

# Summit Apartments

1728 Summit Avenue

## DESIGN REVIEW RECOMMENDATION - MEETING 2

MARCH 27, 2013

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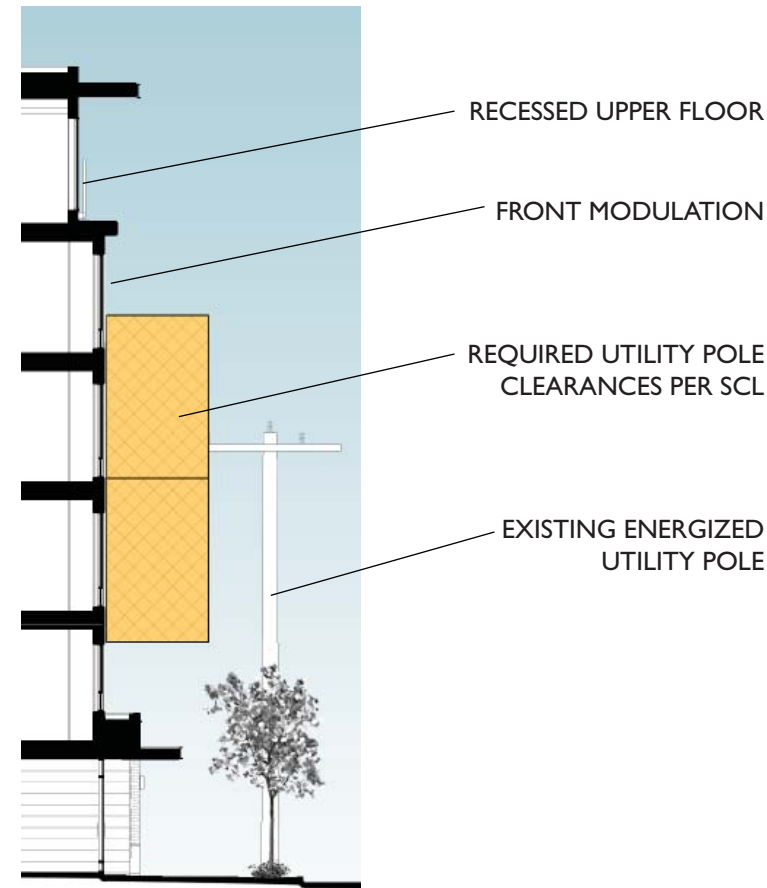
DESIGN EVOLUTION

The DRB noted concerns with the design during the initial Design Recommendation Meeting with respect to architectural character, neighborhood context response, exterior colors and composition, and the amount and size of requested development departures. Additionally, concern over the building's massing along the northern property line, previously creating a north-facing courtyard for benefit of the adjoining apartment building as well as the proposed project, pushed the Board to request the Applicant to pursue a more architecturally contextual "freestanding" building with setbacks despite the benefits of the courtyard's light and air. The Board noted that more detail along the street-level facade at Summit Avenue was also requested.

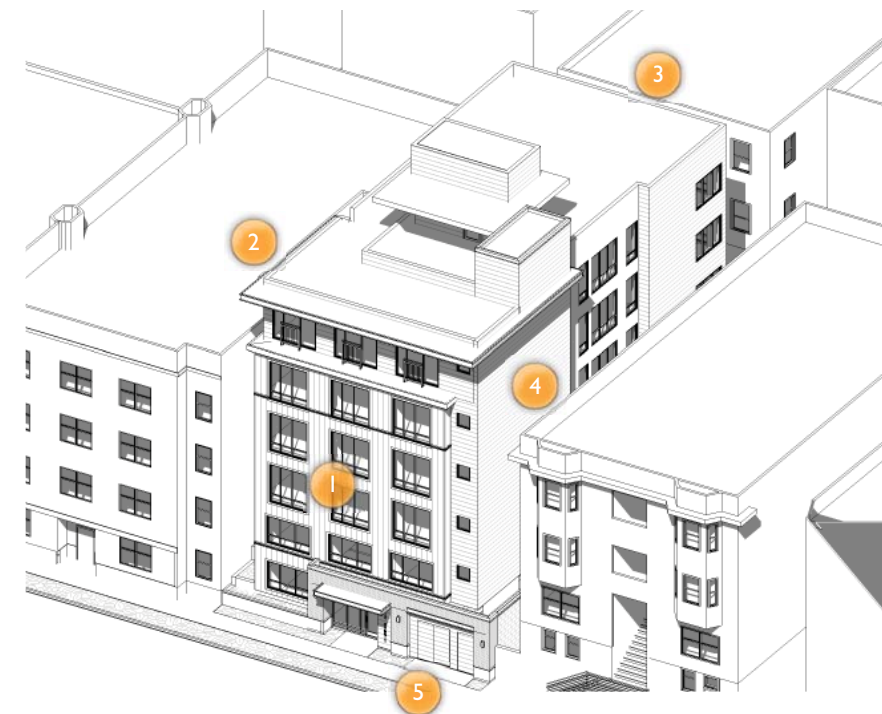
The nature of the comments and DRB-requested revisions to the north and east facades necessitated a project reconfiguration in order to support design compliance. The reconfigured project responds to the comments and guidance given at the January 9, 2013 DRB meeting by initially addressing the massing and setback concerns in conjunction with refinements to the project's detailing and architectural character. The adjacency of energized utility lines in Summit Avenue presents a challenge by limited street-facing facade projections such as bay windows, a challenge which the Applicant met by stepping the exterior masses of the building to create contextually scaled facades with uniform materials and textures while providing facade modulation to the maximum extent possible. The street-level facade uses were reconfigured to improve the pedestrian experience and reinforce the building's entry from Summit Avenue while concealing necessary service entries along the street.

SUMMARY OF CHANGES

1. Upper level modulation revised to provide setbacks at both north and south facades to mimic neighborhood context.
2. Side (north) facade pulled away from north property line to provide requisite setback minimums of 5 feet as requested by DRB. North courtyard shown in EDG and DRB #1 removed due to internal building reconfiguration. Departures are still requested, however the extent of the requests are greatly reduced.
3. Rear (east) setback of 15 feet now provided by reconfiguring building. No departures are requested at this area in the current proposal.
4. Side (south) facade adjusted due to internal building reconfiguration. Departures are still requested, however the extent of the requests are greatly reduced.
5. Street-level facade and adjoining uses reconfigured as part of internal building reconfiguration. Refuse / recycle room access adjusted to address visual impact and additional setback from sidewalk to building facade provided for additional landscaping and reversal of door swings.



SECTION - SUMMIT AVENUE UTILITY LINE CLEARANCES

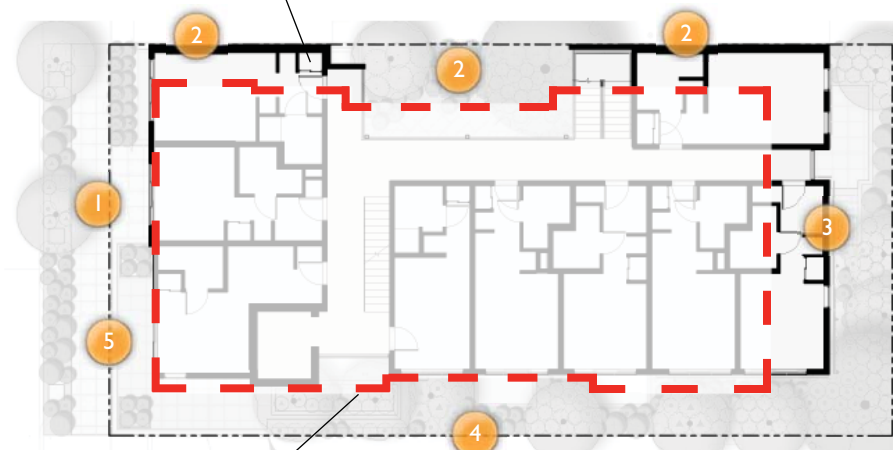


SOUTHWEST AXON



CURRENT PROPOSAL

PLAN OF PRIOR DESIGN PROPOSAL - DRB MTG #1



OUTLINE OF CURRENT PROPOSAL

UPPER LEVEL PLAN COMPARISON

# PROPOSAL COMPARISON

## DRB #1 - DEVELOPMENT SUMMARY

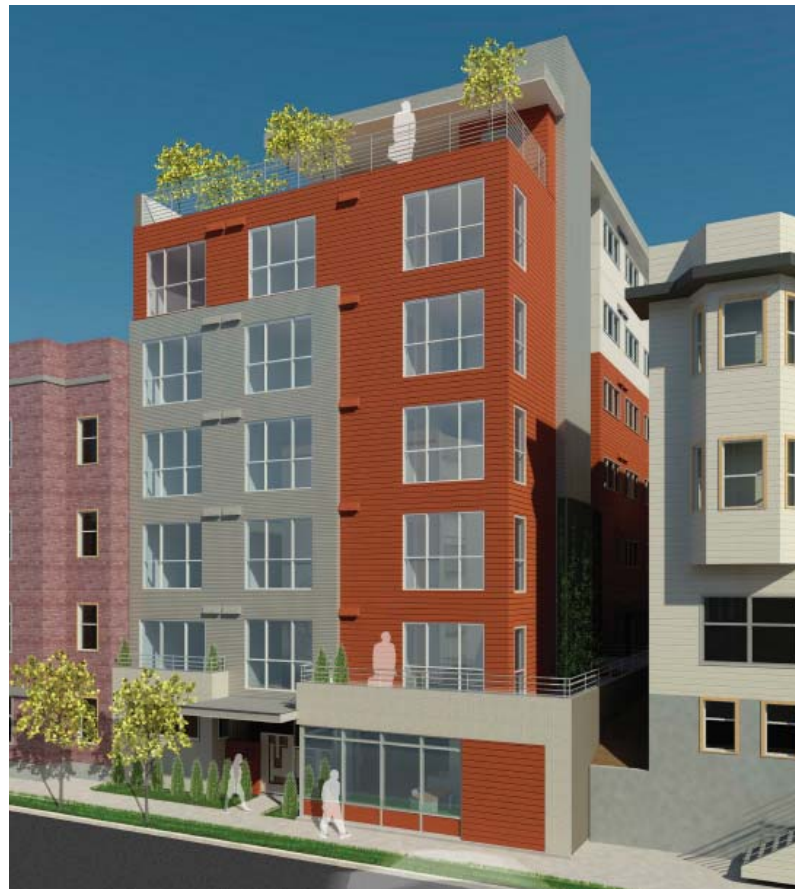
|                              |                |
|------------------------------|----------------|
| Number of residential units: | 49 Units       |
| Number of parking stalls:    | None           |
| Gross building area:         | 21,460 sf      |
| Green Factor (GF):           | 0.94 (0.5 min) |

## PROPOSED DEVELOPMENT CHANGES

|                                   |
|-----------------------------------|
| 8 units removed                   |
| No change                         |
| 2,963 sf of building area removed |
| 0.42 Green Factor area removed    |

## CURRENT DESIGN - DEVELOPMENT SUMMARY

|                              |                |
|------------------------------|----------------|
| Number of residential units: | 41 Units       |
| Number of parking stalls:    | None           |
| Gross building area:         | 18,497 sf      |
| Green Factor (GF):           | 0.52 (0.5 min) |



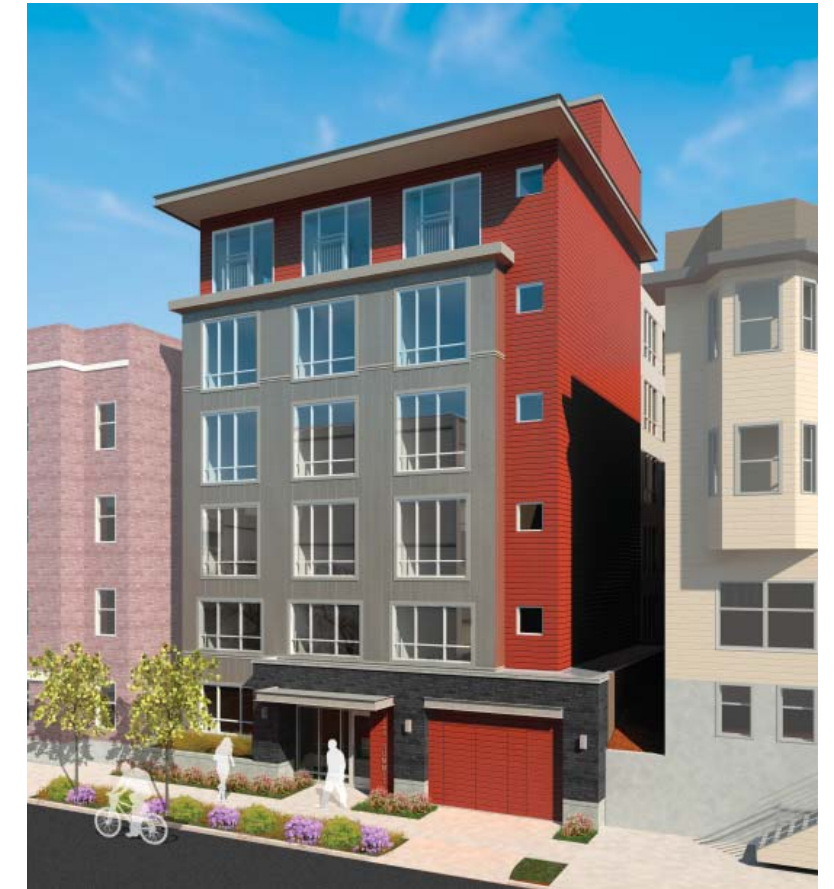
STREET PERSPECTIVE - DRB #1



PLAN VIEW COMPARISON:  
TYPICAL PLAN      OUTLINE OF CURRENT PROPOSAL      PLAN OF PRIOR DESIGN PROPOSAL - DRB MTG #1



PLAN VIEW COMPARISON:  
GROUND LEVEL PLAN



CURRENT PROPOSAL

# DESIGN RESPONSE: MASSING & SUMMIT FACADE

## DRB COMMENTS ON PRIOR PROPOSAL

At EDG the Applicant proposed a zero lot line condition with no setbacks provided at the north property line to alleviate the blank wall conditions of the neighboring building. At DRB, commentary evolved to note that setbacks adjacent to freestanding towers were more prevalent in the neighborhood and that the design needed to better respond to that observation. Other design elements common in the neighborhood but lacking in the current design were facade designs composed of 3 bay width patterns, bay window projections, and recessed and/or accented building entries. Many buildings front directly on the back of sidewalk and/or propertyline, and virtually all have refuse / recycling collection and storage either in the rear of the building off an alley or in front or immediately alongside the streetfront facade of Summit Avenue.

The Board went on to reinforce simplicity and continuity in the facade designs and exterior materials. Privacy should be maximized between properties through careful placement of glazing. In particular, the front facade should be more limited in siding types and more continuous to better reflect neighborhood patterns.



SUMMIT AVENUE COMPOSITION - CURRENT PROPOSAL



PROJECT SITE

STREET FRONT STUDY - SUMMIT AVENUE FACING EAST



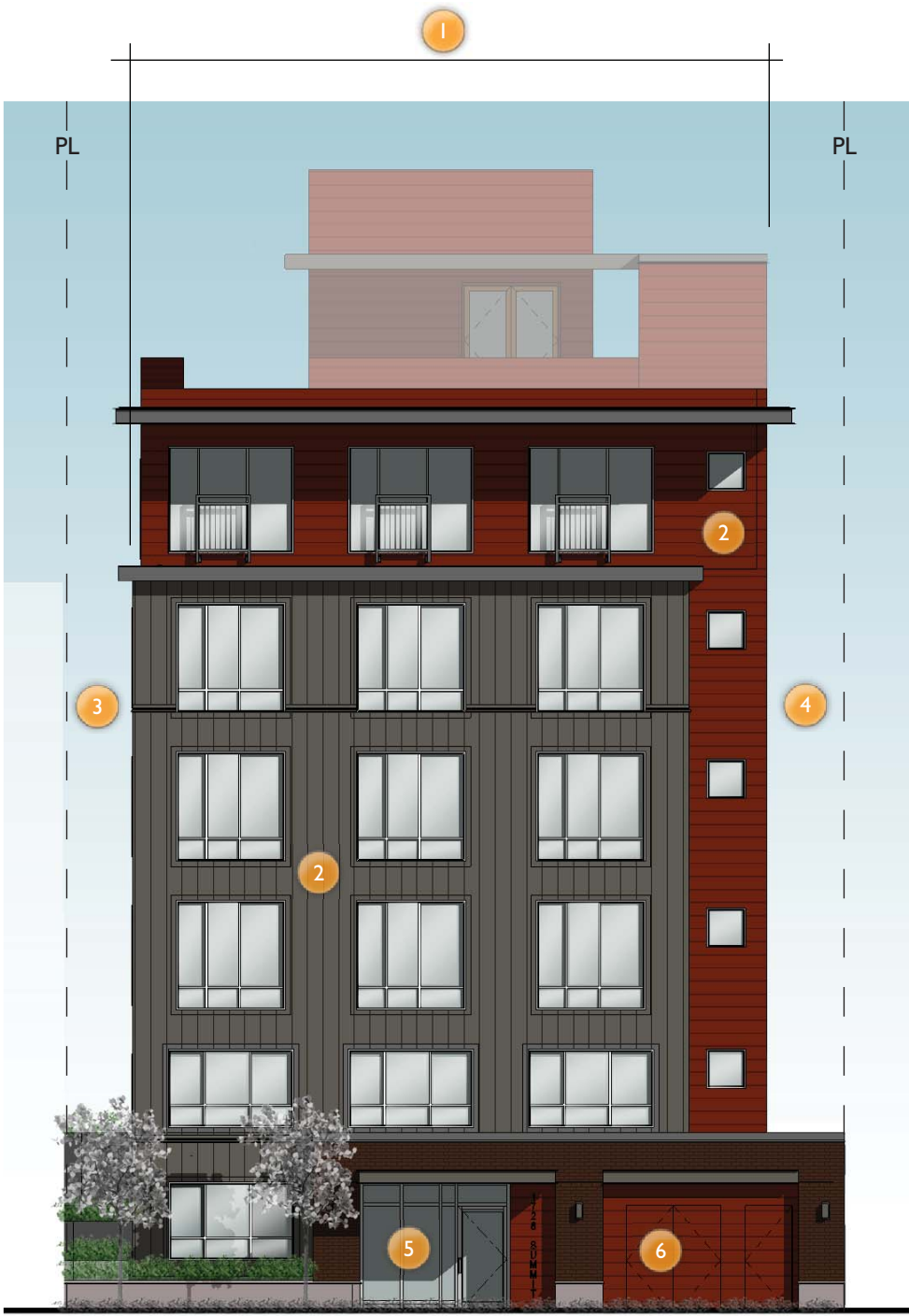
OPPOSITE PROJECT SITE

STREET FRONT STUDY - SUMMIT AVENUE FACING WEST

# DESIGN RESPONSE: MASSING & SUMMIT FACADE



WEST ELEVATION: DRB #1



WEST ELEVATION: CURRENT PROPOSAL

## DESIGN RESPONSE TO BOARD COMMENTS

In response to Board comments, the proposed building was reconfigured both at the street level and pedestrian scale as well as in the tower massing. The primary building modulation and massing were revised to provide setbacks at both north and south facades to mimic neighborhood context by consolidating the front massing into a 3-bay composition to reflect neighborhood character. Increased upper level setbacks as requested by the Board were provided by setting the top story and secondary building massing back approximately 18" from the front mass and adding a dramatic overhang to reinforce the building's skyline. The primary massing was then brought down to grade to match the neighborhood pattern of buildings with strong continuous edges from ground level to roof. Due to the utility line clearances required by Seattle City Light (SCL), no projections towards the street were permissible, so the primary modulation was treated as one large bay window. To emphasize the continuity of the common facade material and detailing, the mass wraps the south face 18" back to the next modulation facade while the north wrap extends down the north facade.

The rear (east) setback of 15 feet is now provided. A ground level open space with private patios connected to units is present for enjoyment to all residents. No departures are requested at this area in the current proposal. The reduction in project envelope here in conjunction with responding to the DRB comments about pulling away the north facades from the north property line necessitated a reconfiguration to minimize loss of residential units. The result was a mid-facade modulation on both the north and south facades but also the loss of the open air courtyard facing northward as originally presented in DRB #1.

## SUMMARY DESIGN CHANGES

- 1 UPPER LEVEL MODULATION REVISED FOR COMPOSITION AND SETBACKS (PG. 4)
- 2 CONTINUOUS EXTERIOR MATERIALS REVISED (PG 13-14)
- 3 NORTH FACADE REVISED FOR SETBACKS AND REMOVAL OF ZERO-LOT LINE CONDITION PER DRB REQUEST (PG 9)
- 4 SOUTH FACADE REVISED FOR SETBACKS (PG 9)
- 5 RESIDENTIAL ENTRY RELOCATED (PG 6)
- 6 REFUSE / RECYCLE DOORS REVISED FOR OUTWARD SWING (PG 7)

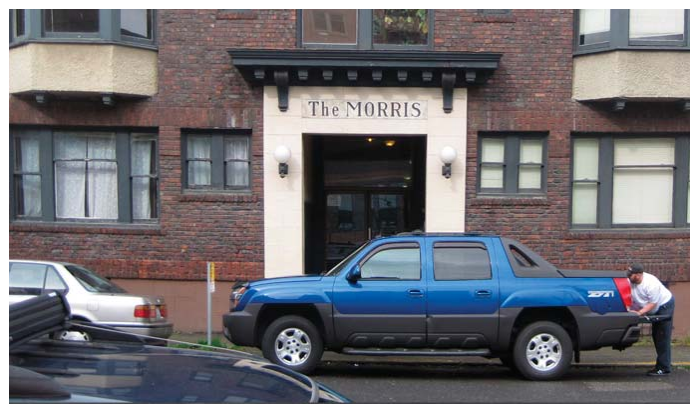
# DESIGN RESPONSE: STREET LEVEL FACADE AND ENTRY DEVELOPMENT

## DRB COMMENTS ON PRIOR PROPOSAL

The Board indicated in their last review that the street level facade needed a number of refinements, including strong establishment of the ground level materials and treatments (i.e. base, body, cap, shadow, etc), attention to entry location and sequence, and treatment / operation of refuse / recycling storage and collection areas. Additional refinement of landscaping between the street / sidewalk and the proposed building also would reinforce (or diminish) the quality and character of the project. Use of human-scaled materials would improve architectural character.

## DESIGN RESPONSE TO BOARD COMMENTS

In response to other Board comments related to providing setbacks at the north property line, the street-level facade and adjoining uses were reconfigured as part of internal building reconfiguration. The primary massing with continuous exterior materials now solidly grounds at a new landscape planter which turns the corner eastward, reinforcing the newly created setback at the pedestrian level. The planter extends to the new residential entry location, now housed in a residential podium of brick and precast concrete which mimics adjacent and neighborhood buildings. This podium is also recessed backwards from the sidewalk from the prior design, now allowing more landscaping at ground level as well as allowing the refuse / recycle room access to reverse door swing and mitigate wear and tear on building elements. The refuse / recycle room doors remain concealed in matching panel siding to retain emphasis on the residential entry from the street.



EXAMPLE BUILDING ENTRIES ALONG SUMMIT AVENUE



STREET LEVEL FACADE PERSPECTIVE

RESIDENTIAL UNIT ➤

RESIDENTIAL ENTRY ➤

# DESIGN RESPONSE: STREET FACADE - WALL SECTIONS

- 1 METAL SIDING
- 2 METAL ROOFING & CAP FLASHING
- 3 PRECAST CONCRETE TRIM
- 4 RESIDENTIAL PVC VINYL WINDOWS
- 5 BRICK VENEER
- 6 STOREFRONT WINDOWS & DOORS
- 7 ARCHITECTURAL CONCRETE PLANTERS / BASE
- 8 CEMENT PANEL SIDING - BODY
- 9 STEEL ENTRY CANOPY
- 10 ACCENT SCONCE LIGHTING
- 11 CONCRETE PAVING
- 12 EXPOSED HARDWARE AT CONCEALED REFUSE / RECYCLING & EXIT DOORS



STREET LEVEL FACADE - REFUSE / RECYCLE DOORS



STREET LEVEL FACADE - RESIDENTIAL UNIT

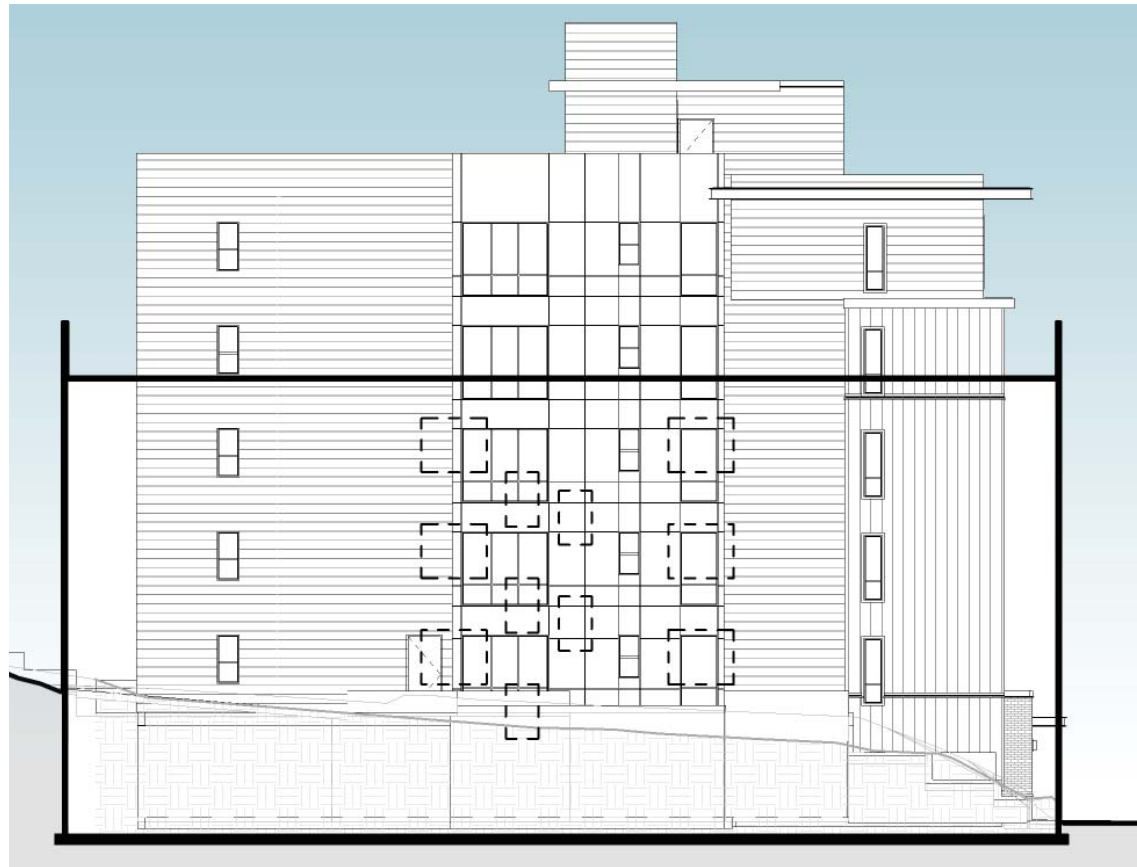


STREET LEVEL FACADE - BUILDING ENTRY

# DESIGN RESPONSE: PRIVACY STUDIES

## DESIGN RATIONALE

To mitigate the impact that proposed development and the adjacent buildings have on one another we conducted privacy studies. Microfilm research for existing building information as well as site photos were used to approximate the location of windows in the adjacent buildings. These drawings were used to coordinate the location of windows within our project to best align with the privacy of both buildings. Windows were oriented vertically or horizontally depending on which condition would result in maximum privacy without compromising glazing area. In most conditions, privacy was improved between buildings as a result of the design reconfiguration and/or increased rear setbacks.



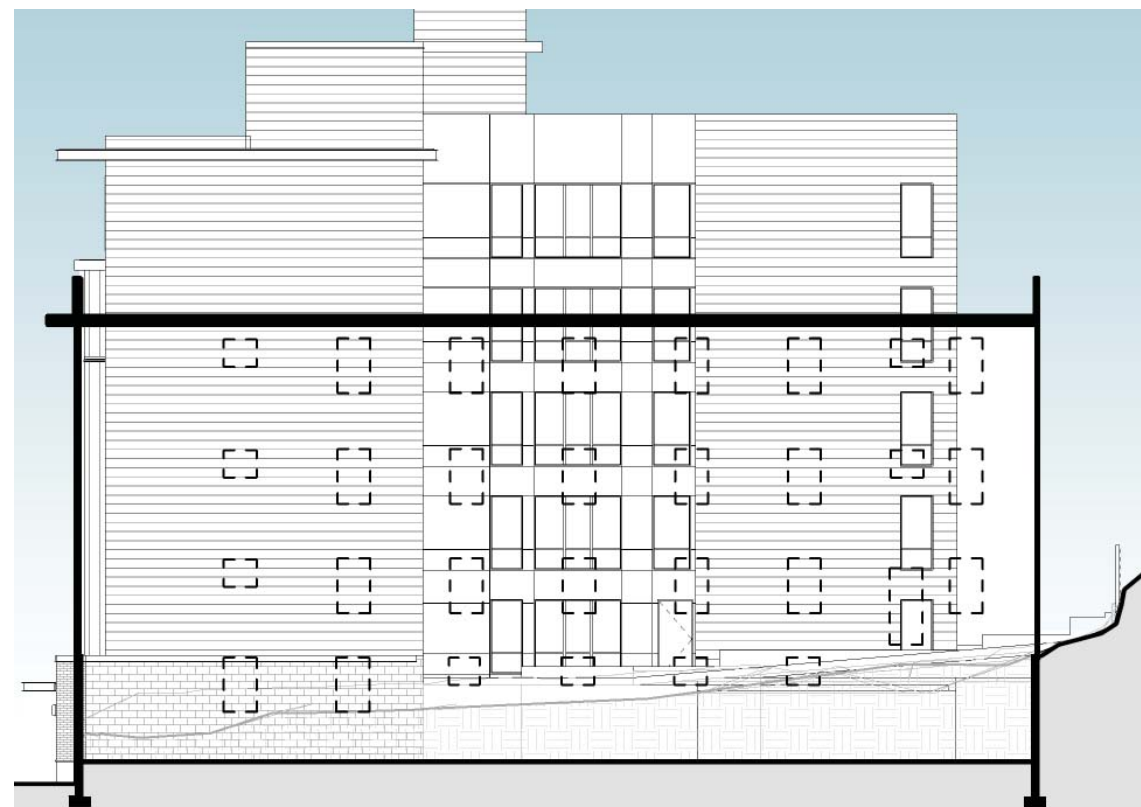
ELEVATION - NORTH



ADJACENT BUILDING - NORTH PROPERTY



ADJACENT BUILDING - EAST PROPERTY



ELEVATION - SOUTH



ADJACENT BUILDING - SOUTH PROPERTY



ELEVATION - EAST



# DESIGN RESPONSE: SIDE AND REAR SETBACKS

PLAN OF PRIOR DESIGN PROPOSAL - DRB MTG #1

NORTH SETBACK CREATED (5' MIN TYP)

NORTH COURTYARD REPLACED WITH MODULATION

NORTH SETBACK CREATED (5' MIN TYP)



SOUTH SETBACK REDUCED (5' MIN TYP)

NORTH FACADE REVISED, MODULATION ADDED

SOUTH SETBACK REDUCED (5' MIN TYP)

## DRB COMMENTS ON PRIOR PROPOSAL

The Board had a strong response to the prior design which requested a reduced rear (east) setback and denied the departure request for the project as designed. The Board further requested that the Applicant pursue a code-compliant design in this area of the site due to substantially sub-standard setbacks of adjacent neighboring buildings in order to increase light and air for all residents. The Board also responded both to public comment and internal discussions and reversed course on the prior design's treatment of the large neighboring building's blank walls by creating a non-conforming zero-lot line condition to mitigate the blank walls themselves. This response in combination with the desire for massing and setbacks to better respond to contextual patterns such as common setbacks on all sides of buildings essentially requires the Applicant to revise their project substantially in order to progress.

## DESIGN RESPONSE TO BOARD COMMENTS

Based on the feedback received from the Board the building was completely redesigned to remove all development within the rear setback and to accommodate the new side setbacks at the north property line. This included reconfiguration of the internal circulation, relocation of the stairs and elevator as well as unit placement. As shown in the development summary, both gross building area and almost 20% of the residential units were removed to accommodate this change.

### REAR SETBACK

As a result of the reconfiguration, no rear setback departure is requested with the modified scheme.

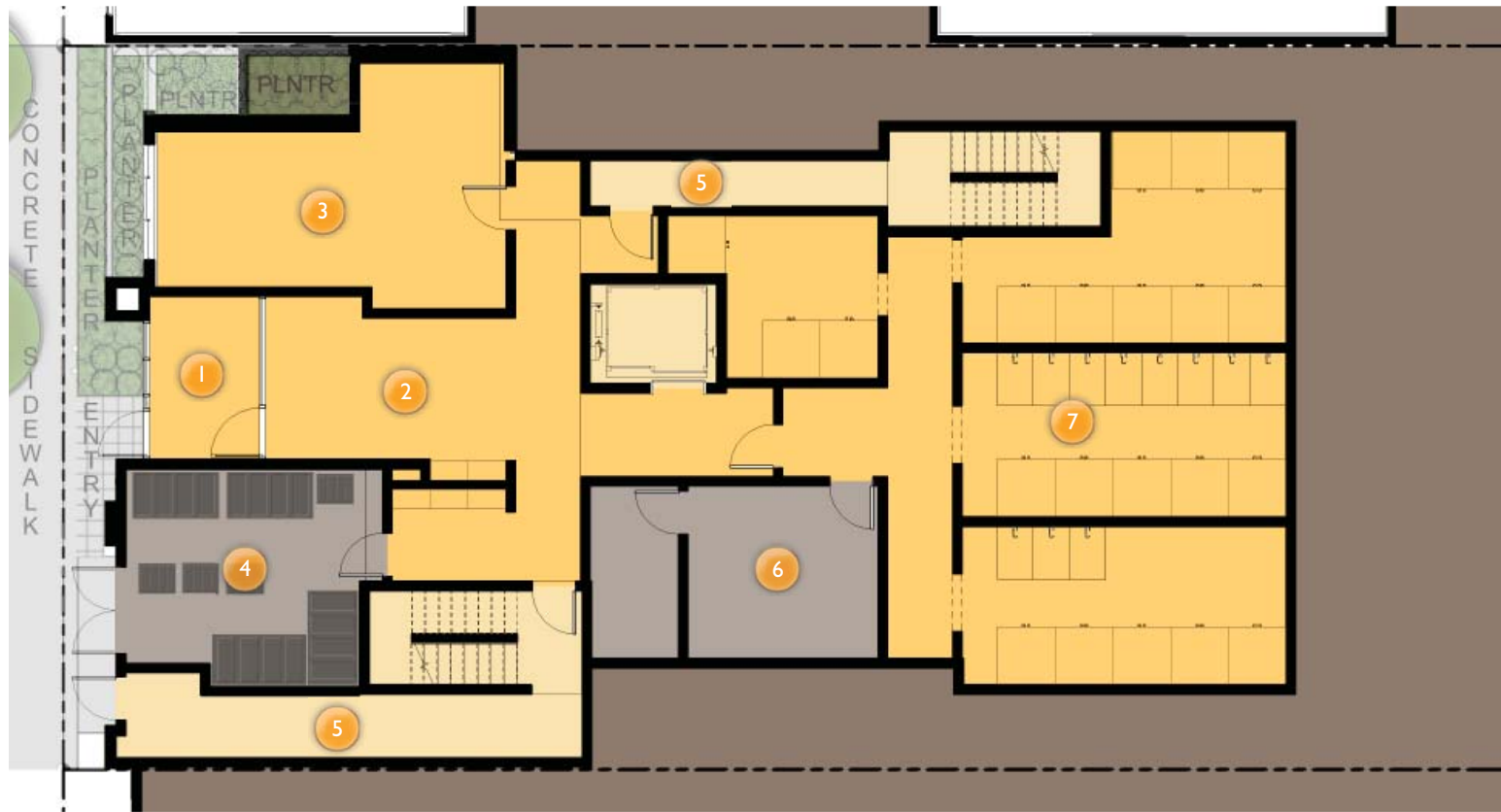
### NORTH SETBACK

In order to maintain modulation, minimizing blank walls as well as preserving project viability, it was necessary at the north property line to provide a minimum 5' setback (4'-6" where the street facade materials return the corner as shown) and the modest courtyard in the prior design was replaced by modulation. Departures are still required in this area but their extent is reduced.

### SOUTH SETBACK

As a part of the building's reconfiguration in response to the north and east setbacks, as well as maintain modulation, minimize blank walls as well as preserving project viability, it was necessary to provide a minimum 5' setback. Departures are still required in this area but their extent is reduced.

# PROJECT PLANS



LEVEL 1

## PLAN LEGEND

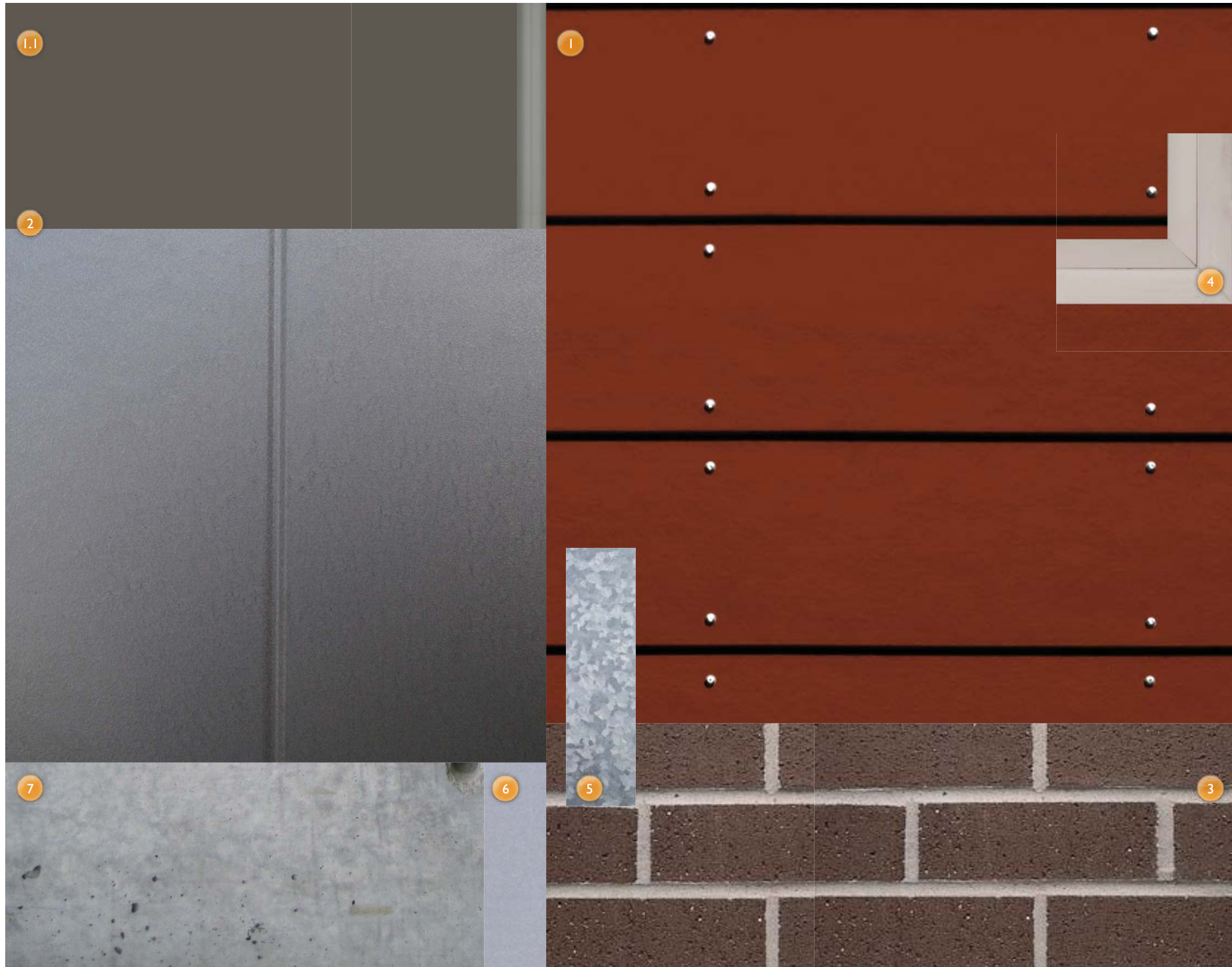
- 1 MAIN PEDESTRIAN ACCESSIBLE ENTRY (SECURE)
- 2 RESIDENTIAL LOBBY
- 3 RESIDENTIAL UNIT
- 4 SOLID WASTE STORAGE
- 5 EGRESS
- 6 MECHANICAL
- 7 TENANT STORAGE / BIKE PARKING
- 8 UNIT TERRACES (LEVEL 2 ONLY)
- 9 COMMON COURTYARD FOR RESIDENTS (LEVEL 2 ONLY)
- 10 COMMON ROOF DECK AMENITY



TYPICAL FLOOR



ROOF DECK



## 1 CEMENT BOARD SIDING - BODY

Cement board panel siding with prefabricated flashing reveals and a closed & open -joint rainscreen systems . Paint color is “Roycroft Copper Red”, SW-2839 by Sherwin Williams.

## 1.1 CEMENT BOARD SIDING - ACCENT

Cement board panel siding with prefabricated flashing reveals and a closed & open -joint rainscreen systems . Paint selection to match “AEP Span, Cool Metallic Silver”

## 2 METAL SIDING

Metal siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is “Cool Metallic Silver”, profile is Prestige Series by AEP Span

## 3 VENEER TILE

Lightweight stone veneer tile by Mutual Materials, SlimBrick “Muana Loa”

## 4 RESIDENTIAL WINDOWS

Vinyl windows, color to be “adobe”.

## 5 RAILINGS / AWNINGS

Galvanized metal railing and awning components.

## 6 STOREFRONT

Aluminum metal storefronts, “Titanium” finish. Metal louver components powdercoated to match storefront color.

## 7 CONCRETE

Cast in place concrete planter beds.

# PROJECT PERSPECTIVE

- 18 METAL FASCIA & CAP FLASHING
- 17 CEMENT PANEL SOFFIT - ACCENT
- 16 DECKLET RAILINGS AT PENTHOUSE UNITS
- 15 BUILT-UP METAL CORNICE TRIM & FLASHING
- 4 RESIDENTIAL PVC VINYL WINDOWS
- 1 METAL SIDING
- 2 METAL ROOFING & CAP FLASHING
- 3 PRECAST CONCRETE TRIM
- 13 STREET TREES
- 6 STOREFRONT WINDOWS & DOORS
- 7 BRICK VENEER
- 7 ARCHITECTURAL CONCRETE PLANTERS / BASE



- 4 RESIDENTIAL PVC VINYL WINDOWS
- 14 CEMENT PANEL SIDING - ACCENT
- 8 CEMENT PANEL SIDING - BODY
- 8 STEEL ENTRY CANOPY / LINTELS
- 10 ACCENT SCONCE LIGHTING
- 12 EXPOSED HARDWARE AT CONCEALED REFUSE / RECYCLING & EXIT DOORS
- 11 CONCRETE PAVING



WEST ELEVATION (SUMMIT AVENUE)



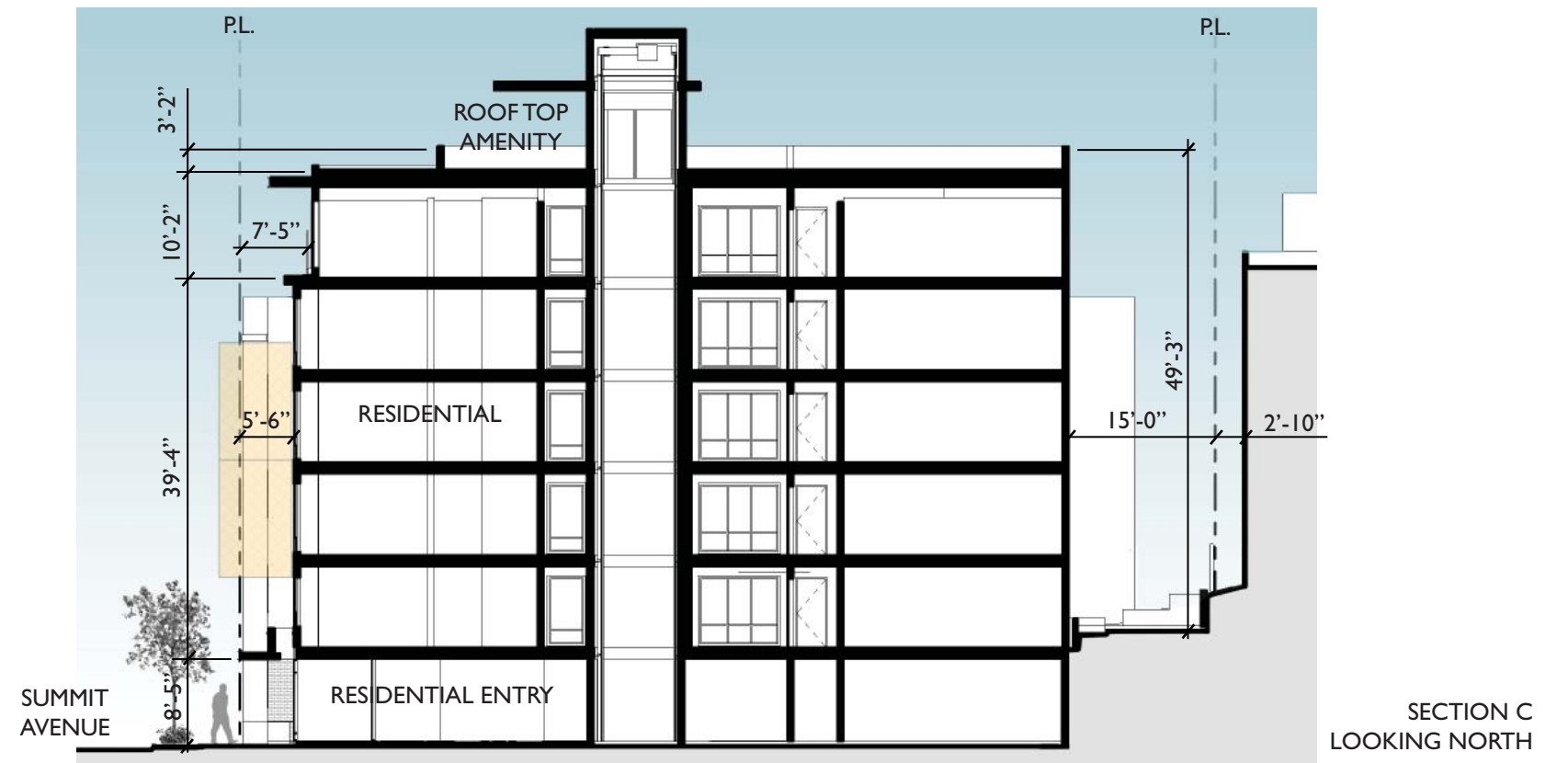
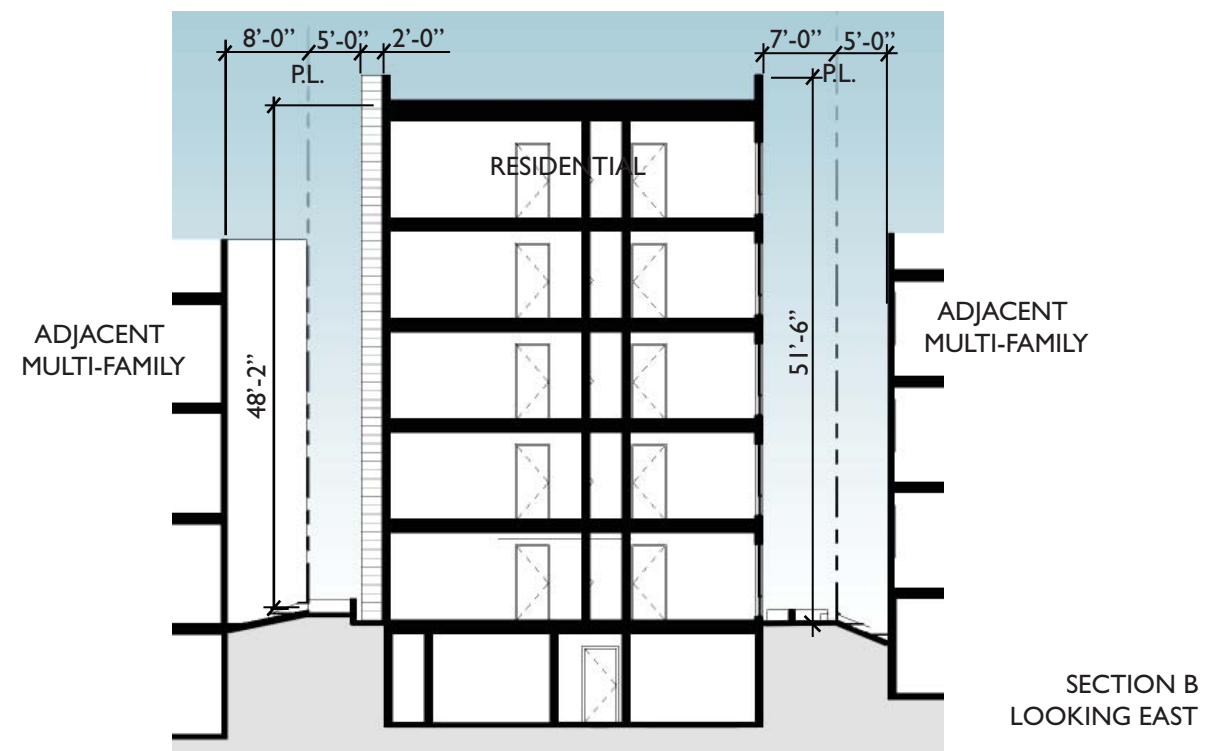
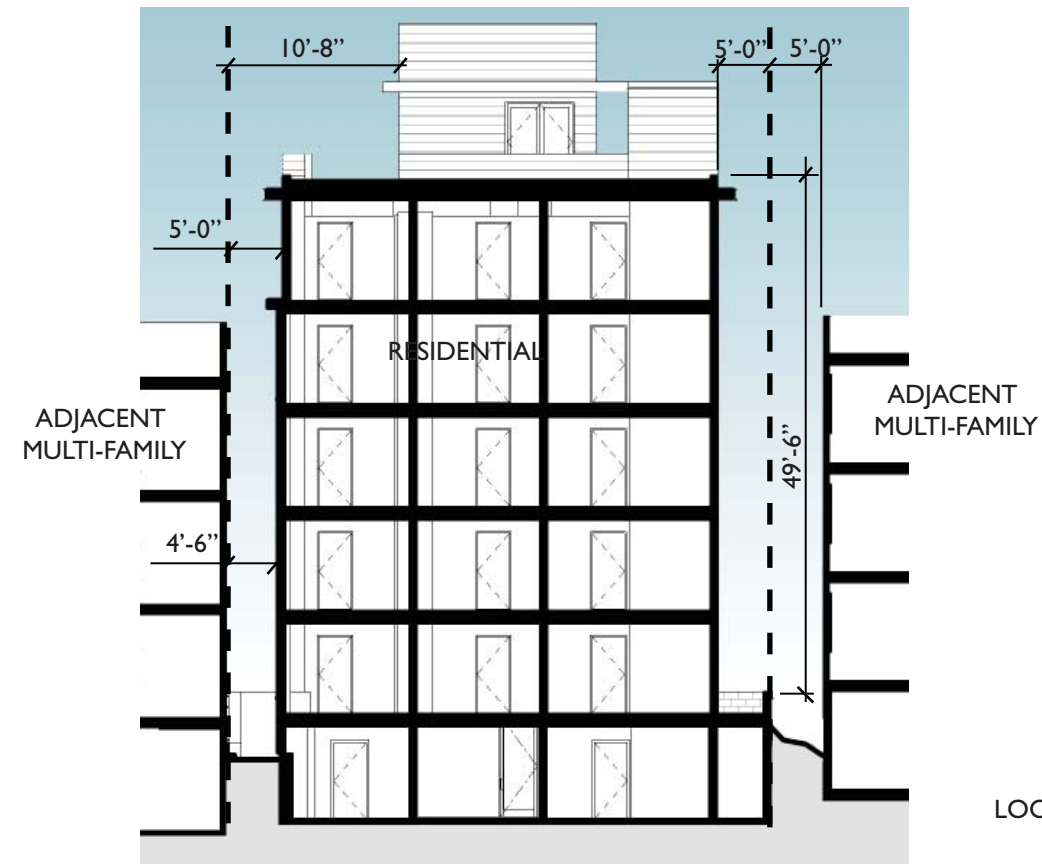
SOUTH ELEVATION










EAST ELEVATION



NORTH ELEVATION



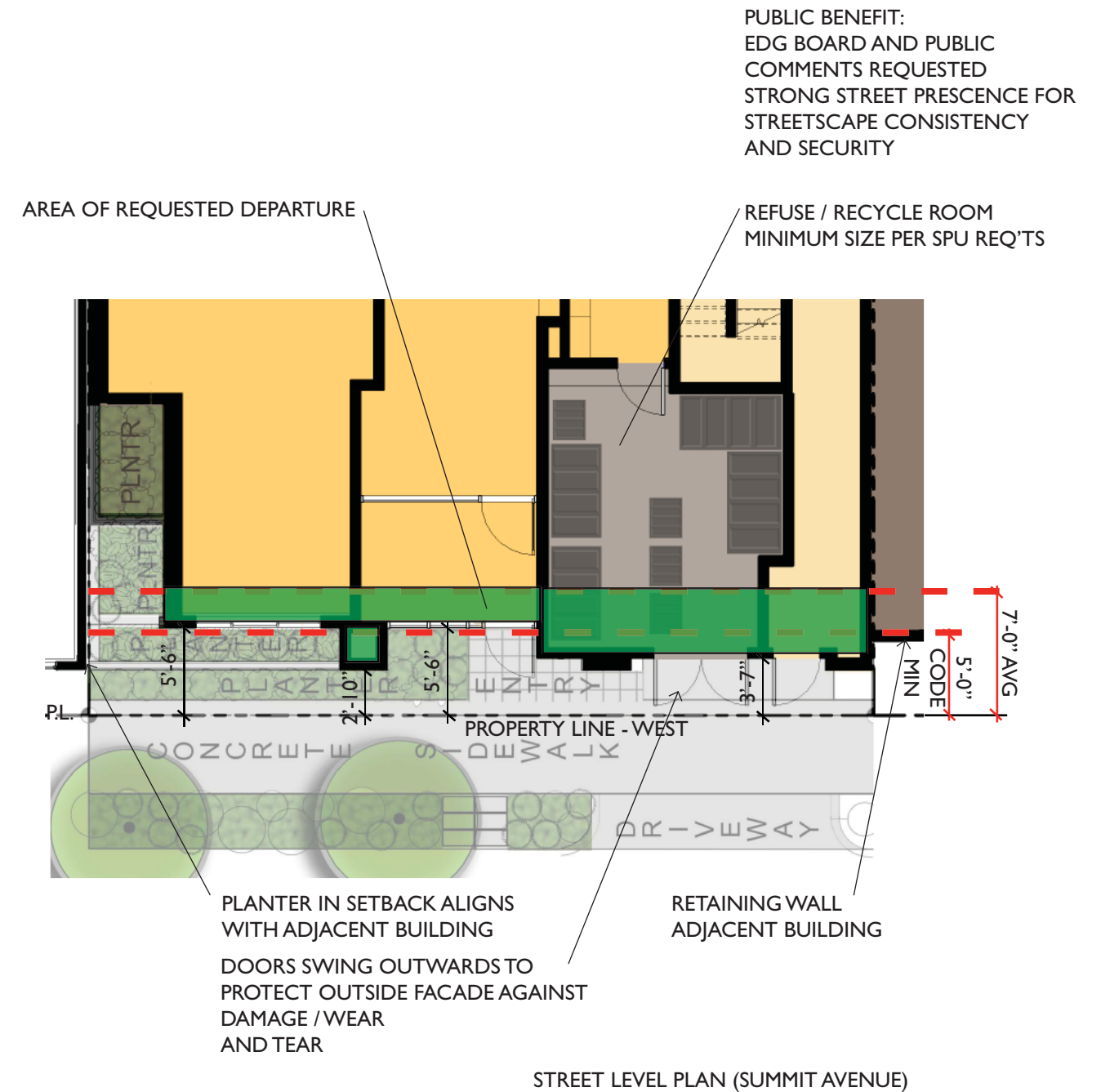
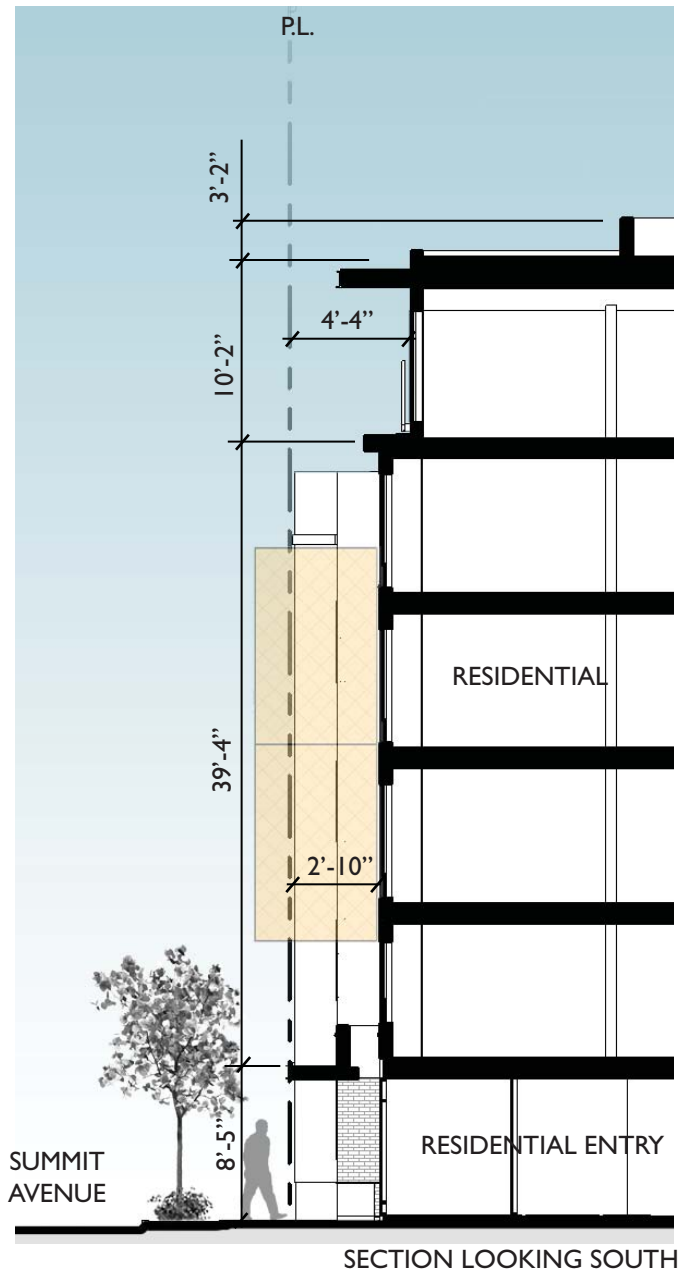
# DEPARTURE REQUESTS: MATRIX

| DEPARTURE NUMBER  | LAND USE CODE SECTION | ITEM                           | CODE REQUIREMENT   | DRB #1 BOARD RESPONSE | DEPARTURE REQUESTED   | DESIGN RATIONALE   |
|---|-----------------------|--------------------------------|--|-----------------------|---|--|
| 1    | SMC 23.45.518         | FRONT SETBACK                  | 7' Average setback required with minimum 5' dimension.   | FAVORABLE             | Reduce required setback to:<br>Minimum = 2'-10" Min<br>Maximum = 5'-4"<br>Average = 3.58'                 | Adjacent buildings architecturally respond by coming up to the street, however they do not meet current SCL clearances. Required clearances overhead due to SCL energized utility pole restrict the proposed project from providing bay windows as neighborhood contextual response. Building tower is located as close to front utility clearance as possible to maximize rear setback areas, while building street level facade is pulled forward towards street with entry and street-level landscaping. Street level facade elements are aligned with adjacent buildings' materials and facades to respect existing conditions, such as where existing terraced garage will be replaced.   |
| 2    | SMC 23.45.518         | SIDE SETBACK:<br>SOUTH BLW 42' | 7' Average setback required with a min. of 5' from +0' to +42' above grade.  | FAVORABLE             | Reduce required setback to:<br>Minimum = 0'-0" (SW corner only)<br>Maximum 7'-0"<br>Average = 3.58'       | Ground level street front facade at west extends to property line at south to establish podium for building. Zero setback at south only exists for short distance before floor 1 facade is underground. Tower above is a minimum of 5' of setback at all levels 2 and above and further is modulated mid-building to provide visual and massing relief as well as maximizing light and air. Building modulation limited to horizontal adjustments in plan in response to neighborhood patterns. Location of building on property in response to creating north setback necessitated reducing south setbacks. Departures requested are minimum possible while maintaining minimum building code requirements.   |
| 3    | SMC 23.45.518         | SIDE SETBACK:<br>SOUTH ABV 42' | 10' Average setback required with a min. of 5' from +42' to height limit above grade.  | FAVORABLE             | Reduce required setback to:<br>Minimum = 5'-0"<br>Maximum = 7'-0"<br>Average = 6.51'                      |  |
| 4   | SMC 23.45.518         | SIDE SETBACK:<br>NORTH BLW 42' | 7' Average setback required with a min. of 5' from +0' to +42' above grade.  | FAVORABLE IF REVISED  | Reduce required setback to:<br>Minimum = 4'-6" (front section only)<br>Maximum = 7'-0"<br>Average = 5.51' |  |
| 5  | SMC 23.45.518         | SIDE SETBACK:<br>NORTH ABV 42' | 10' Average setback required with a min. of 5' from +42' to height limit above grade.  | FAVORABLE IF REVISED  | Reduce required setback to:<br>Minimum = 4'-6"<br>Maximum = 7'-0"<br>Average = 5.63'                      | The design was moved back from the property line to create setbacks more architecturally contextual to the neighborhood. This gesture was made but full zoning conformance was not practically feasible. In compensation, the ground level street front facade at north is recessed to provide landscaping around base of residential tower above to reinforce setback to neighboring building. Tower above is a minimum of 5' of setback at all levels 2 and above and further is modulated mid-building to provide visual and massing relief as well as maximizing light and air, with one exception. In response to DRB comments, the exterior siding of the primary east facade are uniformly continued around the north facade, thus reducing the setback to approximately 4'-6" for a limited distance. Building modulation limited to horizontal adjustments in plan in response to neighborhood patterns. Location of building on property in response to creating north setback necessitated reducing south setbacks. Departures requested are minimum possible while maintaining minimum building code requirements. |
| 6  | SMC 23.45.518         | REAR SETBACK                   | Minimum 15' setback  | DENIED                | PROJECT NOW COMPLIANT.<br>NO DEPARTURE REQUESTED.   |  |
| 7  | SMC 23.54.030.F.6     | CURB CUT                       | Replacement of unused curb cuts. When a curb cut is no longer needed to provide access to a lot, the curb and any planting strip must be replaced. | FAVORABLE             | Project proposes:<br>Retention of existing curb cut for use of solid waste pick up.                       | The project proposes retention of the existing curb cut for maneuvering of the solid waste dumpsters. This curb cut is currently being used to move the dumpsters to the adjacent property aslo. Removing this curb cut will result in the dumpsters being stacked on the sidewalk. If removed it is unclear how SPU will move the dumpsters over the curb gutter.   |



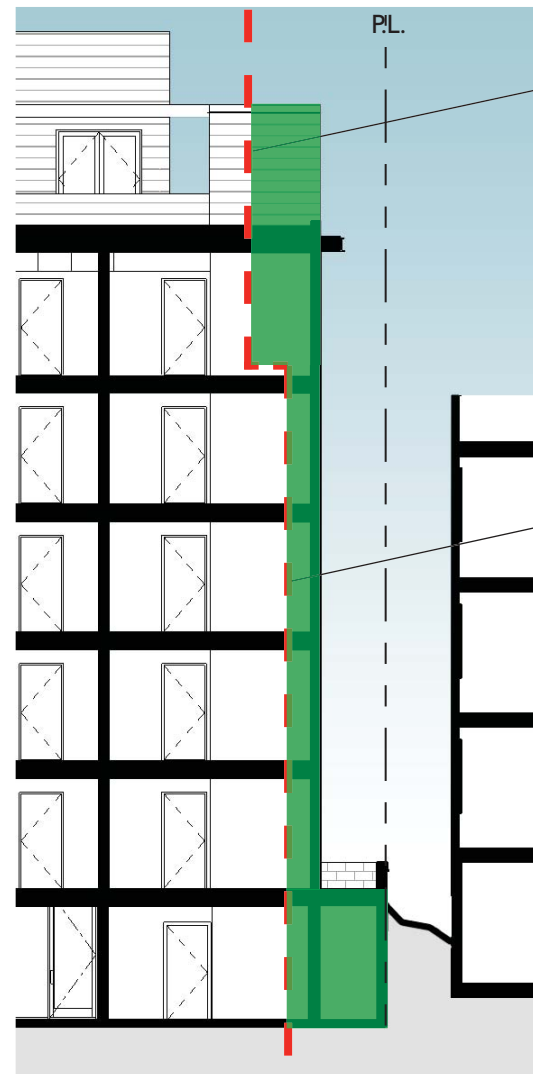
# DEPARTURE REQUESTS: FRONT (STREET) SETBACK

|                                     |               |               |  |   |  |
|-------------------------------------|---------------|---------------|--|---|--|
| DI                                  | SMC 23.45.518 | FRONT SETBACK | 7' Average setback required with minimum 5' dimension. | Reduce required setback to:<br>Minimum = 2'-10" Min<br>Maximum = 5'-4"<br>Average = 3.58' | Adjacent buildings architecturally respond by coming up to the street, however they do not meet current SCL clearances. Required clearances overhead due to SCL energized utility pole restrict the proposed project from providing bay windows as neighborhood contextual response. Building tower is located as close to front utility clearance as possible to maximize rear setback areas, while building street level facade is pulled forward towards street with entry and street-level landscaping. Street level facade elements are aligned with adjacent buildings' materials and facades to respect existing conditions, such as where existing terraced garage will be replaced. |
| DRB #1 BOARD RESPONSE:<br>FAVORABLE |               |               |  |   |  |



# DEPARTURE REQUESTS: SOUTH SETBACKS

|   |    |  |                           |   |   |  |
|---|----|--|---------------------------|---|---|--|
| 2 | D2 | SMC 23.45.518<br>DRB #1 BOARD RESPONSE:<br>FAVORABLE | SIDE SETBACK - S. BLW 42' | 7' Average setback required with a min. of 5' from +0' to +42' above grade.           | Reduce required setback to:<br>Minimum = 0'-0" (SW corner only)<br>Maximum 7'-0"<br>Average = 3.58' | Ground level street front facade at west extends to property line at south to establish podium for building. Zero setback at south only exists for short distance before floor 1 facade is underground. Tower above is a minimum of 5' of setback at all levels 2 and above and further is modulated mid-building to provide visual and massing relief as well as maximizing light and air. Building modulation limited to horizontal adjustments in plan in response to neighborhood patterns. Location of building on property in response to creating north setback necessitated reducing south setbacks. Departures requested are minimum possible while maintaining minimum building code requirements. |
| 3 | D3 | SMC 23.45.518<br>DRB #1 BOARD RESPONSE:<br>FAVORABLE | SIDE SETBACK - S. ABV 42' | 10' Average setback required with a min. of 5' from +42' to height limit above grade. | Reduce required setback to:<br>Minimum = 5'-0"<br>Maximum = 7'-0"<br>Average = 6.51'                |  |



SECTION A - SOUTH PROPERTY LINE

LINE OF CODE COMPLIANT AVERAGE SETBACK ABOVE 42' BLDG HEIGHT = 10'

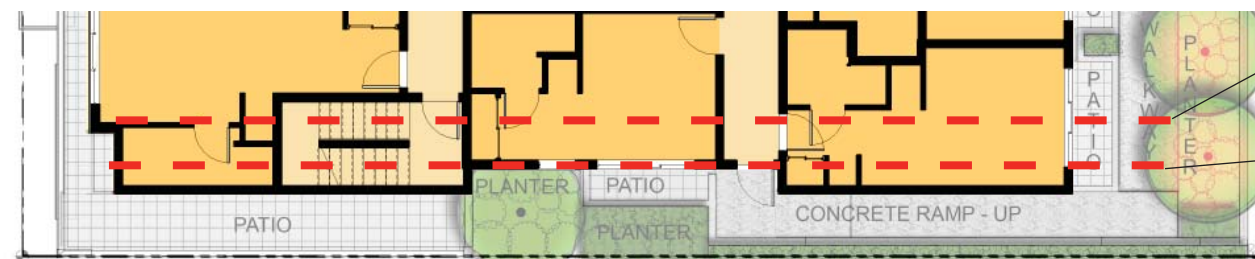
PUBLIC BENEFIT: DEPARTURE ALLOWS FOR THE VERTICAL CONSISTENCY SEEN ELSEWHERE IN THE NEIGHBORHOOD BY MAINTAINING A PLANER FACADE

LINE OF CODE COMPLIANT AVERAGE SETBACK BELOW 42' BLDG HEIGHT = 7'

PUBLIC BENEFIT: SLIGHTLY WIDER BASE ALLOWS FOR THE BUILDING TO BE A STORY SHORTER TO BETTER MATCH THE HEIGHT OF THE NEIGHBORHOOD. BUILDING WIDTH IS SIMILAR TO ADJACENT PROJECTS WITH THIS DEPARTURE.



SOUTH ELEVATION



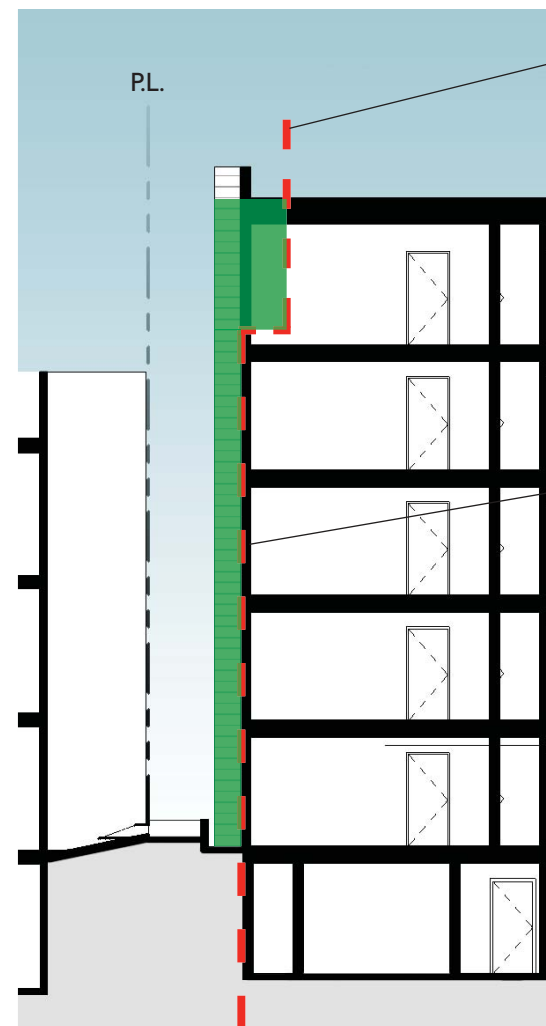
PLAN - GROUND LEVEL

LINE OF CODE COMPLIANT AVERAGE SETBACK ABOVE 42' BLDG HEIGHT = 10'

LINE OF CODE COMPLIANT AVERAGE SETBACK BELOW 42' BLDG HEIGHT = 7'

# DEPARTURE REQUESTS: NORTH SETBACKS

|   |  |  |   |   |  |
|---|--|--|---|---|--|
| 4 | D4<br>DRB #1 BOARD RESPONSE:<br>FAVORABLE IF REVISED | SMC 23.45.518<br>SIDE SETBACK - N. BLW 42' | 7' Average setback required with a min. of 5' from +0' to +42' above grade.           | Reduce required setback to:<br>Minimum = 4'-6" (front section only)<br>Maximum = 7'-0"<br>Average = 5.51' | The design was moved back from the property line to create setbacks more architecturally contextual to the neighborhood. This gesture was made but full zoning conformance was not practically feasible. In compensation, the ground level street front facade at north is recessed to provide landscaping around base of residential tower above to reinforce setback to neighboring building. Tower above is a minimum of 5' of setback at all levels 2 and above and further is modulated mid-building to provide visual and massing relief as well as maximizing light and air, with one exception. In response to DRB comments, the exterior siding of the primary east facade are uniformly continued around the north facade, thus reducing the setback to approximately 4'-6" for a limited distance. Building modulation limited to horizontal adjustments in plan in response to neighborhood patterns. Location of building on property in response to creating north setback necessitated reducing south setbacks. Departures requested are minimum possible while maintaining minimum building code requirements. |
| 5 | D5<br>DRB #1 BOARD RESPONSE:<br>FAVORABLE IF REVISED | SMC 23.45.518<br>SIDE SETBACK - N. ABV 42' | 10' Average setback required with a min. of 5' from +42' to height limit above grade. | Reduce required setback to:<br>Minimum = 4'-6"<br>Maximum = 7'-0"<br>Average = 5.63'                      |  |



SECTION A - NORTH PROPERTY LINE

LINE OF CODE COMPLIANT AVERAGE SETBACK ABOVE 42' BLDG HEIGHT = 10'

PUBLIC BENEFIT: DEPARTURE ALLOWS FOR THE VERTICAL CONSISTENCY SEEN ELSEWHERE IN THE NEIGHBORHOOD BY MAINTAINING A PLANER FACADE

LINE OF CODE COMPLIANT AVERAGE SETBACK BELOW 42' BLDG HEIGHT = 7'

PUBLIC BENEFIT: SLIGHTLY WIDER BASE ALLOWS FOR THE BUILDING TO BE A STORY SHORTER TO BETTER MATCH THE HEIGHT OF THE NEIGHBORHOOD. BUILDING WIDTH IS SIMILAR TO ADJACENT PROJECTS WITH THIS DEPARTURE.



NORTH ELEVATION



PLAN - GROUND LEVEL

LINE OF CODE COMPLIANT AVERAGE SETBACK ABOVE 42' BLDG HEIGHT = 10'

LINE OF CODE COMPLIANT AVERAGE SETBACK BELOW 42' BLDG HEIGHT = 7'

|                    |  |                 |   |   |  |
|--------------------|--|-----------------|---|---|--|
| <p>7</p> <p>D7</p> | <p>SMC 23.54.030.F.6</p> <p>DRB #1 BOARD RESPONSE:<br/>FAVORABLE</p> | <p>CURB CUT</p> | <p>Replacement of unused curb cuts. When a curb cut is no longer needed to provide access to a lot, the curb and any planting strip must be replaced.</p> | <p>Project proposes:<br/>Retention of existing curb cut for use of solid waste pick up.</p> | <p>The project proposes retention of the existing curb cut for maneuvering of the solid waste dumpsters. This curb cut is currently being used to move the dumpsters for the adjacent property aslo. Removing this curb cut will result in the dumpsters being stacked on the sidewalk. If removed it is unclear how SPU will move the dumpsters over the curb gutter. Additionally, the current proposal now provides a greater setback at the sidewalk, allowing the doors of the refuse / recycle to swing outward. Dents and dings would not occur on the exterior facade to these doors due to the maneuvering of the bins.</p> |
|--------------------|--|-----------------|---|---|--|



DEPARTURE REQUESTED - RETAIN EXISTING CURB CUT



CODE REQUIRED

