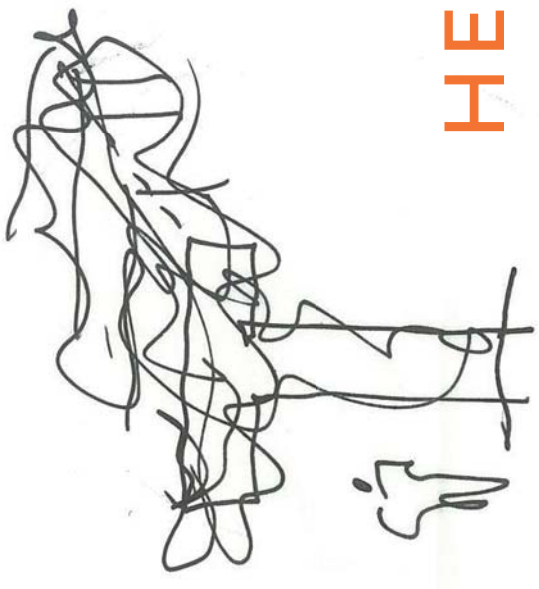


515 Harvard Ave East
Seattle, WA 98102

Early Design Guidance (DPD#3013291)
prepared for Broadway Estates LLC
May 15, 2013



HEWITT

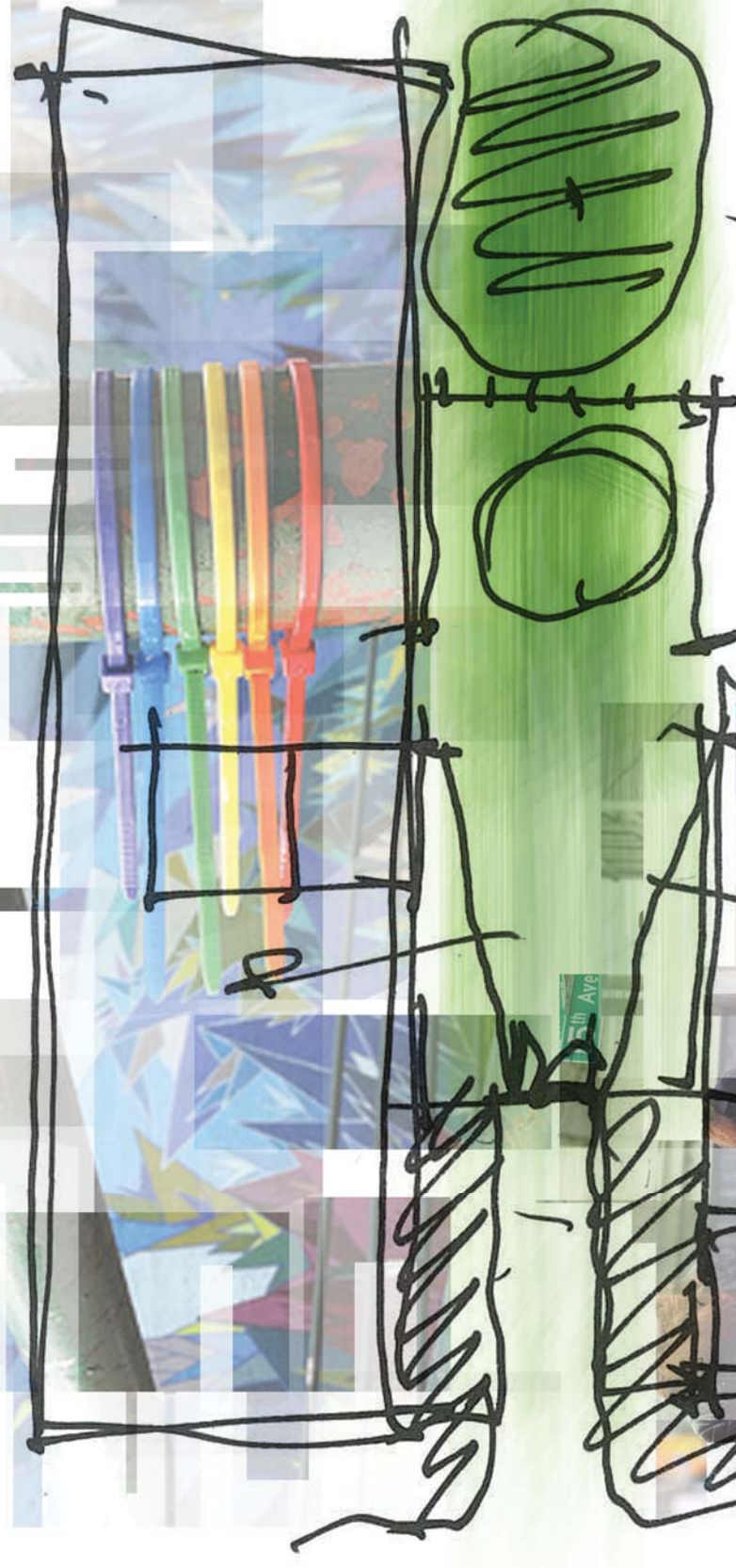
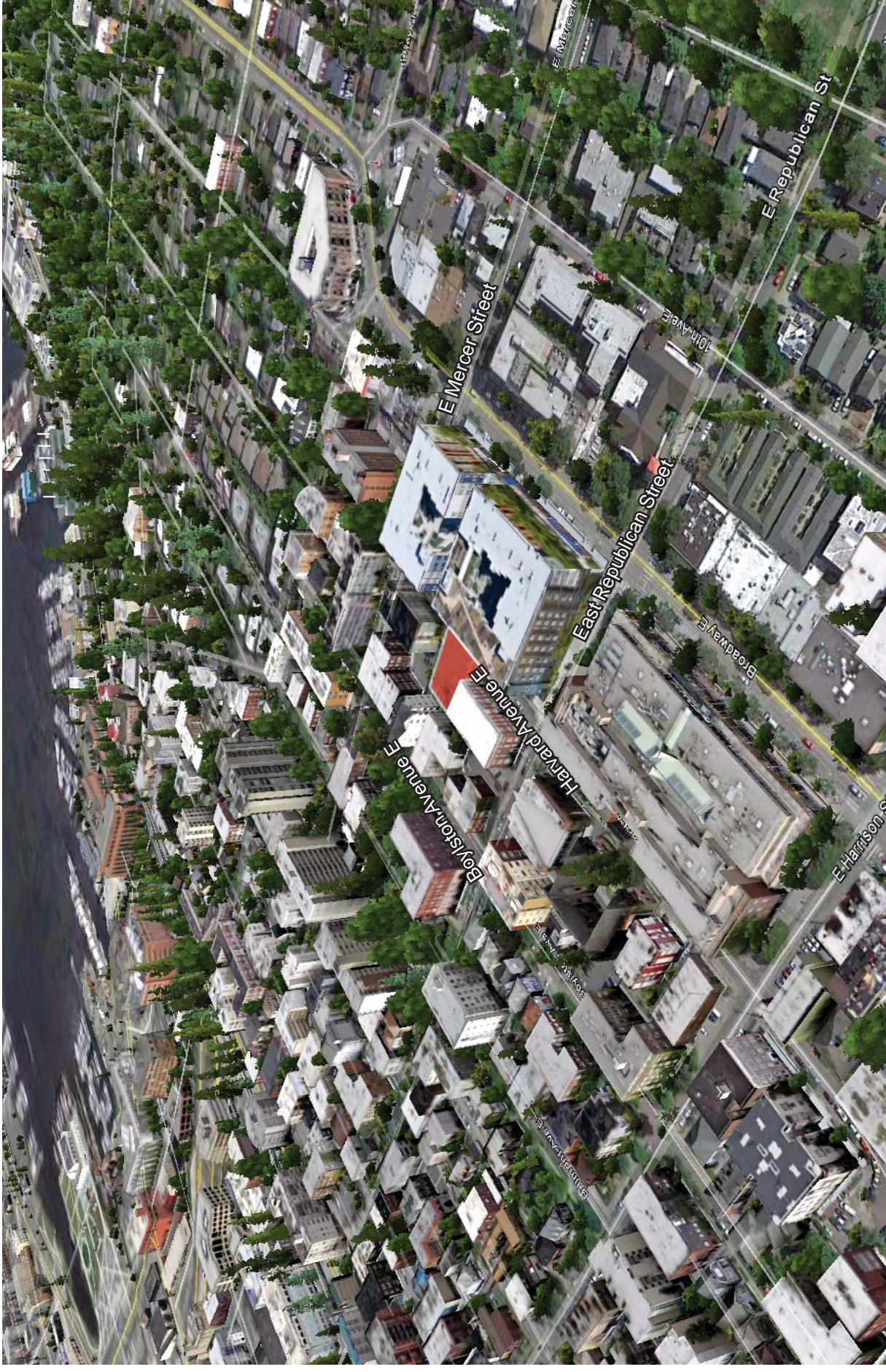


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DEVELOPMENT OBJECTIVES

The project site is located in the Capitol Hill neighborhood within the Capitol Hill Urban Center Village and adjacent to the Capitol Hill Light Rail Overlay District on Broadway East (a principal pedestrian street) and is zoned MR.

The site is an 18,213 square-foot through lot between Boylston Avenue East and Harvard Avenue East. The site contains an existing 5-Story wood framed apartment building with 20 units fronting on Boylston Avenue E, over (2) below grade levels of parking w/ 25 stalls total. The project was completed in 1997 and is referred to in this document as "Phase I."

- **515 Harvard Avenue East** – This parcel contains an approximately 63,500 square-foot of developable floor area.

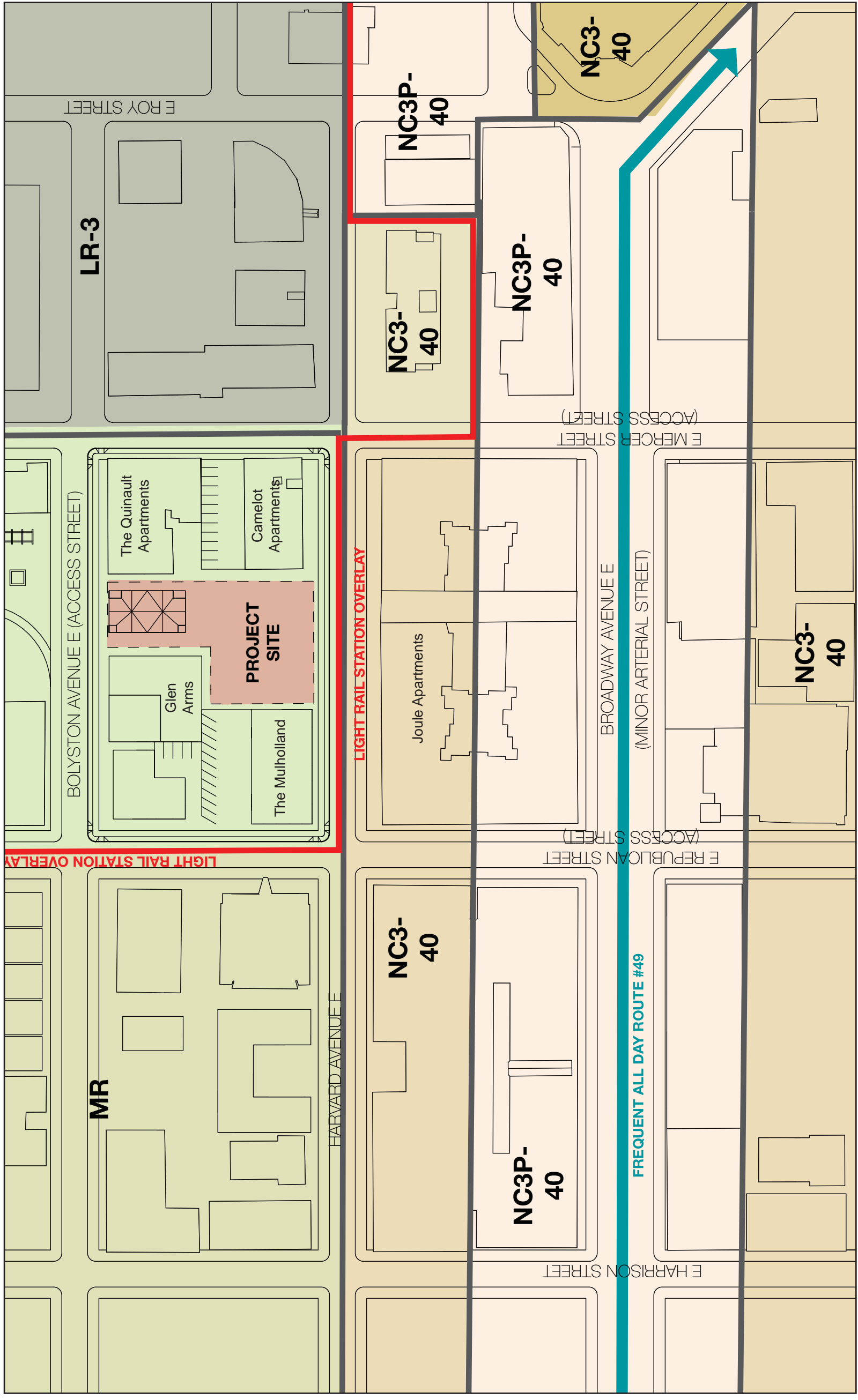
BUILDING DESCRIPTION

The applicant proposes a new multi-family residential project with approximately 65 market-rate units over 2 levels of below grade parking w/ 48 additional stalls to match and connect to the existing below grade parking of the phase 1 structure with 25 parking stalls. "Concept 'C' Refined" also proposes 700 sf of ground level commercial space (Cafe.) The applicant's intent is to create a landmark at the center of the block which becomes a sculptural counterpoint to it's more orthogonal neighbors. Use of vegetated screens a portico and a visual connection to Tashkent Park at the Harvard facing entrance of the building are intended to soften and filter the pedestrian experience; allowing the building to engage with the street level with vibrance and activity.

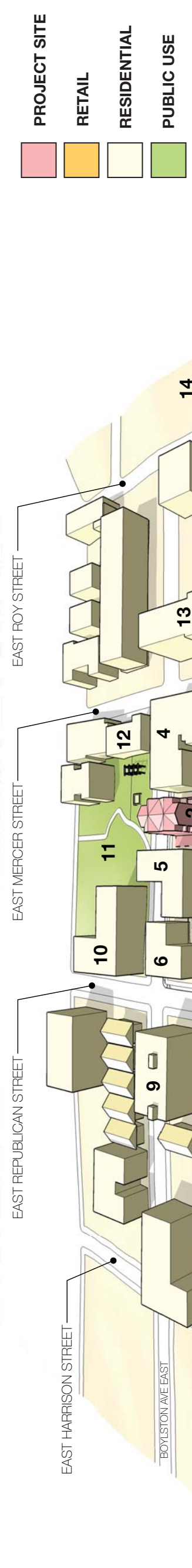
VICINITY

Across Harvard to the east is the large scale Joule multi-use development which fronts onto Broadway East with significant retail and dining. The site is bordered to the north by the Camelot Apartments Apartment building and to the south by the brick Mulholland Apartments. The site is bordered to the west by the Glen Arms apartments and the existing phase 1 structure which will be connected to the new development via an open courtyard and pedestrian path that terminates to the adjacent Tashkent Park. With a Walk-Score rating of 98, this site is within three blocks of most essential services and amenities.

Development Objectives



Zoning Map



EXISTING USES

- 1. Project Site
- 2. Existing Phase 1
- 3. Camelot
- 4. The Quinalt
- 5. Glen Arms
- 6. Aya Terrace
- 7. The Mulholland
- 8. Capitol Hill Library
- 9. Vertigo
- 10. Viceroy
- 11. Tashkent Park
- 12. 615 E. Mercer Apartments
- 13. 700 E. Mercer Apartments
- 14. Cornish College
- 15. Harvard Court
- 16. Harvard Exit Theater
- 17. Rainier Chapter House
- 18. Loveless Building (Mixed-use, Residential)
- 19. Roy Street Cafe, Fedex, Residential
- 20. Byzantion, Rom Mai, Aoki, ChoiceTobbaco, Social Skin, Dreamscape Massage, Metrix Create: Space, Deluxe
- 21. Joule Apartments (Mixed Use)
- 22. Broadway Market (Qfc, Mixed Retail/Commercial)
- 23. All Pilgrims Church

Existing Uses/Site Context

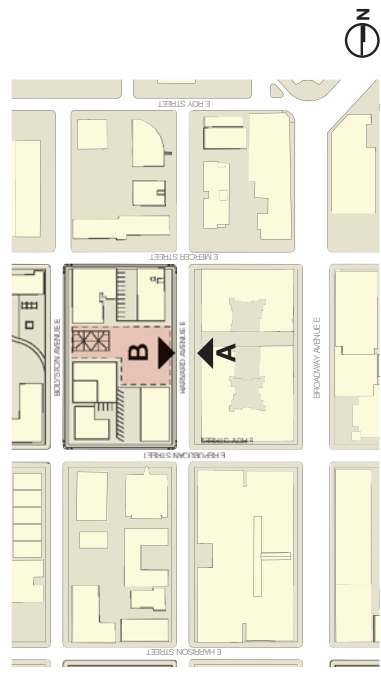




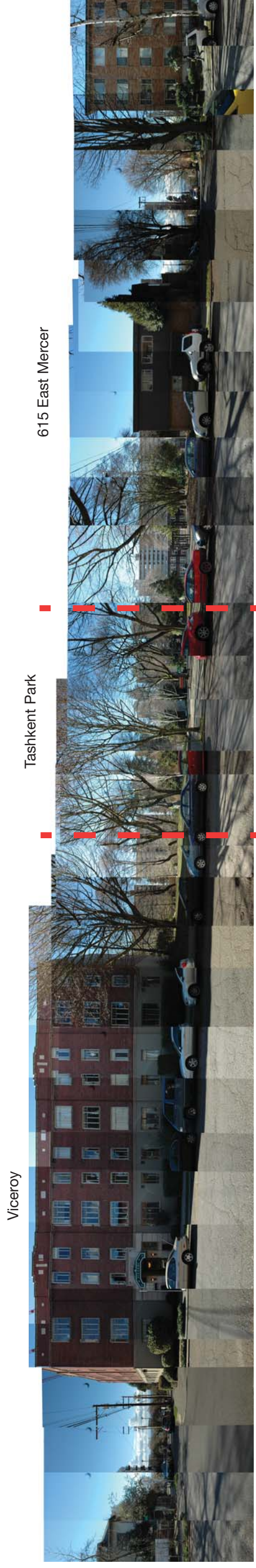
A. Harvard Avenue East - Looking West



B. Harvard Avenue East - Looking East



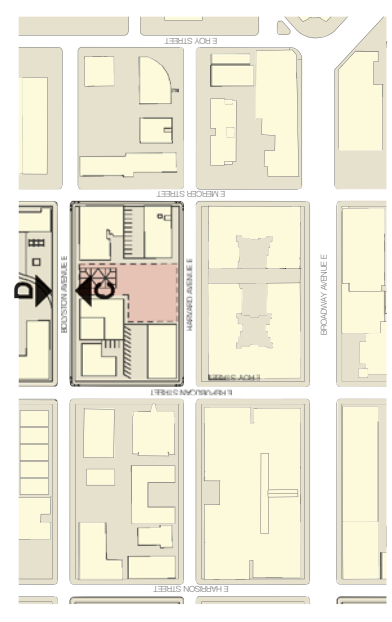
Harvard Avenue East Streetscape



East Republican Street
C. Boylston Avenue East – Looking West



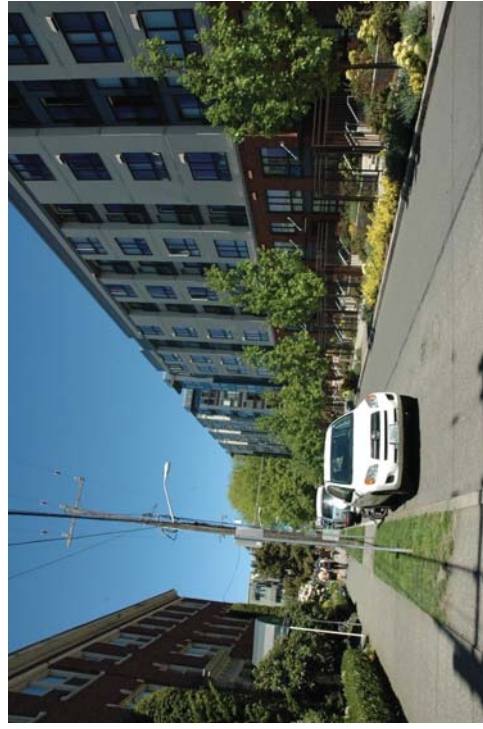
East Mercer Street
D. Boylston Avenue East – Looking East



Boylston Avenue East Streetscape



1. View Looking East on Boylston (Phase I)



2. View Looking North on Harvard (Joule & Mulholland)



3. View Looking West on Boylston (Tashkent Park)



4. View Looking Northeast On Harvard (Olivar, Joe Bar, Kobo)



5. View Looking North On Harvard (Rainier Chapter House)



6. View Looking South (Harvard Exit Theater)



7. View Looking East from Harvard (The Joule)



Context Photographs



9. View Looking West On Harvard (Camelot)



10. View Looking South On E. Republican (Capitol Hill Library)



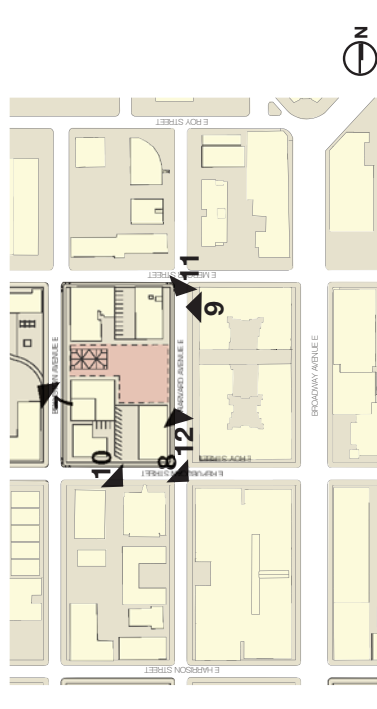
8. View Looking South On Harvard (Broadway Market Qfc)



11. View Looking Southwest towards The Project Site From Harvard



12. View Looking Northwest At The Project Site From E. Republican St.





1. View Looking East From Site



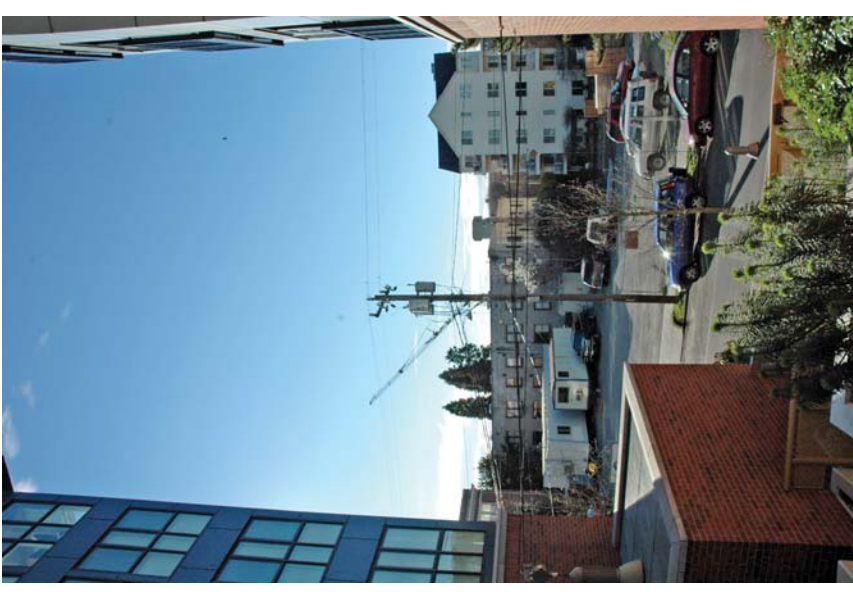
2. View Looking South From Site



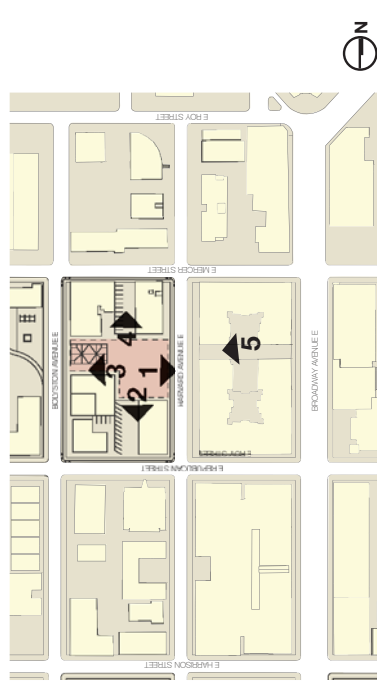
3. View Looking West From Site



4. View Looking North From Site



5. View Looking West Into Site From Joule



Site Photographs

| A-3 ENTRANCES VISIBLE FROM THE STREET | A-6 TRANSITION BETWEEN RESIDENCE AND STREET | A-7 RESIDENTIAL OPEN SPACE | C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY | C-3 HUMAN SCALE | D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES |
|---|---|--|---|--|---|
| Entries should be clearly identifiable and visible from the street. | For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors. | Residential projects should be sited to maximize opportunities for creating usable, attractive, well integrated open space. | Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls. | The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale. | Convenient and attractive access to the building entry should be provided. Opportunities for creating lively, pedestrian-oriented open spaces should be considered. |
| no supplement | Incorporate building entry treatments that welcome and protect people from the elements and emphasizes the building's architecture. | Incorporate quasi-public open space with new residential development. Create substantial courtyard-style open space that is visually accessible to the public view | Use materials and design that is compatible with structures in the vicinity if those represent the desired neighborhood character. | Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building's architecture. | Provide entryways that link the building to the surrounding landscape. Create open spaces at street level that link to the open space of the sidewalk. |

City Design Guidelines

Capitol Hill Supplemental Guidelines



| REF. | REQUIREMENT | COMPLIES? | NOTES |
|------------------|---|-------------------|--|
| 23.45 | MULTI-FAMILY | | |
| 23.45.510 | Floor Area Ratio Base FAR = 3.2 Maximum FAR per 23.58A and 23.45.516 = 4.25 | yes | Project seeking maximum FAR through compliance with Housing Bonus. Also seeking to use combined FAR of the site including Phase 1. |
| 23.45.514 | Structure Height Structure Height: Base Height Limit = 60' Max. height limit if extra residential floor area is gained per 23.58A and 23.45.516 = 75' | yes | Project seeking extra residential floor area is gained per 23.58A and 23.45.516 |
| | Green Roofs. For any structure with a green roof that meets standards promulgated by the Director and that covers at least 50% of the surface for the roof, up to 2 feet of additional height above the maximum height otherwise allowed for the roof is allowed to accommodate structural requirements, roofing membranes, and soil. | yes | |
| 23.45.518 | Setbacks and Separations | | |
| | Front setback: 7 foot average setback, 5 foot minimum | | Project seeking a departure for the front yard setback. |
| | Rear setback: 15 feet from a rear lot line that does no abut an alley. | yes | |
| | Side setback from interior lot line: 42 feet or less in height: 7 foot average setback; 5' minimum setback Above 42 feet in height, 10 foot average setback, 7 foot minimum | yes | |
| 23.45.522 | Amenity Area Required amenity area equal to 5% of total gross floor area in residential use. All units to have access to a common or private amenity area No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. | yes yes yes | |

| 23.45.524 | Landscape Standards | | |
|------------------|--|-----|---|
| | Landscaping that achieves a Green Factor score of 0.5 or greater, determined as set forth in Section 23.86.019, | yes | |
| 23.45.526 | LEED, Built Green, and Evergreen Sustainable Development Standards Applicants for all new development gaining extra residential floor area, pursuant to this Chapter 23.45, or seeking to qualify for the higher FAR limit in Table A for 23.45.510, except additions and alterations, shall make a commitment that the structure will meet green building performance standards by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties | yes | Project will be seeking either a Built Green 4-Star rating or LEED Gold rating |
| 23.45.528 | Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size The width of principal structures shall not exceed 150 feet. The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2. Exceptions to structure depth limit. To allow for front setback averaging and courtyards as provided in Section 23.45.518, structure depth may exceed the limit set in subsection 23.45.528.B.1 if the total lot coverage resulting from the increased structure depth does not exceed the lot coverage that would have otherwise been allowed without use of the courtyard or front setback averaging provisions. | NA | Site is only 80' wide Project will seek departure for structure depth. Project may seek to use the courtyard exception. |
| 23.45.536 | Parking location, access and screening Parking in a structure. Parking may be located in a structure or under a structure, provided that no portion of a garage that is higher than 4 feet above existing or finished grade, whichever is lower, shall be closer to a street lot line than any part of the first floor of the structure in which it is located; Access to parking | Yes | Through phase 1 garage, entered from Boylston Ave |

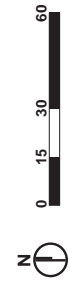
Land Use Compliance Notes

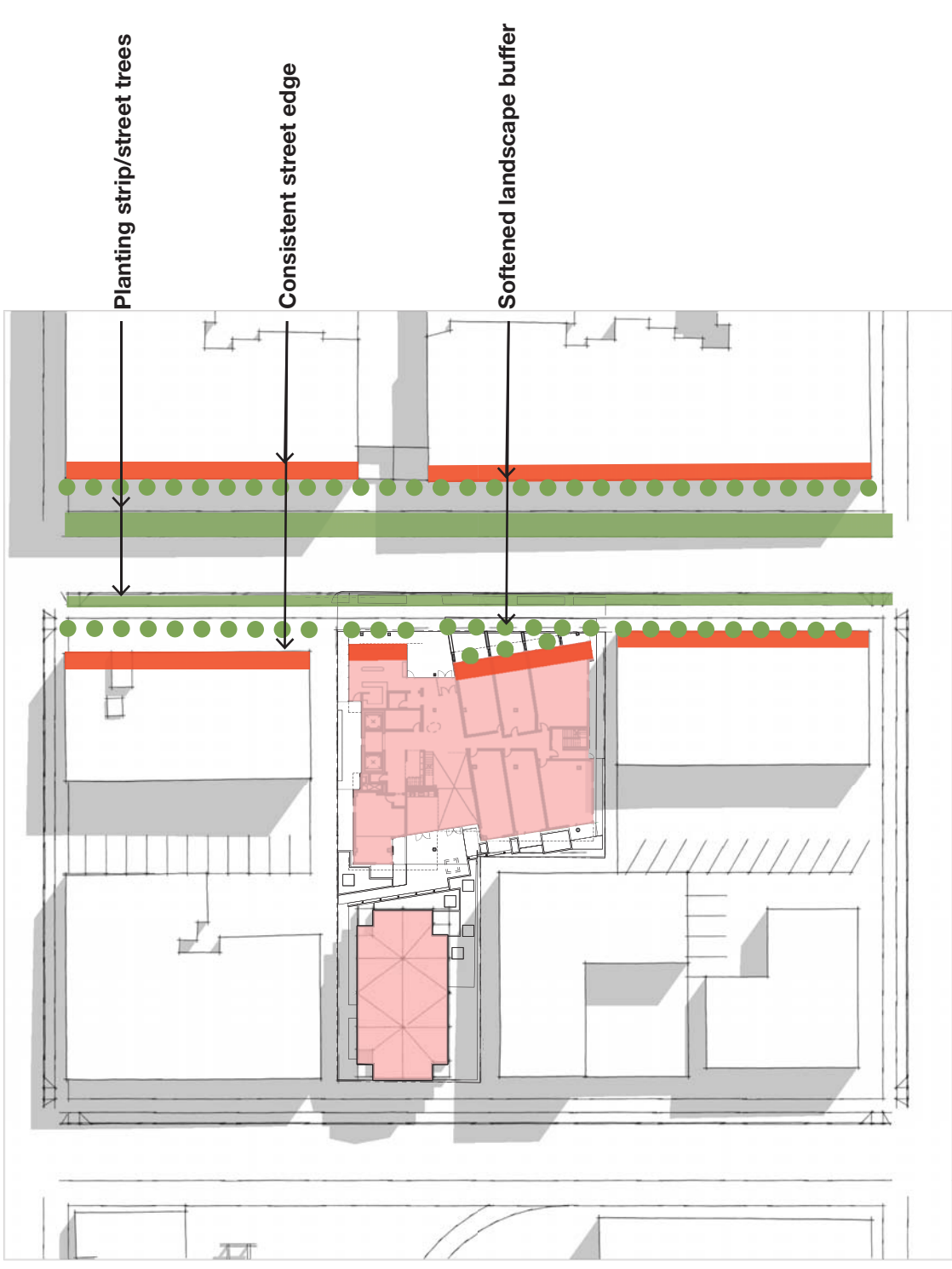
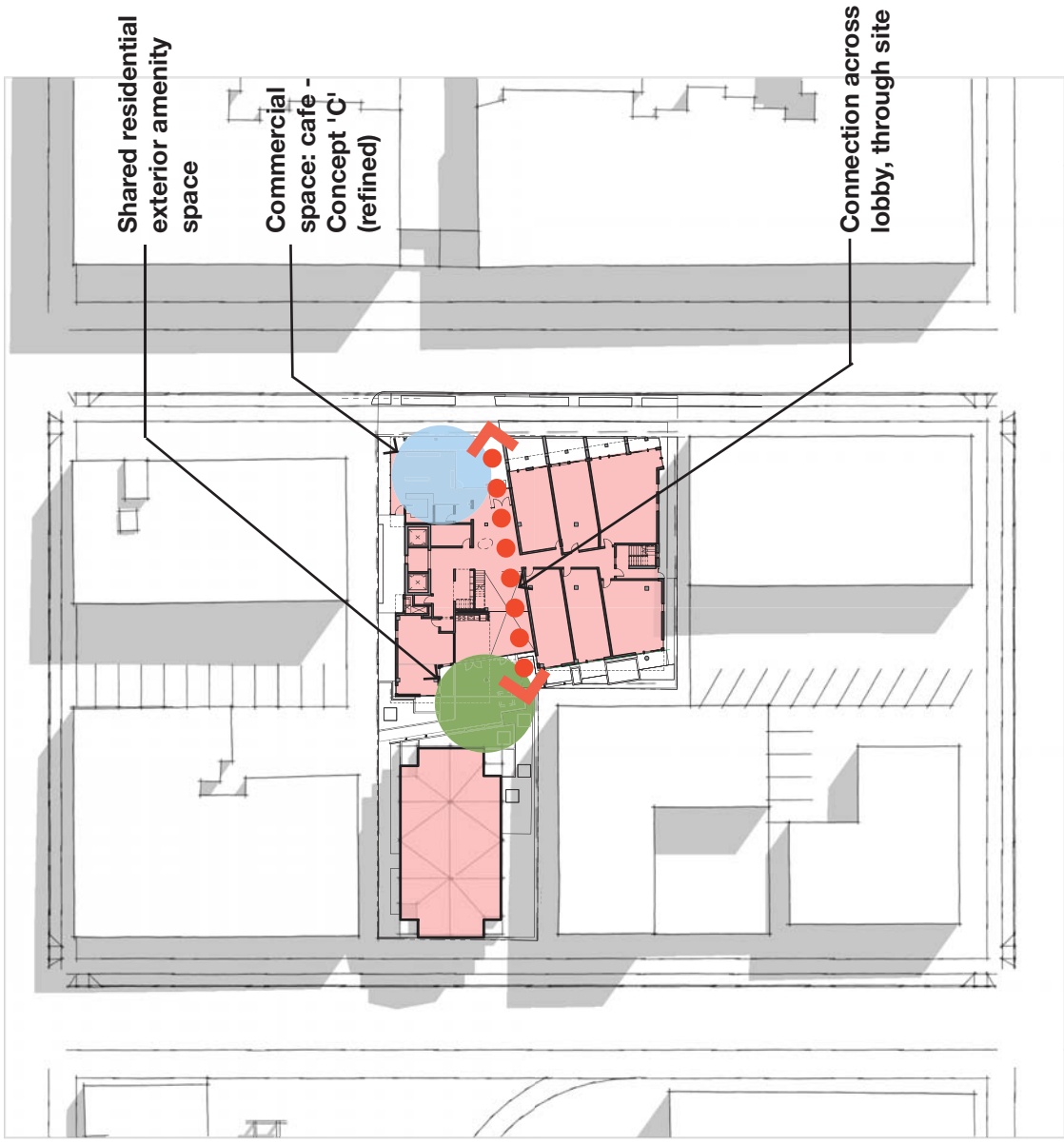
| | | | | |
|------------------|--|-----|--|---|
| 23.45.534 | Light and glare standards | | | |
| | Exterior lighting shall be shielded and directed away from adjacent properties. | yes | | |
| 23.58A | Incentive Provisions | | | |
| | All or a percentage of the extra residential floor area on a lot shall be housing bonus residential floor area pursuant to Section 23.58A.014. Unless otherwise expressly provided in the provisions of the zone: | yes | | Project seeking extra residential floor area gained by Housing Bonus. |
| | If the maximum height limit for residential use is 85 feet or lower, all extra residential floor area shall be housing bonus residential floor area. | yes | | |
| | An applicant using the performance option shall provide low-income housing with a gross floor area at least equal to the greatest of: | | | |
| | (a) 17.5 percent of the net bonus residential floor area obtained through the performance option, except that an applicant may elect to provide low-income housing equal to 10 percent of the net bonus residential floor area obtained through the performance option if the housing is affordable to, and restricted to occupancy by, households with incomes no higher than 50% of median income as defined by Section 23.84A.025; or | yes | | |
| | (b) 300 net residential square feet; or | | | |
| | (c) any minimum floor area specified in the provisions of the zone. | | | |



Shadow Shown: June 25, 10:15 AM

Site Survey





Community



Street Character/Pedestrian Experience



DESIGN CONCEPT AND "CUES"

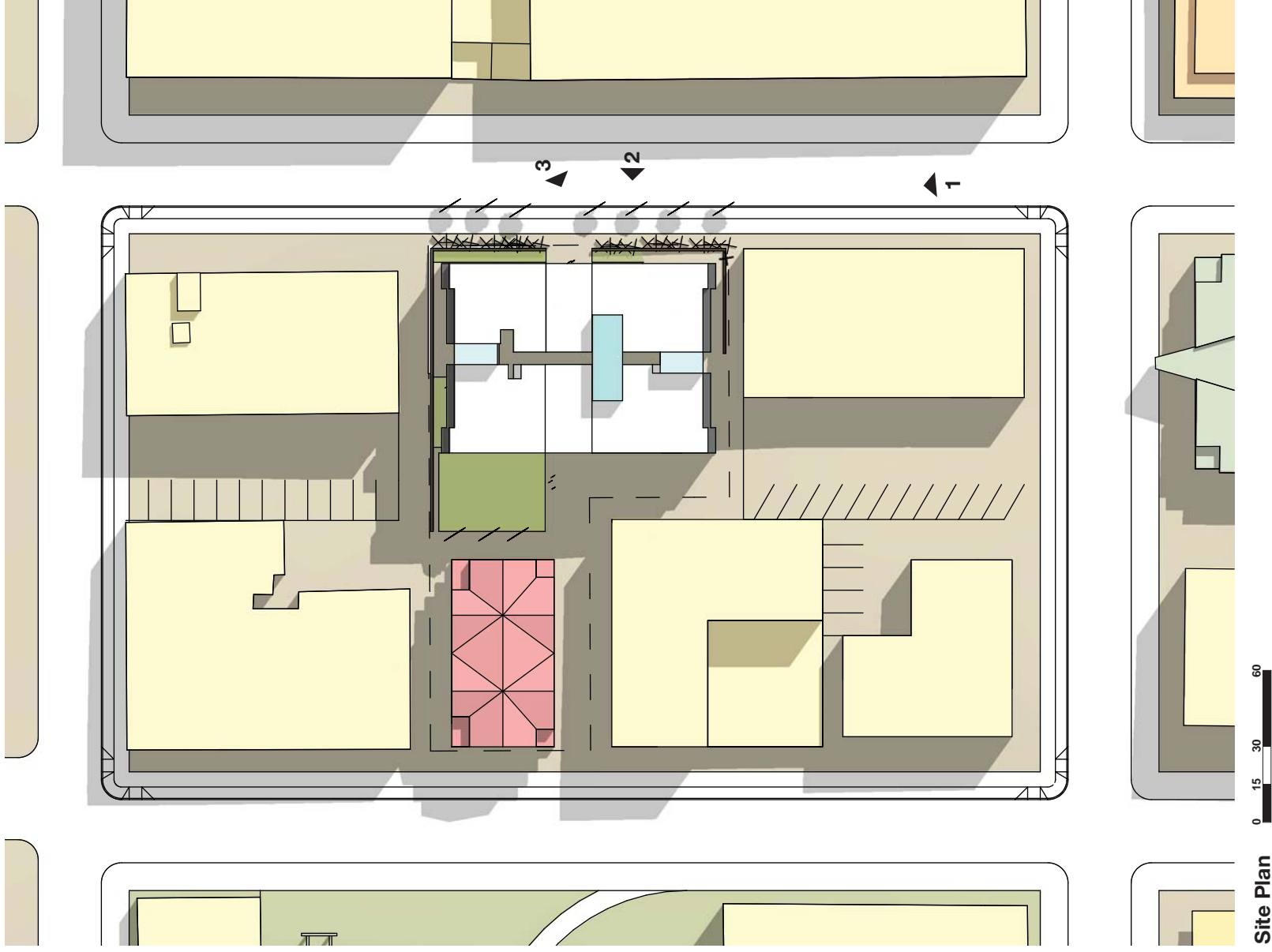
COMMUNITY

The proposal's through lot and existing Phase 1 structure lends itself to considering interaction and connection from the public street of Harvard Ave. E through Phase 2's ground floor. All proposed concepts herein position residential indoor and outdoor amenity space as part of the entry sequence creating residential gathering spaces visible from the street, through the site.

STREET CHARACTER / PEDESTRIAN EXPERIENCE

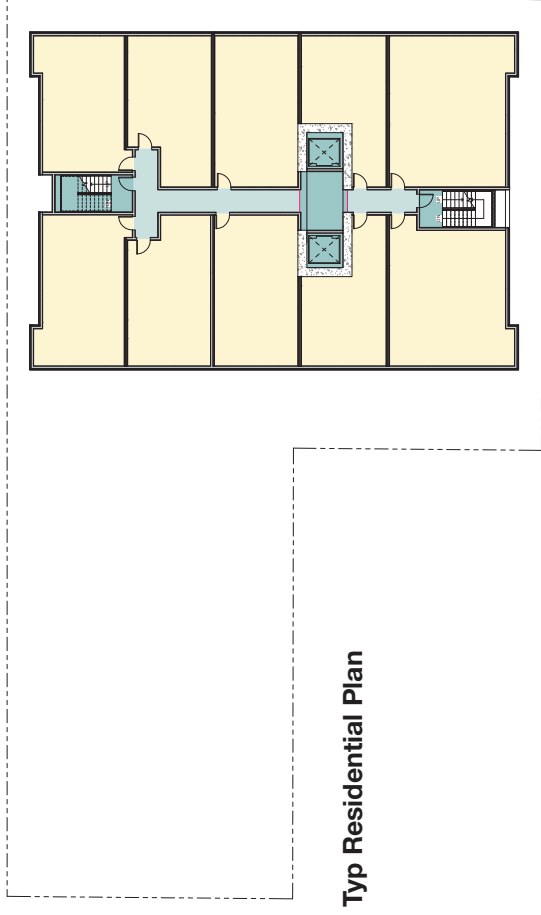
Harvard Ave. E from E. Republican to E. Mercer contains well defined street edges with only minor, but repetitive variations in the existing facades. Planting strips, street trees, and front yard landscaped setbacks soften the pedestrian experience. The proposal continues a softened landscape edge on the street while introduces mid block variation to the facades and massing.

Site Analysis / Design Concept Diagrams



Site Plan

- CIRCULATION
- RESIDENTIAL
- GATHERING
- AMENITY
- EXISTING



Typ Residential Plan



Ground Level Plan

Summary

Concept A establishes an entry off of Harvard Ave. E into a community space for residents flanked by dedicated amenity areas, vertical circulation and an outdoor garden for residents of the existing multifamily structure (Phase 1) and the proposed building.

Advantages

- Straight forward application of land use code using front and side yard setbacks, and structure depth for sites over 9,000 sf.
- Limitation of structure depth allows for wider potential ground level landscaped area along Harvard Ave E

Challenges

- Structure depth limitations reduce flexibility for front and rear facade modulation. Side yard modulation restricted to averaging and permitted projections into side yards for bays, balconies and limited floor area per SMC 23.45.518.H.
- No alley for mechanical, electrical, and service access

Anticipated Departures

- No departures



AREA SUMMARY

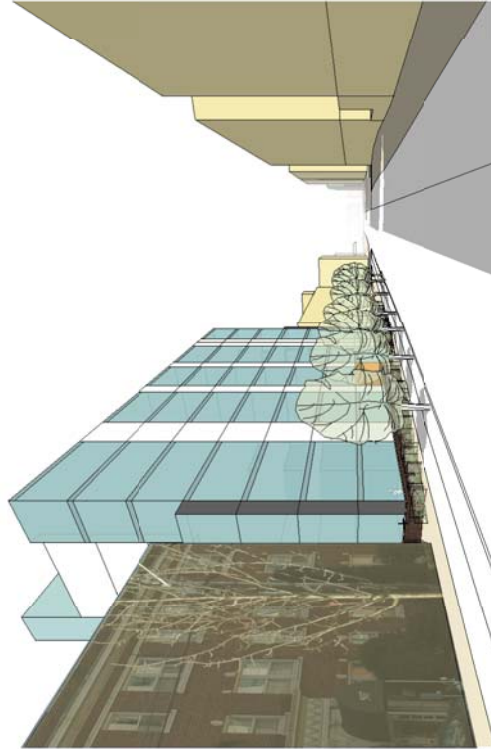
- Lot area = 18,213 sf
- Number of res units = 67
- Res area = 45,385 sf
- Parking = 25 existing (Phase 1) approx. 48 proposed
- Total allowable FAR = 4.25 (per 23.58A and 23.45.516)
- Achieved FAR = 3.5
- Total allowable area = (Existing 13,895) Proposed 63,500
- Total building area achieved = 53,210 sf
- Proposed height = 75'

Relevant Design Guidelines

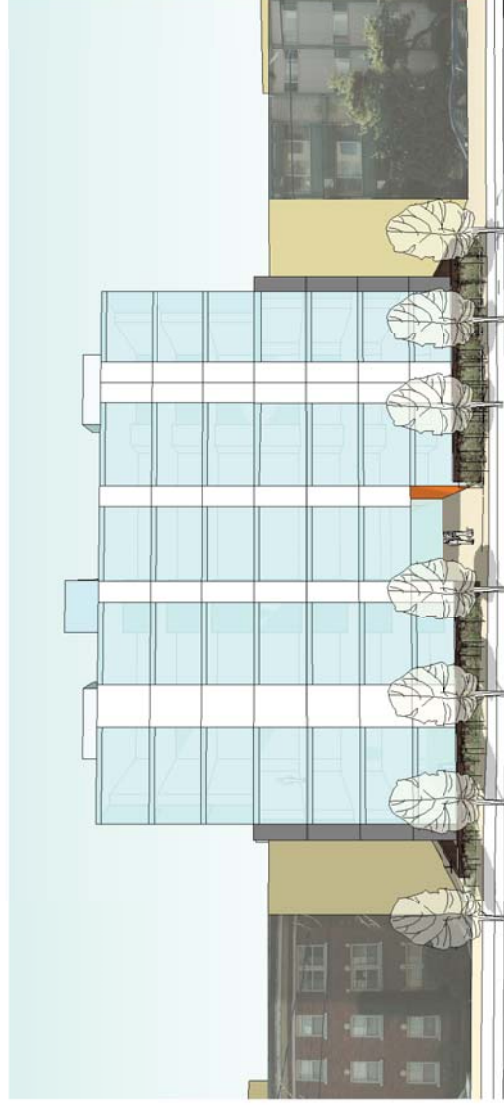
- A-3 Entrances visible from street – Mid lot building entrance provides pedestrian views through the lot into outdoor open space for the residents rather than entrance door into a lobby space.
- A-7 Ground level outdoor open space connected with interior amenity functions on east side of proposal. This open space would be for residents of phase 1 and the proposed scheme.
- C-2 Architectural concept and Consistency – Consistent front facade relates to clear street edges existing along the east and west of Harvard Avenue East.



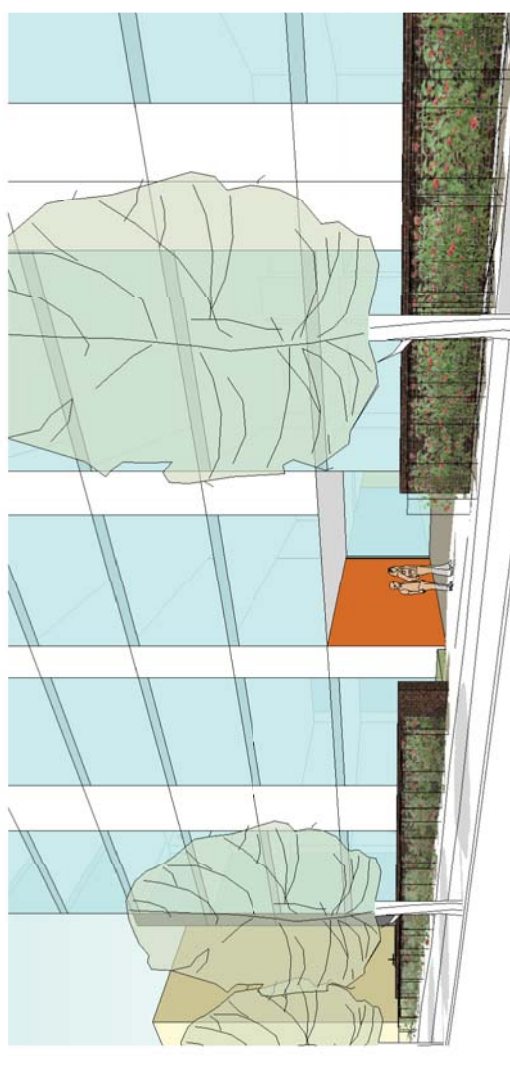
Aerial View – SW Corner Of Harvard Avenue East And East Mercer Street



1. View Looking North On Harvard Ave East

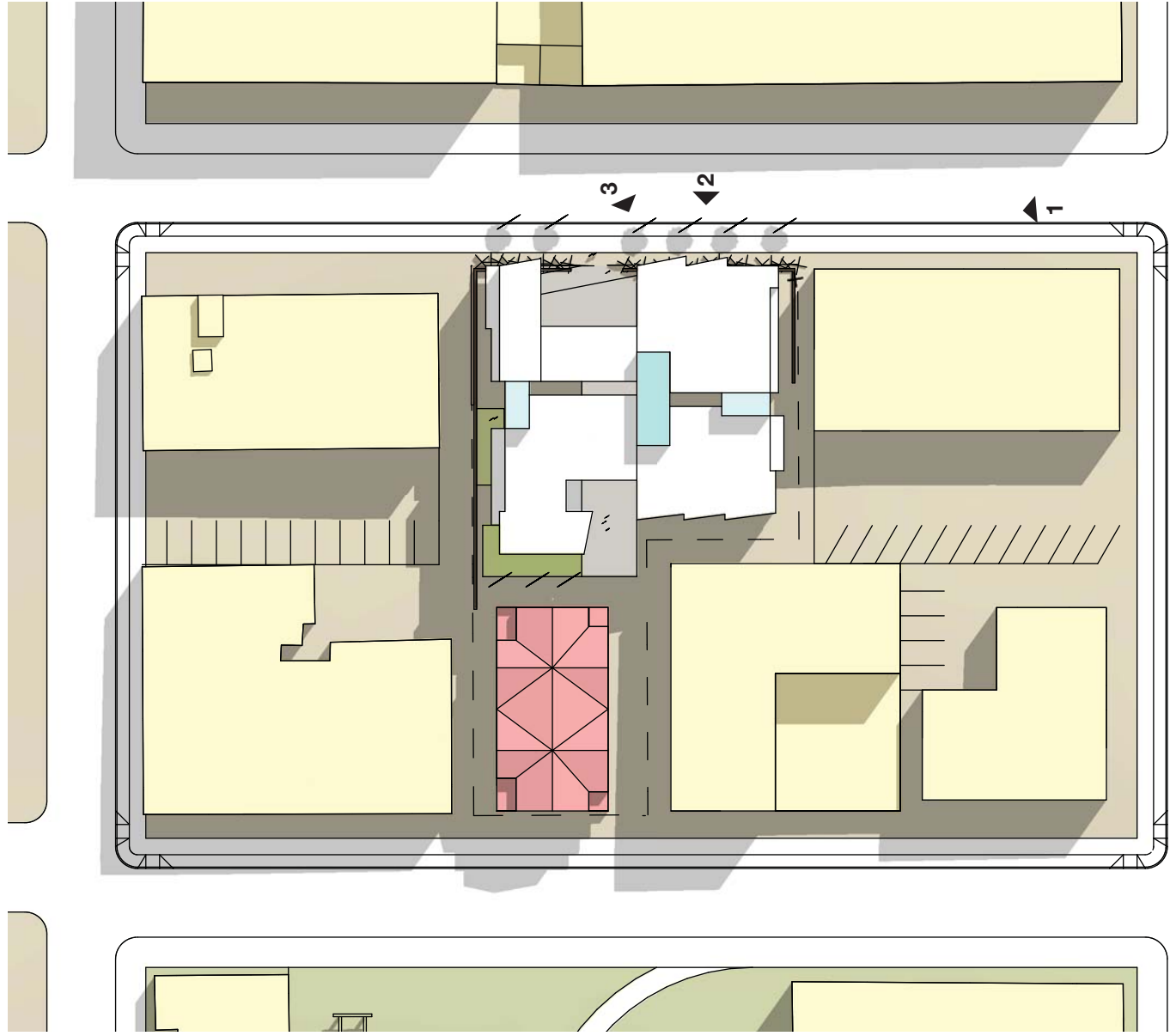


2. View Looking west On Harvard Ave East



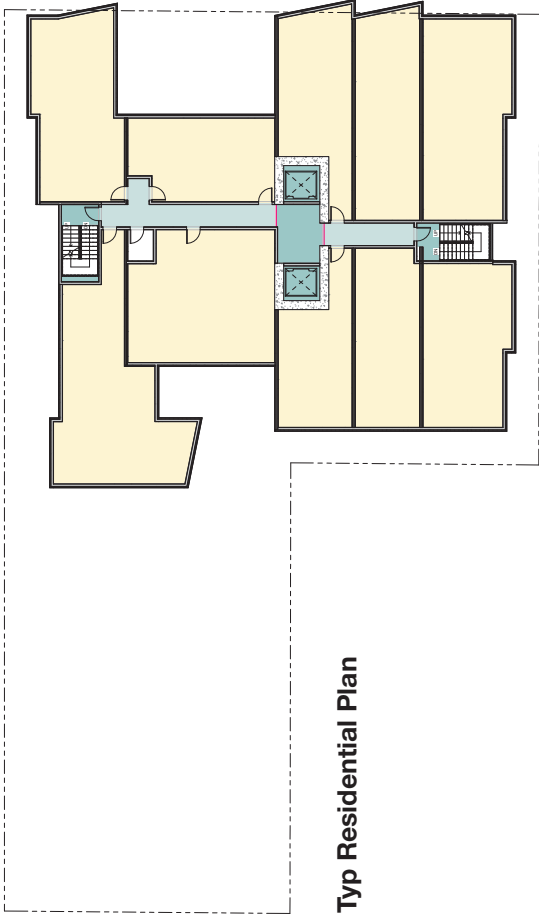
3. View To Building Entry

Concept A

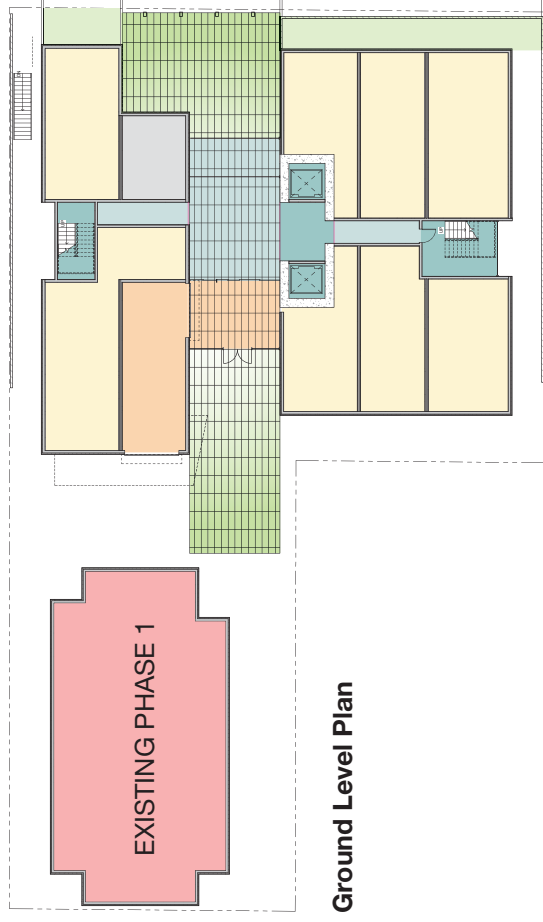


Site Plan 0 15 30 60

- CIRCULATION
- RESIDENTIAL
- GATHERING
- AMENITY
- EXISTING



Typ Residential Plan



Ground Level Plan

Summary

Concept B proposes an open courtyard along Harvard Avenue East per SMC 23.45.518 "Exhibit A." This courtyard establishes an identity of shared semi-public space on site. The courtyard also establishes the beginning of a shared community space for residents from Harvard Avenue East through the proposed building, to an outdoor amenity garden area. The permitted courtyard allows for no setback requirement along Harvard Avenue East, establishing a strong street edge. A two-story high 8' +/- deep, front yard setback would be proposed to allow for exterior private terraces, second floor balconies and a vertical metal scrim / garden trellis and planting edge along the front lot line to soften the pedestrian experience from the sidewalk.

Advantages

- Courtyard offers modulation and smaller scaled portions of the building facade along Harvard Avenue East
- The courtyard serves as a clear, identifiable semi-public amenity for residents
- More building modulation offers more opportunity for light, air and views from units along Harvard Avenue East

Challenges

- Courtyard is a larger scaled element concentrating relief of building mass from the street.
- Vertical orientation to the Harvard Avenue East facade counters the lower building masses to the north and south of the project site.
- Decreased variation of unit types.
- No alley for mechanical, electrical, and service access

Anticipated Departures

- Structure Depth, per SMC 23.45.528

AREA SUMMARY

- Lot area = 18,213 sf
- Number of res units = 68
- Res area= 51,000 sf
- Parking = 25 existing (Phase 1) approx. 48 proposed
- Total allowable FAR = 4.25 (per 23.58A and 23.45.516)
- Achieved FAR = 3.93
- Total allowable area = (Existing 13,895) Proposed 63,500
- Total building area achieved = 58,645 sf
- Proposed height = 75'

Relevant Design Guidelines

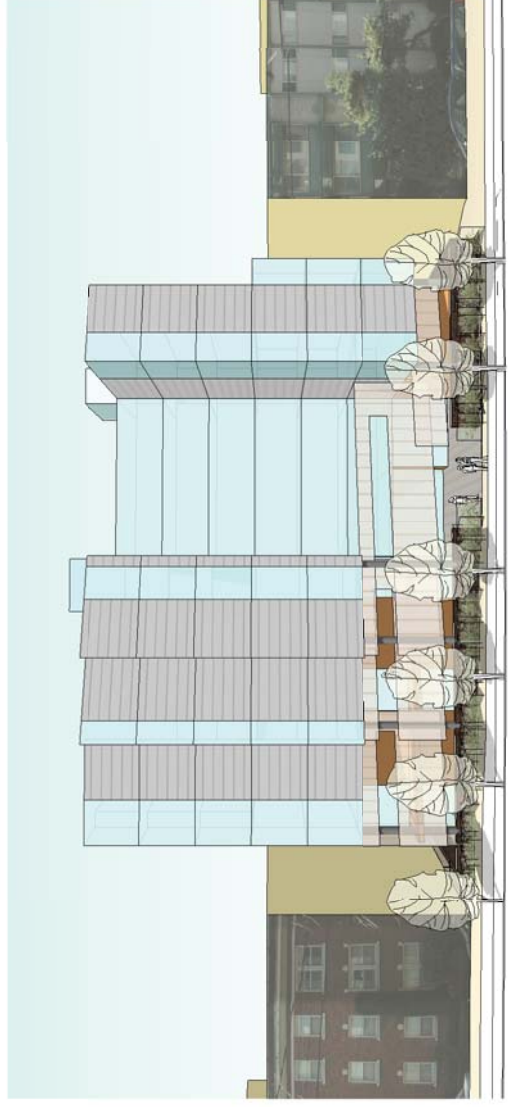
- A-3 Entrances visible from street –The courtyard announces the address identity of the proposal. The relief created by the court is visible from either end of the block.
- A-6 The vertical garden scrim along the first two stories of the proposal blends the public nature of the street with the semi-private open space of the lower level units that front Harvard Avenue East.
- A-7 The courtyard, entry lobby, flexible amenity space and outdoor open space are linked together in a line from the building entrance on the east, to the west side of the proposal. These group of residential communal spaces reinforces
- C-2 Architectural concept and Consistency – The Courtyard provides relief from the overwhelmingly consistent street edges along Harvard Avenue East. Units surrounding the court are provided with ample opportunities for light, air and distant views. The courtyard also announces the through passage of residential communal spaces across the ground floor of the proposal.
- D-1 Pedestrian Open Spaces and Entrances – The courtyard creates a pedestrian open space at the entry of the building.



Aerial View – SW Corner Of Harvard Avenue East And East Mercer Street



1. View Looking North On Harvard Ave East

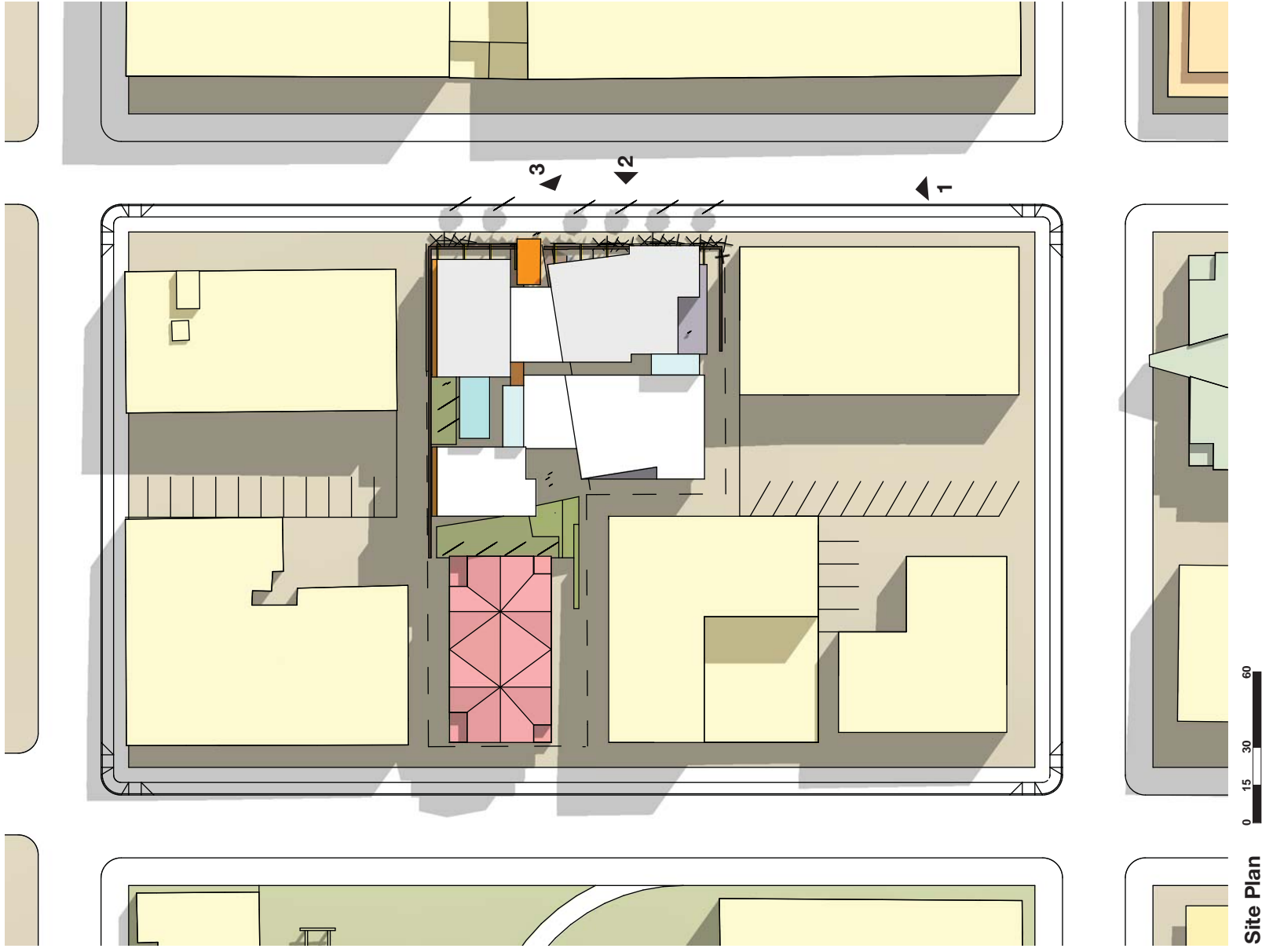


2. View Looking west On Harvard Ave East



3. View To Building Entry

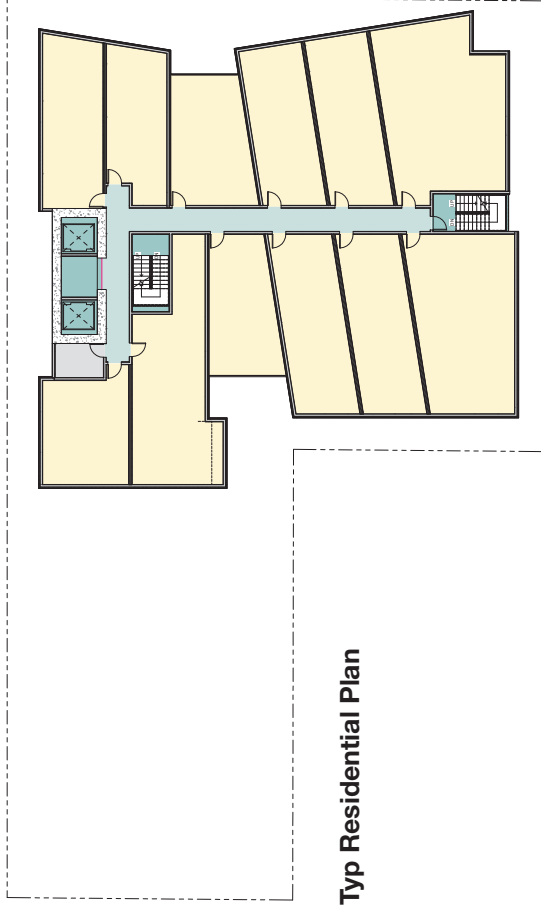
Concept B



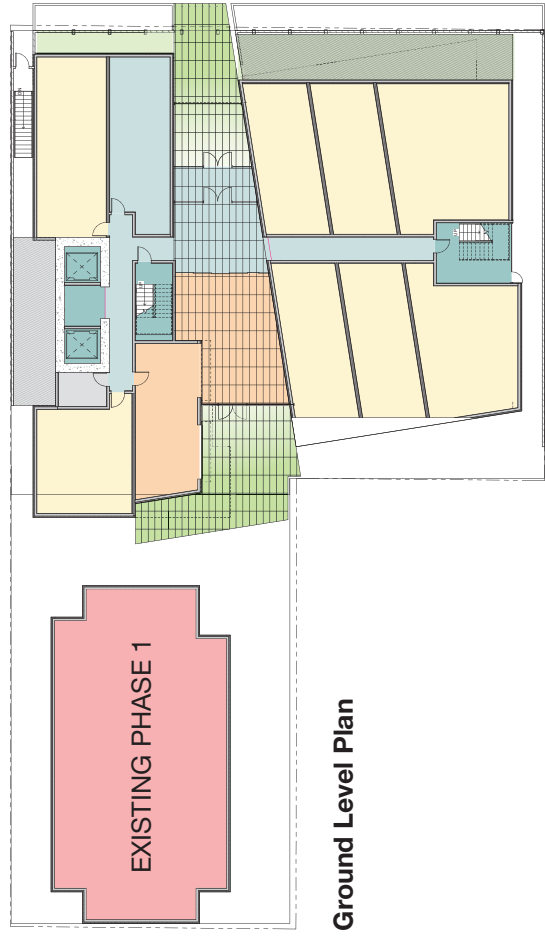
Site Plan

0 15 30 60

- CIRCULATION
- RESIDENTIAL
- GATHERING
- AMENITY
- EXISTING



Typ Residential Plan



Ground Level Plan

Summary

Concept C promotes a one and two story high vertical trellis/garden screen at the street front with setback building facades at the lower level. These elements continue the established pedestrian experience of the residential street. Above the garden screens and setback building fronts, the massing of the building above is angled and varied introducing diversity to the street's character. Like the courtyard scheme, the upper building elements provide relief from the consistency of Harvard Avenue East. Unlike the concentrated gap created by the courtyard in Concept B, Concept C spreads the setback relief and interest of the upper massing across the entire width front lot line.

Advantages

- Smaller scaled modulation and variation along Harvard Ave. E
- More variation of unit types
- Takes advantage of territorial view opportunities by placing building masses on the upper level corners

Challenges

- Unique massing requires careful consideration of construction detailing and support
- No alley for mechanical, electrical and service access

Anticipated Departures

- SMC 23.45.528 Structure depth
- SMC 23.45.518 Table 'B,' min front yard setback of 5'-0"



AREA SUMMARY

- Lot area = 18,213 sf
- Number of res units = 80
- Res area= 52,350 sf
- Parking = 25 existing (Phase 1) approx. 48 proposed
- Total allowable FAR = 4.25 (per 23.58A and 23.45.516)
- Achieved FAR = 4.22
- Total allowable area = (Existing 13,895) Proposed 63,500
- Total building area achieved = 63,085 sf
- Proposed height = 75'

Relevant Design Guidelines

- A-3 Entrances visible from street –The mix of building masses parallel and angled in toward the building entry announces the address identity of the proposal.
- A-6 The vertical garden scrim along the first two stories of the proposal blends the public nature of the street with the semi-private open space of the lower level units that front Harvard Avenue East.
- A-7 The increased setback at the entry, the entry lobby, flexible amenity space and outdoor open space are linked together in a line from the building entrance on the east, to the west side of the proposal. This group of residential communal spaces reinforces the public pedestrian experience from the sidewalk and the shared residential communal space on the west side of the proposal.
- C-2 Architectural concept and Consistency – The variation of the parallel and angled building masses on the Harvard Avenue East facade continues around all sides of the proposal. This shaping of building form announces the entry and identifies the address. It also provides variation of unit types, and provides opportunities for open space, balconies, and views for residents.
- C-3 Human Scale – variation of building mass reduces the scale of all the facades and clearly identifies individual unit types on the exterior. The one and two-story high vertical garden scrims lining Harvard Avenue East reduces the scale at the sidewalk, while the majority of the upper building mass is set back.
- D-1 Pedestrian Open Spaces and Entrances – The increased front yard setback creates a softened pedestrian experience along Harvard Avenue East.



Aerial View - SW Corner Of Harvard Avenue East And East Mercer Street



1. View Looking North On Harvard Ave East



2. View Looking west On Harvard Avenue East



3. View To Building Entry

Concept C



Summary

Concept C, "Refined" incorporates aspects of concept B and C. First, the setback at the residential entry was enlarged relative to option C in order to form an irregular shaped outdoor space at the entry much like the defined 35' wide x 20' deep courtyard of concept B. This relief from the street adds varied pedestrian experience. Above, the angled setback building fronts, juxtaposed with massing parallel to the street introduces diversity to the street's character as well as creating a softened landscaped semi private buffer from the sidewalk. Like the courtyard scheme, the upper building elements provide relief from the consistency of Harvard Avenue East. Unlike the concentrated gap created by the courtyard in Concept B, Concept C "Refined" spreads the setback relief and interest of the upper massing across the entire width front lot line.

Advantages

- Smaller scaled modulation and variation along Harvard Ave. E
- More variation of unit types
- Takes advantage of territorial view opportunities by placing building masses on the upper level corners
- Provides larger modulation at the ground level in spirit of SMC 23.45.518.H. than previous schemes

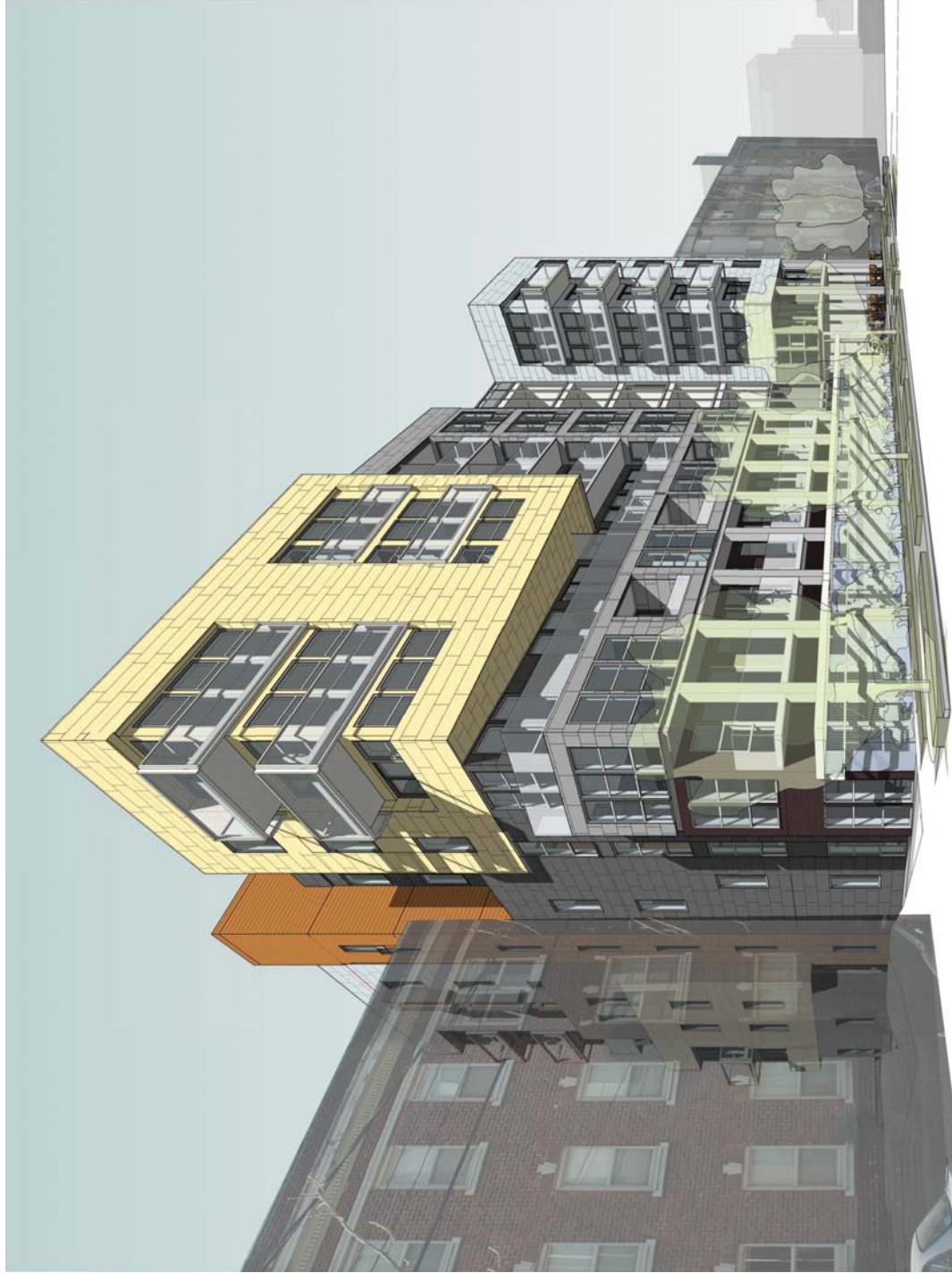
Challenges

- Unique massing requires careful consideration of construction detailing and support
- No alley for mechanical, electrical and service access

Anticipated Departures

- SMC 23.45.528 Structure depth
- SMC 23.45.518 Table 'B,' min front yard setback of 5'-0"

Concept C (refined)



Street View - Looking Northwest from Harvard Avenue East



View Looking Southwest Across Harvard Ave E



View to Building Entry



View Looking South On Harvard Ave E



View Looking West from Lobby

AREA SUMMARY

- Lot area = 18,213 sf
- Number of res units = 65
- Res area= 47,002 sf
- Parking = 25 existing (Phase 1) approx. 49 proposed
- Total allowable FAR = 4.25 (per 23.58A and 23.45.516)
- Achieved FAR = 4.03
- Total allowable area = (Existing 13,895) Proposed 77,405
- Total building area achieved = 73,315 sf
- Proposed height = 75'

Relevant Design Guidelines

- A-3 Entrances visible from street –The mix of building masses parallel and angled in toward the building entry announces the address identity of the proposal.
- A-7 The increased setback at the entry, the entry lobby, flexible amenity space and outdoor open space are linked together in a line from the building entrance on the east, to the west side of the proposal. This group of residential communal spaces reinforces the public pedestrian experience from the sidewalk and the shared residential communal space on the west side of the proposal.
- C-2 Architectural concept and Consistency – The variation of the parallel and angled building masses on the Harvard Avenue East facade continues around all sides of the proposal. This shaping of building form announces the entry and identifies the address. It also provides variation of unit types, and provides opportunities for open space, balconies, and views for residents.
- C-3 Human Scale – Variation of building mass reduces the scale of all the facades and clearly identifies individual unit types on the exterior. The facade along Harvard Avenue East angles back towards the entry reducing bulk at the sidewalk, while the majority of the upper building mass is set back.
- D-1 Pedestrian Open Spaces and Entrances – The increased front yard setback creates a softened pedestrian experience along Harvard Avenue East.

Concept C (refined)



CONCEPT A

Summary

Concept A establishes an entry off of Harvard Avenue East into a community space for residents flanked by dedicated amenity areas, vertical circulation and an outdoor garden for residents of the existing multi-family structure (Phase 1) and the proposed building.

Advantages

- Straight forward application of land use code using front and side yard setbacks, and structure depth for sites over 9,000 sf.
- Limitation of structure depth allows for wider potential ground level landscaped area along Harvard Avenue East.

Challenges

- Structure depth limitations reduce flexibility for front and rear facade modulation. Side yard modulation restricted to averaging and permitted projections into side yards for bays, balconies and limited floor area per SMC 23.45.518.H.
- No alley for mechanical, electrical, and service access.



CONCEPT B

Summary

Concept B proposes an open courtyard along Harvard Avenue East per SMC 23.45.518 "Exhibit A." This courtyard establishes an identity of shared semi-public space on site. The courtyard also establishes the beginning of a shared community space for residents from Harvard Avenue East through the proposed building, to an outdoor amenity garden area. The permitted courtyard allows for no setback requirement along Harvard Avenue East, establishing a strong street edge. A two-story high 8' +/- deep, front yard setback would be proposed to allow for exterior private terraces, second floor balconies and a vertical metal scrim / garden trellis and planting edge along the front lot line to soften the pedestrian experience from the sidewalk.

Advantages

- Courtyard offers modulation and smaller scaled portions of the building facade along Harvard Avenue East.
- The courtyard serves as a clear, identifiable semi-public amenity for residents.
- More building modulation offers more opportunity for light, air and views from units along Harvard Avenue East.

Challenges

- Courtyard is a larger scaled element concentrating relief of building mass from the street.
- Vertical orientation to the Harvard Avenue East facade counters the lower building masses to the north and south of the project site.
- Decreased variation of unit types.
- No alley for mechanical, electrical, and service access.



CONCEPT C

Summary

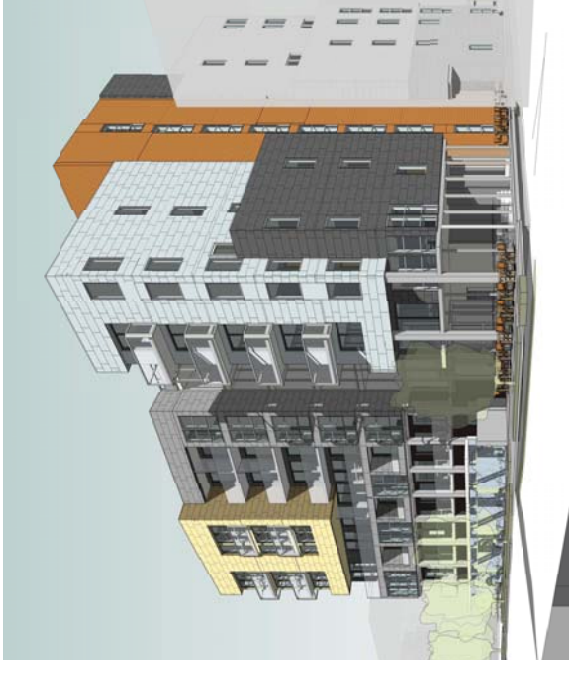
Concept C promotes a one and two story high vertical trellis / garden screen at the street front with setback building facades at the lower level. These elements continue the established pedestrian experience of the residential street. Above the garden screens and setback building fronts, the massing of the building above is angled and varied introducing diversity to the street's character. Like the courtyard scheme, the upper building elements provide relief from the consistency of Harvard Avenue East. Unlike the concentrated gap created by the courtyard in Concept B, Concept C spreads the setback relief and interest of the upper massing across the entire width front lot line.

Advantages

- Smaller scaled modulation and variation along Harvard Avenue East.
- More variation of unit types.
- Takes advantage of territorial view opportunities by placing building masses on the upper level corners.

Challenges

- Unique massing requires careful consideration of construction detailing and support.
- No alley for mechanical, electrical and service access.



CONCEPT C "REFINED"

Summary

Concept C, "Refined" incorporates aspects of concept B and C. First, the setback at the residential entry is enlarged relative to option C in order to form an irregularly shaped outdoor space at the entry much like the defined 35' wide x 20' deep courtyard of concept B. This relief from the street adds varied pedestrian experience. Above, the angled setback building fronts, juxtaposed with massing parallel to the street, introduces diversity to the street's character as well as creating a softened landscaped semi private buffer from the sidewalk. Like the courtyard scheme, the upper building elements provide relief from the consistency of Harvard Avenue East. Unlike the concentrated gap created by the courtyard in Concept B, Concept C "Refined" spreads the setback relief and interest of the upper massing across the entire width front lot line.

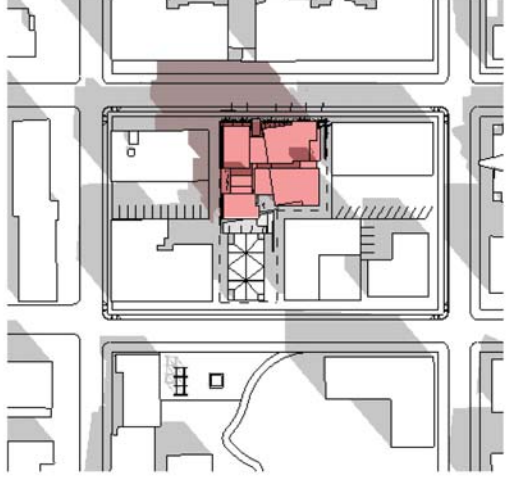
Advantages

- Smaller scaled modulation and variation along Harvard Avenue East.
- More variation of unit types.
- Takes advantage of territorial view opportunities by placing building masses on the upper level corners.
- Provides larger modulation at the ground level in spirit of SMC 23.45.518.H. than previous schemes.

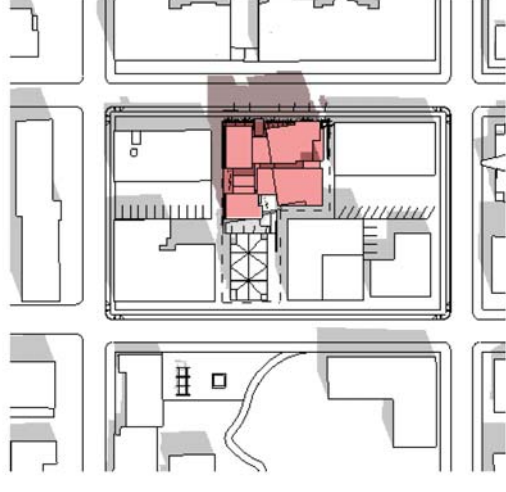
Challenges

- Unique massing requires careful consideration of construction detailing and support.
- No alley for mechanical, electrical and service access.

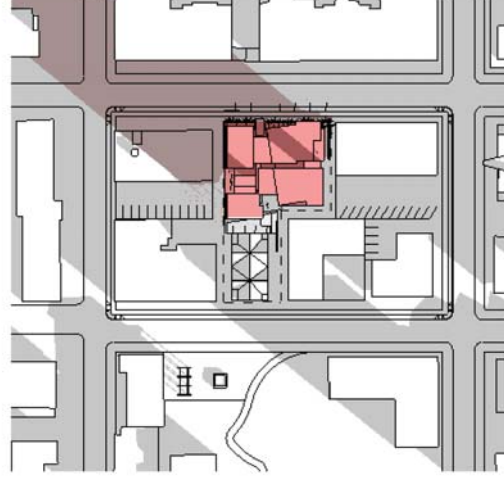
Concept Summary



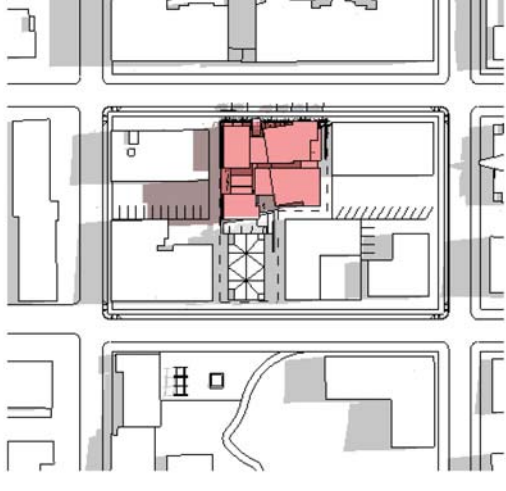
March 3pm



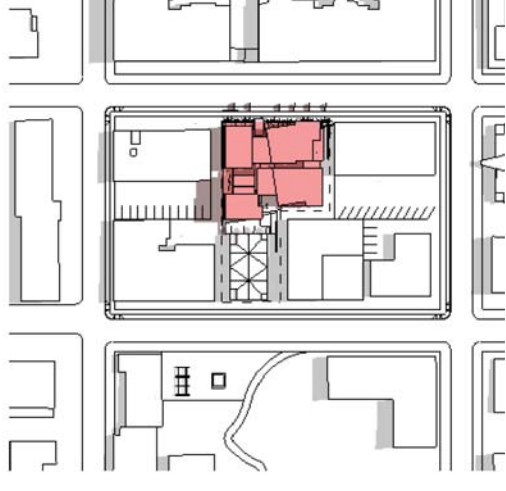
June 3pm



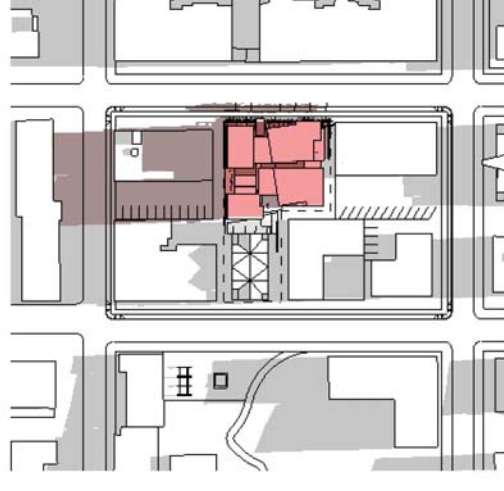
December 3pm



March 12pm



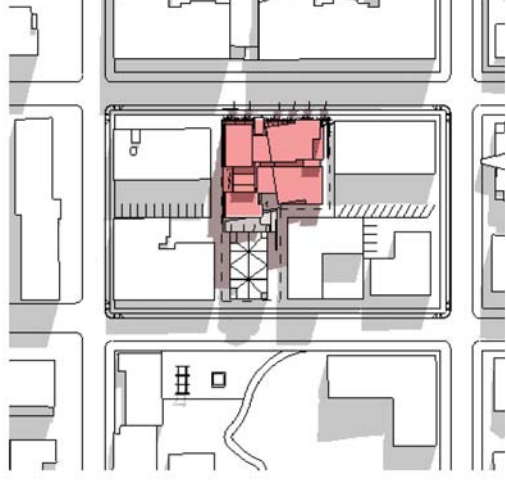
June 12pm



December 12pm



March 9am



June 9am



December 9am

Concept C – Shadow Studies

| CODE CITATION | | DEVELOPMENT STANDARD | REQUIREMENT | REQUEST | JUSTIFICATION | RELEVANT DESIGN GUIDELINES |
|-----------------------|-------------------------|---|--|--|--|--|
| CONCEPT A | NO DEPARTURES REQUESTED | | | | | |
| CONCEPT B | SMC 23.45.528 | Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size | The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2. | Waive structure depth requirement from 75% to approximately 88% of lot depth | Project will seek to use SMC 23.45.528 which allows for an exception to structure depth when an entry courtyard is provided, but seeks to further modify the structure depth requirement for greater flexibility to shape the proposed building to respond to adjacent site conditions and potential views for the new units. | <p>A-5 Respect for adjacent Sites</p> <ul style="list-style-type: none"> Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings. Take advantage of site design which might reduce impacts, for example by using adjacent ground floor area for an entry court. Minimize windows to living spaces which might infringe on the privacy of adjacent residents, but consider comfort of residents in the new building. Stagger windows to not align with adjacent windows . |
| CONCEPT C & "REFINED" | SMC 23.45.528 | Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size | The depth of principal structures shall not exceed 75 percent of the depth of the lot, except as provided in subsection 23.45.528.B.2. | Waive structure depth requirement from 75% to approximately 88% of lot depth | A departure for an increase in the allowable structure depth will afford the project greater flexibility to shape the proposed building to respond to adjacent site conditions and potential views for the new units. Project intent is to follow the spirit of the SMC 23.45.528 which allows for an exception to structure depth when an entry courtyard is provided, with a more linear open space along Harvard Ave E that does not meet the prescribed dimensions for the entry courtyard in SMC 23.45.518. | <p>A-5 Respect for adjacent Sites</p> <ul style="list-style-type: none"> Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings. Take advantage of site design which might reduce impacts, for example by using adjacent ground floor area for an entry court. Minimize windows to living spaces which might infringe on the privacy of adjacent residents, but consider comfort of residents in the new building. Stagger windows to not align with adjacent windows. |
| | SMC 23.45.518 | Setbacks and Separations | Table "B"- Front and side setback from street lot lines: 7 foot average setback; 5 foot minimum setback | Waive front setback requirement. | A departure to waive the front setback requirement will afford the project greater flexibility to form an open space along Harvard Avenue E. Project intent is to create a more linear open space that expands into an entry courtyard, meeting the spirit of that portion of the code which allows an exception to the front setback requirements when an entry courtyard is provided, but that does not meet the prescribed dimensions for the entry courtyard in SMC 23.45.518. | <p>A-7 Residential Open Space</p> <ul style="list-style-type: none"> Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries. |

Requested Departures

We are seeking two departures for the preferred scheme:

- Waive the structure depth limit of 75% to allow for a combined structure depth of approximately 90.6%.
- Waive the front setback requirement.

The inclusion of an entry courtyard that has a depth of 20 feet and a width equal to 30% of the property (SMC 23.45.528.B.2) allows both the front setback and the structure depth limit to be waived. Our preferred scheme includes a courtyard that meets the overall dimensional requirements for a courtyard, but is not a rectangular shape. We suggest that the courtyard proposed meets the spirit of the requirement with a triangular rather than the prescribed rectangular shape.

We have calculated the hypothetical maximum development envelope that would be allowed on the site (illustrated in Figure A) to be **12,114 square feet**.

The lot coverage of the proposed development is **12,318 square feet**.

HYPOTHETICAL MAXIMUM DEVELOPMENT

Total Lot Depth:
100.01' + 100.01' = 200.02'

Total Structure Depth:
64.42' + 85.53' = 149.95' = 75%

Building A: 3,179.45 SF
Building B: 8,934.19 SF

Total Coverage: A + B = 12,114 SF

PROPOSED LOT DEVELOPMENT

Total Lot Depth: 200.02'

Total Structure Depth:
75.00' + 106.16' = 181.16' = 90.6%

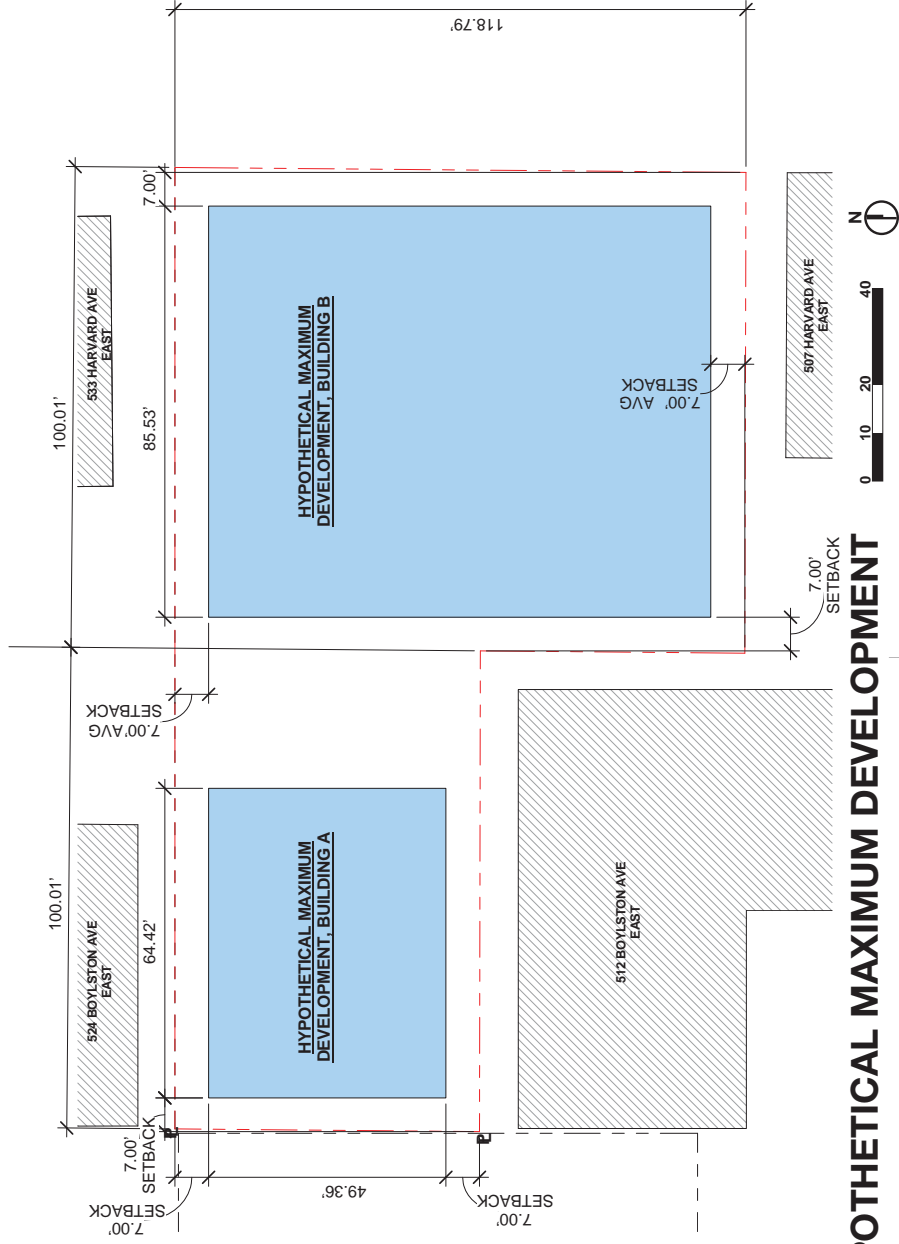
Building A (Existing): 2,763.58 SF
Building B (Proposed): 9,554.48 SF

Total Coverage: A + B = 12,318 SF

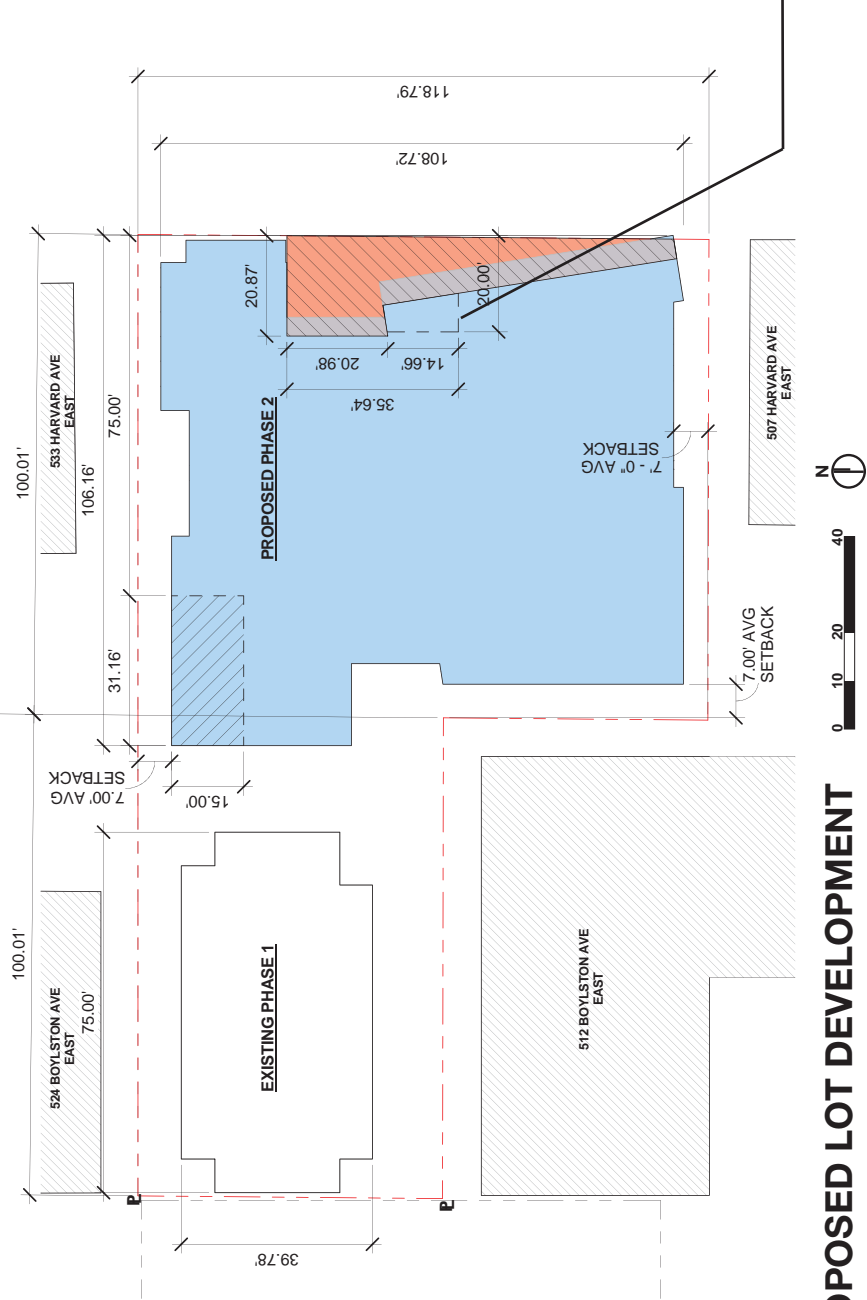
Proposed Courtyard/Setback: 977.68 SF

Prescribed Courtyard Square Footage:
20' * (118.79' * 30%) = 712.74 SF

Requested Departures



HYPOTHETICAL MAXIMUM DEVELOPMENT



PROPOSED LOT DEVELOPMENT

Requested Departures - Diagrams