the Board discussed how the material palette and quality will be a focal point of the Recommendation review.

D. Pedestrian Environment

- D-1 **Pedestrian Open Spaces and Entrances.** Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Capitol Hill-specific supplemental guidance:

- Provide entryways that link the building to the surrounding landscape.
- Create open spaces at street level that link to the open space of the sidewalk.
- Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles.
- Minimize the number of residential entrances on commercial streets where non-residential uses are required. Where residential entries and lobbies on commercial streets are unavoidable, minimize their impact to the retail vitality commercial streetscape.

At the Early Design Guidance Meeting, the Board agreed the proposed entry courtyard and through-block link has good promise to provide a legible, 2 story scaled entrance, generous spatial break in the street wall, and a valuable gathering space. But all these aspects must be verified with sections and perspective studies showing the street edge character, plus transparency and spatial scale through the building.

- D-6 **Screening of Dumpsters, Utilities, and Service Areas.** Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Capitol Hill-specific supplemental guidance:

- Consolidate and screen dumpsters to preserve and enhance the pedestrian environment.

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At the Early Design Guidance Meeting, the Board discussed how the trash and services of Phase 2 will be added to these existing functions at the Boylston Street access point, and they must be carefully integrated at the existing driveway and door there.

- D-7 **Personal Safety and Security.** Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Capitol Hill-specific supplemental guidance:

- Consider: pedestrian-scale lighting, but prevent light spillover onto adjacent properties; architectural lighting to complement the architecture of the structure; transparent windows allowing views into and out of the structure—thus incorporating the "eyes on the street" design approach
- Provide a clear distinction between pedestrian traffic areas and commercial traffic areas through the use of different paving materials or colors, landscaping, etc.

At the Early Design Guidance Meeting, the Board expressed concern that the tall, long walls proposed at the residential patios along Harvard, created an unsafe character by blocking eyes on the street and providing hidden compartments. The Board advised a more open approach, with landscape layers parallel to the street, integrated lighting and resident surveillance. They also deplored the fence and cage approach recently installed across the street.

- D-9 **Commercial Signage.** Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

At the Early Design Guidance Meeting, the Board supported the concept of a small commercial shop at the northeast corner, to provide activation and interest to the street, as long as its signage and lighting is modest, any noise is mitigated, and the associated patio blends with the entry and provides a transition to the street.

- D-10 **Commercial Lighting.** Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.

At the Early Design Guidance Meeting, the Board discussed how all lighting must respect adjacent neighbors, including any commercial lighting for the proposed cafe. The lobby/ courtyard should have an internalized glow that signifies entry and gathering, without spilling onto neighboring properties.

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E. Landscaping

- E-1 **Landscaping to Reinforce Design Continuity with Adjacent Sites.** Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

At the Early Design Guidance Meeting, the Board discussed how the mid-block courtyard should flow and connect west (at least visually) past the adjacent Phase 1 project, to Boylston street. Additionally, it provides a mid-block shared amenity space for both buildings, which should be landscape designed for social function and green relief in a relatively dense, 2 phase project.

DEVELOPMENT STANDARD DEPARTURES

The Board's recommendation on the requested departure(s) will be based upon the departure's ability to help the project better meet these design guideline priorities and achieve a better overall design than could be achieved without the departure(s). The Board's recommendation will be reserved until the final Board meeting.

At the time of the Early Design Guidance meeting, the following departures were requested based on the preferred Option C "refined":

1. **Front Setback** (SMC 23.45.518.B; MR Setbacks): In brief, the Code requires a front setback of 5 ft minimum and averaging 7 ft. The applicant proposes a portion of the northeast corner to have a zero ft front setback, while the rest would comply.

The Board indicated non support for that corner being at or near the property line, and suggested a linear patio supporting the proposed cafe, or a landscaped layer along the sidewalk and street, which meets the setback requirement.

2. **Maximum Structural Depth** (SMC 23.45.528.B.1): In brief, the Code requires the maximum length of the side walls to be 75% of the lot depth, which in this case (combined with Phase 1) would be 75 ft. The applicant proposes a depth of 106 ft on the north wall, which amounts to 90.6 % of the total lot depth, an increase of 15%. The applicant rationale was that the front entry courtyard equates to the structural depth courtyard exception of 23.45.528.B.2.

The Board indicated cautious receptivity to this departure, given the angled, recessed entry is desirable, but required the following: the entry courtyard must equal the 713 sq ft minimum area of usable, common space, even if not the prescribed rectangle shape; any private patios cannot count in this minimum area. Regardless of the entry design, the Board reserves the right to not support this departure if other issues concerning the massing, height and edges of the departure-generating extra long wall, are not sufficiently addressed per guidelines A-5 and B-1 above.

Early Design Guidance #3013291
Page 10 of 11

BOARD DIRECTION

At the conclusion of the EDG meeting, the Board recommended the project should move forwards to MUP Application in response to the guidance provided at this meeting. The Board required the following specific direction of issues to be addressed in the Recommendation submittal:

- 1) **A-5; Adjacent Windows and Privacy:** Analyze and draw accurate, reflected elevations of the windows on the 2 adjacent buildings, and ensure proposed windows, especially living rooms, are staggered or designed in a manner to ensure privacy to neighbors.
- 2) **C-2, D-6 & A-6; Street Level Views with Context:** Provide accurate elevations and eye-level perspectives (minimum of 2 directions from Harvard Street) of the proposal and most of the length of 2 adjacent structures, with accurate colors (not gray), transparent trees and details; also include elevation and perspective of the Boylston Phase 1 and improvements. These views should fully portray and confirm the pedestrian friendly character of the residential patios, entry courtyard and café, at the street transition.
- 3) **A-5; Site Sections:** To verify context relationships, provide a large scale north/south section through the proposal and the first 30 ft (minimum) of adjacent structures, showing floor lines, windows, street trees, etc; also include an east/west section through the proposal, central courtyard and Phase 1 structure.
- 4) **B-1; North Wall and Bulk Analysis:** To test the structure depth departure and verify bulk relationships, provide eye-level massing studies of the north wall from Mercer Street, and north wall elevations (both including dashed adjacent structure), and other efforts to mitigate (chamfered corners, upper level stepbacks, etc) the height, shadow and bulk impacts on 4 most proximate neighbors. This may entail a reduction in floor area and/or unit count, which is entirely valid given the departure request.
- 5) **D-1 & A-7; Courtyard Entry and through block Link:** To verify the scale and transparency of these spaces, provide perspectives and large scale sections in both directions through the sequence of semi-public spaces.
- 6) **A-2; Northeast Corner and Café details:** Provide large scale plans, elevations and zoom-in perspectives to verify the following: the proposed café will not acoustically impact neighbors (outdoor seating, deliveries, etc), will have a subtle lighting and signage presence in a residential setting, yet will offer a clearly identifiable and "discovered" character to the street.

All of the above studies should serve the over-arching goal of mitigating the bulk impacts, respecting privacy, and having a sensitive transition to the neighbors and context.

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ITEMIZED RESPONSE TO EDG BOARD DIRECTION



1) SEE PAGES 44- 47



2) SEE PAGES 32-41



3) SEE PAGES 56-57



4) SEE PAGES 42 - 43



5) SEE PAGES 41; 48-54



6) SEE PAGES 41; 48-54

A detailed study of the north, south and west sideyards was done to demonstrate privacy considerations and to illustrate how the proposal follows the intent of design guidelines to respect the adjacent sites.

The proposal shows a number of eye-level pedestrian views. The focus of these views is to show the enhancement of the pedestrian experience, transition between the street and the site and an architectural concept that is consistent with the neighboring buildings

Site Sections in two directions are shown.

A bulk analysis between the north, south and west neighbors is shown. These drawings and eye-level perspectives show how the proposal massing, facade modulation and scale relate to adjacent structures. They also respect adjacent sites by placing the major areas of windows between the neighbors rather than across from them.

The through block link from the entry courtyard to the mid-block terrace encourages human activity for the residents and public. This public amenity is activated with a cafe promoting a gathering spot for residents and their neighbors.

The cafe is directly integrated with the residential lobby. North glass proposed at the EDG has been replaced with solid wall and buffered with landscaping to respect the north neighbor. Operable doors open the cafe to the street, the entry court and the lobby creating a vital aspect of the through block link.

EDG - Board Direction and Itemized Response to Board Direction



P02 LEVEL PARKING

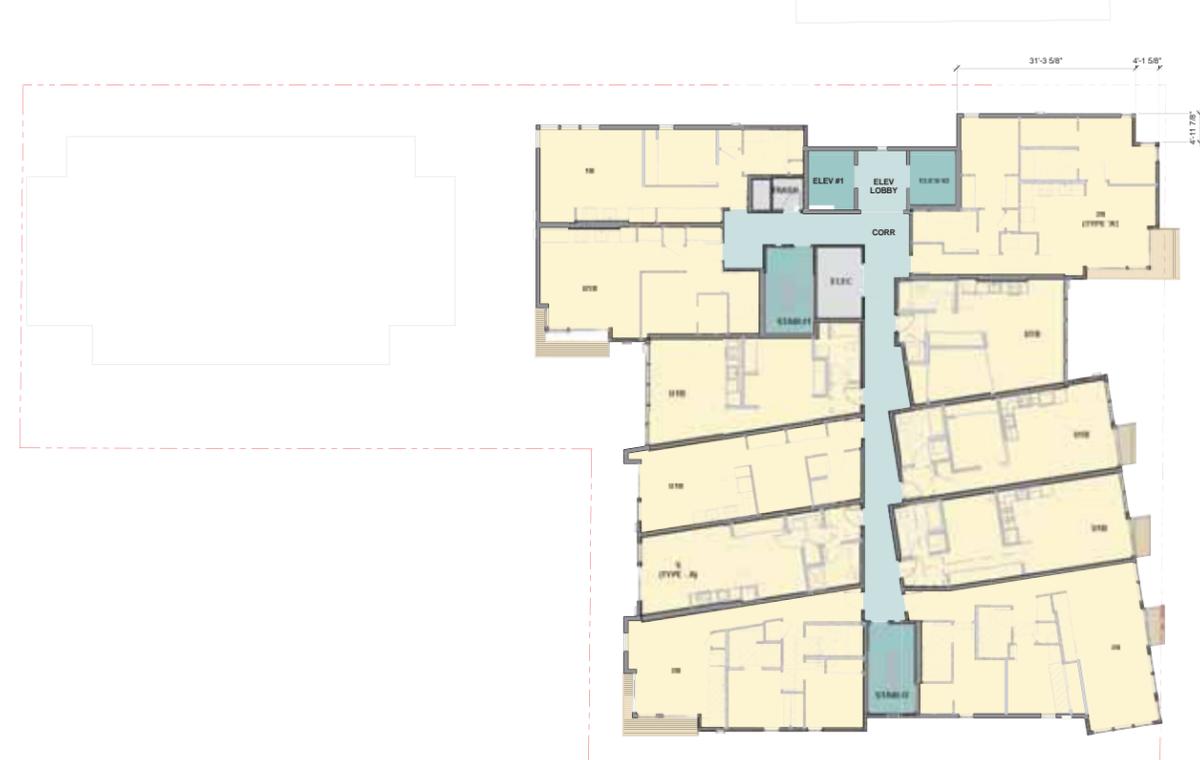


P01 LEVEL PARKING

Level P01 - P02 Plan



LEVEL 02



LEVEL 03

Level 02 - 03 Plans



LEVEL 04



LEVELS 05 - 07

Level 03 - 04 Plans

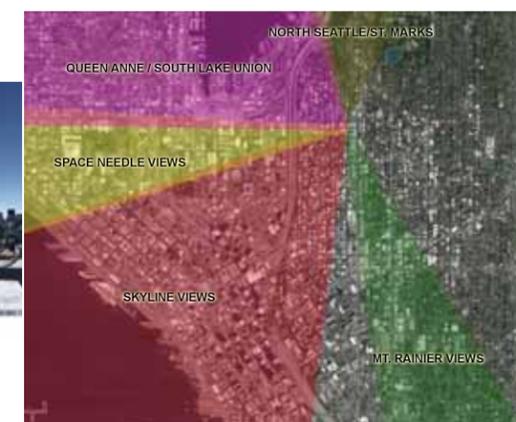




LEVEL ROOF



EXISTING VIEWS / ROOF CONCEPT



Roof Level Plan



Landscape Materials Plan - Level 01

Perennials/Grasses/Groundcovers/ Vines



Hakonechloa macra Euphorbia robbiae Cornus canadensis Acorus gramineus 'Ogon' Ophiopogon japonicus Acanthus mollis Asplenium scolopendrium Astilbe 'Bridal Veil'

Evergreen Shrubs



Blechnum spicant Polystichum munitum Helictotrichon sempervirens Pennisetum orientale 'Karley Rose' Clethra alnifolia Rhapsiolepis umbellata Fatsia japonica

Trees



Cornus alba 'Elegantissima' Hamamelis x intermedia Hydrangea paniculata Salix purpurea Acer palmatum Quercus frainetto 'Schmidt' Gymnocladus dioicus Amelanchier laevis Franklinia alatamaha

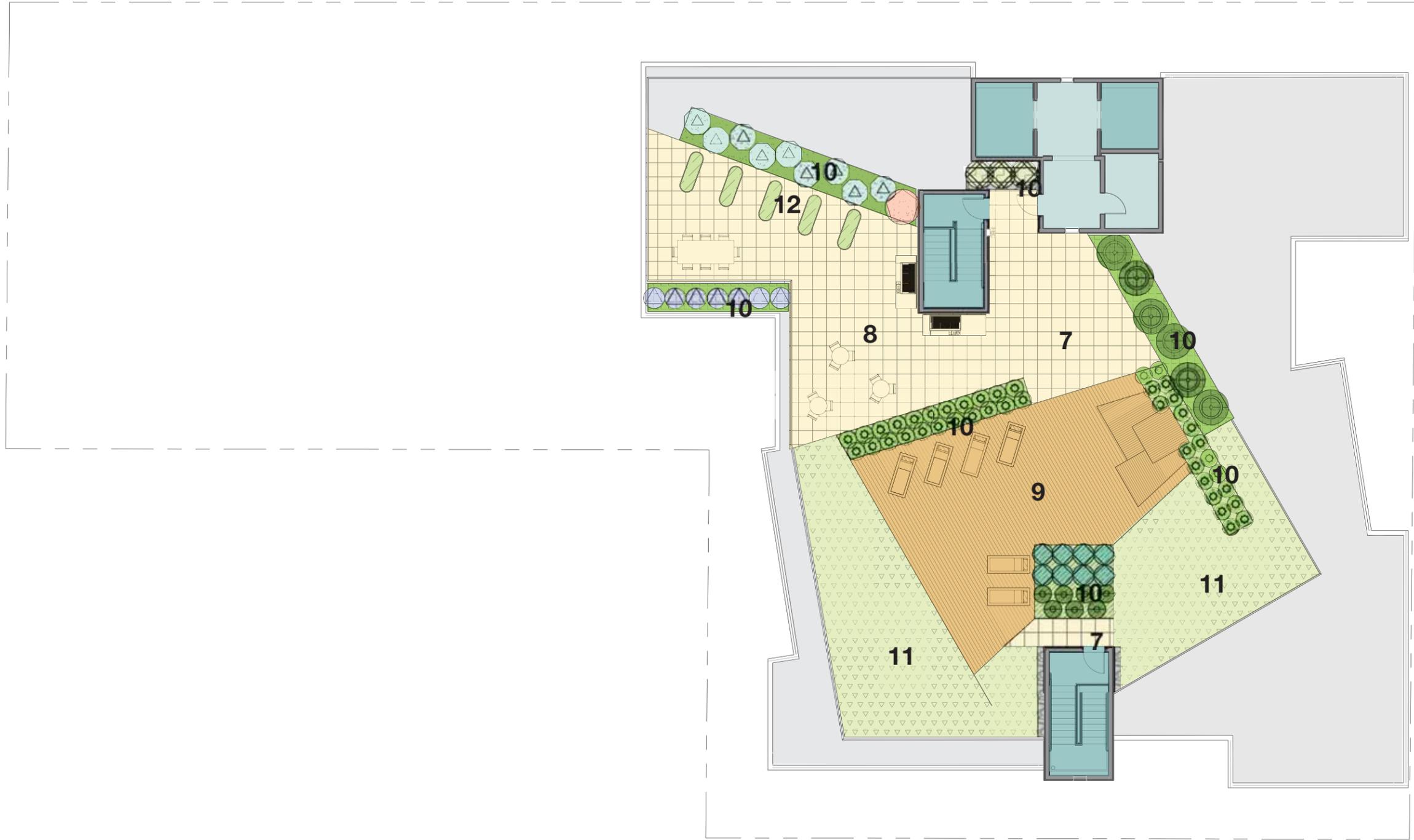
Shrubs

Materials



1 - Artificial Turf 2 - Pedestal Paver 3 - Scored Concrete 4 - Metal Planter 5 - Concrete Planter 6 - Outdoor Seating

Landscape Materials - Level 01



Landscape Materials Plan - Roof



Perennials/Grasses/Groundcovers/Vines



Ophiopogon japonicus



Pennisetum orientale 'Karley'



Lavendula angustifolia



Miscanthus 'Purpurascens'



Deciduous/Evergreen Shrubs



Vaccinium corymbosum



Cornus sanguinea



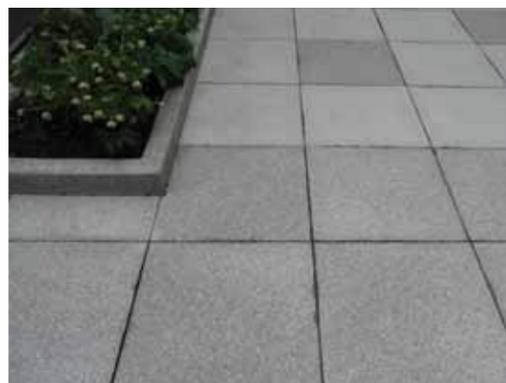
Rhamphiolepis umbellata



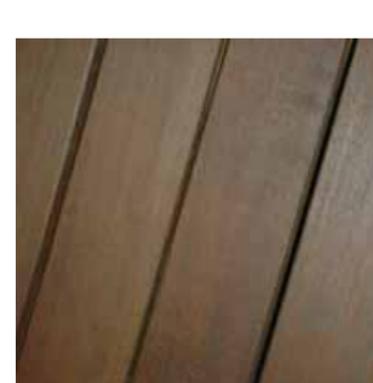
Ribes sanguineum



Materials



8 - Outdoor Seating



9 - Wood Decking



10 - Metal Planter



11 - Green Roof - Extensive

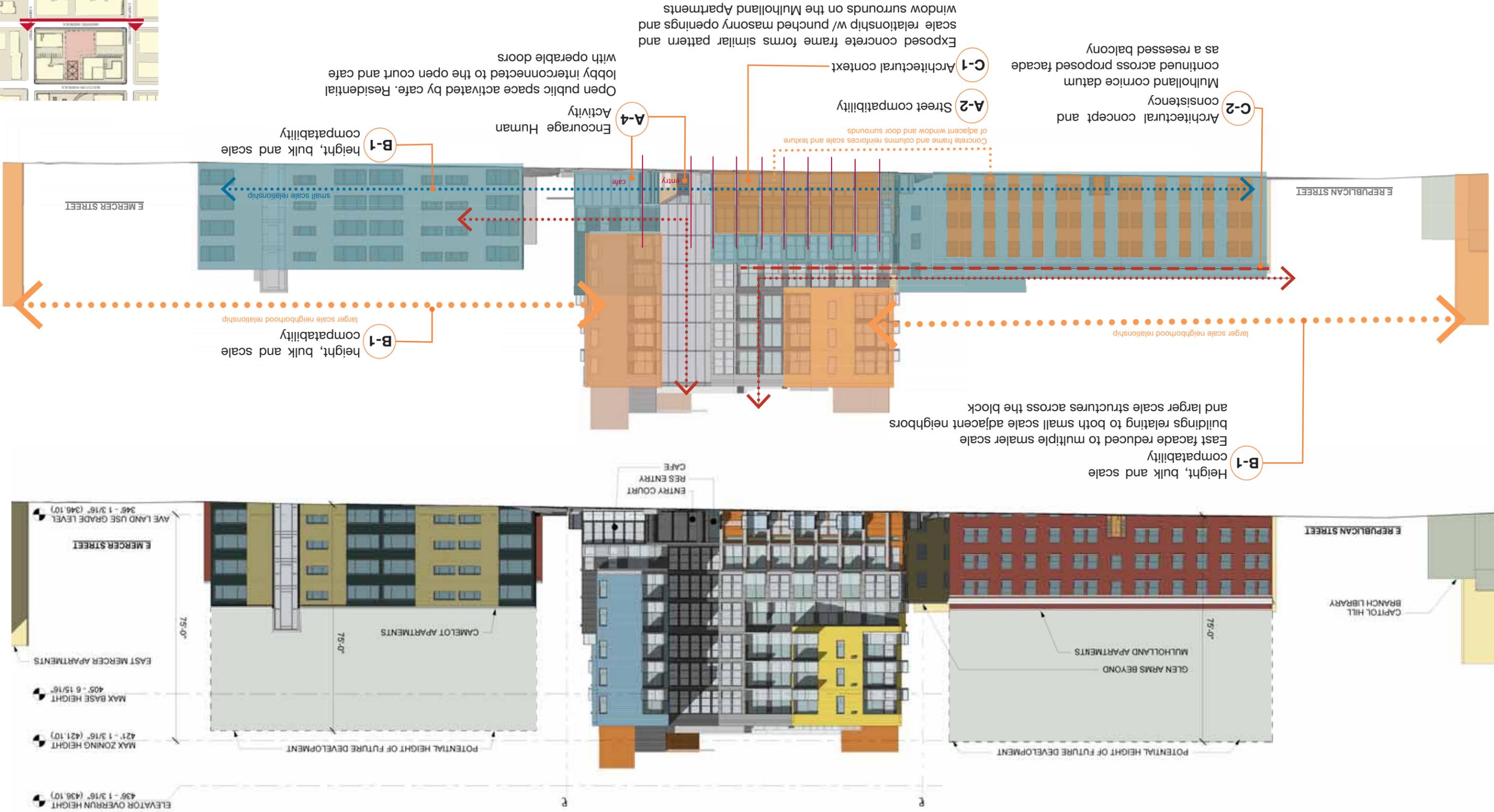


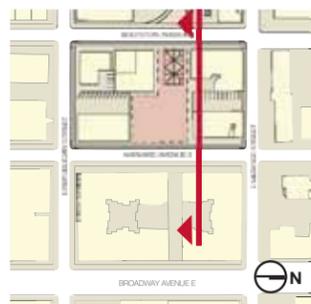
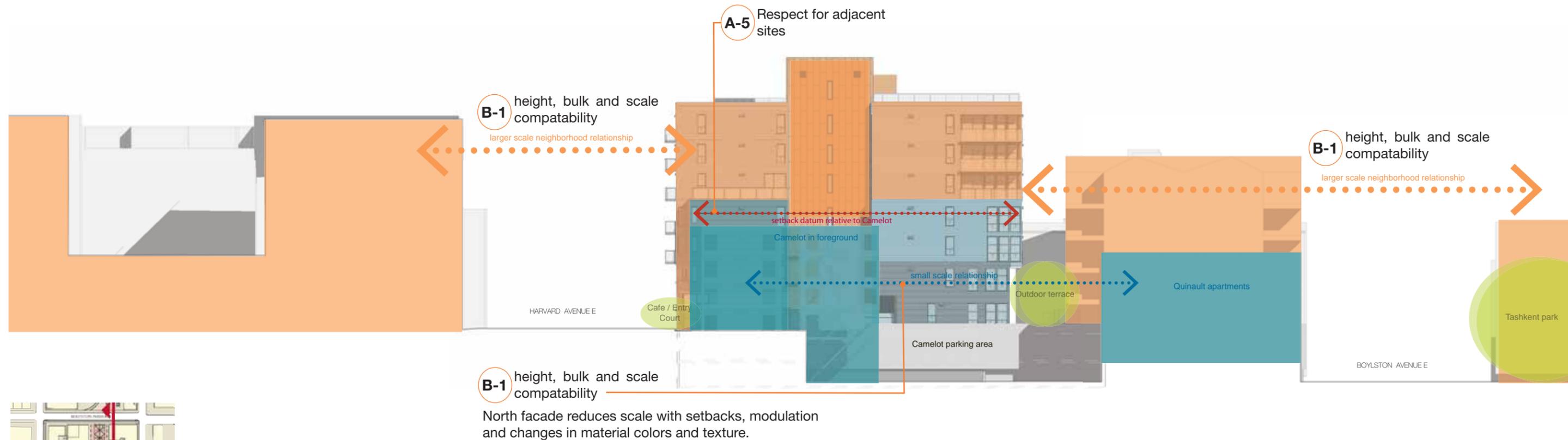
12 - P-Patch Planter

Landscape Materials - Roof



EDG Priorities and Board Recommendations B-1, C-1, C-2 East Elevation and Context Relationship Diagram





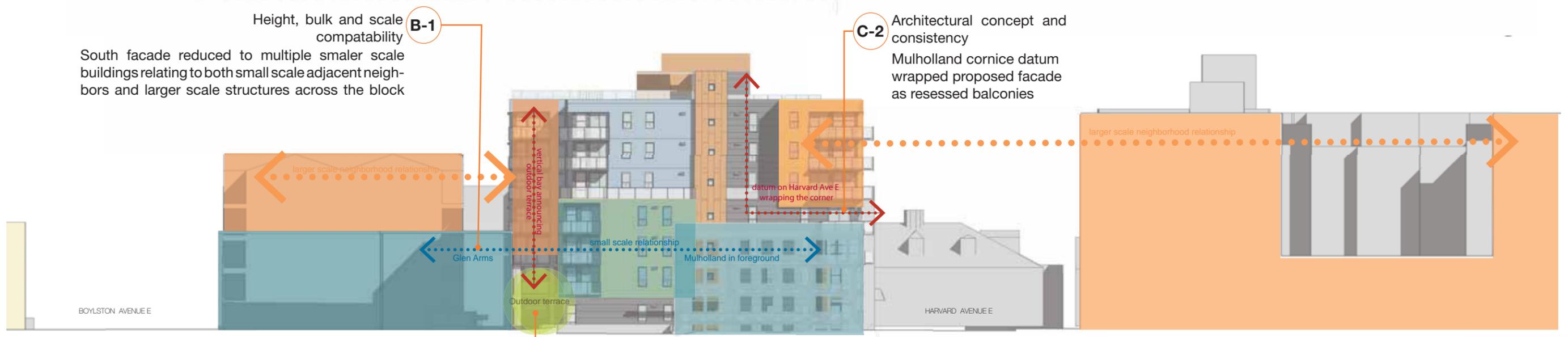
**EDG Priorities and Board Recommendations B-1, C-1, C-2
North Elevation and Context Diagram**



B-1 Height, bulk and scale compatability
 South facade reduced to multiple smaller scale buildings relating to both small scale adjacent neighbors and larger scale structures across the block

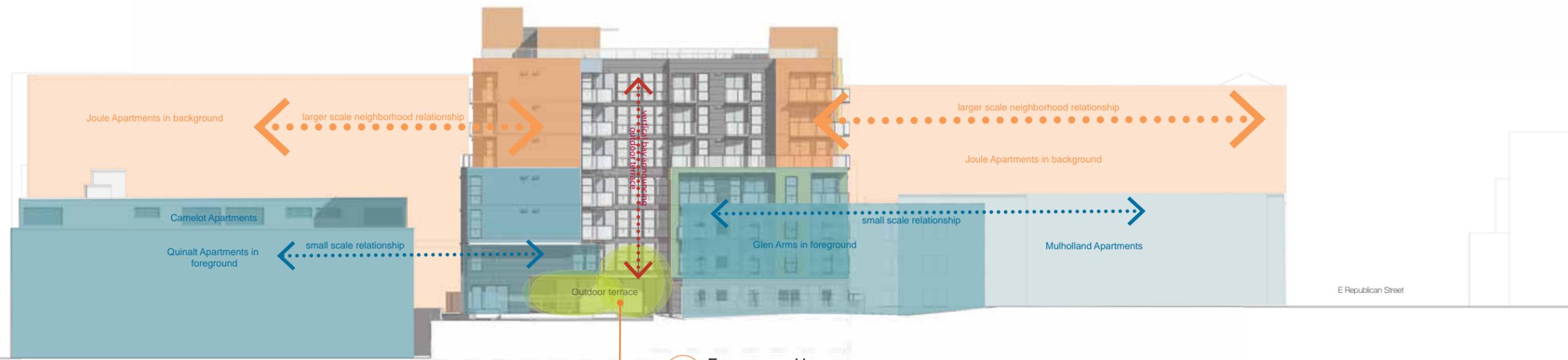
C-2 Architectural concept and consistency
 Mulholland cornice datum wrapped proposed facade as resessed balconies

A-4 Encourage Human Activity
 outdoor terrace space interconnected with residential lobby, open court and cafe with operable doors across length of wall



**EDG Priorities and Board Recommendations B-1, C-1, C-2
 South Elevation and Context Relationship Diagram**





A-4 Encourage Human Activity
 outdoor terrace space interconnected with residential lobby, open court and cafe with operable doors across length of wall



**EDG Priorities and Board Recommendations B-1, C-1, C-2
 West Elevation and Context Diagram**



1 FLUSH GREY METAL PANEL



2 FIBER CEMENT LAPPED SIDING 8" EXPOSURE: BRITTLEBUSH



3 PRE-FINISHED FIBER CEMENT PANEL SYSTEM: LIGHT GREY



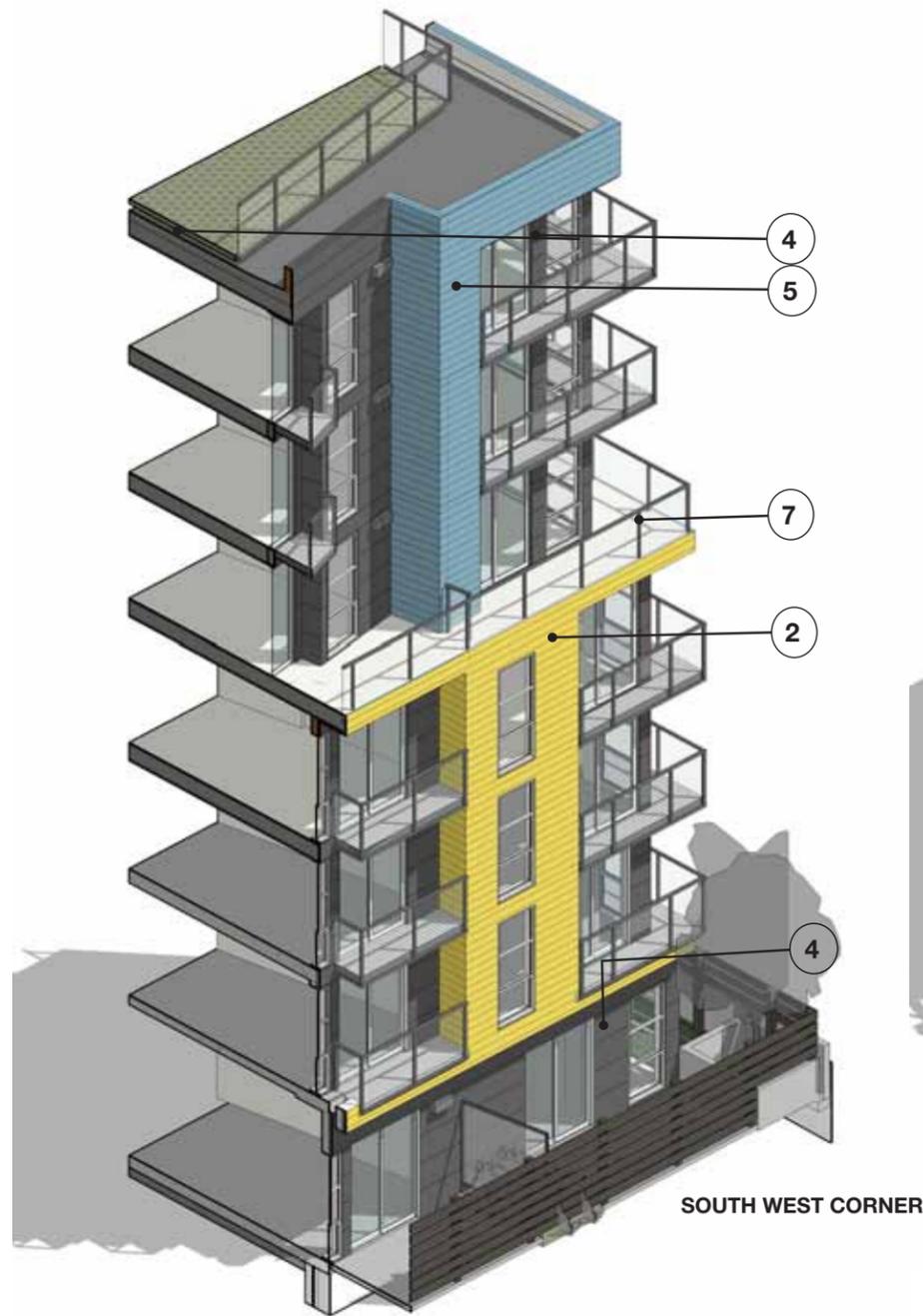
4 CEMENT PANEL SYSTEM; 24" HORZ JOINTS: URBANE BRONZE



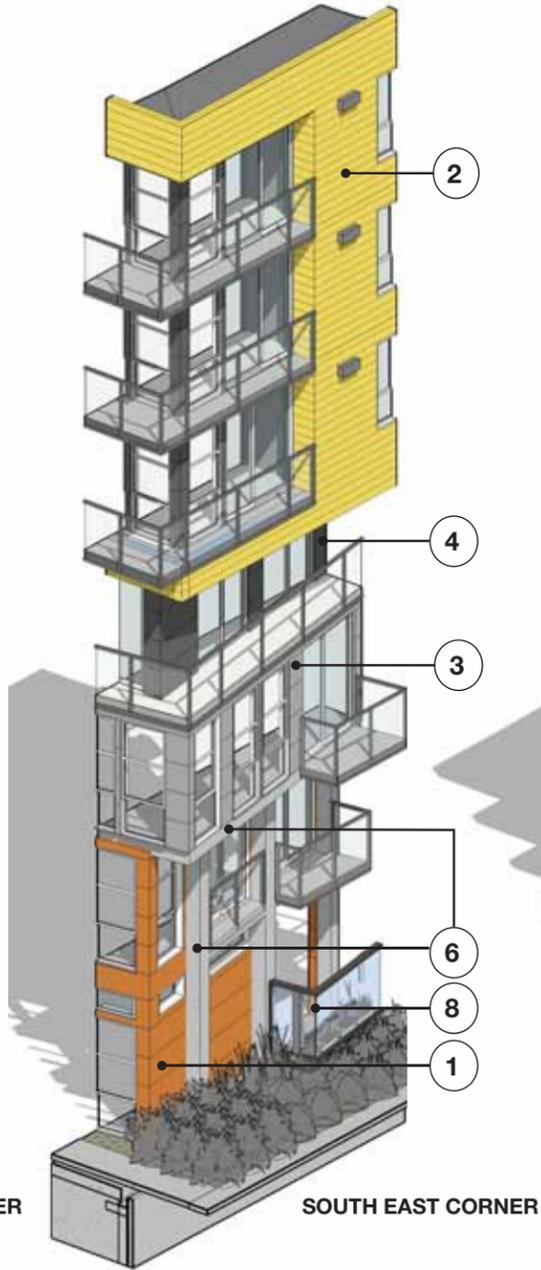
5 FIBER CEMENT LAPPED SIDING 8" EXPOSURE: OPEN SEAS



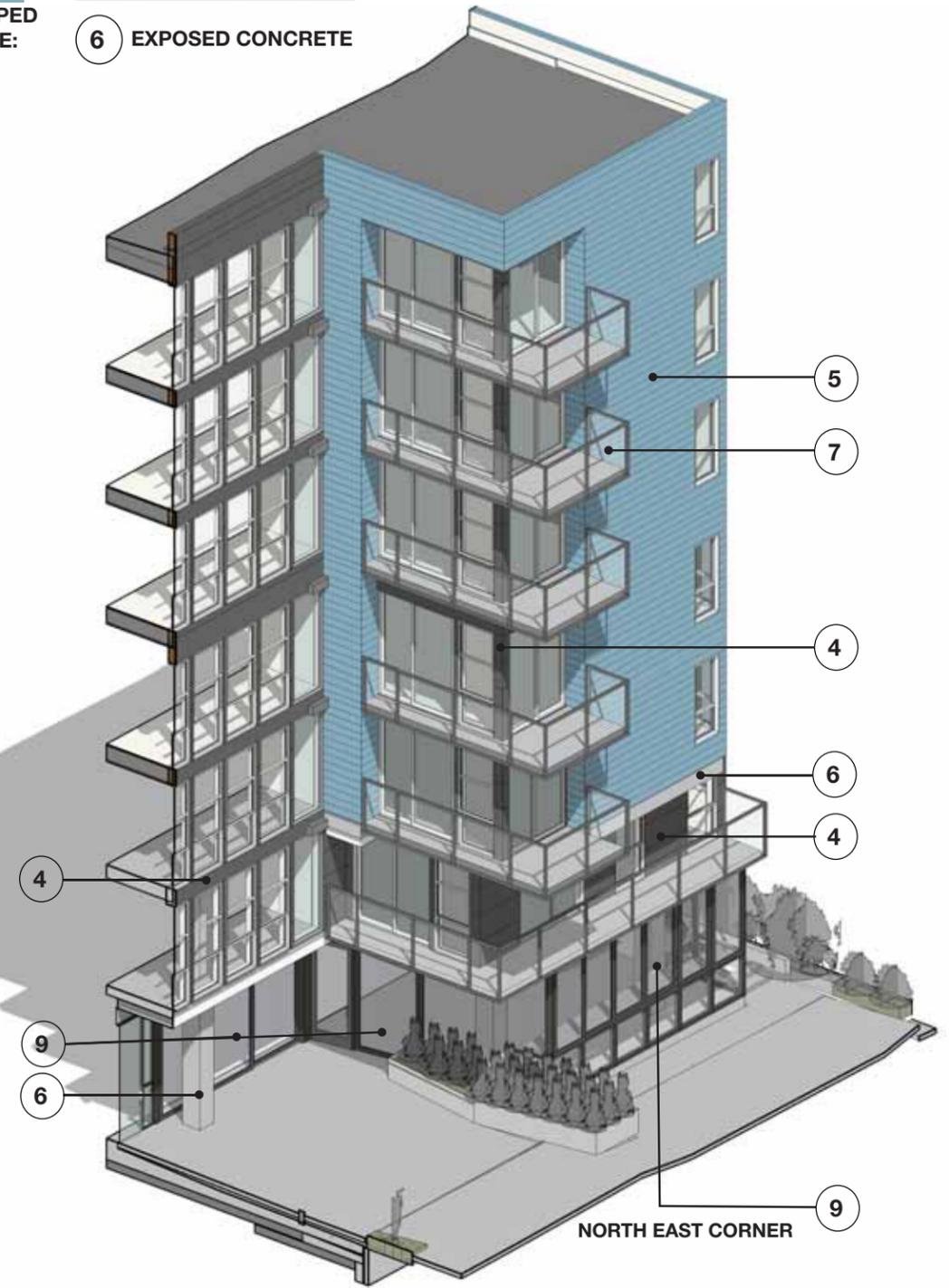
6 EXPOSED CONCRETE



SOUTH WEST CORNER



SOUTH EAST CORNER



NORTH EAST CORNER

C-4 Exterior Finish Materials

materials and colors contribute to the strength of the building's form and provide a reserved role

exterior cladding is a supporting role with cement fiber board panels and concealed fasteners and lap siding with mitered corners

exposed concrete expresses the nature of the "5/2" building type.

Materials, Modulation & Interconnection



11 LANDSCAPE MATERIAL BETWEEN RESIDENTIAL PATIOS



10 LANDSCAPE MATERIAL AT RESIDENTIAL PATIOS



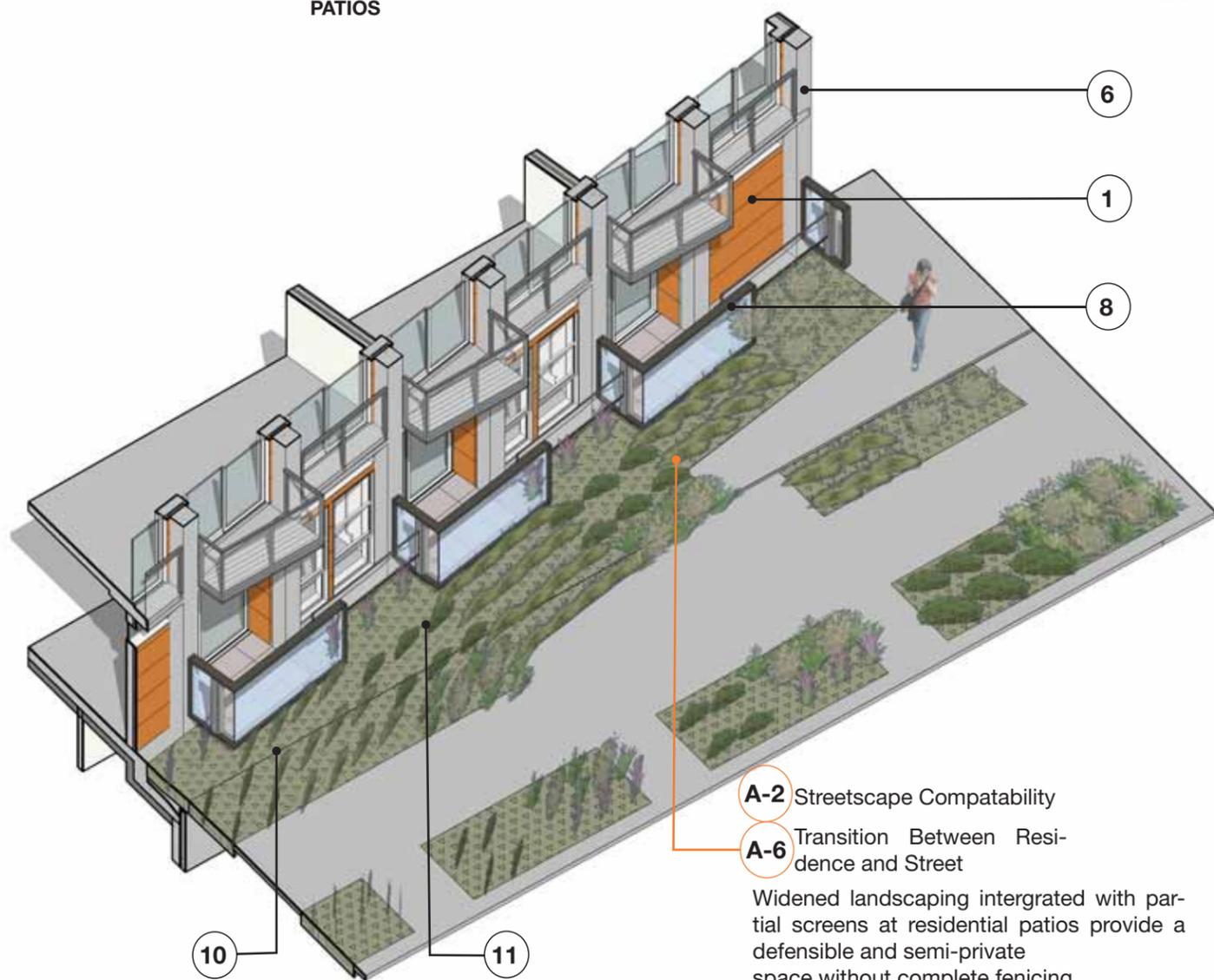
ALUMINIUM OPERABLE SLIDING DOORS 9



ALUMINIUM AND TRANSLUCENT GLASS PRIVACY SCREEN 8



ALUMINIUM AND GLASS GUARDRAIL 7



RESIDENTIAL PATIOS ON HARVARD AVENUE EAST CORNER



Materials, Modulation & Interconnection



Board Direction #2 & #4 B-1 Street Level Views with Context, North Wall and Bulk Analysis (EDG Priorities and Board Recommendations A-2, B-1, C-1, C-2)

BLOCK SCALE PERSPECTIVE



STREET LEVEL VIEW AND CONTEXT - HARVARD AVENUE EAST LOOKING SOUTH



STREET LEVEL VIEW AND CONTEXT - HARVARD AVENUE EAST LOOKING NORTH



EDG Board Direction #2 C-2, D-6, A-6
STREET LEVEL VIEWS AND CONTEXT



Architectural concept and consistency **C-2**

Mulholland cornice datum continued across proposed facade as a recessed balcony



STREET LEVEL VIEW - HARVARD AVENUE EAST LOOKING WEST

Entrances visible from street **A-3**

vertical "blue block" with projecting balconies announce the building entry and public space from a distance

**EDG Board Direction #2 C-2, D-6, A-6
STREET LEVEL VIEWS AND CONTEXT**



STREET LEVEL VIEW - HARVARD AVENUE EAST LOOKING NORTHWEST

C-2 Architectural concept and consistency

"Yellow and blue blocks" parallel to the street maintaining consistent, well defined street edges established by surrounding buildings

A-3 Entrances visible from street

vertical "blue block" with projecting balconies announce the building entry and public space from a distance



**EDG Board Direction #2 C-2,D-6 & A-6
STREET LEVEL VIEWS AND CONTEXT**



STREET LEVEL VIEW - HARVARD AVENUE EAST LOOKING SOUTHWEST



EDG Board Direction #2 C-2, D-6, A-6
STREET LEVEL VIEWS AND CONTEXT



STREET LEVEL VIEW - HARVARD AVENUE EAST LOOKING NORTHWEST (VIEW FROM THE JOULE)

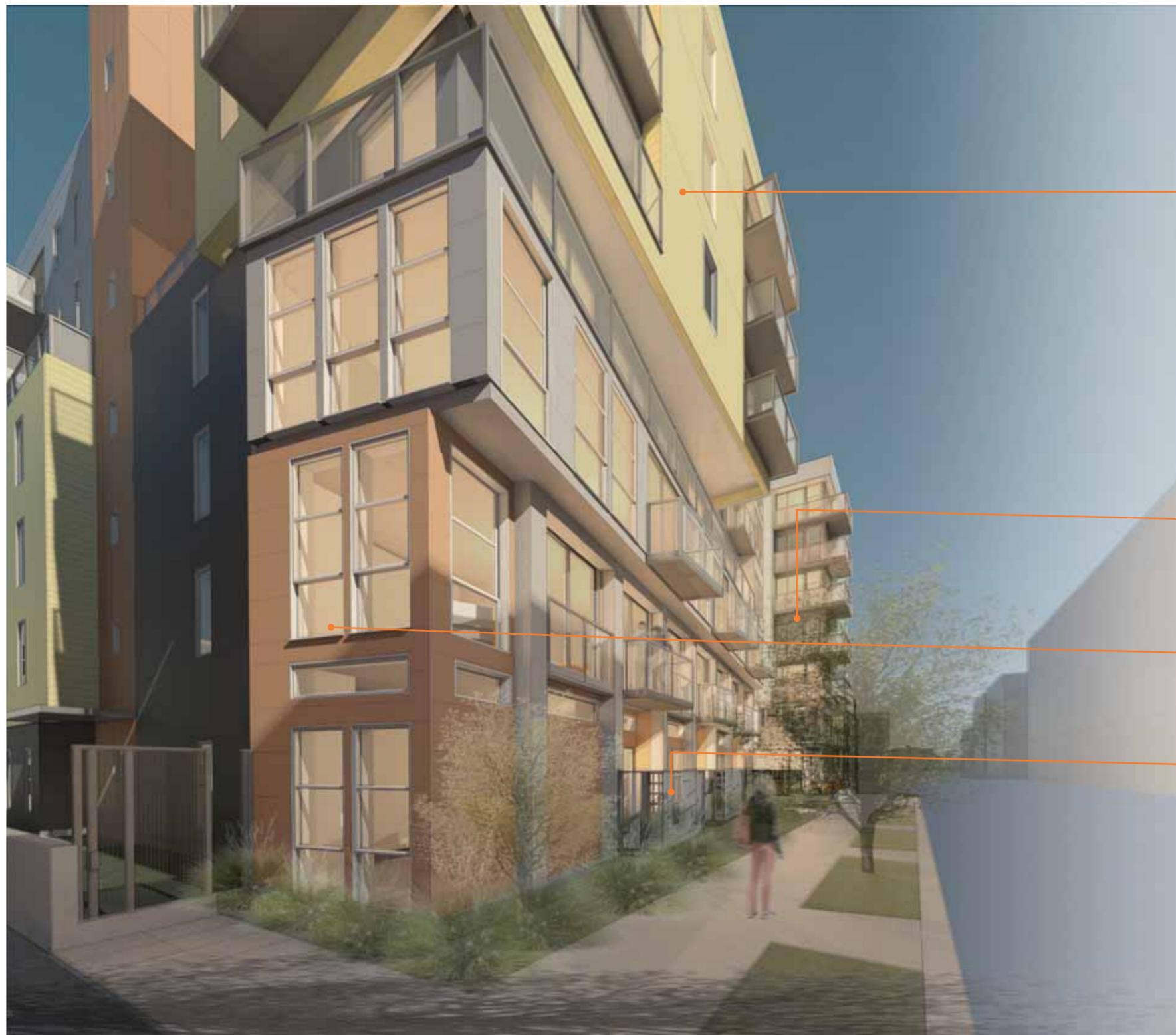
EDG Board Direction #2 C-2,D-6 & A-6
STREET LEVEL VIEWS AND CONTEXT



STREET LEVEL VIEW - HARVARD AVENUE EAST



EDG Board Direction #2 C-2, D-6, A-6
STREET LEVEL VIEWS AND CONTEXT



PEDESTRIAN VIEW - HARVARD AVENUE EAST - LOOKING NORTH

C-2 Architectural concept and consistency
 "Yellow block" parallel to the street maintaining consistent, well defined street edges established by surrounding buildings

A-3 Entrances visible from street
 vertical "blue block" with projecting balconies announce the building entry and public space from a distance

A-5 Respect for adjacent sites
 SE corner of facade angled away from south neighbor

A-6 Transition between residence and street



**EDG Board Direction #2
 STREET LEVEL VIEWS AND CONTEXT**

Transition between residence and street **A-6**
 widened landscaping intergrated with partial height screens at residential patios provide a sense of security and privacy without completely fenicing off the patio from the street



STREET LEVEL VIEW - HARVARD AVENUE EAST, RESIDENTIAL PATIOS

EDG Board Direction #2 C-2, D-6, A-6
STREET LEVEL VIEWS AND CONTEXT



STREET LEVEL VIEW - ENTRY COURTYARD

**EDG Board Direction #2 C-2,D-6 & A-6
STREET LEVEL VIEWS AND CONTEXT**



Shadow Diagram - North Wall noon sun; March 21st - Without Elevator Penthouse



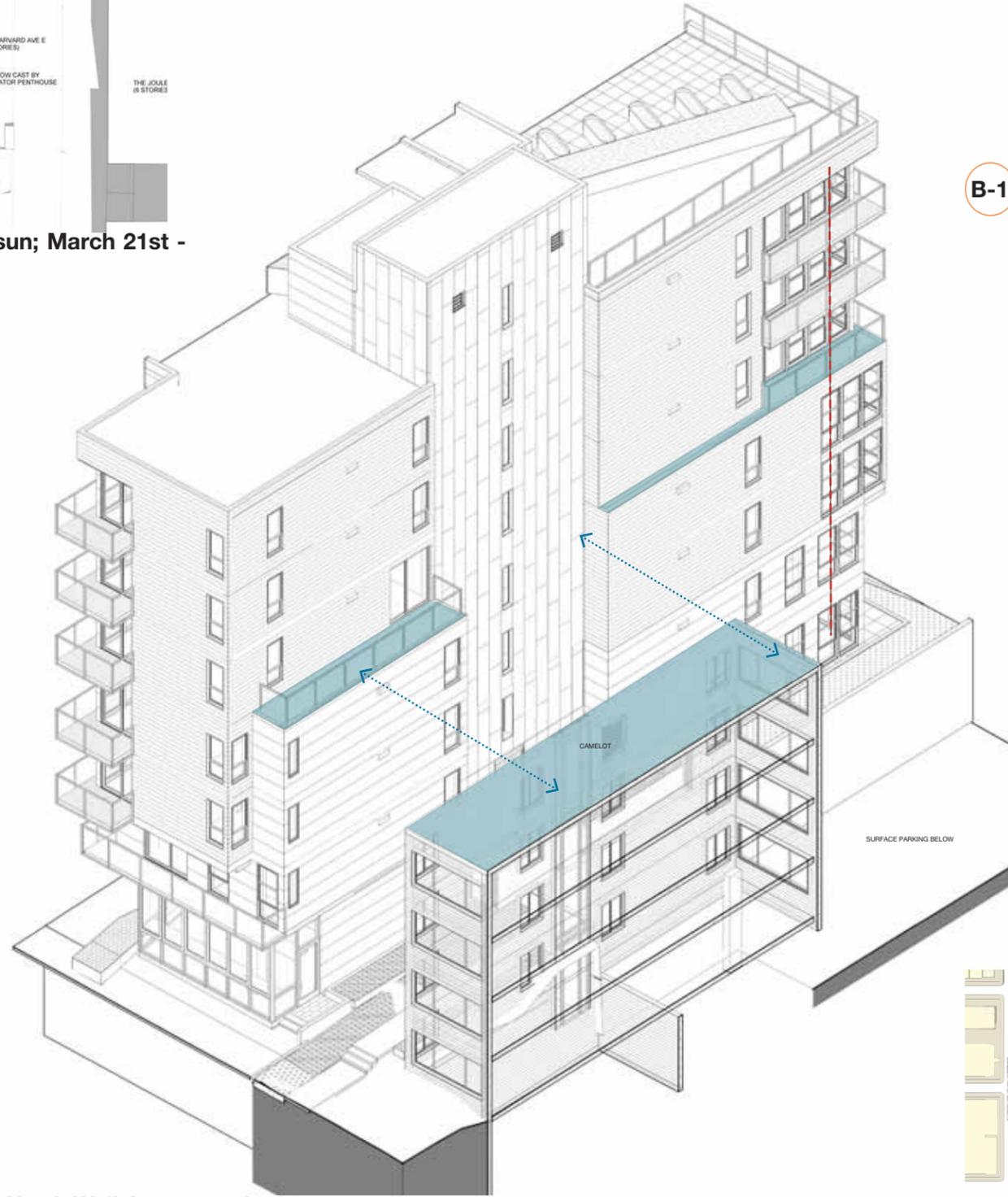
Shadow Diagram - North Wall noon sun; March 21st - With Elevator Penthouse

A-5 Respect for Adjacent Sites
 elevator penthouse near north facade does not add additional shadow to adjacent property walls but minimal shadow to its rooftop



View from East Mercer Street looking south

A-5 Respect for Adjacent Sites
 north facade living and dining rooms of units fronting surface parking lot to the north rather than directly opposite adjacent neighbors

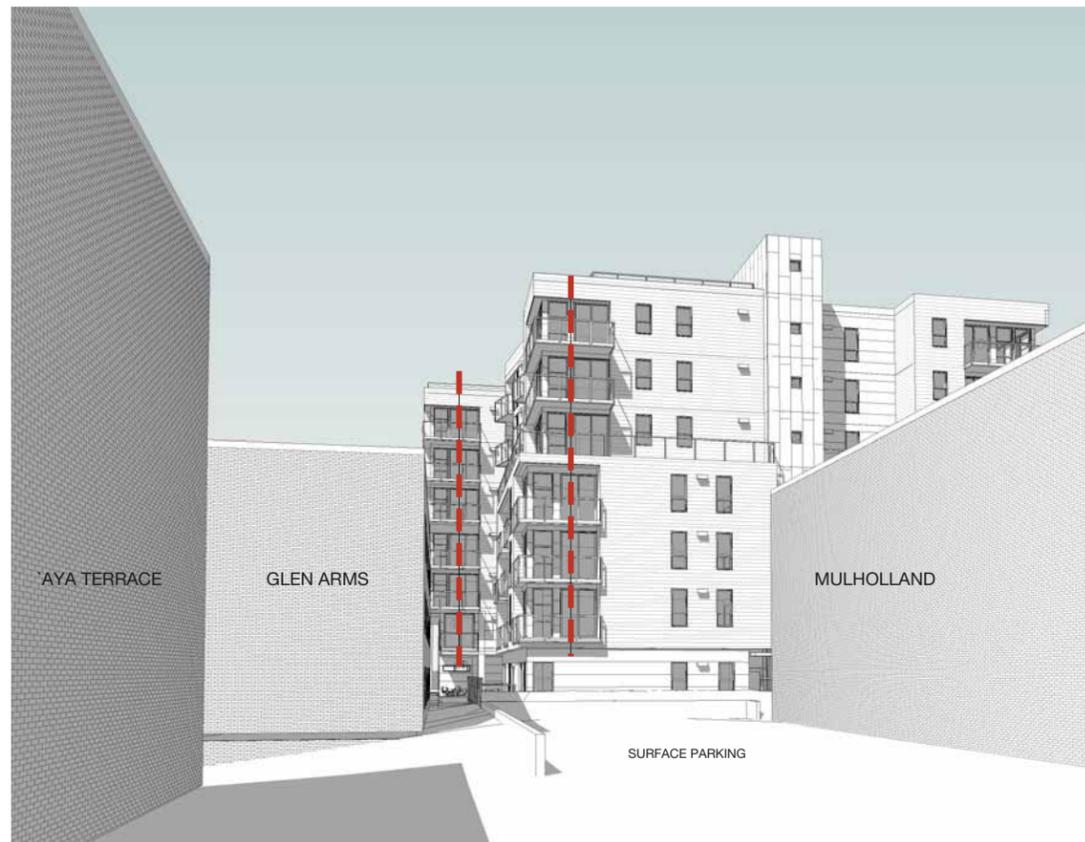


North Wall Axonometric

B-1 Height, Bulk and Scale Compatibility
 North facade reduced to multiple, smaller scale buildings relating to adjacent neighbors

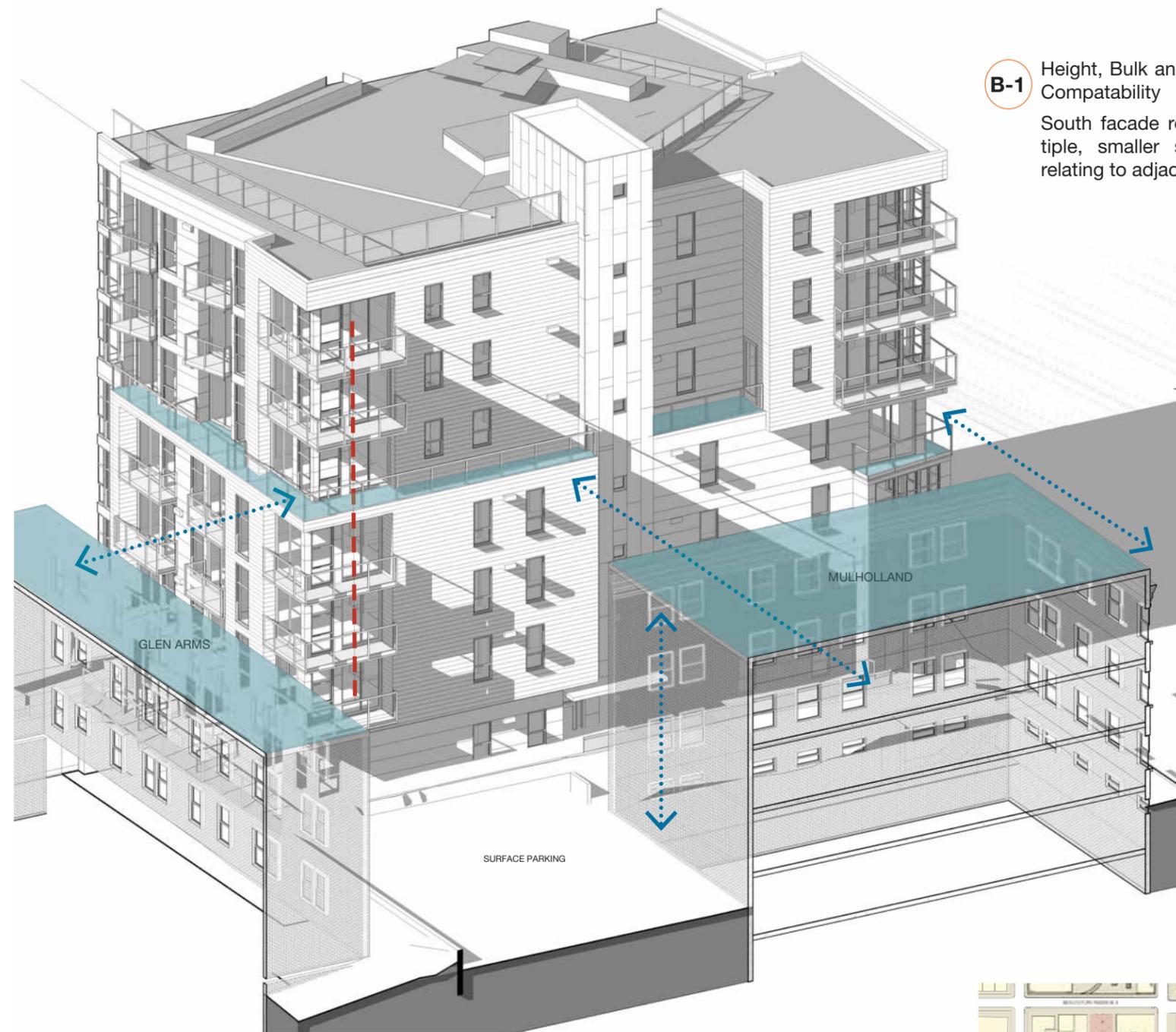


B-1; EDG Board Direction #4 - North Wall Modulation Analysis



View from East Republican Street looking North

- A-5** Respect for Adjacent Sites
South Facade living and dining rooms of units fronting surface parking lot to the south rather than directly opposite adjacent neighbors
- C-2** Architectural Concept and Consistency
South facade mirroring massing concepts along Harvard Ave with verticle bays



South Wall Axonometric

B-1 Height, Bulk and Scale Compatability
South facade reduced to multiple, smaller scale buildings relating to adjacent neighbors.



B-1; EDG Board Direction #4 - South Wall Modulation Analysis

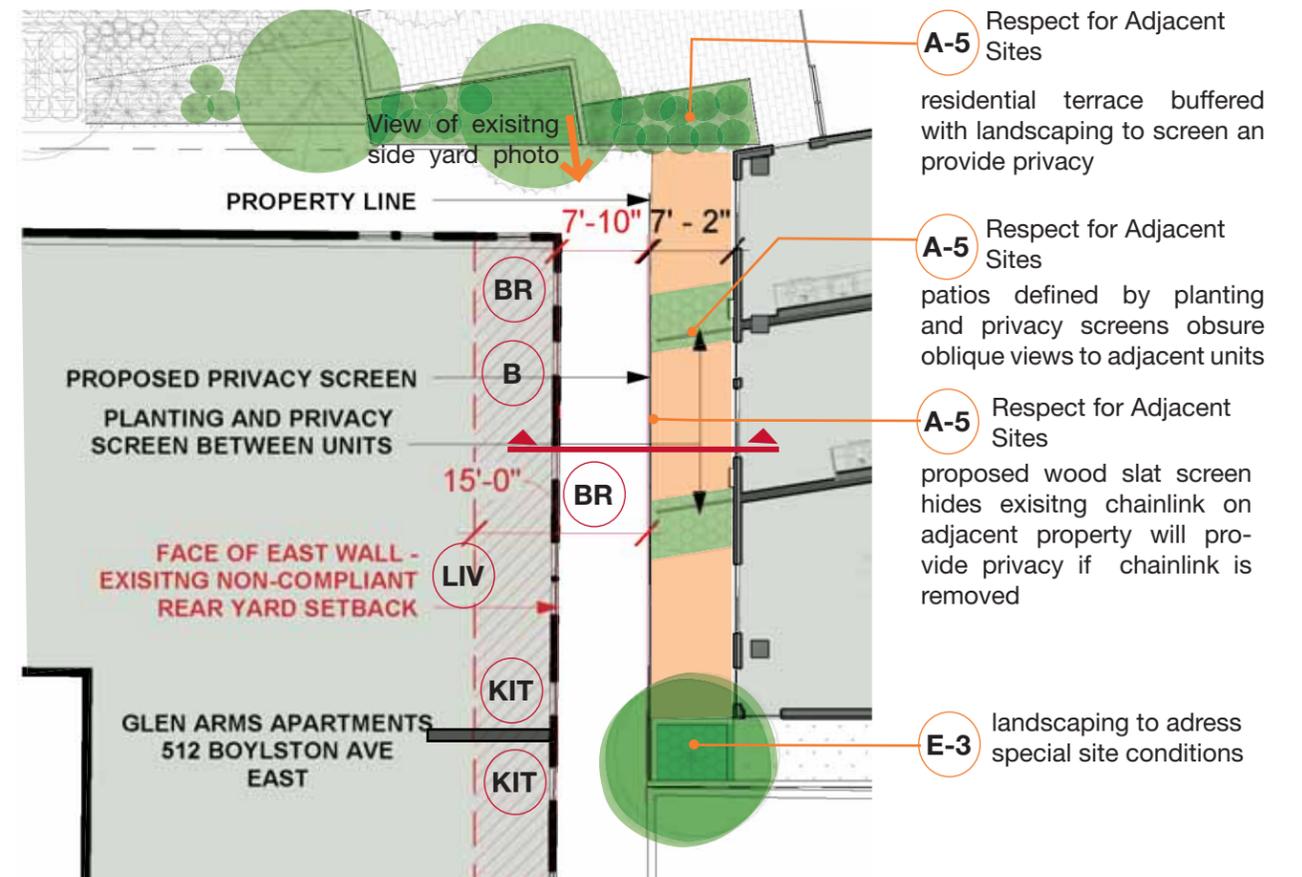
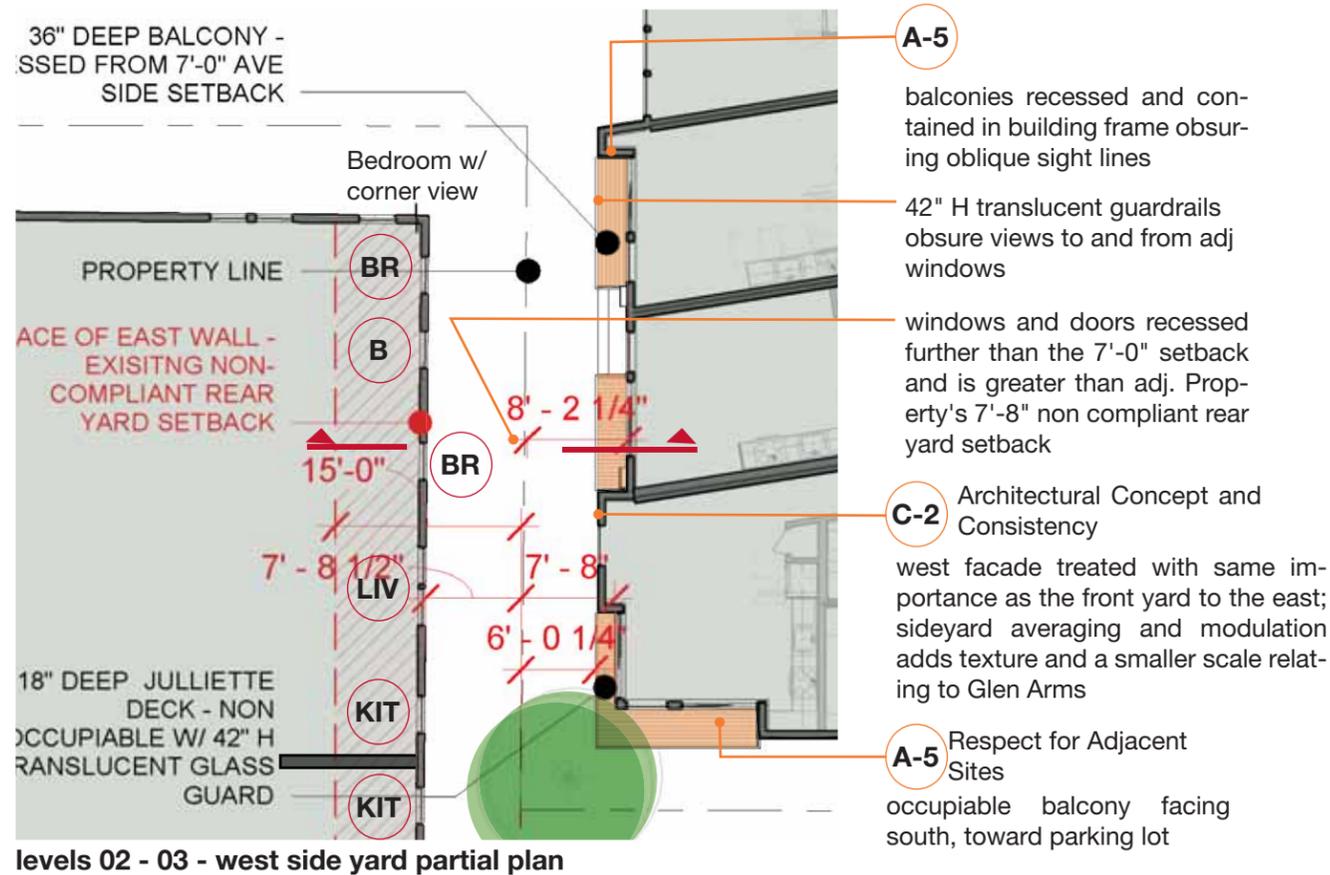


West Elevation w/ Glen Arms in Foreground

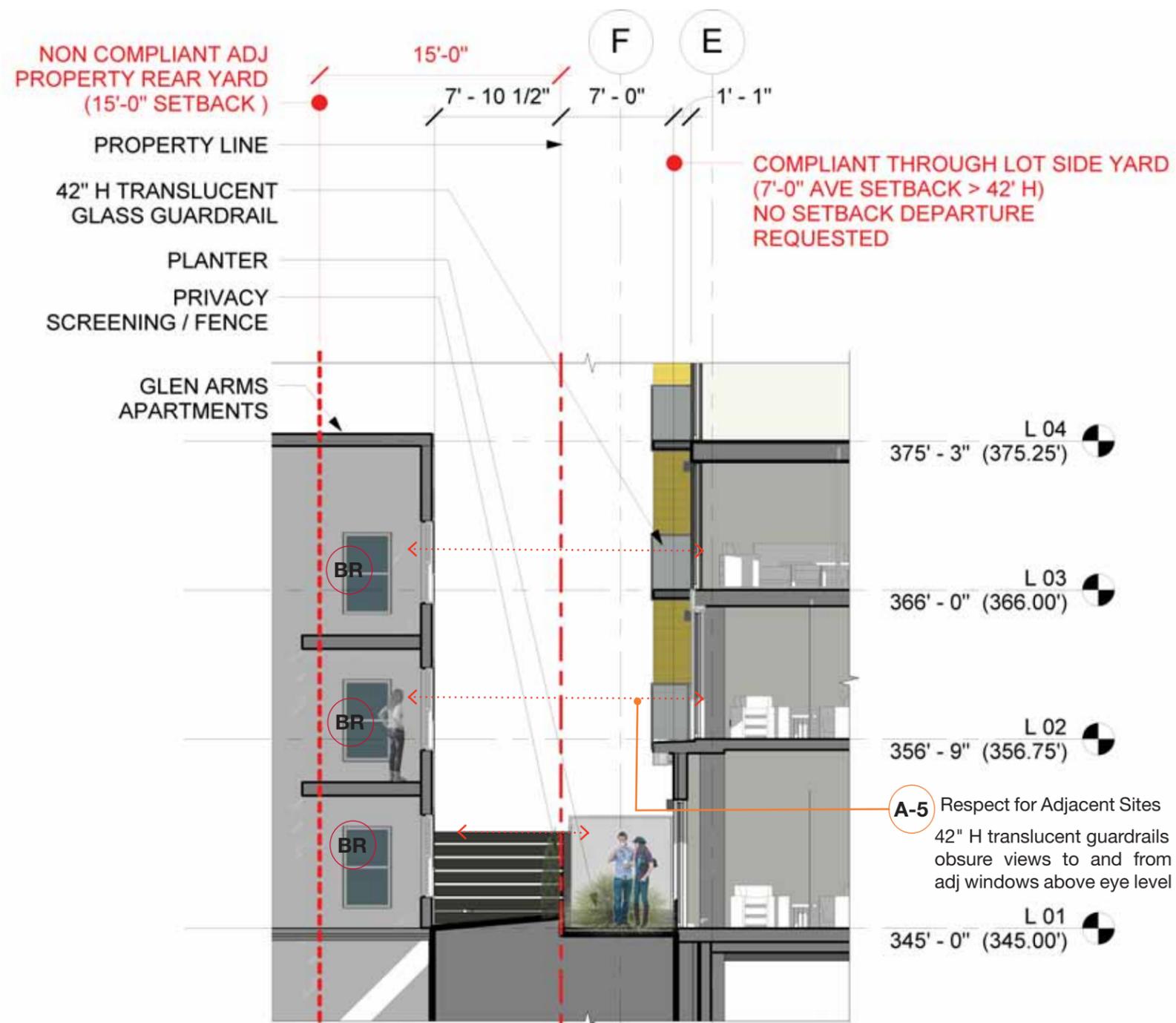
- Glen Arm east windows completely obscured by proposed screening or exterior walls
- Glen Arm east windows partially obscured by proposed translucent guardrails
- Glen Arm east windows opposite proposed windows
- A-5 Respect for Adjacent Sites
Glen Arms windows from occupiable spaces are either fully or partially obscured from direct opposing views from proposed windows.



Existing West Side Yard / Rear Yard of Glen Arms



**EDG Board Direction #1 C-2,D-6 & A-6
Adjacent Windows and Privacy - WEST SIDE YARD**



Section through rear yard of Glen Arms
 note: this Section cut has very minimal overlap with opposing windows.
 See plans and elevations for extent of exposure.



View of West Side Yard Looking South

A-5 Respect for Adjacent Sites

patios with planting and privacy screens obscure oblique views to adjacent units

proposed wood slat fence hides existing chainlink on adjacent property and will provide privacy if ever the chainlink is removed

**EDG Board Direction #1 C-2,D-6 & A-6
 Adjacent Windows and Privacy - WEST SIDE YARD**



Existing North Side Yard of Camelot Apartments at Harvard Avenue East Looking West



Existing North Side Yard of Camelot Apartments at Harvard Avenue East Looking West - mid block



North Elevation w/ Camelot Apartments in foreground

A-5 Respect for Adjacent Sites

majority of windows from living spaces opposite of parking - not adjacent properties to the north

A-5 Respect for Adjacent Sites

minimal opposing windows between buildings (screened w/ ground level landscaping)

A-5 Respect for Adjacent Sites

minimal opposing windows between buildings (proposed bedroom opposite circulation space)

A-5 Respect for Adjacent Sites

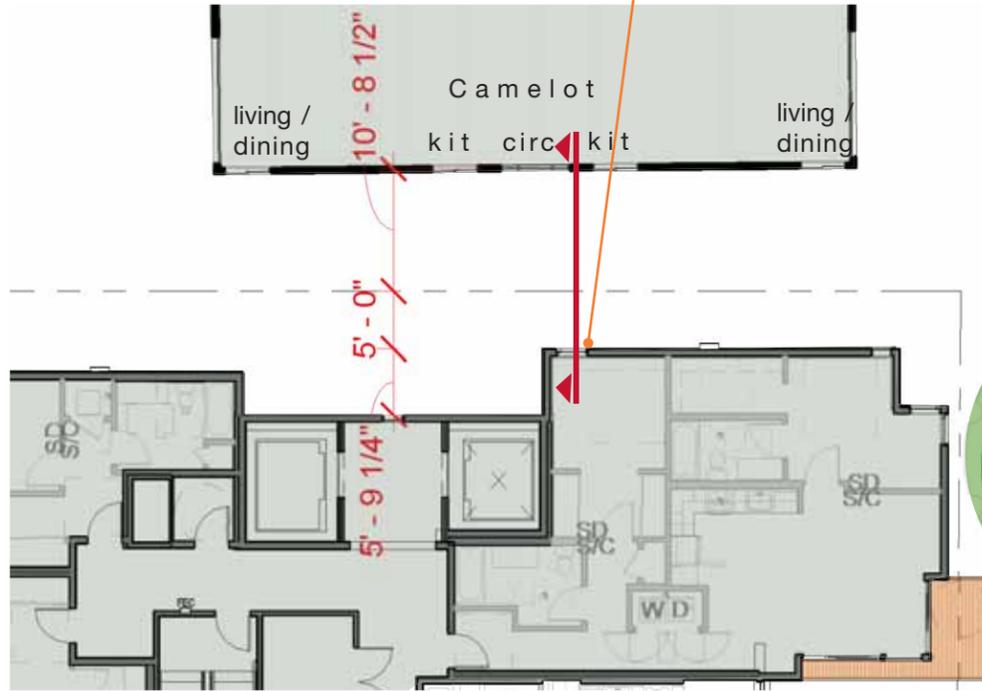
elevator core setback; infrequent public nature
privacy screening and landscape buffering to soften edge at Camelot's retaining wall

E-3

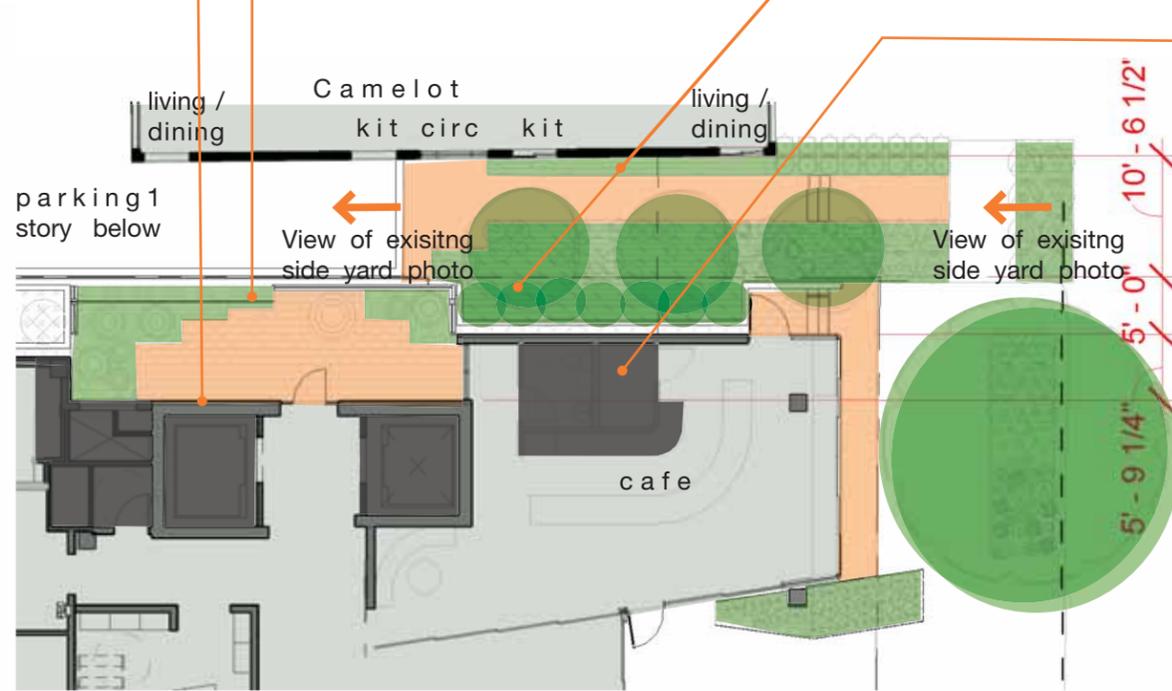
enhanced landscaping / removal of overgrown existing trees to adj property increasing character of entry walk and natural daylight to lower units

A-5 Respect for Adjacent Sites

location of cafe storage and toilet room increase privacy to the north, mitigate sound and light



NE corner - Level 02 - 03



NE corner - Level 01

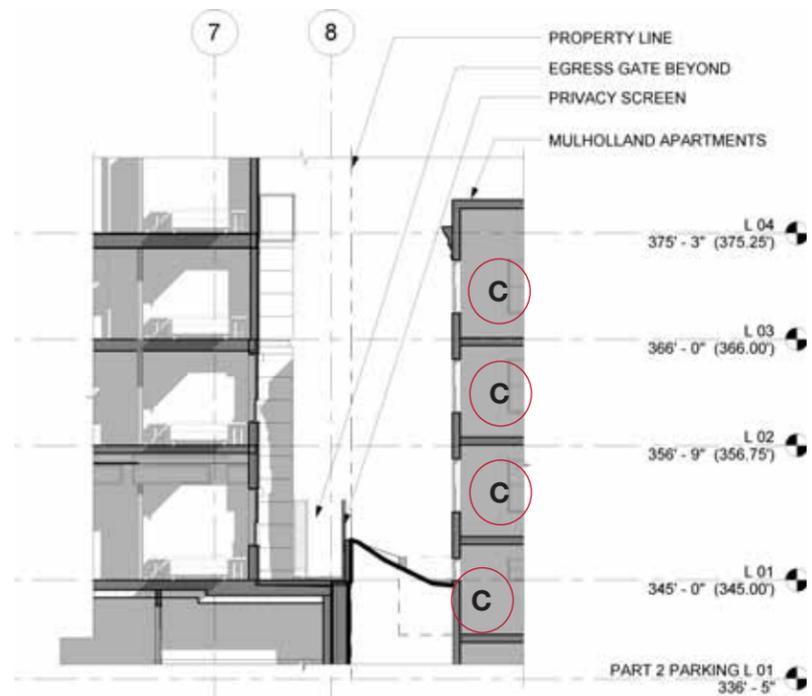
Adjacent Windows and Privacy - NORTH SIDE YARD



Existing South Side Yard of Mulholland Apartments at Harvard Avenue East Looking East



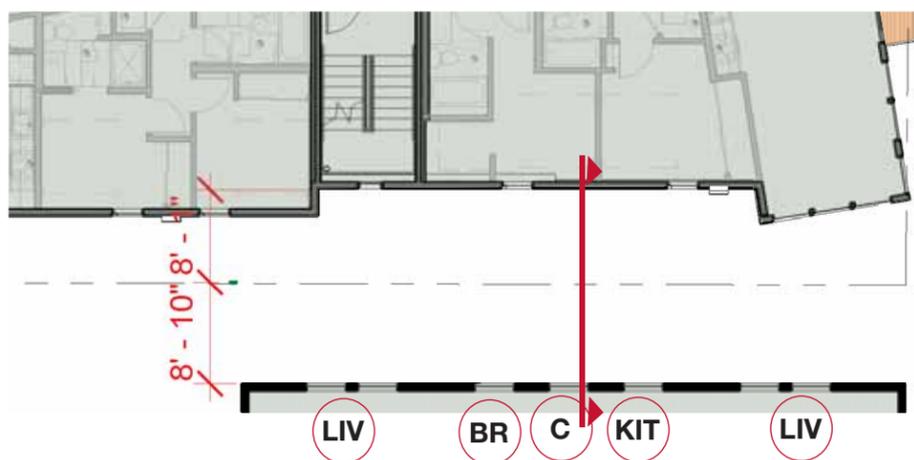
Existing South Side Yard of Mulholland Apartments at Harvard Avenue East Looking West



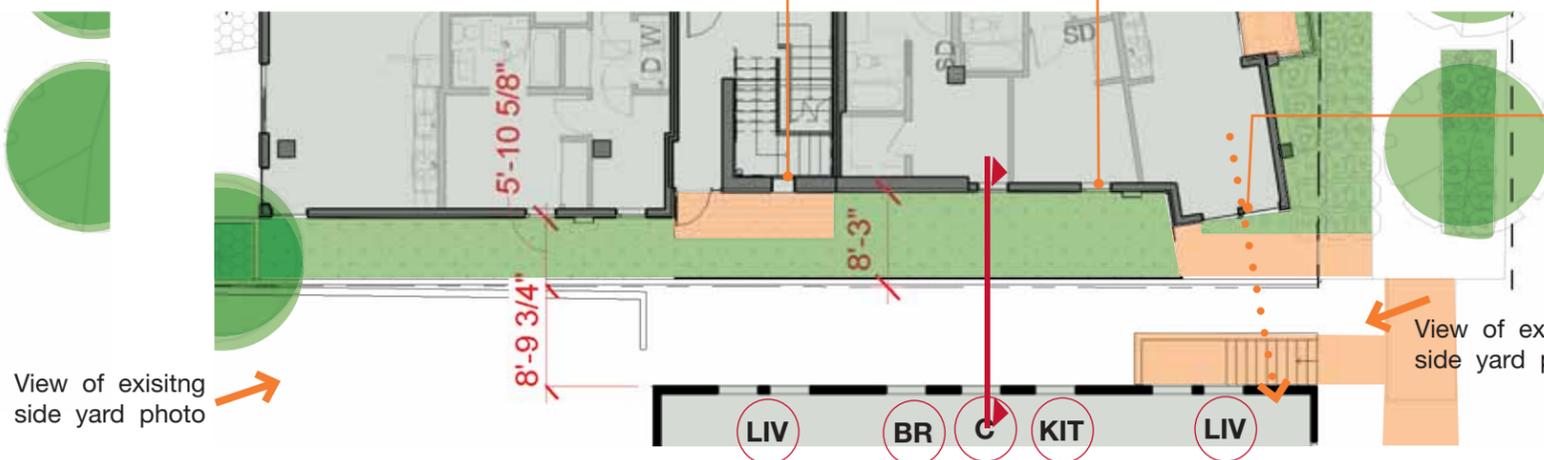
Levels 02 -03 South Side Yard Mulholland Apartments



South Elevation w/ Mulholland in Foreground



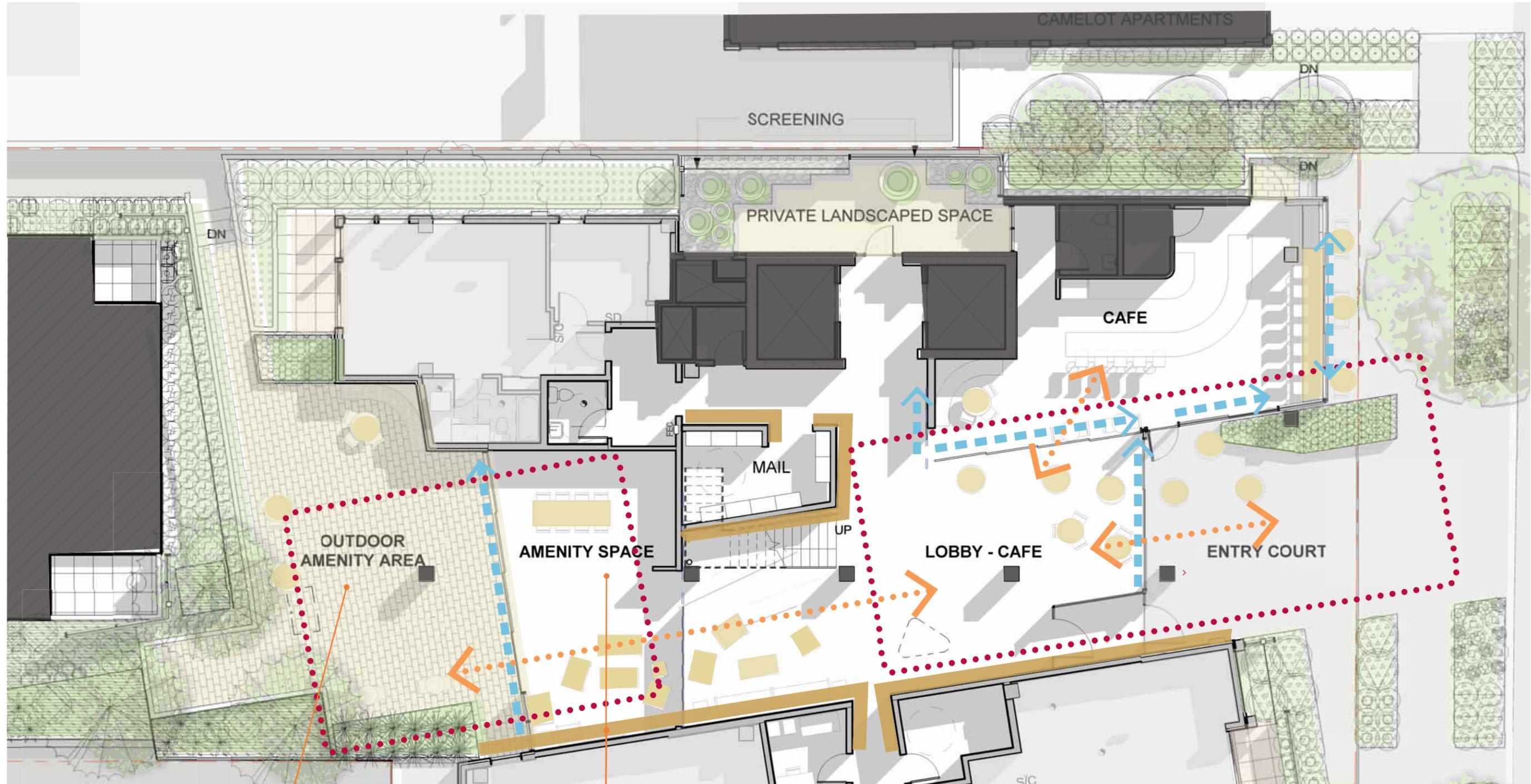
Levels 02 -03 South Side Yard Mulholland Apartments



Ground Level - South Side Yard Mulholland Apartments

- A-5** Respect for Adjacent Sites
egress stair enclosure (minimal foot traffic) opposite windows
- A-5** Respect for Adjacent Sites
minimal opposing windows between buildings (proposed bedroom opposite circulation space)
- A-5** Respect for Adjacent Sites
corner windows angled toward street, away from Mulholland corner

Adjacent Windows and Privacy - SOUTH SIDE YARD



Residential Open Space **A-7**

Architectural Context and Consistency **C-2**

Pedestrian Open Spaces and Entrances **D-1**

Encourage Human Activity **A-4**

special material treatment on the south wall and the exposed concrete columns reinforce the inside-outside pedestrian connection of the space

entries to the cafe and building are shared by the outdoor court; this court expands to connect the lobby and cafe.

open public space activated by cafe residential lobby interconnected to the open court and cafe with operable doors

EDG Board Direction #5 D-1, A-7

COURTYARD ENTRY AND THROUGH BLOCK LINK

Partial Floor Plan



Cafe and Lobby Material Concept and Imagery



Example of a neighborhood cafe (711 Bellevue Ave.)



Example of proposed operable doors interconnecting interior and exterior spaces

A-7 Residential Open Space

outdoor terrace space interconnected with the residential lobby, open court and cafe by operable doors across length of wall

A-4 Encourage Human Activity

lobby doubles as an extension of the entry court and cafe

D-1 Pedestrian Open Spaces and Entrances

entries to the cafe and building are shared by the outdoor entry court; this court is expanded interconnecting the lobby and court via operable door

A-4 Encourage Human Activity

open public space activated by cafe. Residential lobby interconnected to the open court and cafe with operable doors



Enlarged Section Axon through Entry Court, Lobby & Residential terrace

EDG Board Direction #5 D-1, A-7
COURTYARD ENTRY AND THROUGH BLOCK LINK



HARVARD AVENUE EAST LOOKING WEST

**EDG Board Direction #6 A-2
NORTHEAST CORNER AND CAFE DETAILS**



HARVARD AVENUE EAST LOOKING WEST - VIEW OF ENTRY COURT, CAFE ENTRY AND CAFE - LOBBY

EDG Board Direction #5 D-1, A-7
COURTYARD ENTRY AND THROUGH BLOCK LINK



RESIDENTIAL TERRACE - FROM CORNER OF GLEN ARMS

EDG Board Direction #5 D-1, A-7
COURTYARD ENTRY AND THROUGH BLOCK LINK



RESIDENTIAL TERRACE - FROM NE CORNER OF GLEN ARMS



EDG Board Direction #5 D-1, A-7
COURTYARD ENTRY AND THROUGH BLOCK LINK



HARVARD AVENUE EAST LOOKING SOUTHWEST

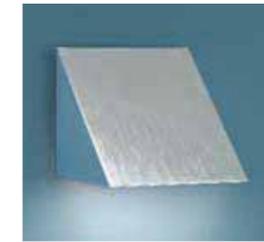
EDG Board Direction #6 A-2
NORTHEAST CORNER AND CAFE DETAILS



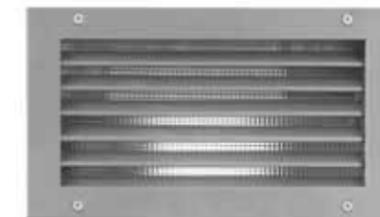
E1 recessed exterior downlight



E2 surface mounted exterior wall sconce



E3 recessed step light



E4 directional landscape accent lighting

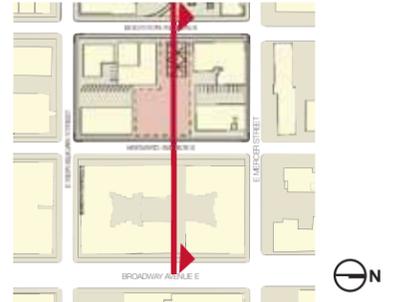


D-9 Signage Concept

Simple door numbers and blade sign for the cafe are organized around the entry court to strengthen the interconnectedness of the spaces.

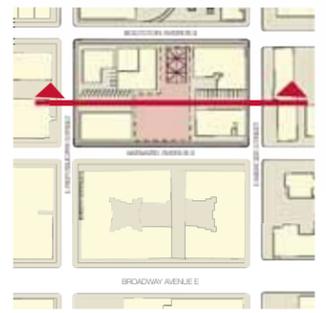


EXTERIOR LIGHTING PLAN AND SIGNAGE CONCEPT



**EDG Board Direction #3 A-5
EAST / WEST SITE SECTION**





EDG Board Direction #3 A-5 - Site sections
NORTH / SOUTH SECTION

	CODE CITATION	DEVELOPMENT STANDARD	REQUIREMENT	REQUEST	JUSTIFICATION	RELEVANT DESIGN GUIDELINES
DRB PROPOSAL	SMC 23.45.528	Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size	The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2.	Waive structure depth requirement from 75% to approximately 88% of lot depth	<p>A departure request for an increase in the allowable structure depth will afford the project greater flexibility to respond to the intent of the design guidelines and greater incentive to promote the City's workforce housing incentives.</p> <p>(See page 60 -61 "Departure #2 - Structure Depth")</p> <p>Note: this departure request does not impact proximity to adjacent neighbors and is not requesting a structure to be deeper than allowed. The intention of the departure is to promote the intent of SMC 23.45.528.B.2 by providing meaningful public open space and facade modulation that allows a structure to be deeper than a simple application of the code (23.45.528.B.1)</p>	<p>The requested departure better meets and exceeds the design guidelines listed below</p> <p>A-4 Encourage Human Activity A-5 Respect for adjacent Sites A-6 Transition Between Residence and Street A-7 Residential Open Space C-3 Human Scale D-1 Pedestrian Open Spaces and Entrances</p>
	SMC 23.45.518	Setbacks and Separations	Table "B"- Front and side setback from street lot lines: 7 foot average setback; 5 foot minimum setback	Waive front setback requirement.	<p>A departure request to the min front setback requirement of 5'-0" and allow for averaging the facade area to comply with the 7'-0" setback. This will afford the project greater flexibility to form an open space along Harvard Avenue E. Project intent is to create a more linear open space that expands into a Also note the portion of the code which allows an no front setback requirement when an entry courtyard is provided, but that does not meet the prescribed dimensions for the entry courtyard in SMC 23.45.518.</p> <p>(See page 52 "Departure #1 - Min Front setback)</p>	<p>A-6 Transition Between Residence and Street A-7 Residential Open Space</p> <ul style="list-style-type: none"> • Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries.

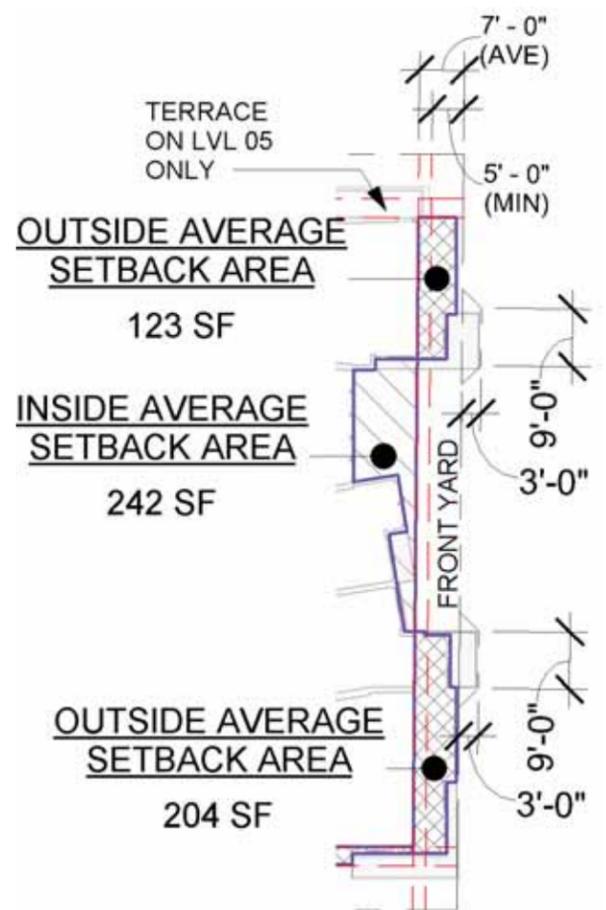
Departure Requests

SF BUILDING AREAS WITHIN AVERAGE SETBACKS		FRONT YARD AMOUNT OF AREA WITHIN AVE SETBACK
ROOF		N/A
LEVEL 07		-77
LEVEL 06		-77
LEVEL 05		-77
LEVEL 04		65
LEVEL 03		-90
LEVEL 02		174
LEVEL 01		329
TOTAL SF AREA OF FAÇADE WITHIN AVERAGE SETBACK		247

If the structure depth departure was granted, how would this proposal "meet or exceed the city's design guidelines?"

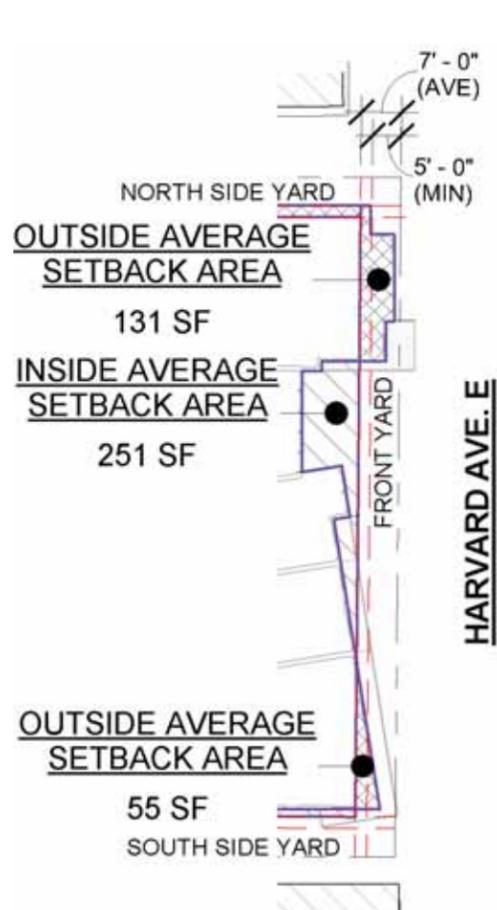
DEPARTURE JUSTIFICATION

The proposal requests maintaining the ave setback of 7'-0". The proposal only asks to reduce the min dimension for averaging from 5'-0" to 0'-0". The diagrams below indicate the portions of facade set back less than 5'-0" from the property line. In the spirit of SMC 23.45.518, which allows for no front yard setback, the proposal has generous public open space (see p. at the ground level (see p.17) and significant setbacks on the floors above to still maintain an average front setback of sf area (247 sf) which is greater than 7'-0" from the property line. (see total floor area beyond 7ft on the chart to the left of this page.)



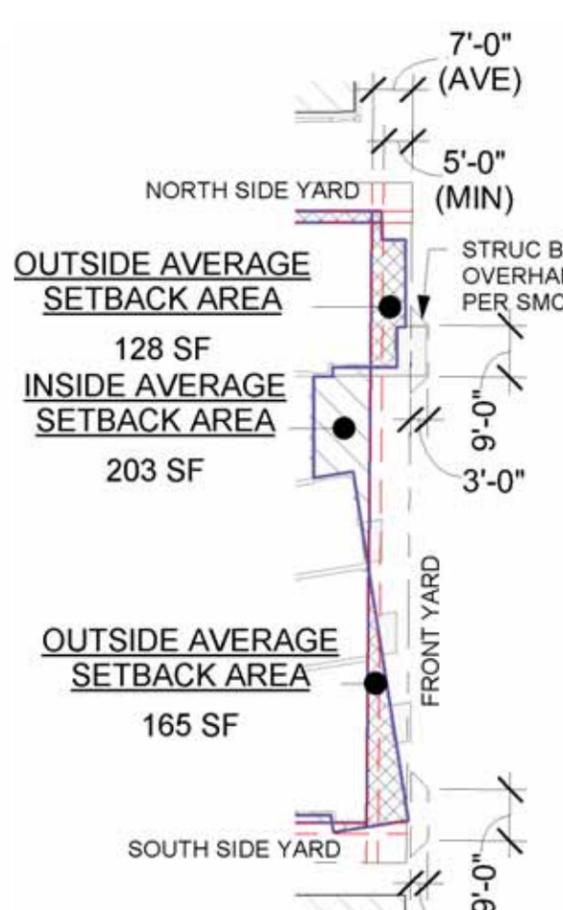
FRONT YARD:
 AREA INSIDE AVE SETBACK = 242 SF
 AREA OUTSIDE AVE SETBACK = 319
 -77 SF INSIDE AVE SETBACK

LEVELS 05-07



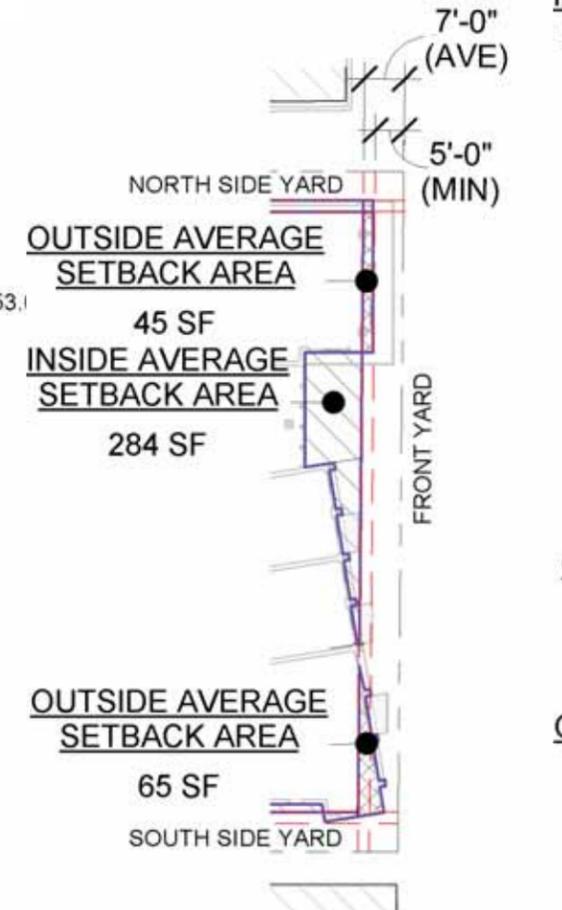
FRONT YARD:
 AREA INSIDE AVE SETBACK = 251
 AREA OUTSIDE AVE SETBACK = 18
 + 65 SF INSIDE AVE SETBACK

LEVEL 04



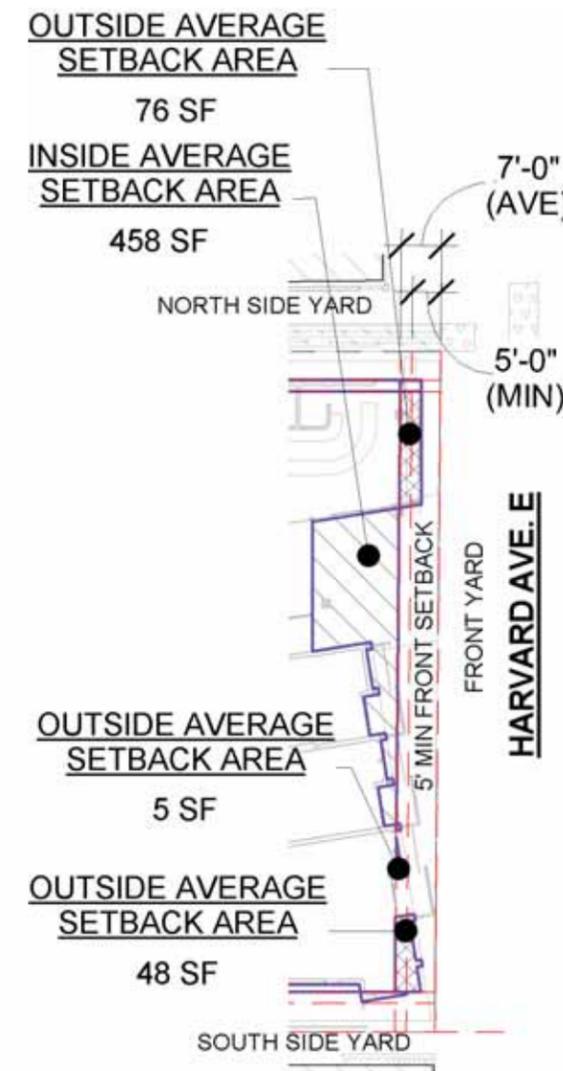
FRONT YARD:
 AREA INSIDE AVE SETBACK = 203 SF
 AREA OUTSIDE AVE SETBACK = 293 SF
 - 90 SF INSIDE AVE SETBACK

LEVEL 03



FRONT YARD:
 AREA INSIDE AVE SETBACK = 284 SF
 AREA OUTSIDE AVE SETBACK = 62 SF
 + 174 SF INSIDE AVE SETBACK

LEVEL 02



FRONT YARD:
 AREA INSIDE AVE SETBACK = 458 SF
 AREA OUTSIDE AVE SETBACK = 129 SF
 + 329 SF INSIDE AVE SETBACK

LEVEL 01

Departure #1 - Min 5'-0" Front Yard Setback

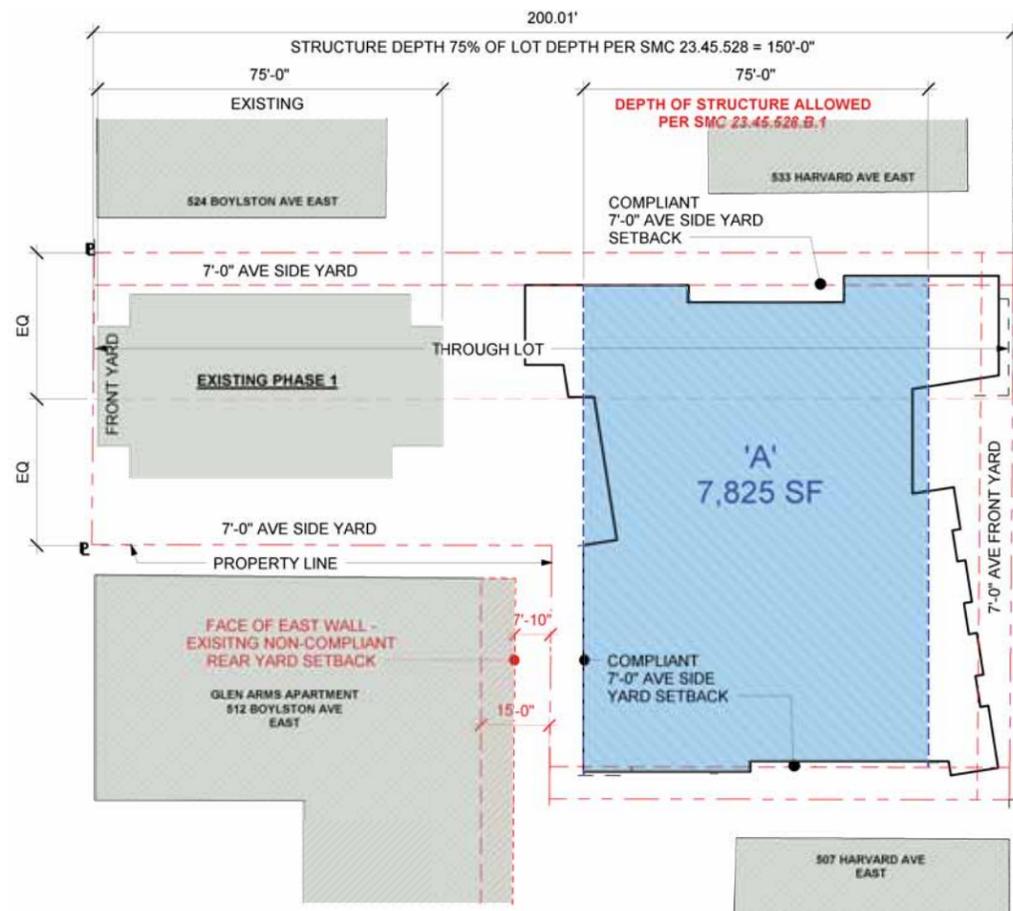


DIAGRAM 1 - COMPLIANT STRUCTURE DEPTH
Does not regulate proximity to adjacent neighbors

Departure request does not propose to be closer to neighbors than allowed
 Proposal does not request any side yard departures.

**23.45.528 STRUCTURE WIDTH AND DEPTH LIMITS FOR LOTS IN MIDRISE ZONES
 GREATER THAN 9,000 SQUARE FEET IN SIZE**

The width and depth limits of this Section 23.45.528 apply to lots in MR zones that are greater than 9,000 square feet in lot area.

A. The width of principal structures shall not exceed 150 feet.

B. Structure depth.

1. The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2.

2. Exceptions to structure depth limit. To allow for front setback averaging and courtyards as provided in Section 23.45.518, structure depth may exceed the limit set in subsection 23.45.528.B.1 if the total lot coverage resulting from the increased structure depth does not exceed the lot coverage that would have otherwise been allowed without use of the courtyard or front setback averaging provisions.

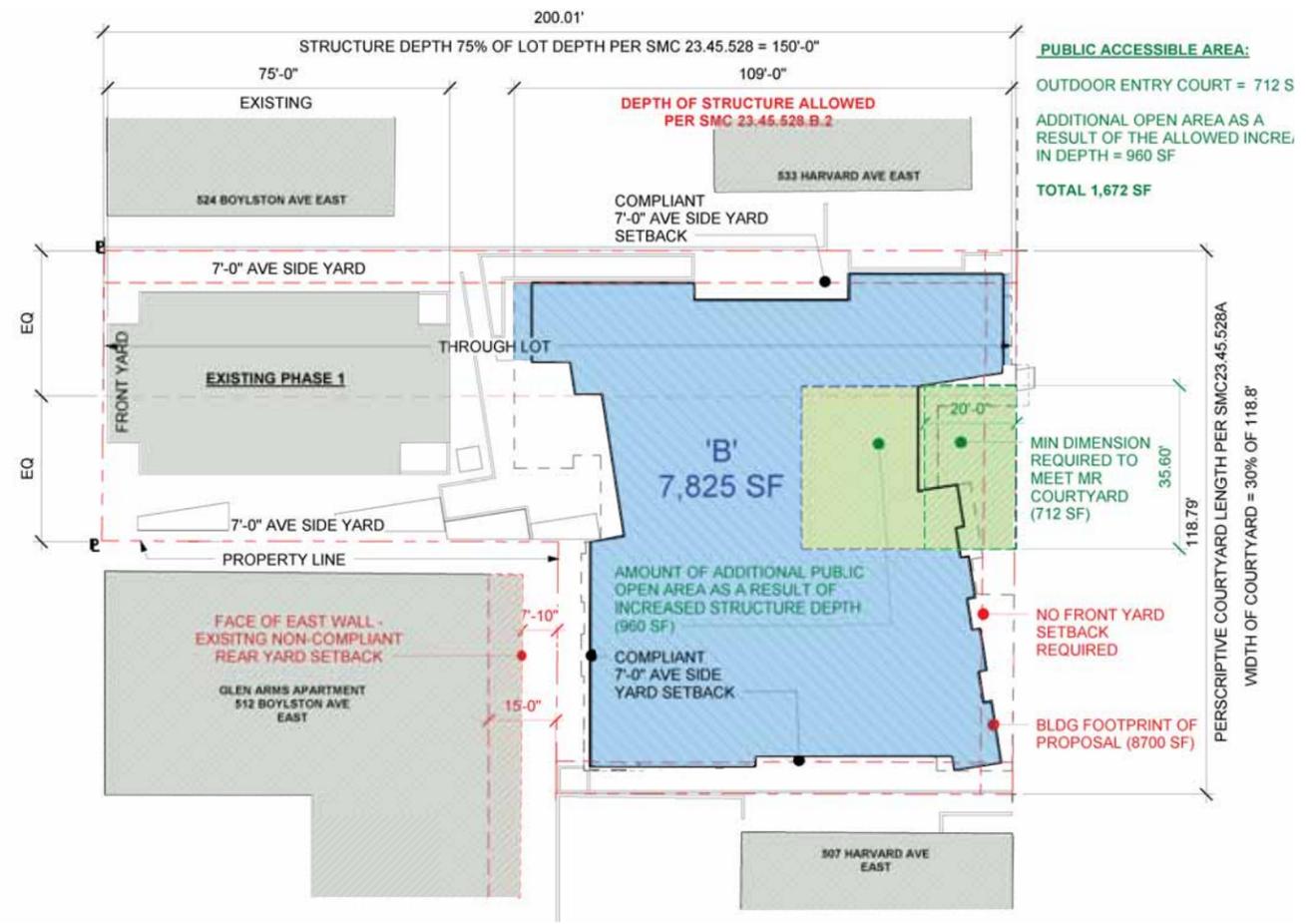


DIAGRAM 2 - COMPLIANT STRUCTURE DEPTH
Does not limit depth of structure

SMC.23.45.528.b.2 allows a structure to exceed the allowed depth if the courtyard provision is met and the building footprint does not increase more than determined if there was not courtyard or front yard averaging.

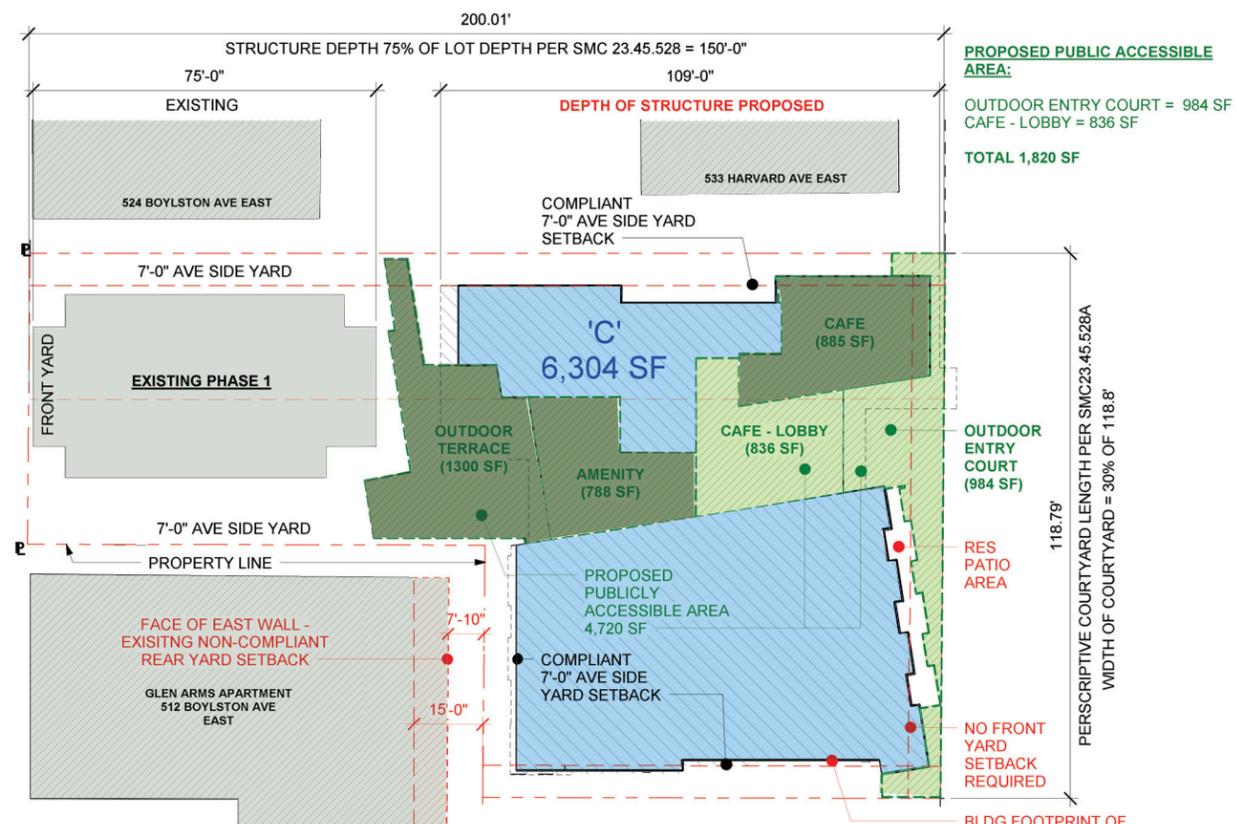
THEREFORE, IF AREA 'A' (diagram 1) = AREA 'B' W/ COURTYARD (diagram 2); then STRUCTURE DEPTH IS COMPLIANT - NO DEPARTURE REQUIRED

CONCLUSION:

Diagram 1 demonstrates this code does not regulate a structure from being too close to its neighbors.

Diagram 2 demonstrates SMC.23.45.528 allows a deeper structure than 75% of the lot depth, provided a generous modulation and public open space to the front yard. The departure request follows this intent to allow for a deeper structure than 75% of the lot depth by compensating via meaningful public space and modulation to the front facade. (See Diagram 3 on p. 57)

Departure #2 - Structure Depth SMC.23.45.518



- A-7** the outdoor entry court, activated by the lobby and cafe amplifies the residential open space and the pedestrian environment
- A-6** operable doors and windows between the sidewalk and cafe and between the cafe and lobby strengthens integration between the residence and public
- D-1**
- A-4** encourage human activity



- A-6** expression of the concrete frame; translucent balconies and facade modulation provide human scale to the pedestrian experience
- C-3** increased setback along Harvard Avenue East with landscaping and partially screened patio areas softens the transition between residences and the street,



- A-7** the outdoor court, activated by the lobby and residential amenity space adds to the residential open space and the pedestrian environment
- D-1**
- A-6** operable sliding doors to the outdoor court, activated by the lobby and residential amenity space continues the pedestrian experience through the site
- A-4** encourage human activity

Does the departure request: "better meet or exceed the intent of design guidelines than a design that simply meets Land Use Code." - p. iv Design Review: Guidelines for Multifamily and Commercial Buildings.

DIAGRAM 3- STRUCTURE DEPTH DEPARTURE REQUEST
Justification to "better meet or exceed the intent of design guidelines."

1. The departure request promotes generous, public open space intended for gathering along the street that encourages human activity.
2. The size of the proposed outdoor entry court exceeds the area required by SMC 23.45.528.b.2 This area extends into and through the enlarged residential lobby. The lobby is intended to be shared between the court and cafe. This area exceeds the resultant area in diagram 2. whose structure depth complies with the code without the need for a departure.
3. The proposed departure request does not increase or affect proximity to neighbors.
4. The proposed departure request better aligns with the City's values to increase density in the MR zone through the Workforce Housing Incentive. A strict interpretation of SMC 23.45.528 contradicts increasing density and discourages modulation.
5. Specific design guidelines the departure request promotes:

- A-4** ENCOURAGE HUMAN ACTIVITY
- C-3** HUMAN SCALE
- A-6** TRANSITION BETWEEN RESIDENCE AND STREET
- D-1** PEDESTRIAN OPEN SPACES AND ENTRANCES
- A-7** RESIDENTIAL OPEN SPACE

Departure #2 - Structure Depth SMC.23.45.518