

RECOMMENDATION MEETING:
NORTHEAST DESIGN RE-
VIEW BOARD
DPD# 3013250

OWNER
CORE SPACES, INC.
2234 W North Ave.
Chicago, IL 60647

ARCHITECT
STUDIO19 ARCHITECTS
207 1/2 1st Ave S
Suite 300
Seattle, WA 98104

HUB ON CAMPUS SEATTLE

5000 UNIVERSITY WAY NE

Seattle, WA



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PROJECT INFORMATION

PROJECT DESCRIPTION

The proposal is to demolish the existing buildings and construct a new mixed-use off-campus student housing apartment building. Commercial retail space and a residential lobby will be located at the ground floor level on University Way. The building consist of one floor of parking and five floors of apartments above, specifically, 111 units with 41 parking stalls for residential use.

Located in the University District at a designated 'gateway' intersection, this project is situated within the designated Principal Pedestrian Street and a frequent transit corridor. The site is also within walking distance to the University of Washington. The proposed mixed-use building will reinforce the existing characteristics of the neighborhood by creating street-level retail and student housing units on higher levels.

PROPERTY ADDRESS: 5000 University Way NE
Seattle, WA 98105

Parcel Number: 881640-0435

ZONE: NC3P-65

- OVERLAYS: University District NW
- Urban Center Village
 - Designated Principal Pedestrian Street
 - Frequent Transit Corridor

APPLICABLE DESIGN GUIDE-
LINES: City of Seattle Design Guidelines
University Community Design Guidelines

LOT AREA: 26,052 SF

FAR 4.75 (26,052 SF x 4.75 = 123,474 SF)

NUMBER OF RESIDENTIAL
UNITS: 111

NUMBER OF PARKING
STALLS: 41 Residential Stalls

BUILDING HEIGHT: 65 Feet Above Average Grade

DEPARTURES: 23.47A.008.B1 Transparency



UNIVERSITY VILLAGE



UNIVERSITY OF WASHINGTON



UNIVERSITY HEIGHTS SCHOOL



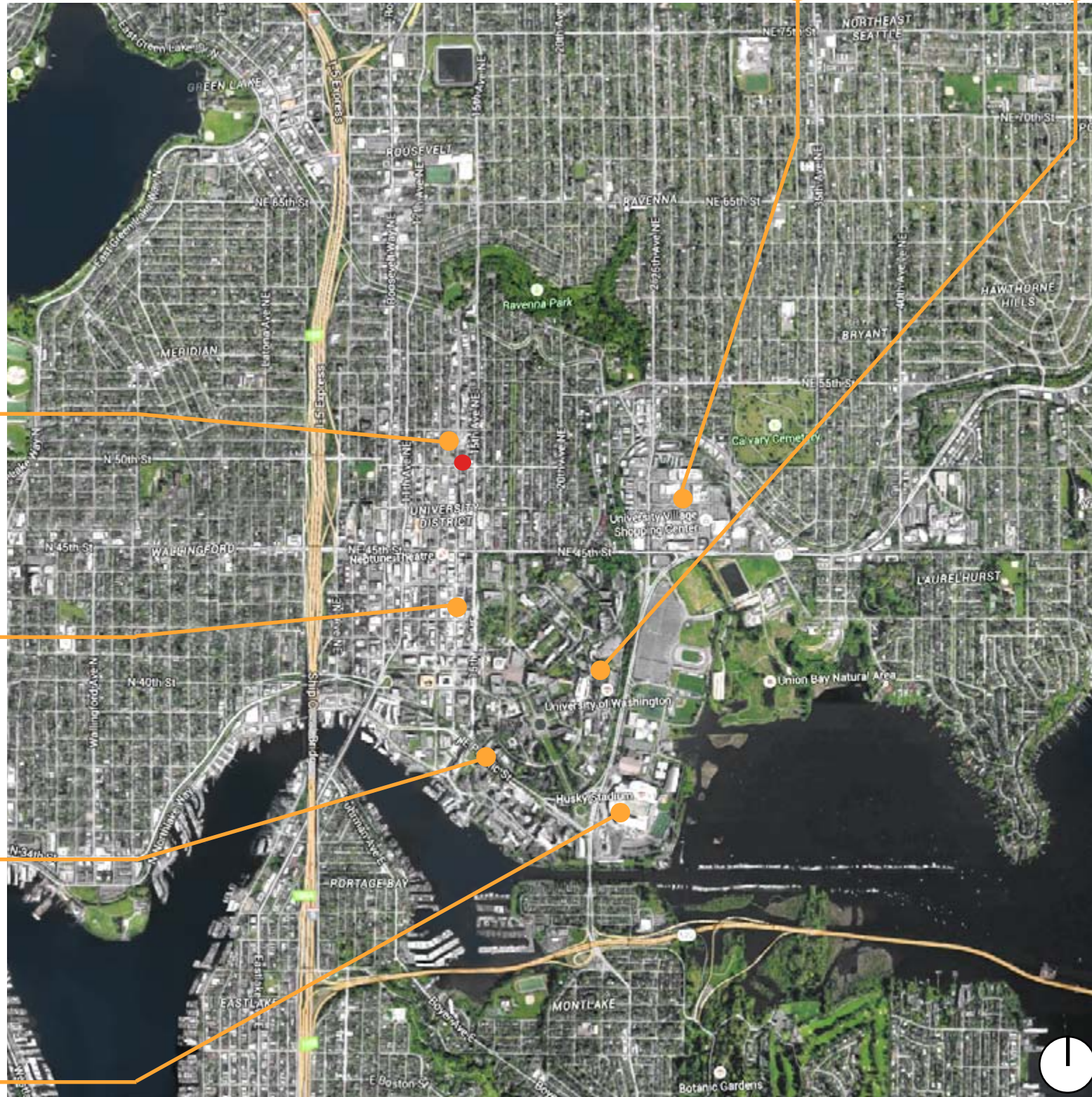
UNIVERSITY WAY



UW MEDICAL CENTER



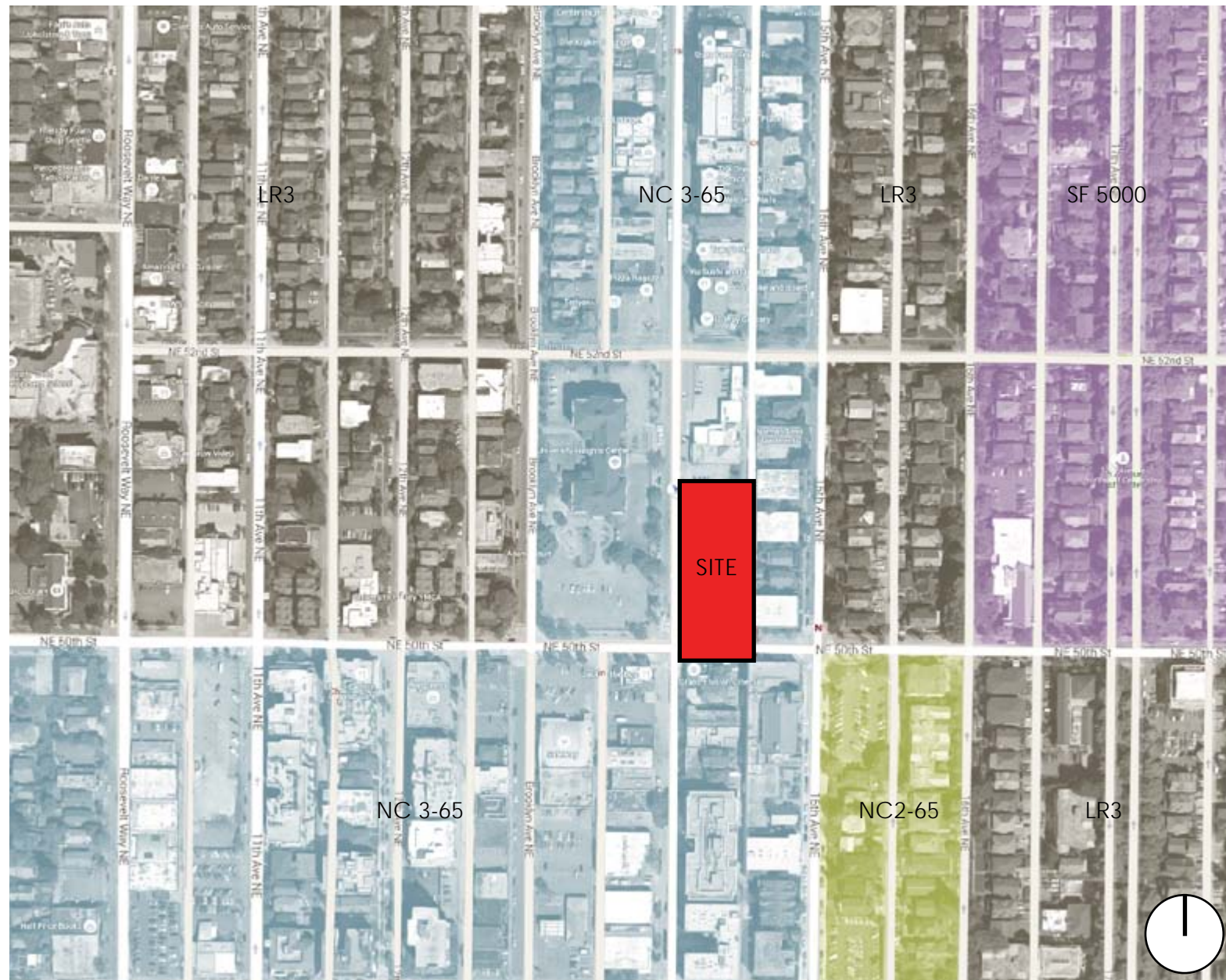
HUSKY STADIUM



SITE ANALYSIS

SITE SURROUNDINGS

The site is located in an NC3P-65 zone and is surrounded by NC2-65, LR3, LR2 and SF 5000 districts. Several projects of similar type have been proposed or preceded into construction in the vicinity.



■ SITE
 ■ MIXED USE
 ■ APARTMENT BUILDING
 ■ INSTITUTIONAL
 ■ RESIDENTIAL
 ■ COMMERCIAL
 ■

1. University Heights Community Center
2. University District Farmer's Market
3. Third Church-Christ Scientist
4. University Christian Church



SITE ANALYSIS

OPPORTUNITIES + CONSTRAINTS



NE 50th STREET:

- Steep sloped street (11 feet rise in elevation from west to east) presents challenges to building design

BACK ALLEY (EAST):

- Sloped alley presents challenges to building design and garage access
- Required setbacks for adjacent residential zoning

UNIVERSITY WAY NE:

- Relatively flat street; easy to walk on
- Pedestrian oriented streetscape
- Mixed use corridor with commercial and residential uses

AMENITIES:

- University District's Farmers Market
- Close proximity to public transit and green spaces
- Established pedestrian corridor

VIEWS + LIGHT:

- The view from this site is mainly of the surrounding area.
- There are higher hills to the west and east, and is flat to the north and south. The site will have natural light coming from all directions
- Opportunity to create a new focus, a gateway building for the neighborhood

BUILDING MASS:

- More human scale with modular design
- Corner entrance designed to increase neighborhood presence with green streetscape and open public space

GATEWAY CORNER LOT:




- The corner of 50th Street and University Way NE includes businesses such as Jack in the Box, the University Heights Community Center's parking lot, & Grand Illusion Cinema + Ebits PC Laptop Business
- Constraint: security and street-level safety
- Opportunity: Building to improve the neighborhood

SITE ANALYSIS

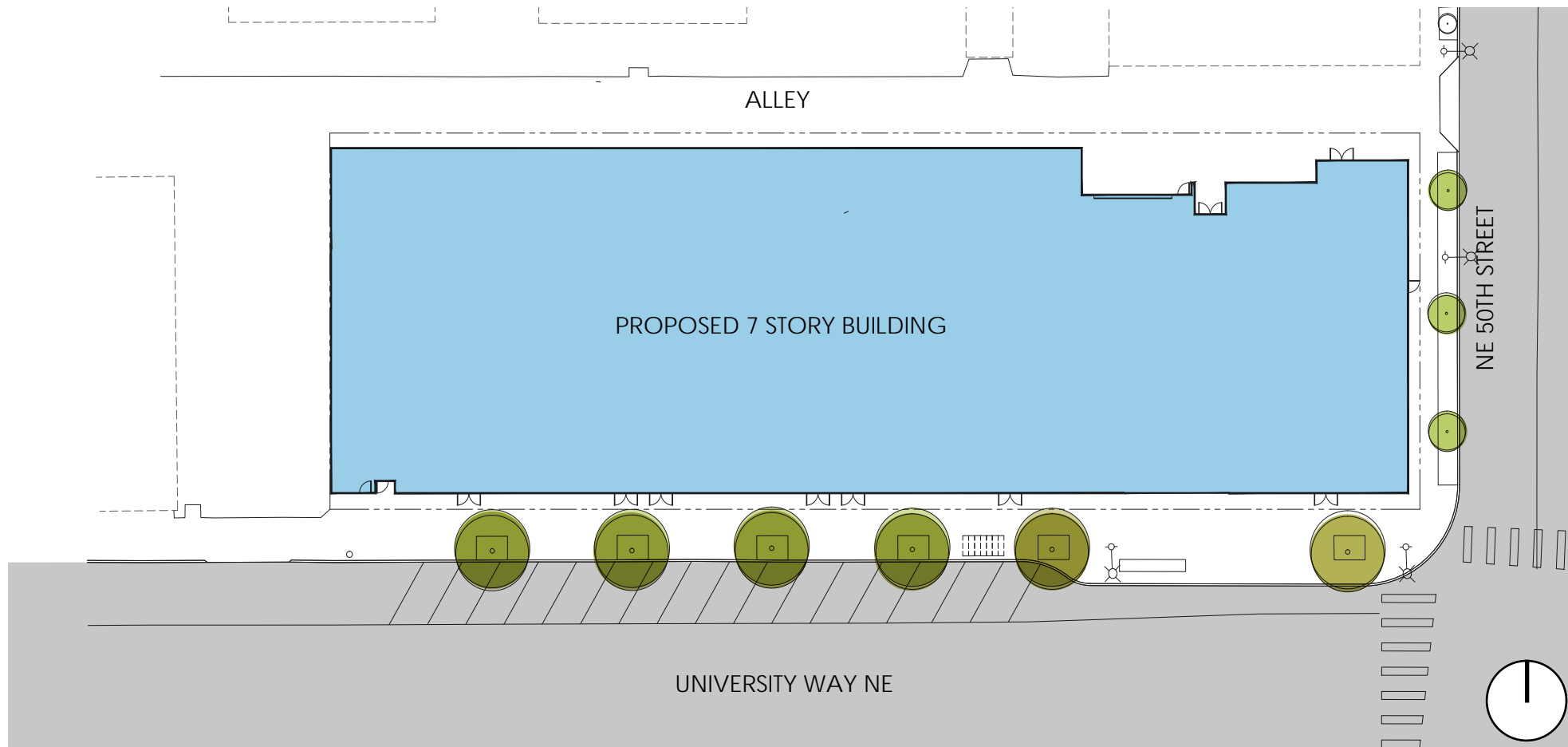
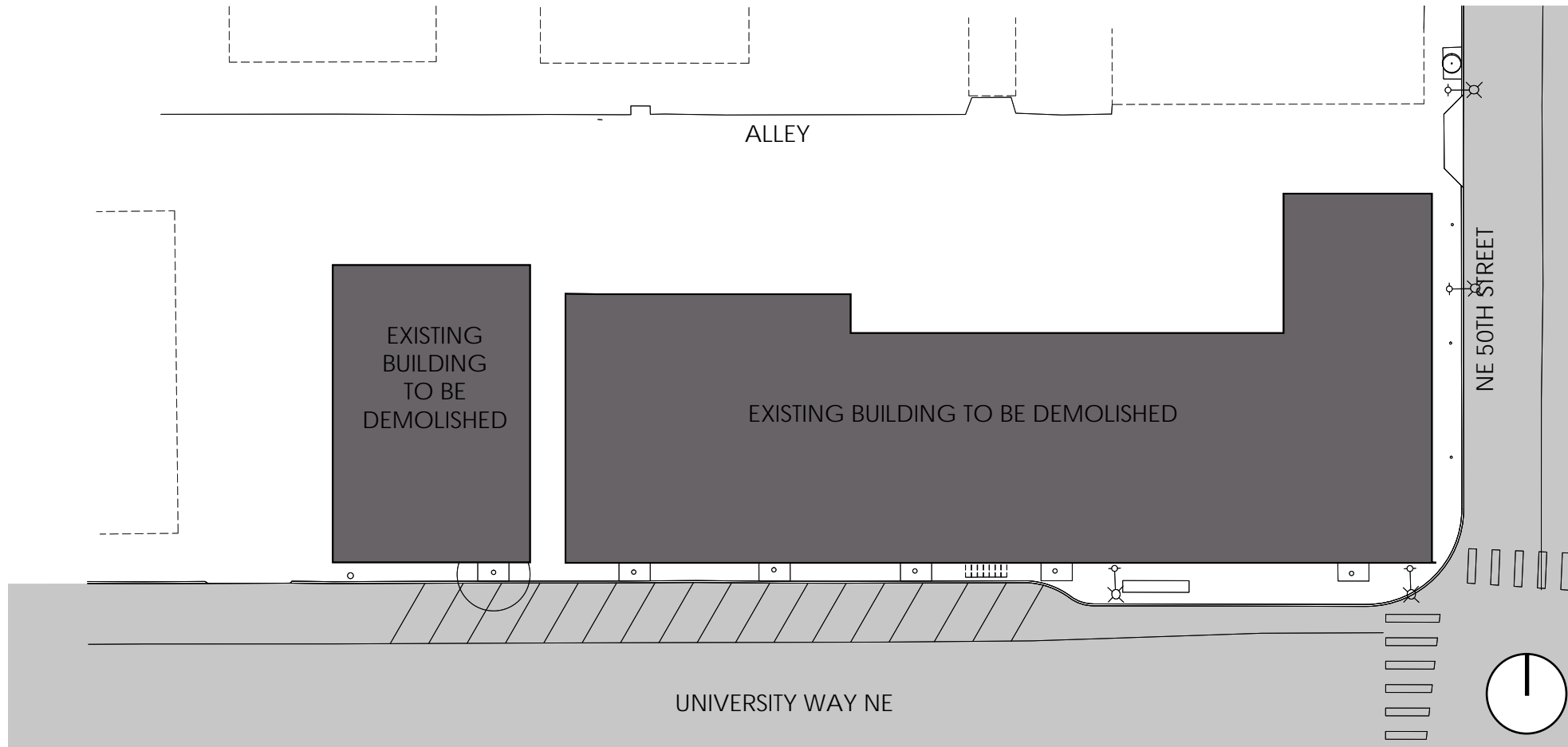
PEDESTRIAN ORIENTED STREETSCAPE

The project's direct proximity to local transit reduces the need for more parking stalls. Located in a prominent mixed use corridor, where commercial and residential uses intermingle, there are even greater incentives to designing a building that will contribute and facilitate a lively, attractive, and safe pedestrian environment.



-  PUBLIC TRANSPORTATION
-  PEDESTRIAN CORRIDOR
-  FUTURE LIGHT RAIL

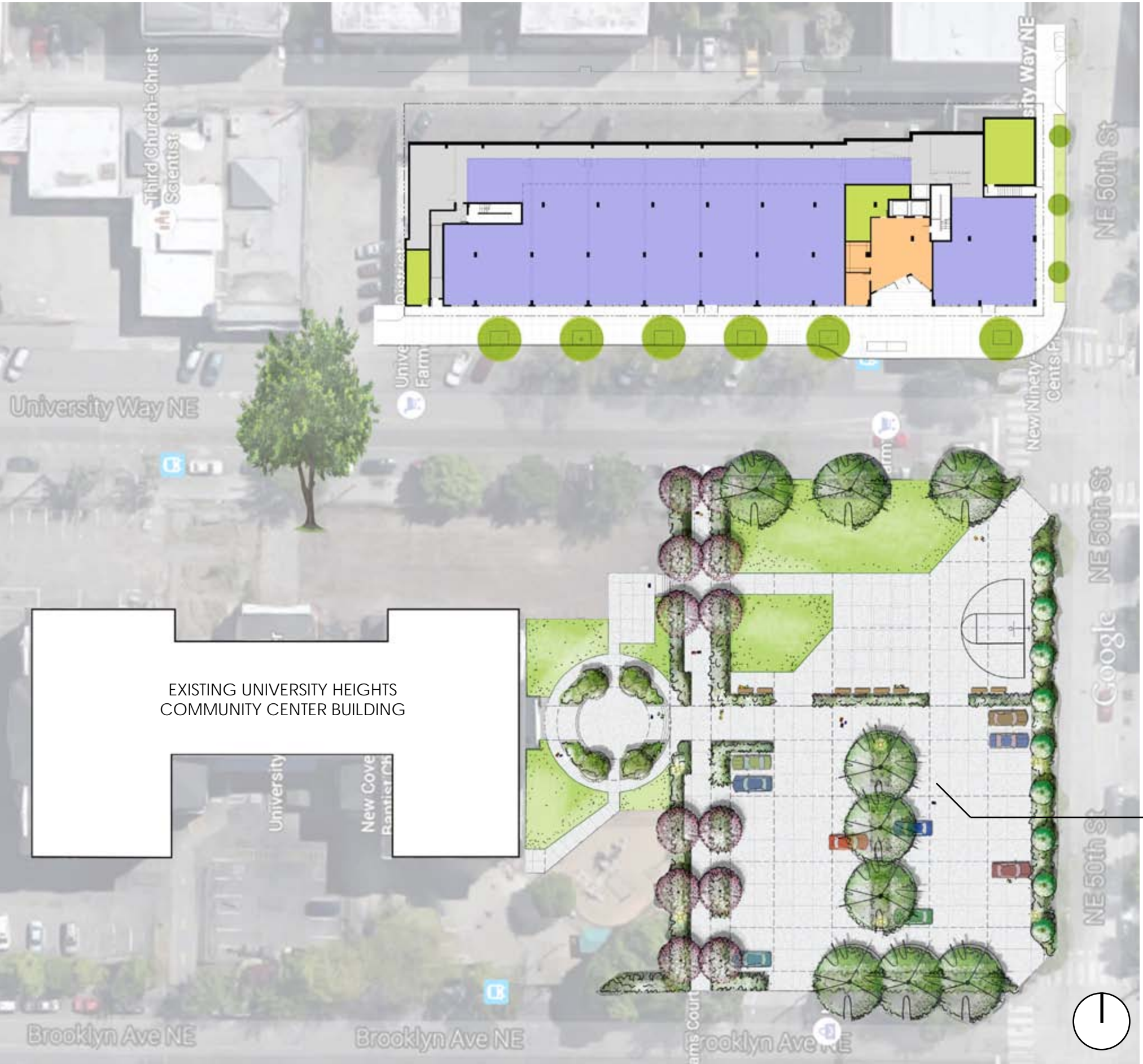
SITE ANALYSIS



SITE ANALYSIS

EXISTING SURROUNDINGS

In addition to the prominent corner of 50th and University there are two other distinguished elements that surround the project. A new park will soon occupy the existing parking lot and weekend farmer's market. Also, the landmark building, University Heights Center, is located diagonally across the street on University.



EXISTING UNIVERSITY HEIGHTS
COMMUNITY CENTER BUILDING

Proposed park at existing parking lot and
farmer's market

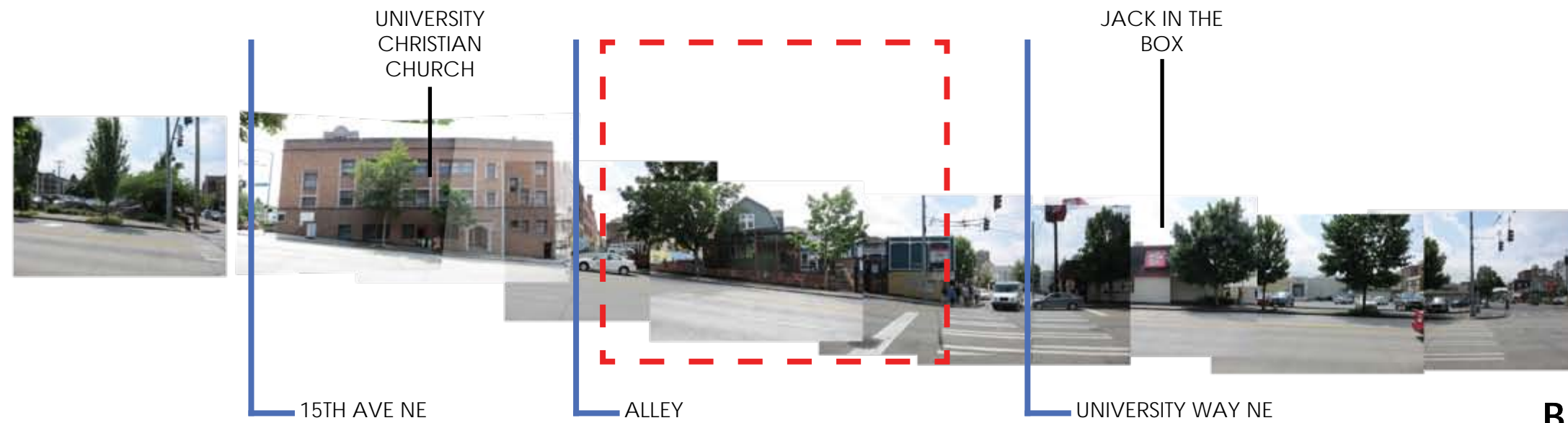
SITE ANALYSIS

NE 50th STREET



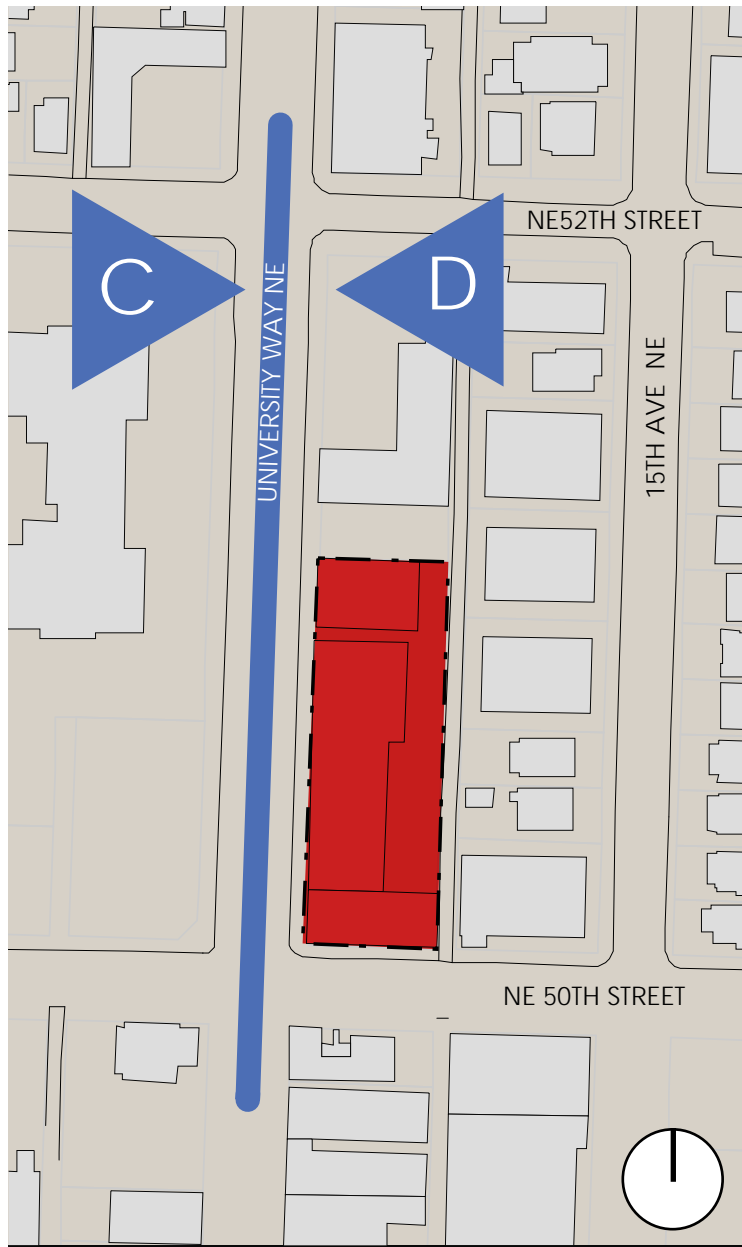
A

B

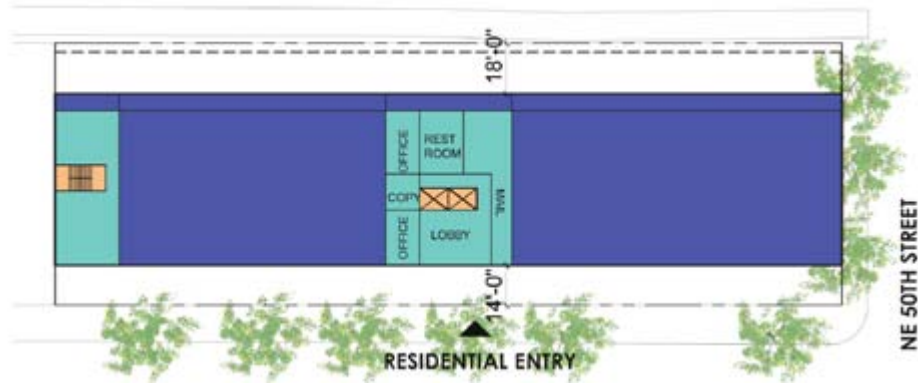
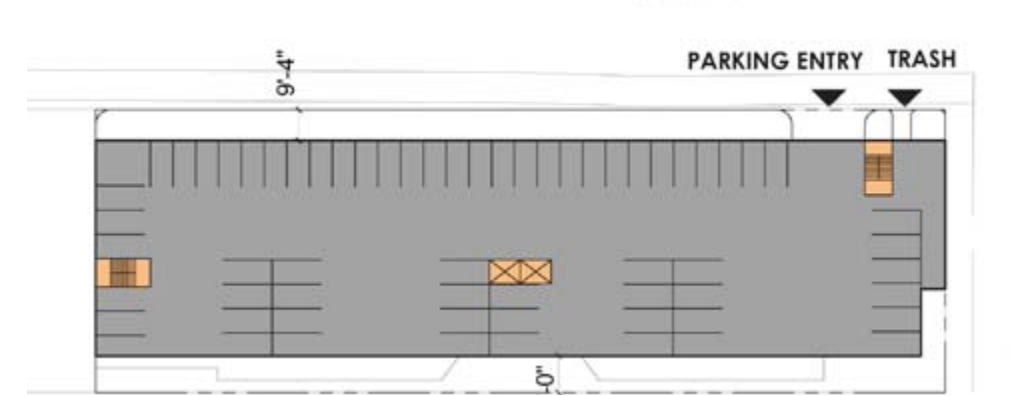
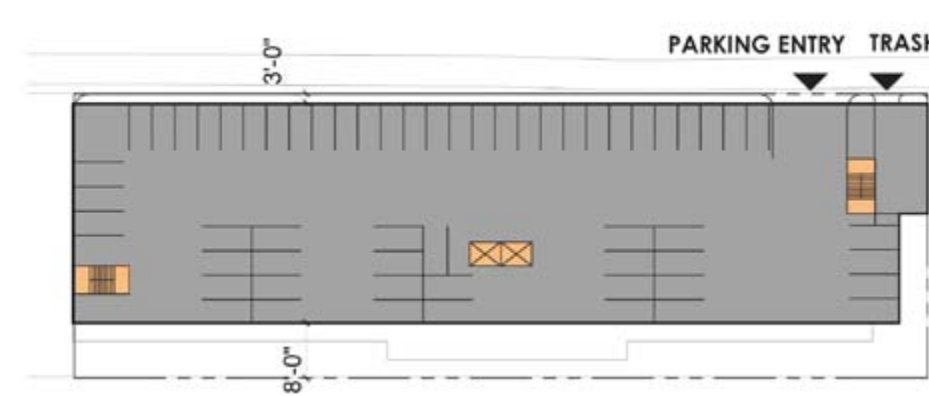
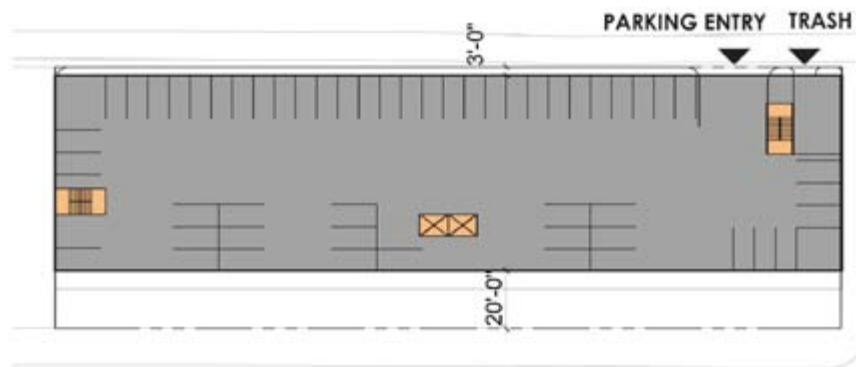
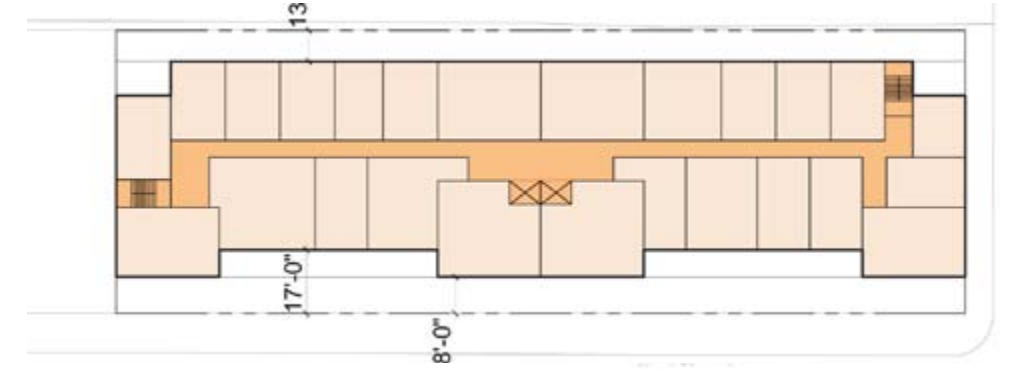
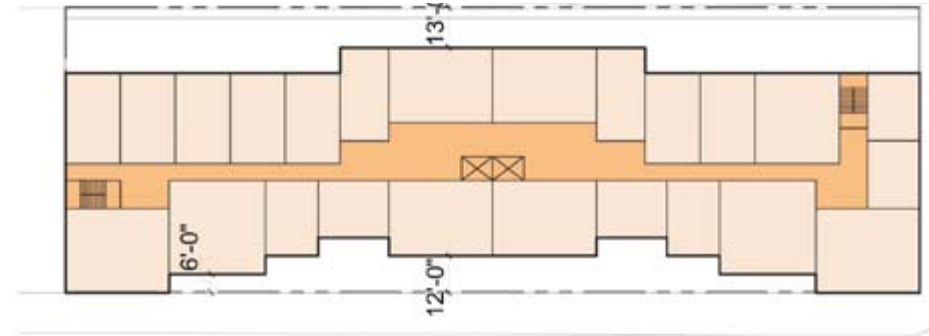
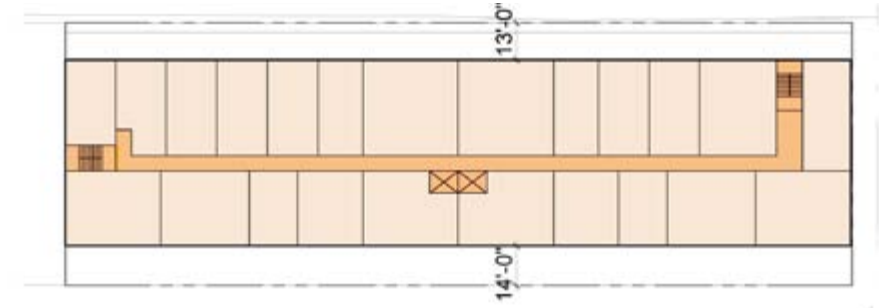


SITE ANALYSIS

UNIVERSITY WAY NE



EDG SUMMARY



OPTION A



OPTION B



OPTION C (Preferred Option)



EDG RESPONSE

ARCHITECTURAL CONCEPT

BOARD GUIDANCE: ARCHITECTURAL CONCEPT

"The upper and lower portions of the design should emphasize the corner location and respond to the architectural concept."

RESPONSE:

The overall design concept has changed in response to DPD planning comments and the change in ownership of the property. The proposed building design is now organized with a strong corner element, a street level retail bar, and a recessed residential component as the background.

"The proposed design appears to emphasize the corner through different forms, materials, two story base, setback, and column feature. However, these aspects of the design appear unrelated to the rest of the design concept."

RESPONSE:

The proposed design now emphasizes the corner element by having it extend down to street level to increase street presence. The use of floor to ceiling glass windows and wrap around balconies and glass canopy all serve to enhance the visibility of the development from the intersection of University Way and 50th Street.

- CS2 A.2 ARCHITECTURAL PRESENCE
 - A site may lend itself to a "high profile" design
 - Contribute to a strong street edge
 - Encourage facades to incorporate design detail, articulation and quality materials

- CS2 B.2 CONNECTION TO STREET
 - Identify opportunities for the project to make a strong connection to the street and consider how the building will interact with the public realm

- CS2 C.1 CORNER SITES
 - Serve as gateways or focal points
 - Provide extra space for pedestrians and a generous entry

- CS2 C.3 FULL BLOCK SITE
 - Break up long facades to avoid monolithic presence
 - Provide detail and human scale at street level and include repeating elements to add variety and rhythm to the overall building design

- DC2 A.2 REDUCING PERCEIVED MASS
 - Use secondary elements to reduce the perceived mass of larger projects
 - Consider creating recesses or indentations to the envelope
 - Consider adding canopies...and/or highlighting building entries

- DC2 B.1 FACADE COMPOSITION
 - Ensure all facades are attractive and well proportioned through the placement and detailing of all elements

- DC2 E FORM AND FUNCTION
 - Design buildings such that their primary functions and uses can be readily determined from the exterior

EDG RESPONSE

ARCHITECTURAL CONCEPT



- DC2 C.1 VISUAL DEPTH AND INTEREST
 - Add detailing to street level in order to create visual interest
- DC2 C.2 DUAL PURPOSE ELEMENTS
 - Consider architectural features that can be dual purpose- adding depth, texture and scale
- DC2.D.1 HUMAN SCALE
 - Incorporate features to add human scale
- DC2.D.2 TEXTURE
 - Strive for a fine-grained scale, particularly at street level

BOARD GUIDANCE: ARCHITECTURAL CONCEPT

"The street level expression includes arched storefronts, which also seem unrelated to the overall architectural concept and expression elsewhere on the building."

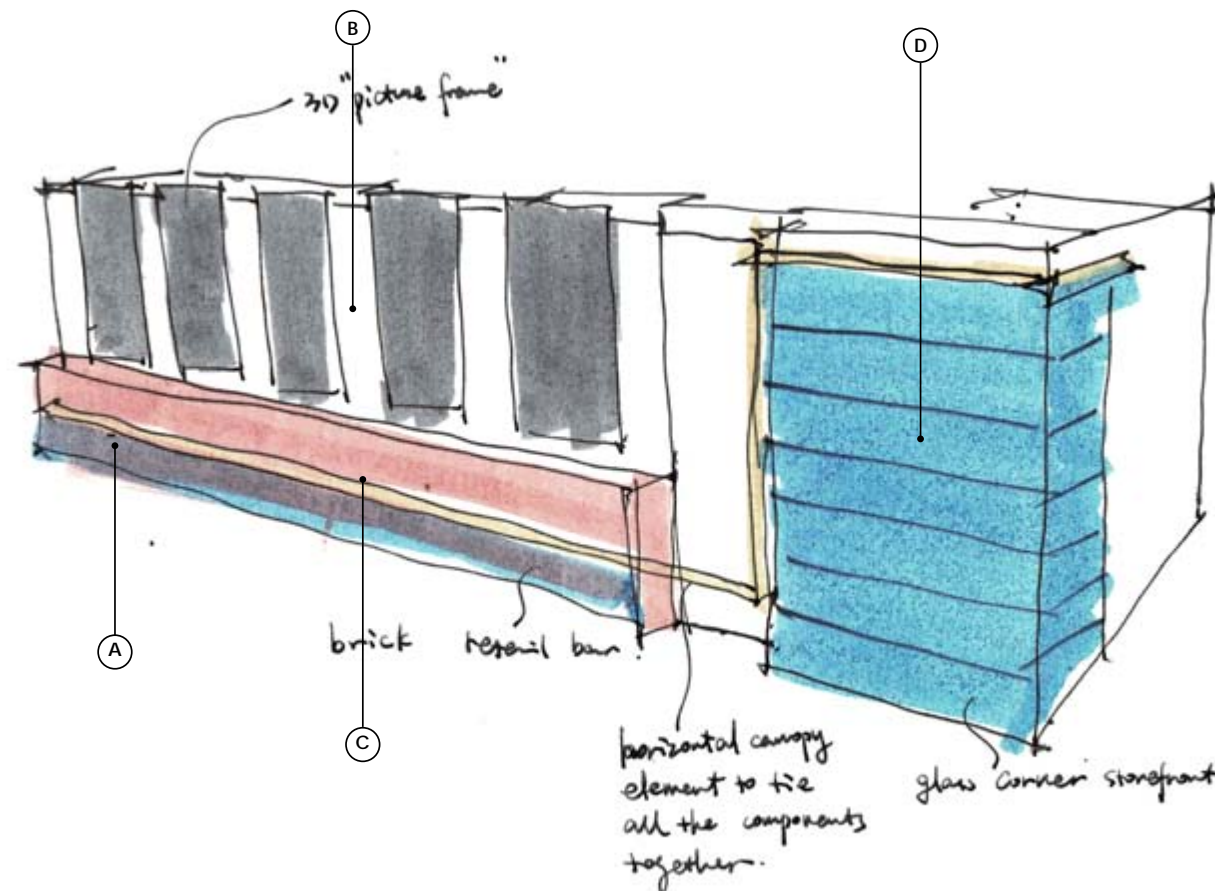
RESPONSE:

The current design has eliminated the arched storefronts and replaced it will the brick-cladded retail bar concept. The new design gives more emphasis to the street level retail and pedestrian experience, at the same time contrasting the recessed residential components on the upper levels and enhances the design concept.

"Overall, the design concept needs to be clarified and the architectural composition revised. Demonstrates how the corner and street level design responds to and enhances the architectural concept of the proposed building."

RESPONSE:

The design concept has been clarified and the architectural composition has been revised. The proposed building design is now organized with a strong corner element, as street level retail bar, and a recessed residential component as the background.



- (A) RETAIL BAR
Cladded in brick, topped with living units, reinforces the buildings connection to the street. The retail bar provides human scale and enhances pedestrian experience.
- (B) RESIDENTIAL FACADE
Mass held back from street and articulated with "picture frame" bays to break up the long facade. It is mediated between the pedestrian scale retail bar at street level and the distinct corner element.
- (C) CANOPY
A single gesture of connected canopy at the retail bar and residential entry turns to a vertical element and becomes the top canopy at the corner, serving as an element that tie together all components of the design.
- (D) CORNER ELEMENT
Floor to ceiling glass windows, wrap around balconies, and a glass canopy all serve to enhance the visibility of the development from the intersection of University Way and 50th Street.

EDG RESPONSE

STREET LEVEL DEVELOPMENT



BOARD GUIDANCE: ARCHITECTURAL CONCEPT

"Commercial transparency and signage should create visual interest and enhance human activity at the street frontages"

RESPONSE:

Visual interest along the street frontage is achieved with the following elements:

- fully glazed storefront systems provide transparency at street level
- articulated rhythm of retail bays
- cohesive signage and lighting that reinforces the retail bay rhythm
- high quality materials,
- distinctive doors at primary entries and canopies

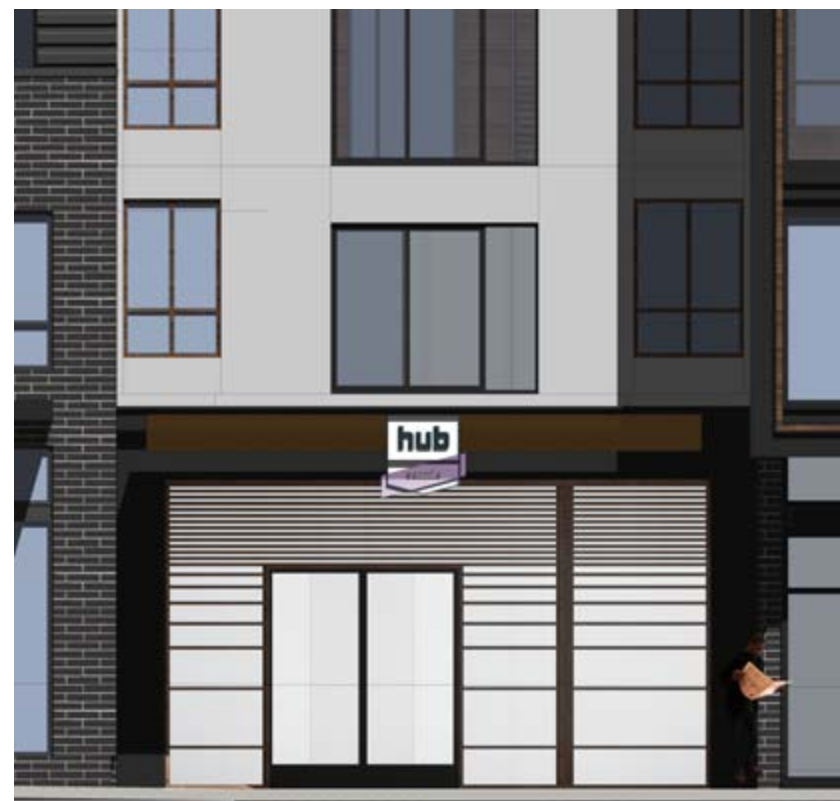
"High quality and finely detailed materials are needed at all levels of this building."

"The street frontages should be of very high quality, finely detailed materials"

RESPONSE:

The following high quality materials are proposed at the street frontages:

- Brick veneer
- Aluminum storefront window
- Entry door with wood ipe finish
- Canopies - metal, glass and Prodema



PL1 A.2 ADDING TO PUBLIC LIFE

- Seek opportunities to foster human interaction through an increase in the size &/or quality of project related spaces available for public use
- Consider features such as widened sidewalks, recessed entries, as well as place-making elements such as art.

PL3 A.1 ENTIRES

- Primary entries to be obvious, identifiable & distinctive

PL3 A.2 ENSEMBLE OF ELEMENTS

- Design the entry as a collection of coordinated elements including the doors, overhead features, ground surface, lighting & other features

PL3 C.1 RETAIL EDGES

- Engage passersby with opportunities to interact visually with the building's interior using glazing & transparency

DC2 C.1 VISUAL DEPTH AND INTEREST

- Add detailing to street level in order to create visual interest.

DC2 C.2 DUAL PURPOSE ELEMENTS

- Consider architectural features that can be dual purpose.

DC2 D.1 HUMAN SCALE

- Incorporate features to add human scale.

DC2 D.2 TEXTURE

- Strive for a fine-grained scale, particularly at street level.

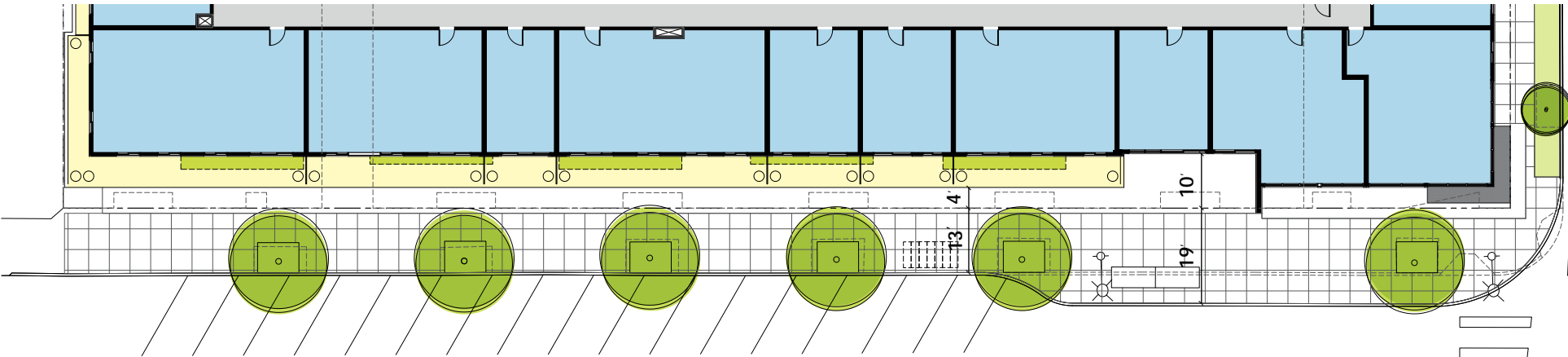
EDG RESPONSE

ABOVE GRADE PARKING



- DC3 B.1 MEETING USERS NEEDS
 - Plan the size, uses and features of each open space to meet the needs of expected users
- DC3 B.3 CONNECTIONS TO OTHER OPEN SPACES
 - Open spaces should connect with, or enhance, the activities of other nearby public open space. Look for opportunities to support uses and activities on adjacent properties and/or the sidewalk.
- DC3 B.4
- MULTIFAMILY OPEN SPACE
 - DC3 C.2 • Design common open spaces for use by all residents to encourage social interaction

- AMENITIES & FEATURES**
- Create attractive outdoor spaces well suited to the uses envisioned for the project. Use a combination of hard scape and plantings to shape these spaces and to screen less attractive areas as needed



BOARD GUIDANCE: ABOVE GRADE PARKING

The Board noted that the proposed above grade parking is a concern. The 'dead zone' of the parking floor may detract from human activity at the street level

RESPONSE:
Residential units now align along the entire street front above the retail spaces along University Way. Units and retail have been realigned to stack evenly along the alley.

"The proposed setbacks are a good response to the narrow sidewalks and the glazed storefront corner is a good response to the corner condition."
"The proposal should respond to the context of activity in the area, but not necessarily nearby historic architecture. The design should respond to the future park across the street, the activity on University Way and other nearby hubs of activity."

RESPONSE:
The building is set back to create wider sidewalks. Narrow retail bays encourage small businesses in keeping with the existing retail context along the avenue.





ACER NIGRUM
'GREENCOLUMN' / BLACK MAPLE



2x2 PRECAST CONCRETE PAVERS



FIBERGLASS PLANTERS



FIBERGLASS PLANTERS



BARBEQUE



WASHED DRAIN ROCK



SITE FURNITURE



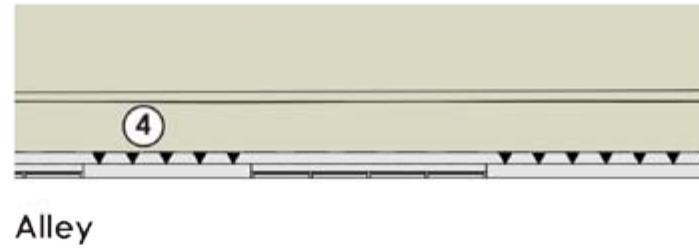
GAS FIREPLACE



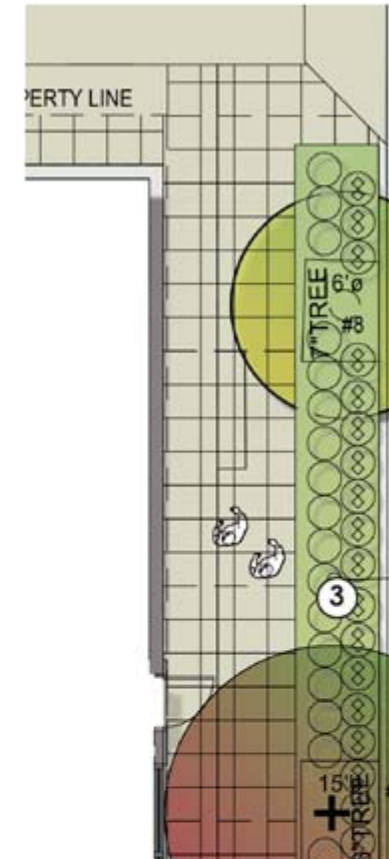
PARROTIA PERSICA / PERSIAN IRONWOOD

EDG RESPONSE

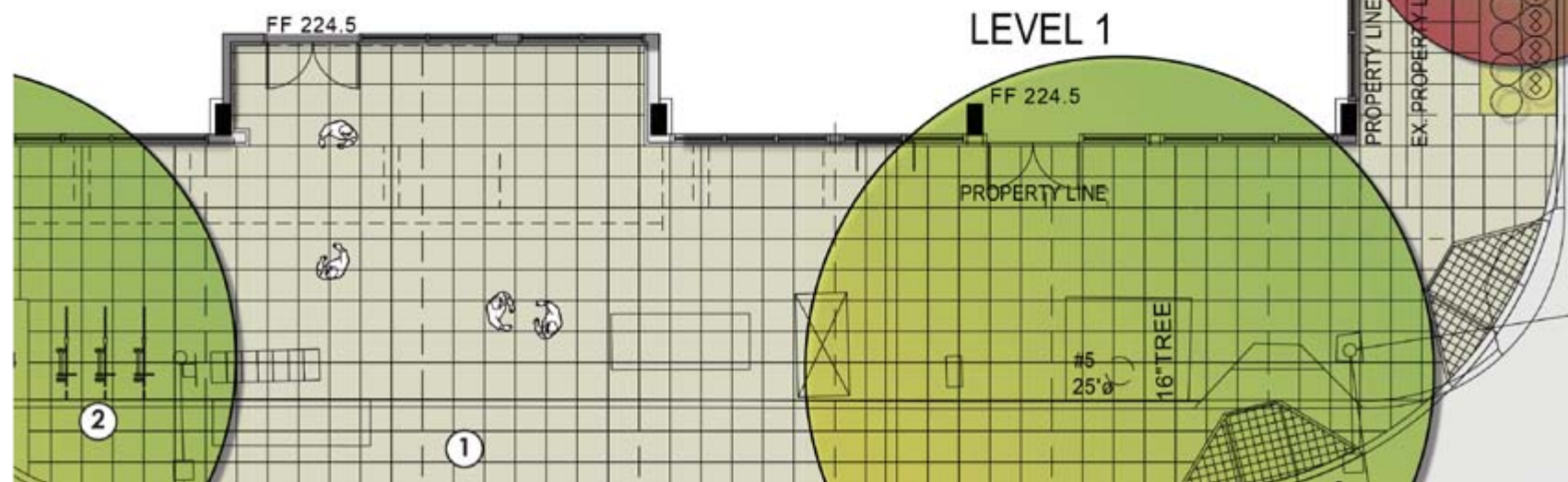
LEVEL ONE LANDSCAPE PLAN



Alley



NE 50th STREET



Pavement Bulbout



Bike Racks at Entrances



Lush Streetscape

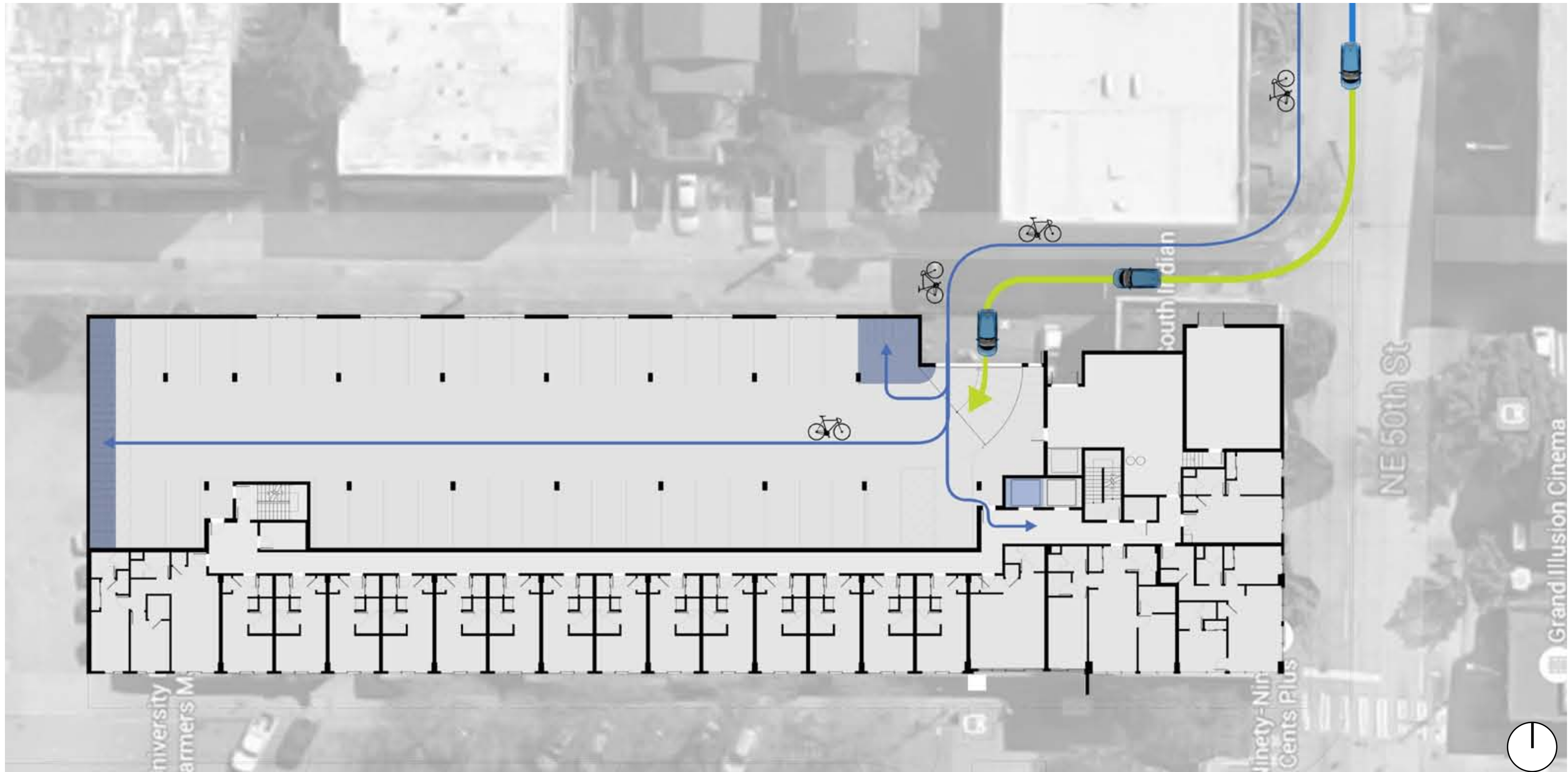


Vine Plantings at Alley



EDG RESPONSE

VEHICULAR & BICYCLE CIRCULATION/ACCESS



EDG RESPONSE

ALLEY DEVELOPMENT



BOARD GUIDANCE: ALLEY FACADE

"The alley edge should be designed for sufficient vehicle access. The Board noted that the garage access point may be too close to the alley intersection given the alley grade."

RESPONSE:

Vehicle entry location was set by the relationship of the existing grade in the alley, the finish floor elevation of level 2 and the finish floor elevation of the ground floor along University Way. Bound by the existing topography, the 13' minimum floor to floor requirement at level 1 and the building maximum height a finish floor elevation of 240' was set for level 2 to satisfy site and development requirements. There are also two existing telephone poles with fiber optic cables further up the alley which limits the possibility of locating the entry further north. The entry door to the garage was set back 16'-6" to provide an area to make the transition to the alley and also serves as additional space for stacking. The entry location was chosen to provide a safe level access to the alley at a slope of no more than 8%.



BOARD GUIDANCE: ALLEY FACADE

"The proposal should include sufficient area for trash and recycling storage and staging. This area should be screened visually and to minimize odors."

RESPONSE:

The solid waste storage area exceeds the required square footage. A screened staging area for collection day has been provided.

"The alley facade should include a pedestrian entry for residents."
"The alley facade and street frontage should be designed for access by cyclist..."

RESPONSE:

Provided.

DESIGN CUES

INSPIRATIONS



DESIGN CUES

SURROUNDING DEVELOPMENTS



Kevala Apartment, 845 NE 66th



Alder Hall, 1315 NE Campus Pkwy



Rooster Apartment, 900 NE 65TH ST



Alder Hall, 1315 NE Campus Pkwy



Rooster Apartment, 900 NE 65TH ST



Alder Hall, 1315 NE Campus Pkwy



AVA U District, 4535 12th Ave NE

DESIGN CUES

SURROUNDING DEVELOPMENTS



Square One Apartments, 1020 NE 63rd St



Lander Hall, 1201 NE Campus Pkwy



Wang Ping Seattle Apartment, 5240 University Way NE



LIV Seattle, 4717 Brooklyn Ave NE



Residence Inn Seattle University District, 4501 12th Avenue NE

PERSPECTIVES

UNIVERSITY & 50TH



PERSPECTIVES

UNIVERSITY & 50TH: ALTERNATIVE SCHEME



PERSPECTIVES

UNIVERSITY & 50TH



PERSPECTIVES

UNIVERSITY & 50TH: ALTERNATIVE SCHEME



PERSPECTIVES

UNIVERSITY & 50TH



PERSPECTIVES

UNIVERSITY & 50TH: ALTERNATIVE SCHEME



PERSPECTIVE

50TH STREET



PERSPECTIVE

50TH STREET



PERSPECTIVE

UNIVERSITY STREET



ELEVATION

WEST ELEVATION: MAIN SCHEME



ELEVATION

WEST ELEVATION: ALTERNATIVE SCHEME



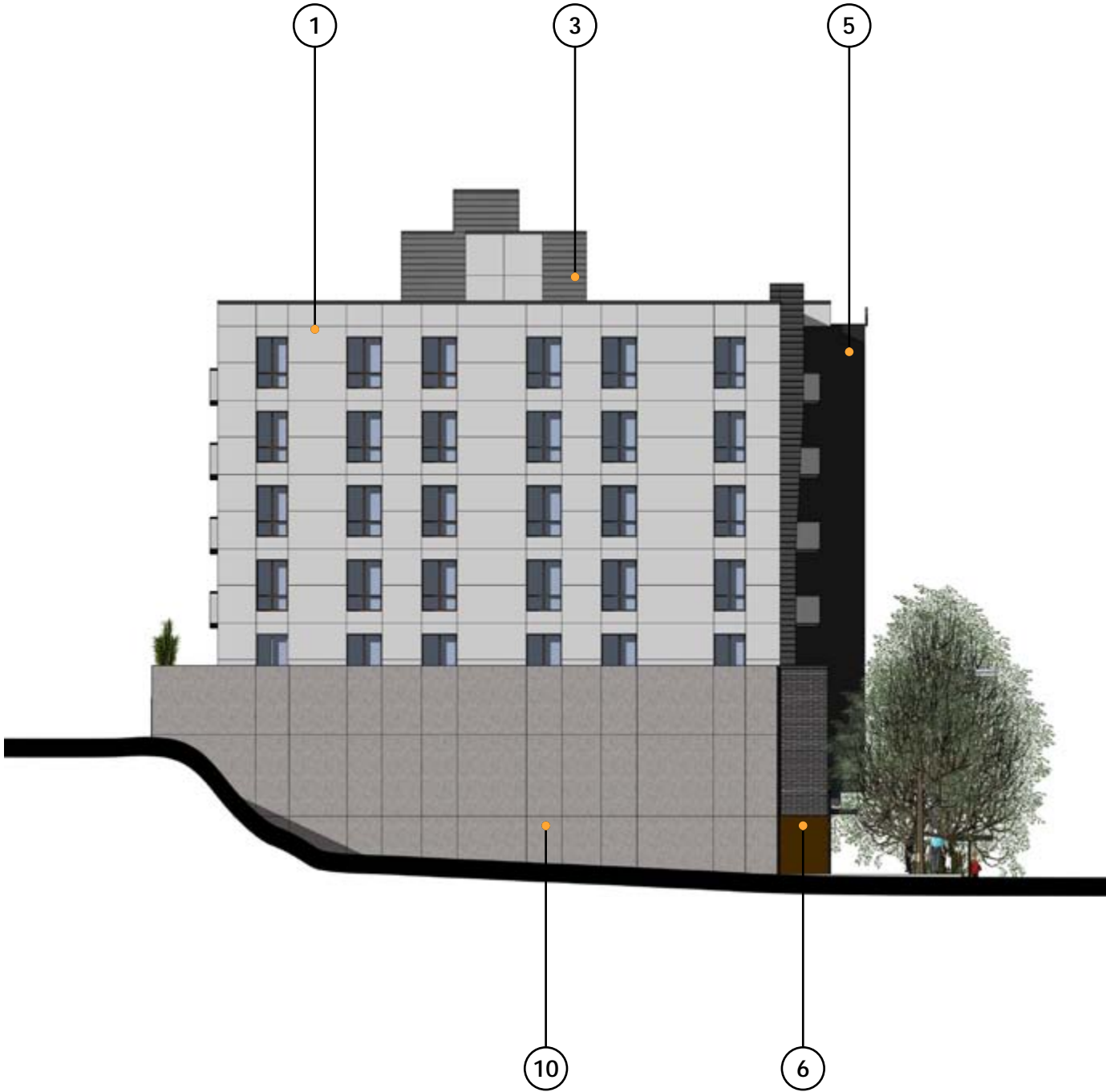
ELEVATION

EAST ELEVATION



ELEVATION

NORTH AND SOUTH ELEVATION



MATERIALS



① CEMENTIOUS PANEL
COLOR GREY



⑤ METAL PANEL



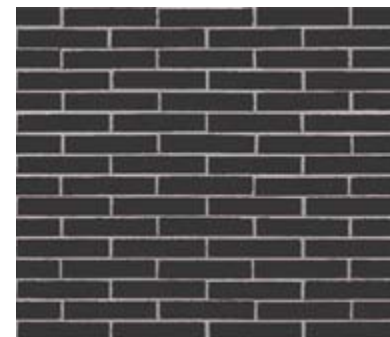
⑨ GLASS CANOPY



⑬ GLASS
HANDRAIL



② CEMENTIOUS PANEL
COLOR DARK GREY



⑥ BRICK



⑩ ARCHITECTURAL
CONCRETE



③ CORRUGATED METAL PANEL



⑦ IPE WOOD DOOR



⑪ METAL GRATE OVERHEAD
GARAGE DOOR



④ PERFORATED METAL PANEL



⑧ COMPOSITE PANEL
WITH IPE FINISH



⑫ METAL SCREEN GREEN
WALL

SIGNAGE



TOP MOUNTED SIGN



FRONT MOUNTED SIGN



GLASS FILM SIGN

LIGHTING

EXTERIOR LIGHTING PLAN



A: WALL-MOUNTED LIGHT FIXTURE (LIGHT FROM TOP AND BOTTOM)

B: CEILING-MOUNTED LIGHT STRIP

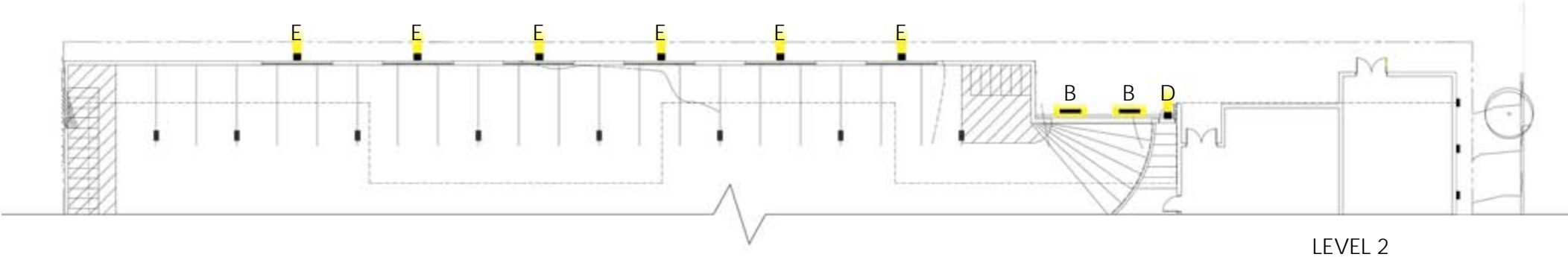
C: RECESSED CEILING LIGHT

D: WALL-MOUNTED LIGHT FIXTURE

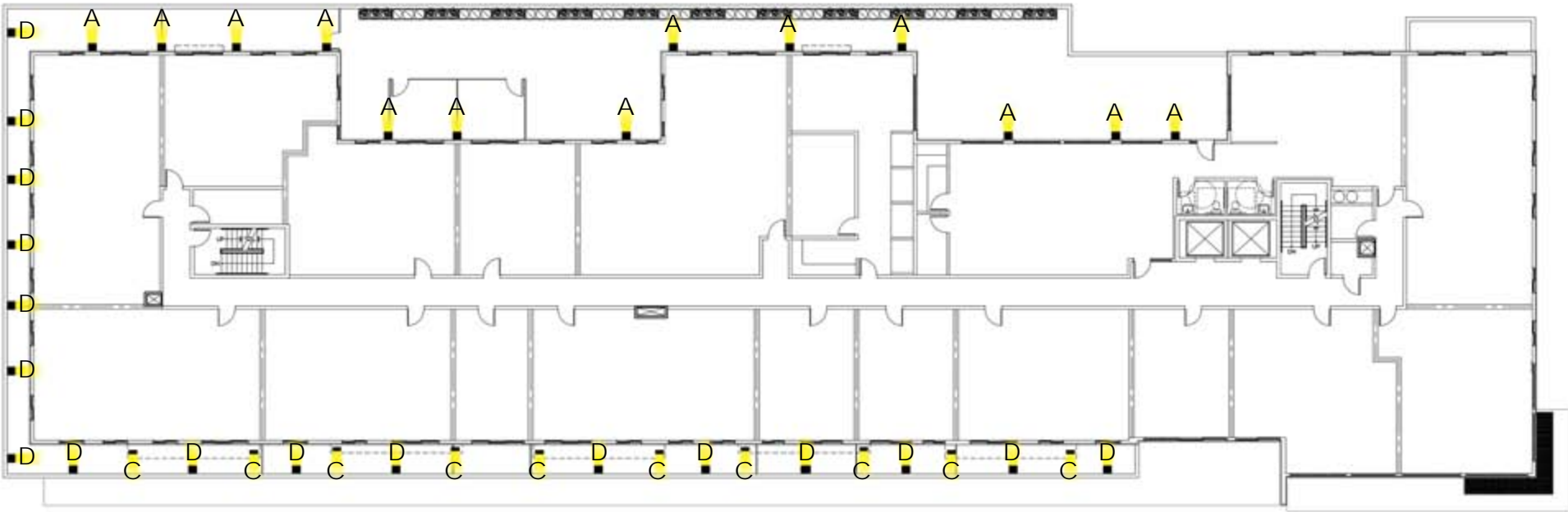
E: WALL-MOUNTED LIGHT FIXTURE AT ALLEY

F: STRIP LIGHTING

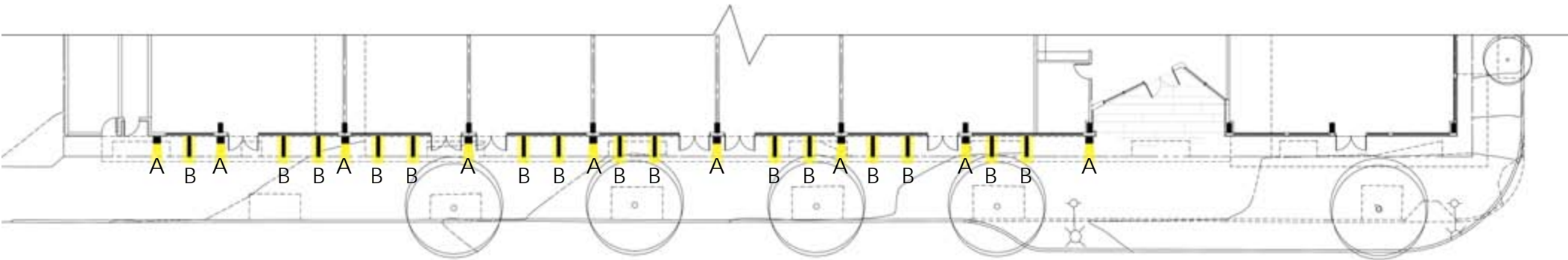
G: UPLIGHTING FOR SIGNAGE



LEVEL 2



LEVEL 3



LEVEL 1

LIGHTING

LIGHTING CONCEPT



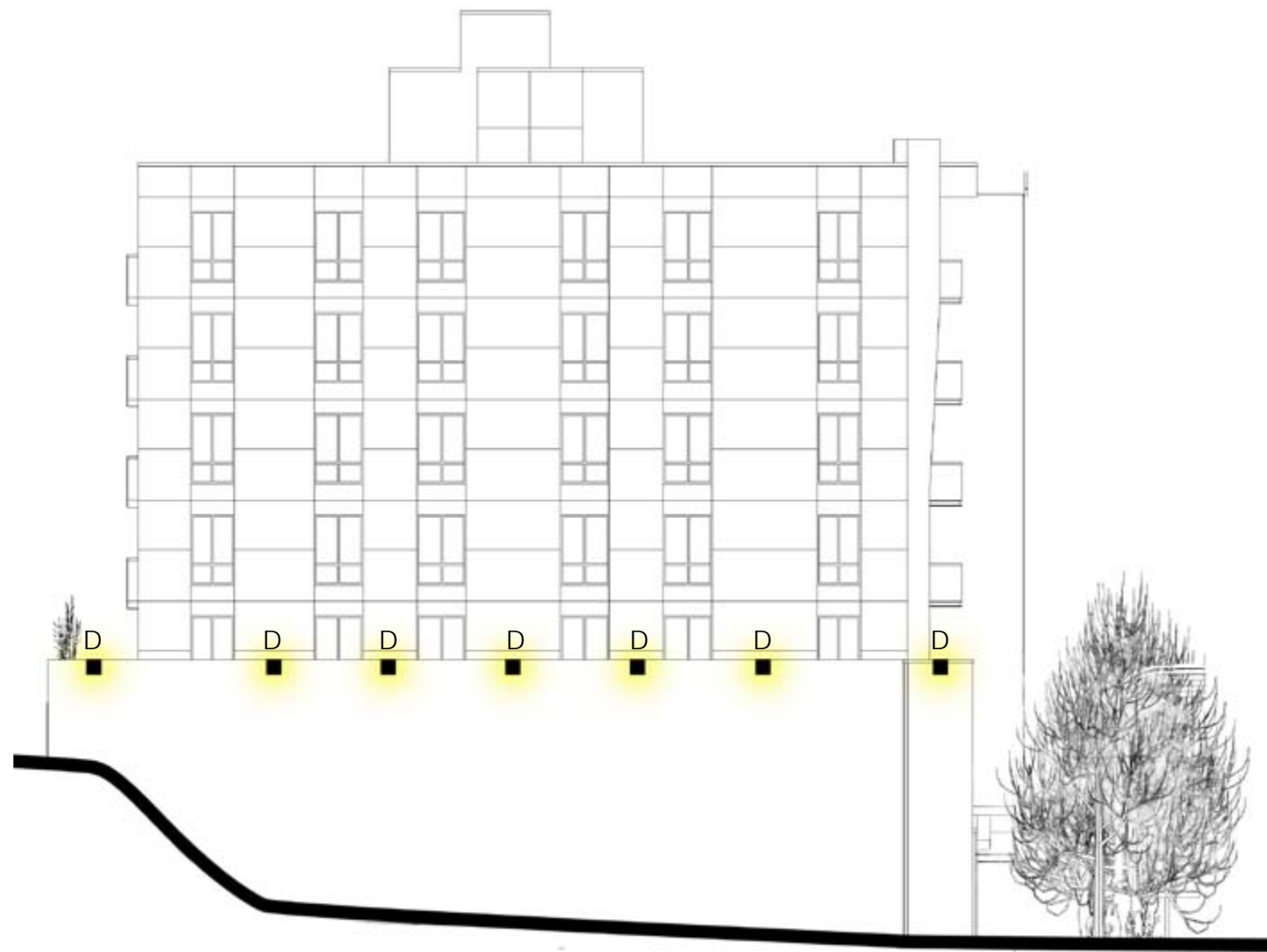
EAST ELEVATION



WEST ELEVATION

LIGHTING

LIGHTING CONCEPT



NORTH ELEVATION

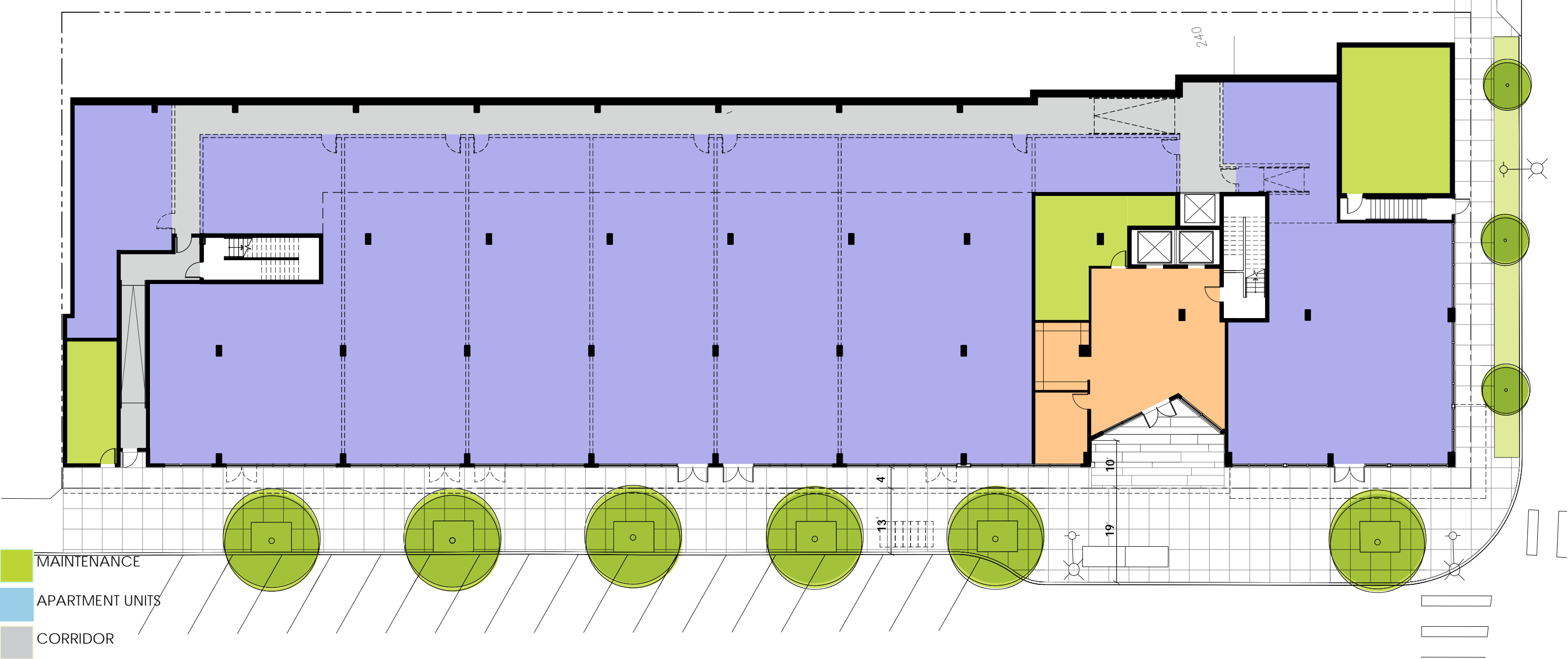


SOUTH ELEVATION

FLOOR PLAN

SITE PLAN/ GROUND FLOOR PLAN

ALLEY



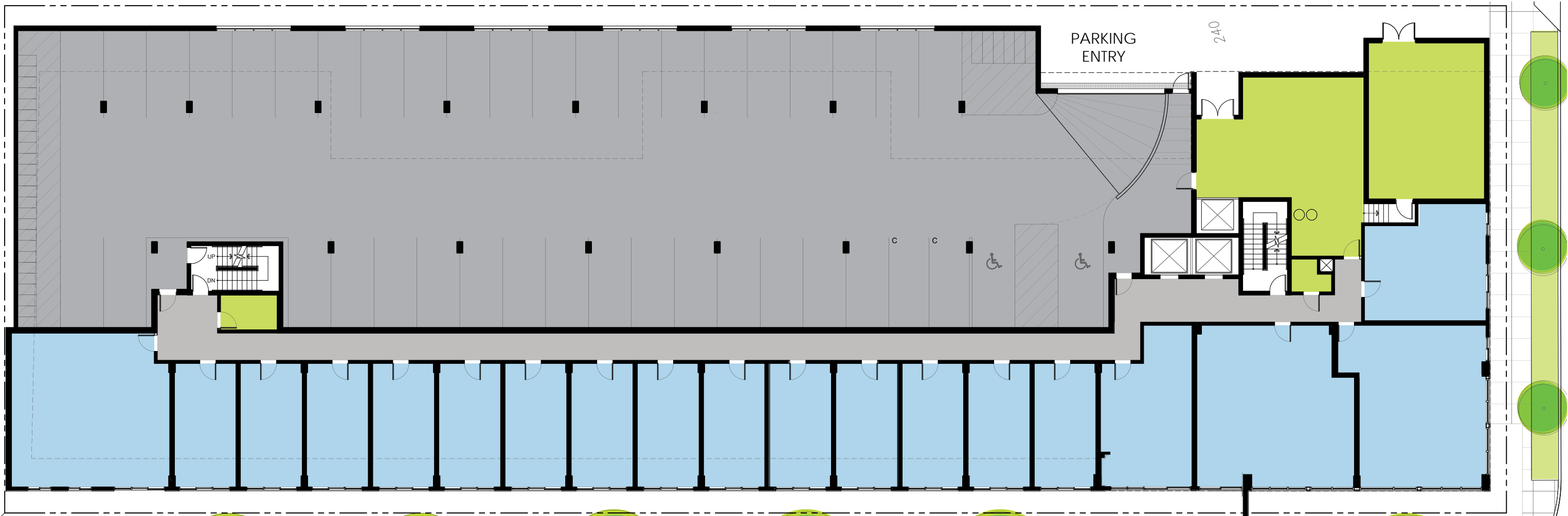
- MAINTENANCE
- APARTMENT UNITS
- CORRIDOR
- RETAIL
- PARKING
- APARTMENT AMENITIES

UNIVERSITY WAY

FLOOR PLAN

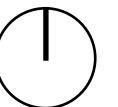
LEVEL TWO PLAN

ALLEY



- MAINTENANCE
- APARTMENT UNITS
- CORRIDOR
- RETAIL
- PARKING
- APARTMENT AMENITIES

UNIVERSITY WAY



FLOOR PLAN

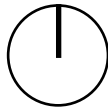
LEVEL THREE PLAN

ALLEY



- MAINTENANCE
- APARTMENT UNITS
- CORRIDOR
- RETAIL
- PARKING
- APARTMENT AMENITIES

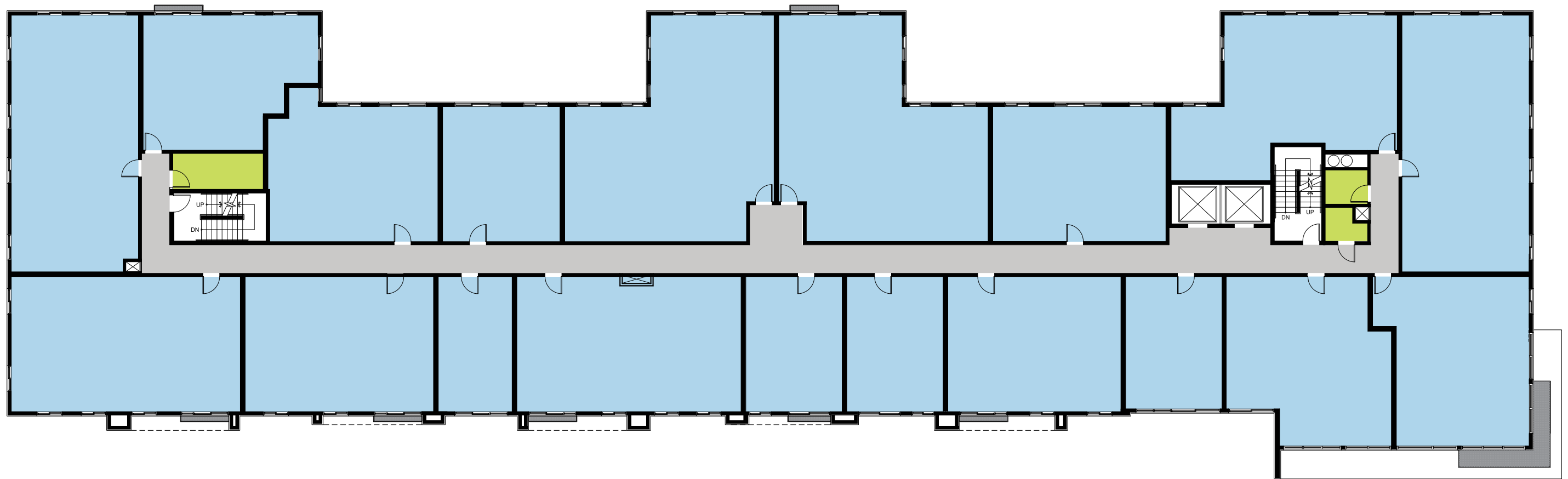
UNIVERSITY WAY



FLOOR PLAN

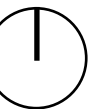
LEVEL FOUR THROUGH SEVEN

ALLEY



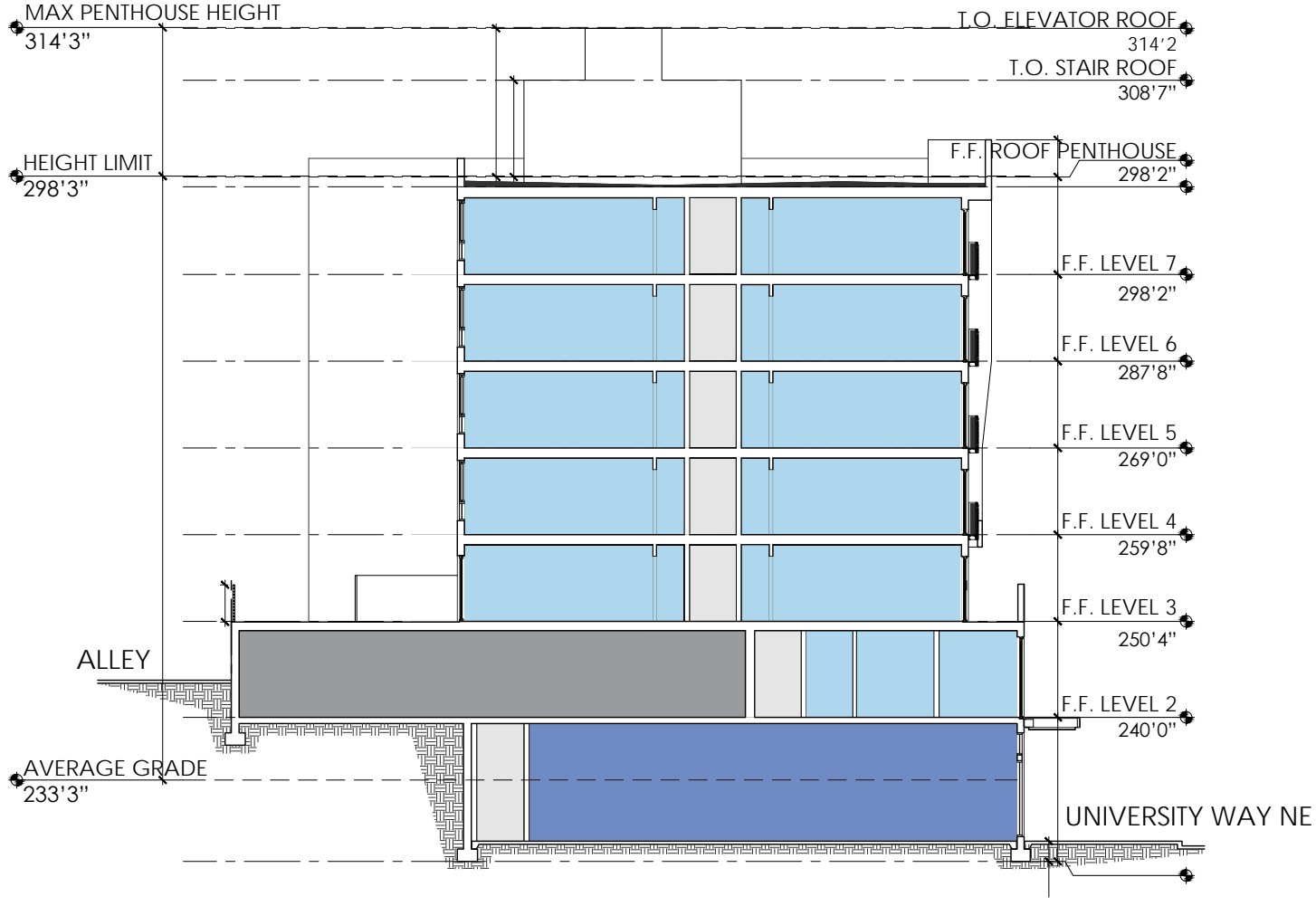
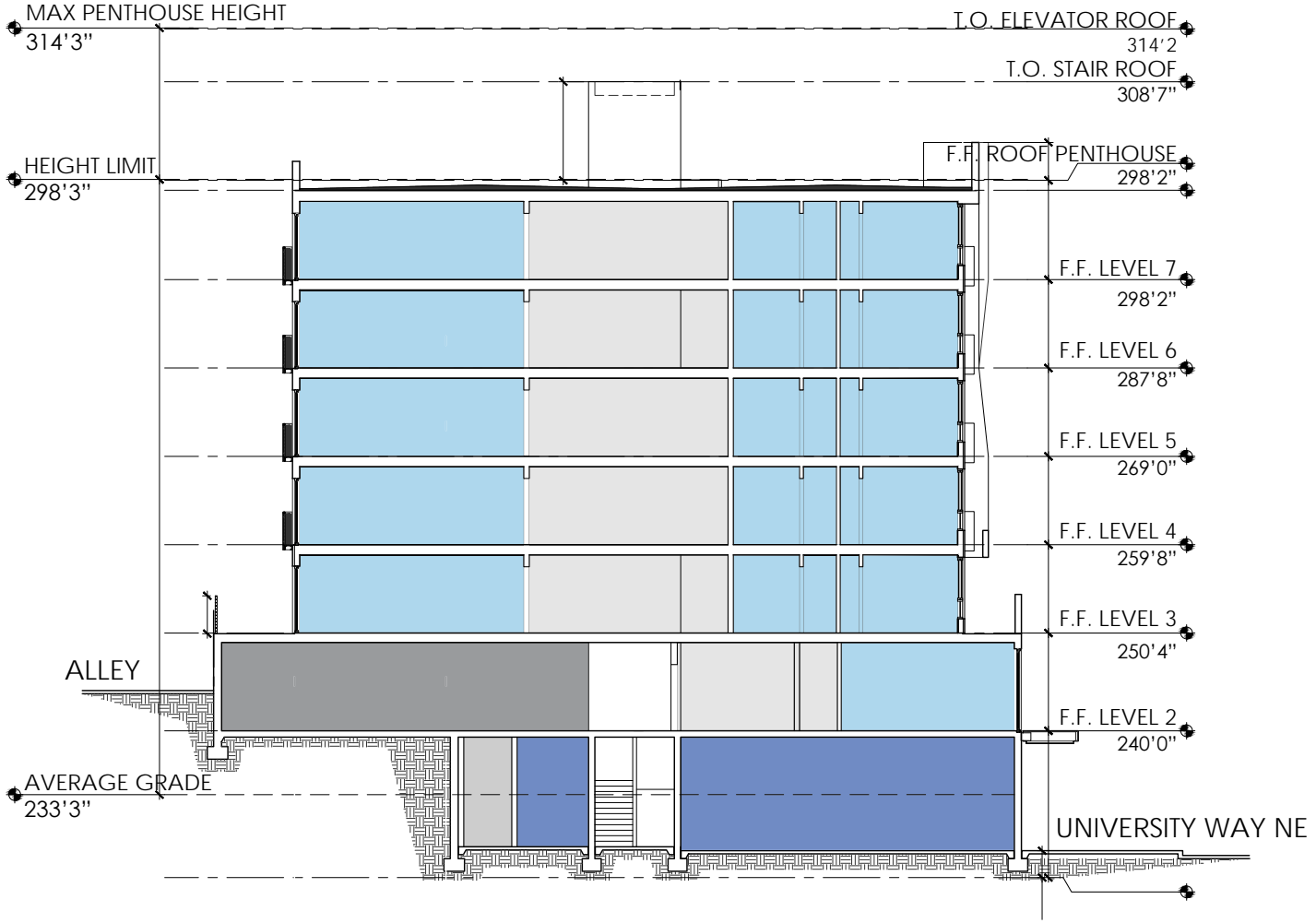
- MAINTENANCE
- APARTMENT UNITS
- CORRIDOR
- RETAIL
- PARKING
- APARTMENT AMENITIES

UNIVERSITY WAY



SECTIONS

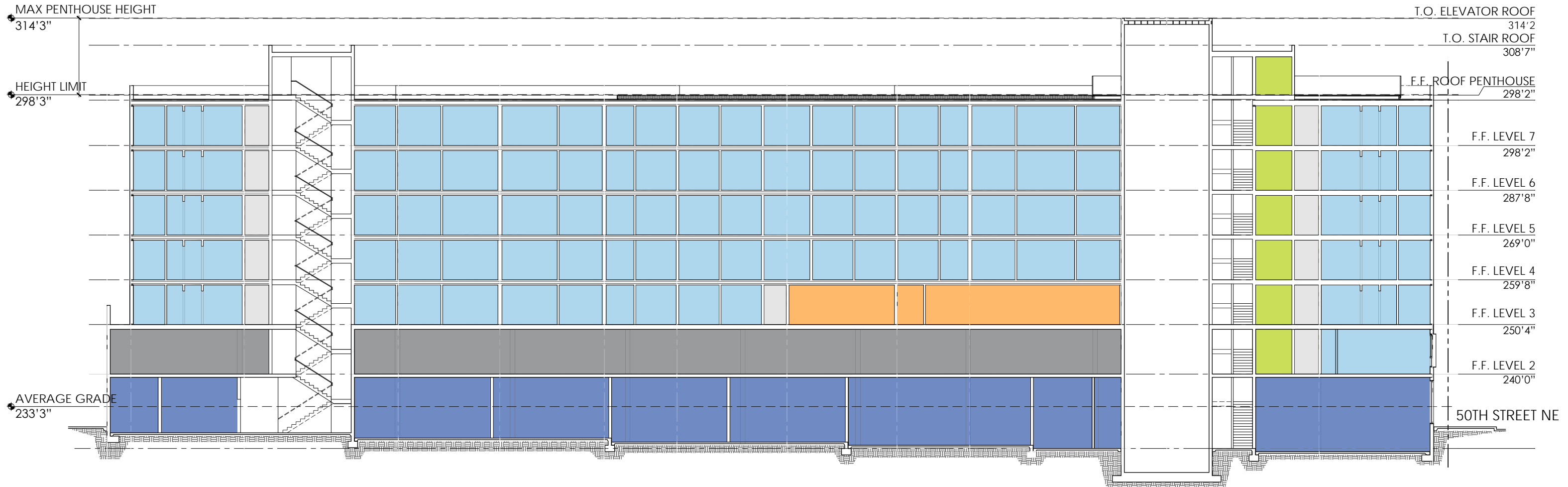
SECTION 1



- MAINTENANCE
- APARTMENT UNITS
- CORRIDOR
- RETAIL
- PARKING
- APARTMENT AMENITIES








SECTION

SECTION 2



ACER NIGRUM
'GREENCOLUMN' /BLACK MAPLE

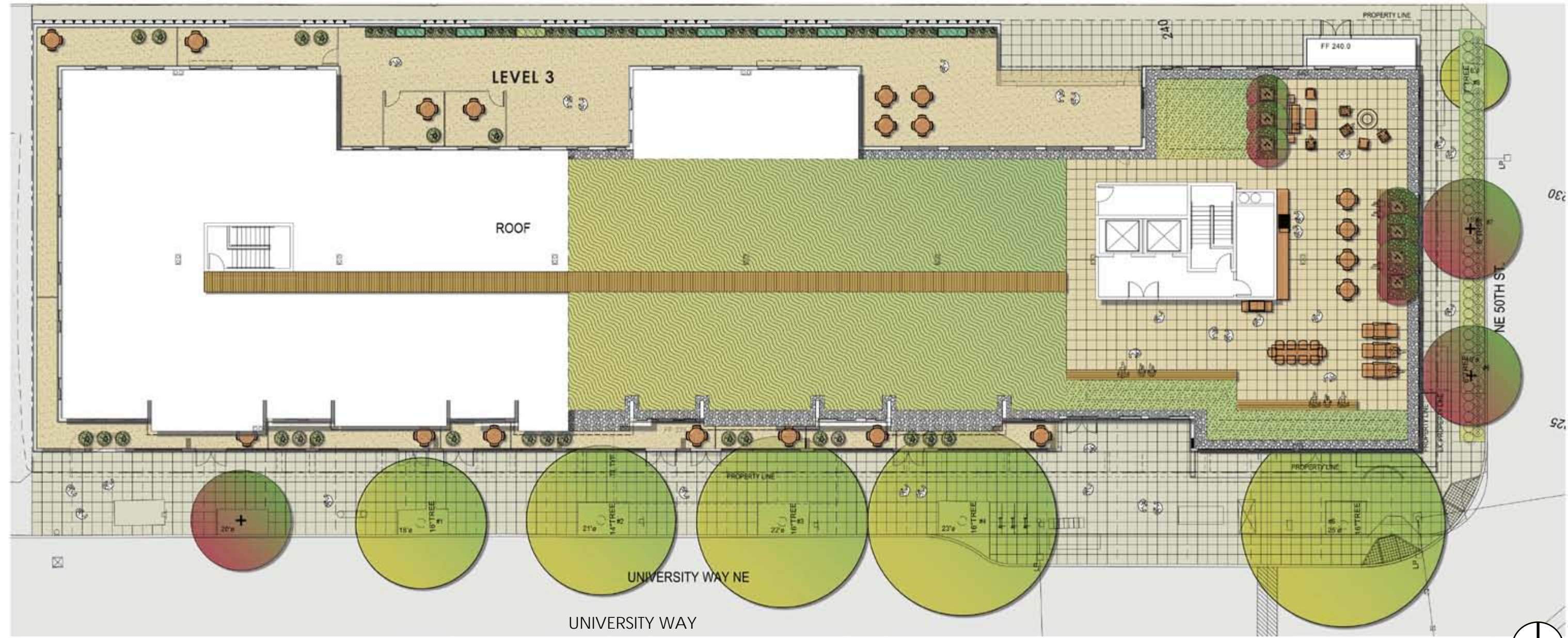
PARROTIA PERSICA/ PER-
SIAN IRONWOOD

-  2x2 PRECAST CONCRETE PAVERS
-  FIBERGLASS PLANTERS
-  FIBERGLASS PLANTERS
-  BARBEQUE
-  WASHED DRAIN ROCK
-  SITE FURNITURE
-  GAS FIREPLACE

LANDSCAPING

LANDSCAPE PLAN: SITE PLAN

ALLEY



ACER NIGRUM
'GREENCOLUMN' /BLACK MAPLE

2x2 PRECAST CONCRETE PAVERS

FIBERGLASS PLANTERS

FIBERGLASS PLANTERS

BARBEQUE

WASHED DRAIN ROCK

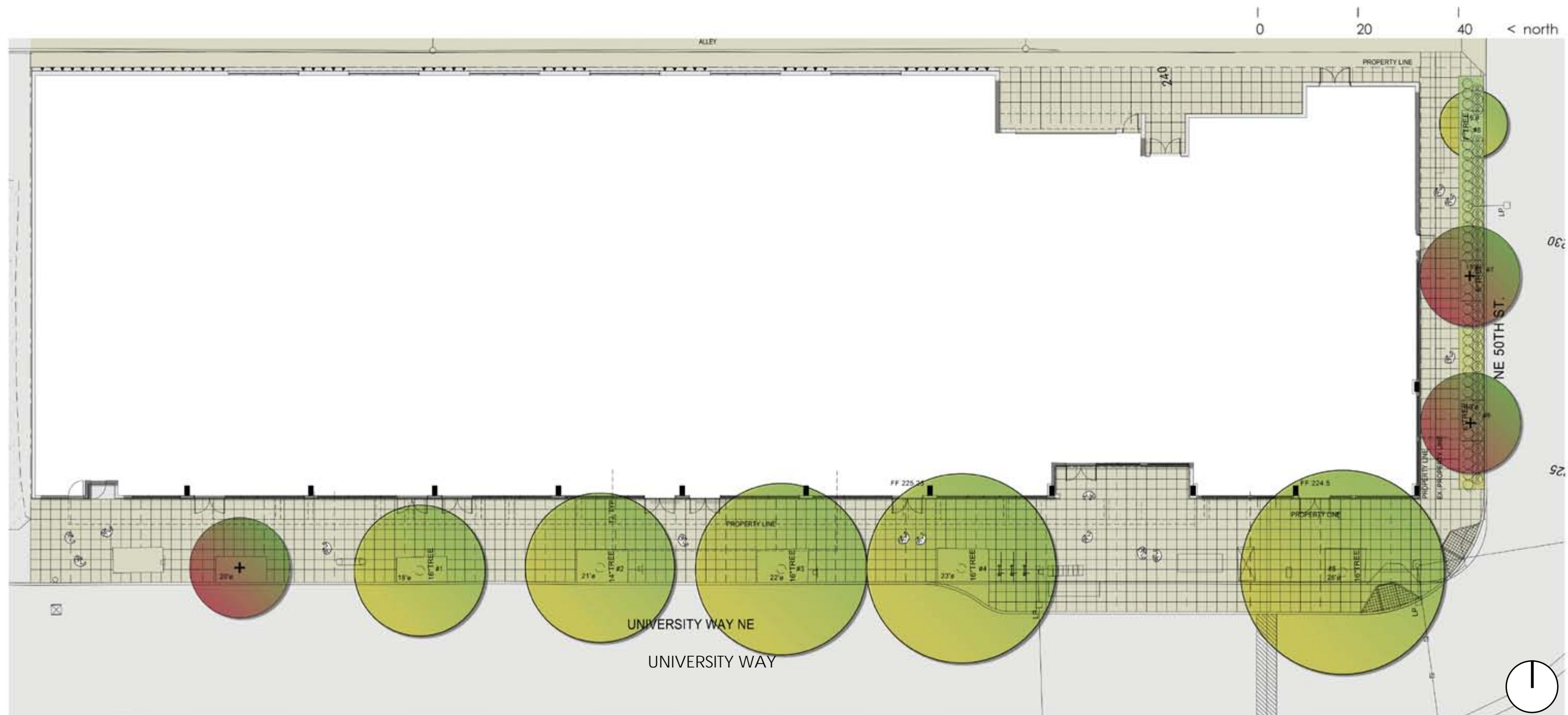
SITE FUNRITURE

GAS FIREPLACE

PARROTIA PERSICA/ PER-
SIAN IRONWOOD

LANDSCAPING

LANDSCAPE PLAN: LEVEL 1



ACER NIGRUM
'GREENCOLUMN' /BLACK MAPLE

PARROTIA PERSICA/ PER-
SIAN IRONWOOD

2x2 PRECAST CONCRETE PAVERS

FIBERGLASS PLANTERS

FIBERGLASS PLANTERS

BARBEQUE

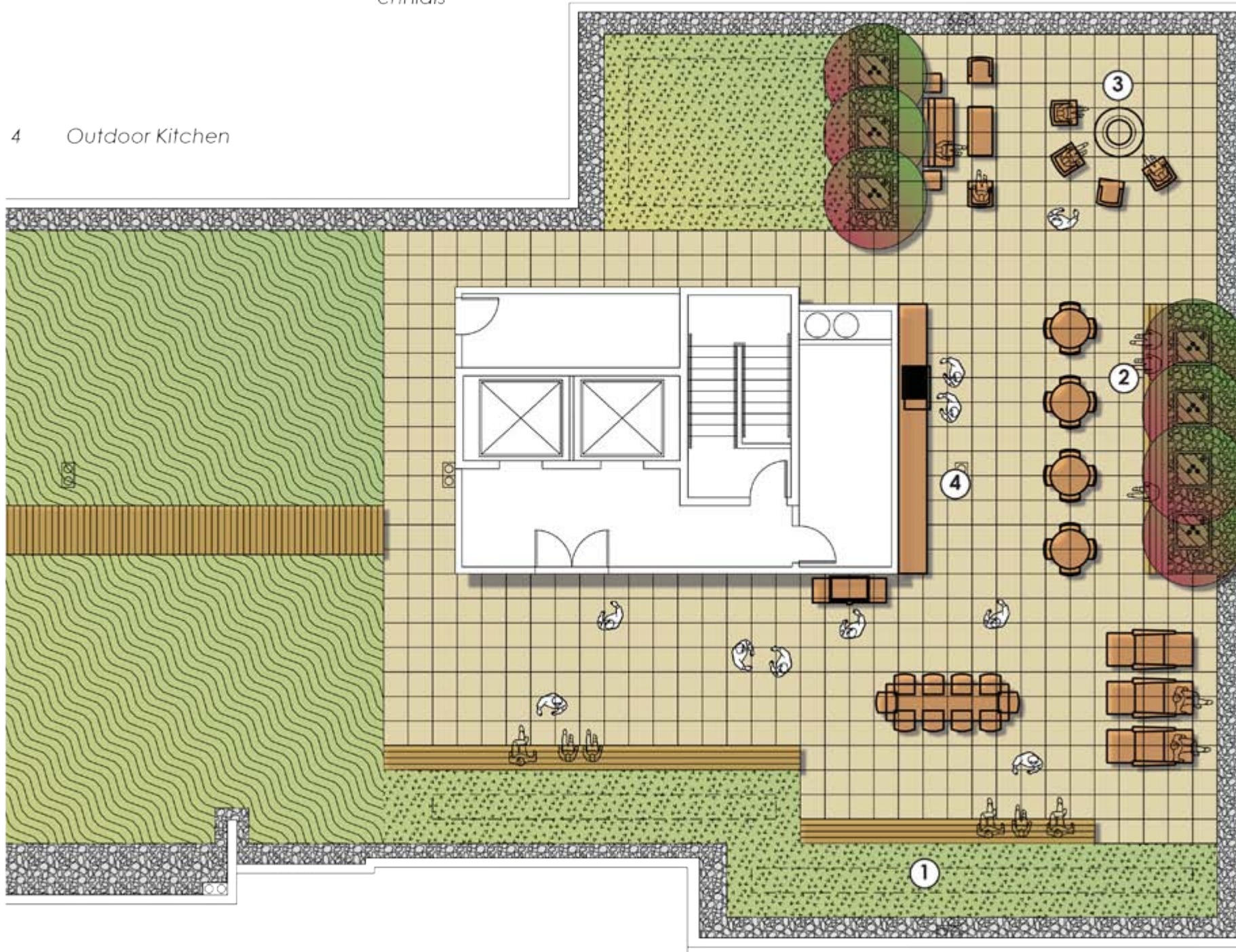
WASHED DRAIN ROCK

SITE FURNITURE

GAS FIREPLACE

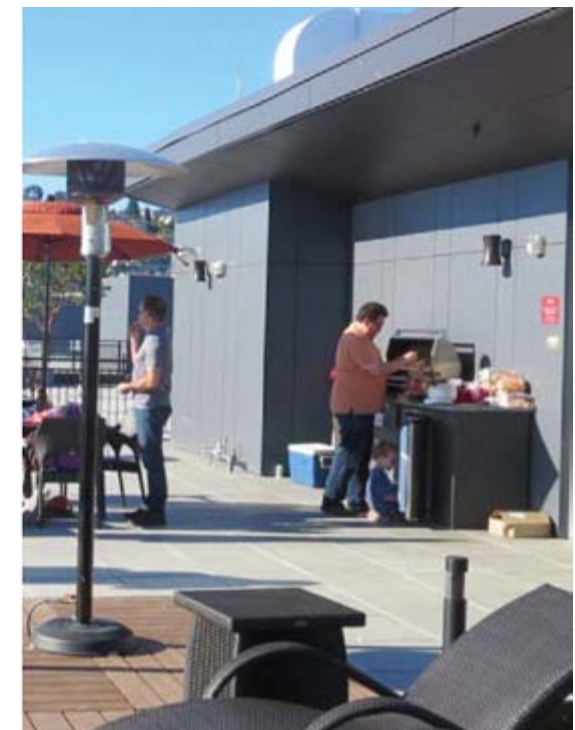
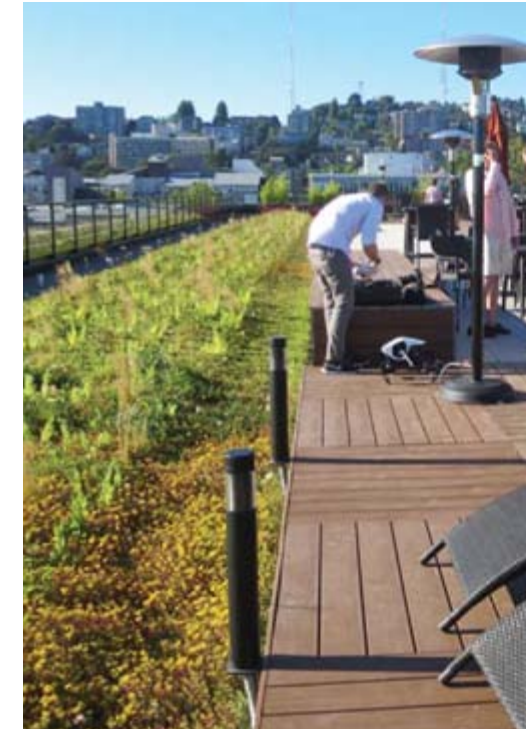
Perennials

4 Outdoor Kitchen



LANDSCAPING

LANDSCAPE PLAN: ROOF



LANDSCAPING

PLANTINGS



AMENITIES

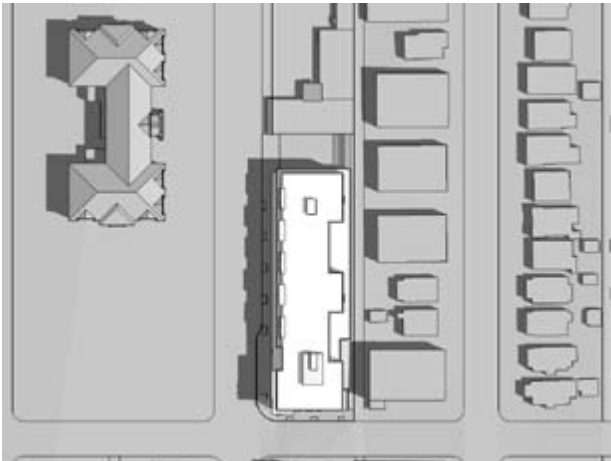
INDOOR/OUTDOOR SPACES



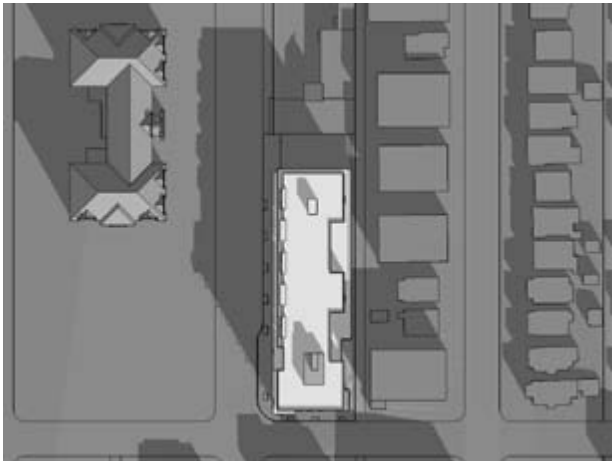
SHADOW STUDIES



MAR/SEPT 21
10 AM



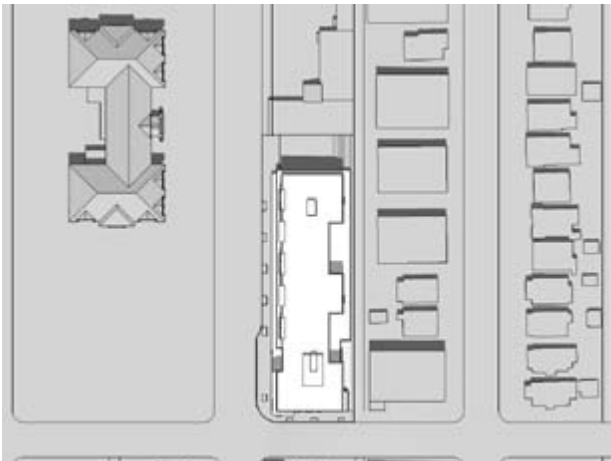
JUNE 21
10 AM



DEC 21
10 AM



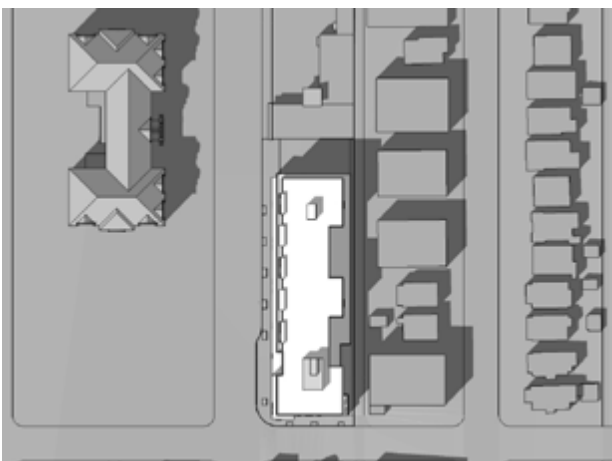
MAR/SEPT 21
NOON



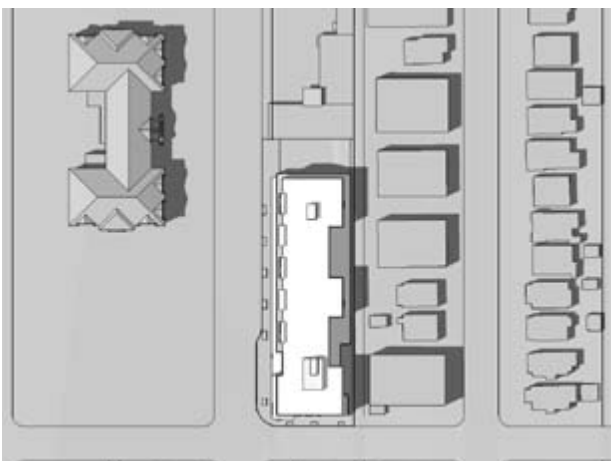
JUNE 21
NOON



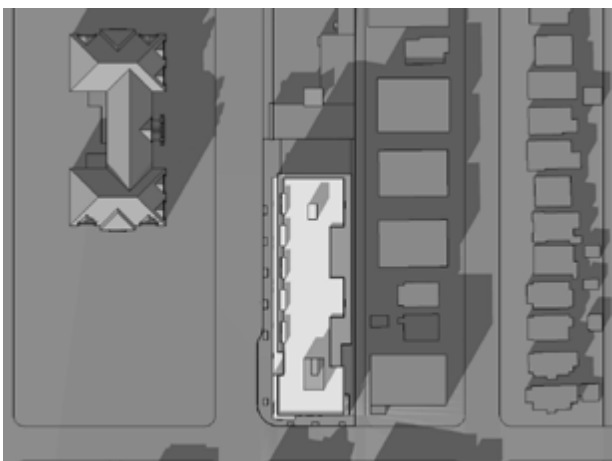
DEC 21
NOON



MAR/SEPT 21
2 PM



JUNE 21
2 PM



DEC 21
2 PM

DEPARTURE REQUESTS

MATRIX

DEPARTUE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D1	<p>SMC 23.47A.008.B.2 TRANSPARENCY- SIXTY PERCENT OF THE STREET FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MUST BE TRANSPARENT.</p> <p>CALCULATION: 50TH STREET TOTAL FACADE AREA: 83.08' X 6' = 502 SQ FT FT</p> <p>TOTAL TRANSPARENT AREA AT STREET LEVEL: 245 SQ FT = 48.8%</p>	<p>Requesting a reduction of required transparency from 60% down to 48.8% at the street facing facade along 50th street.</p>	<p>Non-conformance to the transparency requirement is due to the location of the transformer vault. The transformer vault was located based on Seattle City light requirements, Seattle land use requirements, and existing site grading conditions. The current location was determined to be the only feasible location for the vault based on consultation with all parties.</p>



PAST DEVELOPMENTS

