



ROOSEVELT DEVELOPMENT GROUP

DESIGN REVIEW RECOMMENDATION

FEBRUARY 3, 2014
PROJECT # 3013244
6505 15TH AVE NE
SEATTLE, WASHINGTON



TEAM

PART I: CONTACT INFO

Property Address:

6505 15th Ave NE Seattle, WA

Legal Description:

APN 052504-9030, BAAP 30’ N & 30’ W of SE COR OF SE 1/4 of 5-25-04, THEN W 114’ & N 102’ & TO W LN OF 15TH NE , THEN S TO POB

Project number: 3013244

Additional related project number(s): 3010100

Owner/ Lessee Name:

Roosevelt Development Group, LLC

Contact Person Name:

GGLO

Jen Lien

1301 1st Ave, Suite 301

Seattle, WA 98101

Phone 206-902-5441

Email address jlien@gglo.com

Applicant’s Name:

Ed Hewson and Jon Breiner,

Relationship to Project: Owners

Design Professional’s Name:

GGLO

1301 1st Ave, Suite 301

Seattle, WA 98101

Phone 206-902-5441

Email address jlien@gglo.com

PROJECT

PART II: SITE AND DEVELOPMENT INFO

General Site Description and Location:

The site is one full block, approximately 1.09 acres in area (204’ x 235’), located in the Roosevelt Neighborhood, two blocks East of the future Roosevelt LINK light rail station (opening 2020) and immediately South of Roosevelt High School. The site is bounded by NE 65th Street on the South, NE 66th Street on the North, 14th Avenue NE on the West, and 15th Avenue NE on the East. Both 65th and 15th are designated High Frequency Transit corridors by the City of Seattle, and 14th and 66th are slated for designation by SDOT as Neighborhood Green Streets.

Existing Uses and/or Structures:

The site is currently occupied by several structures that are derelict and awaiting demolition.

Topographic and other physical features:

The site slopes upward approximately 22’ from the SW corner (at the intersection of 65th and 14th) to the NE corner (at the intersection for 66th and 15th) of the site. Roosevelt High School is immediately to the North. The historic school building is 4 stories in height, sitting atop a plinth that is approximately 15’ above the street.

Existing vegetation on the site includes four flowering plum trees along NE 66th Street.

Zoning, Overlay Designations, and Neighborhood-Specific Guidelines:

The Site is within the Roosevelt Residential Urban Village and Roosevelt Station Area Overlay District. The zoning is NC2P-65 (Neighborhood Commercial, 65’ height) with a base FAR of 1.3 and 4.0 covering different portions of the site. An increase of up to 5.75 FAR is available through the incentive bonus program. Street-specific setback conditions apply. NE 65th Street is a designated Principle Pedestrian Street.

The Roosevelt Neighborhood Design Guidelines (RNDG) apply, offering supplemental guidance to the Citywide Design Guidelines.

Context

Adjacent zoning to the West is NC2P-65. Adjacent zoning to the South is NC2-40 (1.3 Base FAR). Adjacent zoning to the East is NC2-40. The historic landmark Roosevelt High School and campus (zoned SF 5000) occupies the property north of the site.

The neighborhood offers limited views of the Olympic Mountains, Mt. Rainier, and Downtown Seattle.

Surrounding uses include light commercial and office uses, many deteriorated properties in need of repair, and single family homes. The neighborhood is well-served by buses and close to I-5.

Development objectives:

Residential Development:	221 dwelling units (approx.) in a mix of multi-level and ground-related units and upper-level flats
Ground-Level Commercial	7,500 sf (approx.)
Underground Parking:	175 stalls (approx.) accessed from 14th Ave NE.
Structure Height:	7-stories, 55’ - 75’ high (approx.)

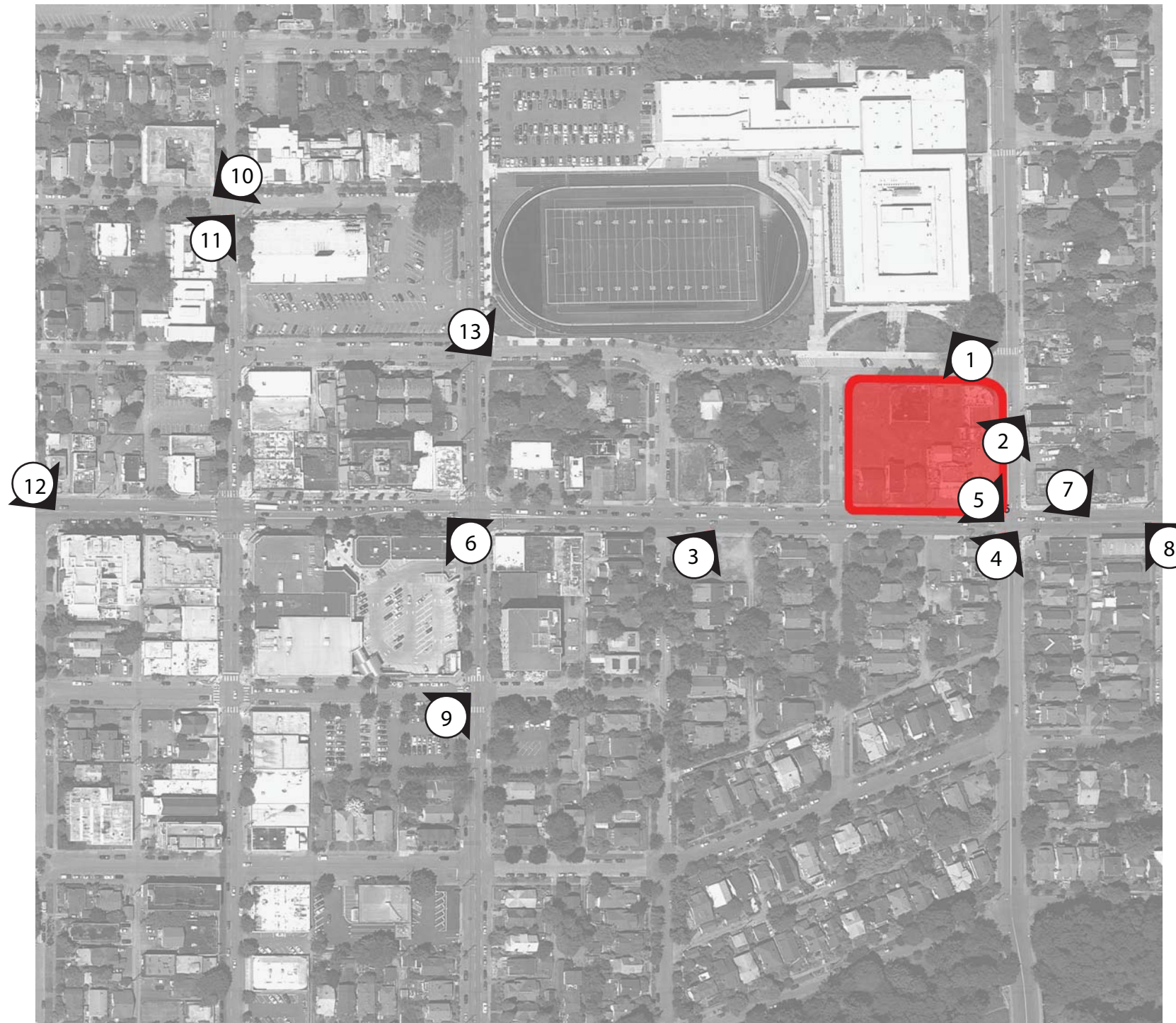
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- 1 TOD Site
- 2 Link Transit Station
- 3 Whole Foods
- 4 Roosevelt High School
- 5 Fruit Stand
- 6 Cowen Park

AERIAL PHOTO & NEIGHBORHOOD CONTEXT



1. Roosevelt High School



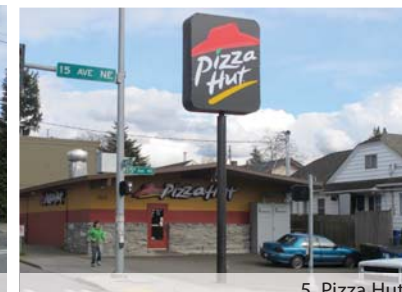
2. RR Hardware



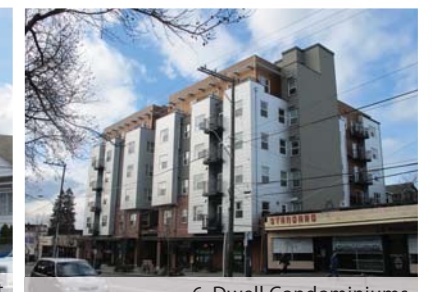
3. Typical Residential



4. Espresso Express



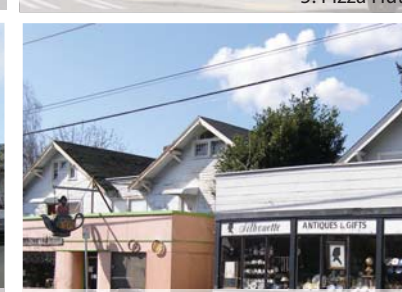
5. Pizza Hut



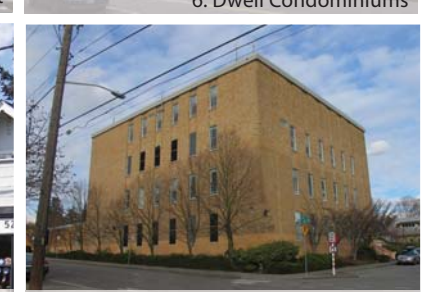
6. Dwell Condominiums



7. Allstar Cleaners



8. Silhouette Antiques



9. Qwest Communications



10. Strada67 Apartments



11. 6700 Roosevelt Apartments



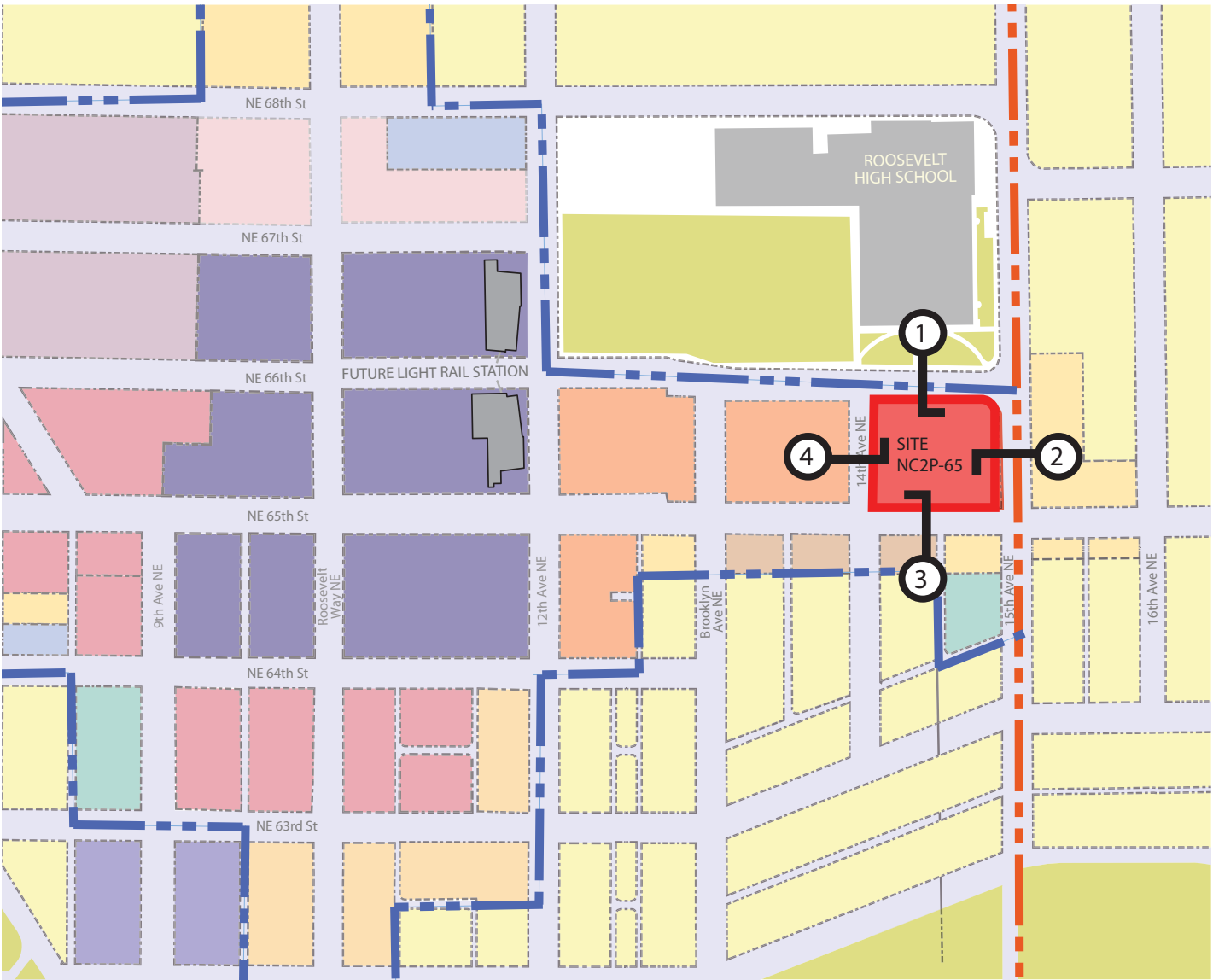
12. St. Theodore Apartments



13. New Apartments on 12th

NEIGHBORHOOD CONTEXT

Land Use and Zoning Analysis



Base Zone:	NC2P-65
Overlay:	Station Area Overlay District
Planning:	Roosevelt Residential Urban Village
Supplementary Design Guidance:	Roosevelt Neighborhood Design Guidelines

LEGEND	
	SF 5000
	LR1
	LR2
	L-3
	NC1-40
	NC2-40
	NC2P-65
	NC3-65
	NC3P-65
	NC3P-85
	MR

- Use**
- Commercial uses are required along 80% of the frontage along NE 65th Street.
 - Live/Work units may not occupy more than 20% of the frontage along NE 65th Street.
 - Commercial uses are prohibited along NE 66th Street, except within 50 feet of the intersection with 14th Avenue NE and 15th Avenue NE. (23.47A.009.D.3)

Floor Area Ratio (Chart A Section 23.47A.013B)	
Lot Size:	47,736 (approx.)
Gross Floor Area:	260,000 square feet (approx.) including underground parking
Allowable FAR (23.47A.013 Table B):	5.75
Proposed FAR:	4.5 (approx.) excluding underground parking

- Parking**
- The Station Area Overlay does not require parking. However, if parking is provided, it must be below grade.
 - Parking for 175 vehicles (approx.) will be provided below grade.
 - Parking will be accessed from 14th Avenue NE.

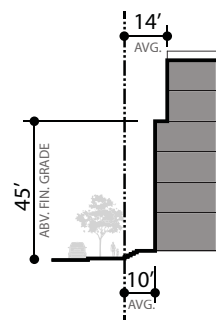
- Green Factor Strategies**
- Extensive Green Roof on the upper roof of the West Building.
 - Intensive plantings on the courtyard.
 - Trees and ground covers along the street frontage.

LAND USE CONSIDERATIONS

Setbacks and Height Analysis

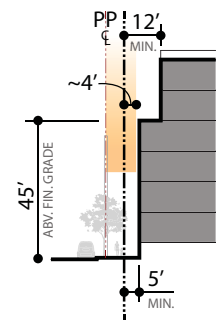
Setbacks

(23.47A.009 Standards Applicable to Specific Areas)



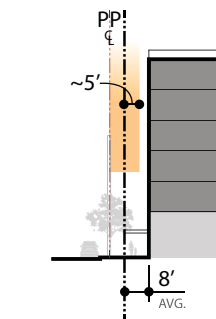
1

Northeast 66th Street. An average ground level setback of 10 feet and a minimum upper level setback of 4 feet at 45 feet above



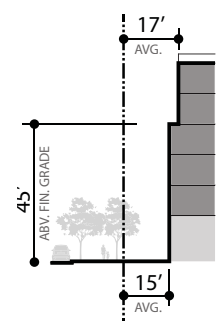
2

15th Avenue Northeast. An average ground level setback of 5 feet and an average upper level setback of 7 feet at 45 feet above finished



3

Northeast 65th Street. An average ground level setback of 8 feet shall be provided, and the setback may include pedestrian access and



4

14th Avenue Northeast. An average ground level setback of 15 feet and a minimum ground level setback of 5 feet and a minimum upper level setback of 3 feet at 45 feet above

Additional Setbacks

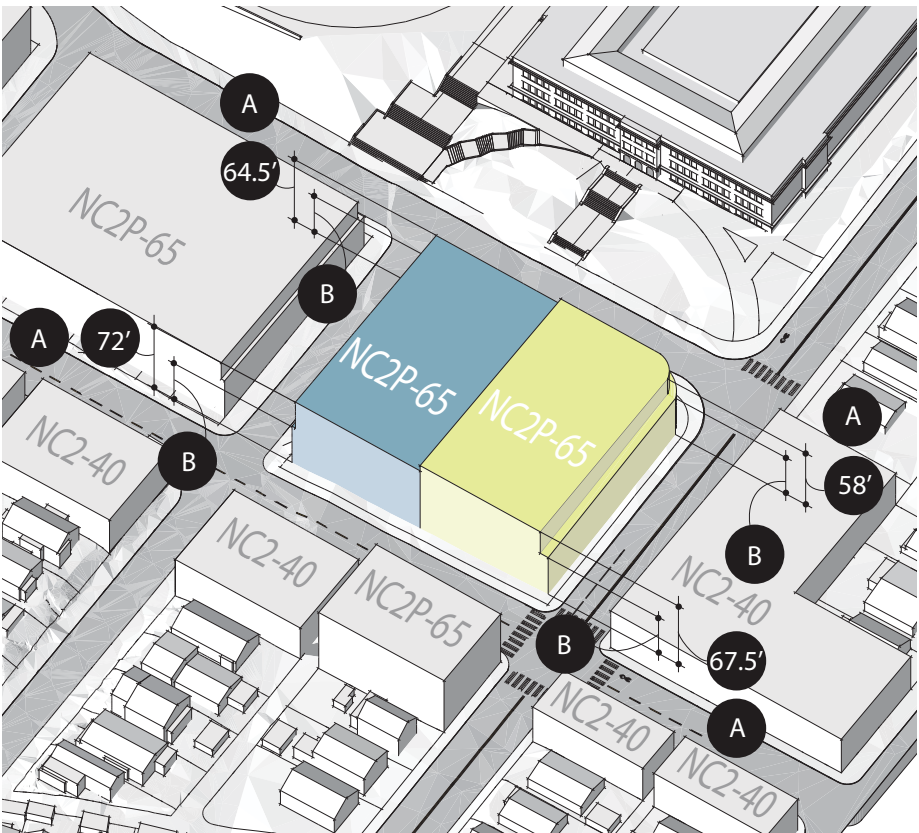
Seattle City Light- setback 14' from centerline at power poles

Street Level Development Standards (23.47A.009)

- Ground-related housing units facing Northeast NE 66th Street shall have their primary pedestrian entrance directly accessible from the sidewalk. (23.47A.009.D.4)
- Stoops may not cover more than 20% of the total setback area along any single street.
- NE 65th Street is a Principle Pedestrian Street

Envelope Height (23.47A.012 and 23.47A.009)

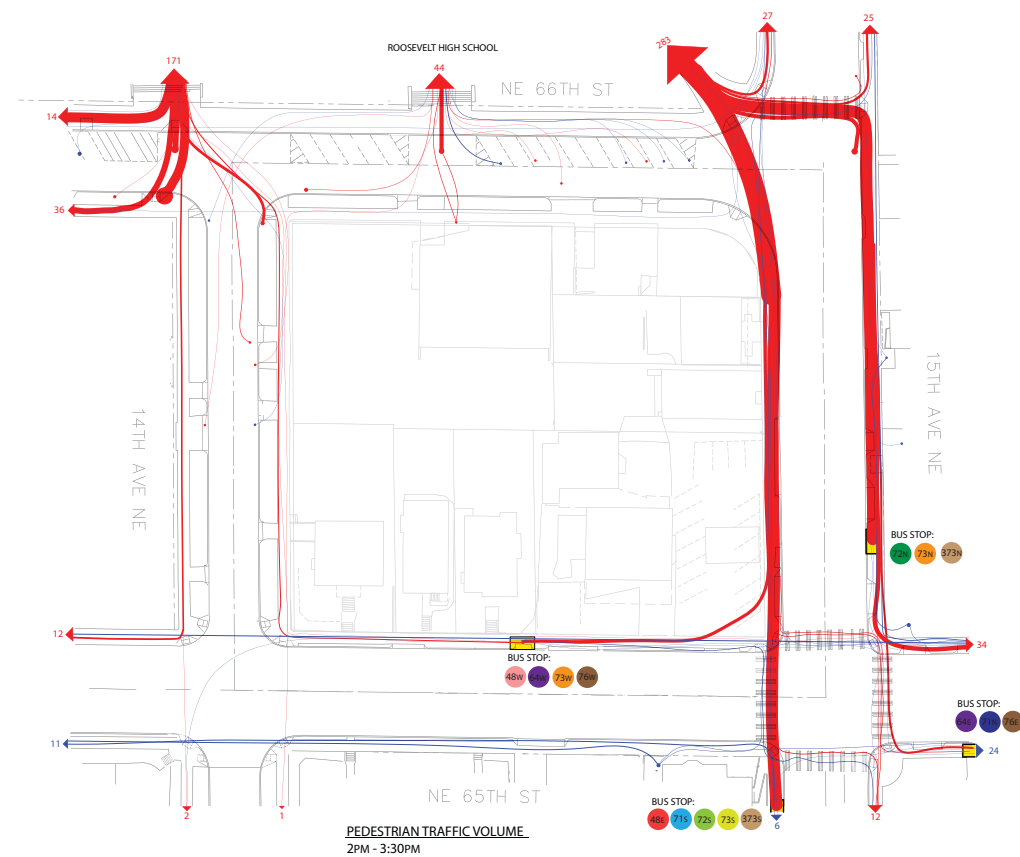
A	Maximum Allowable Structure Height:	65 feet
B	Upper-Level Setbacks:	45' above finish grade along 66th, 15th and 14th
	Proposed Structure Height:	57 feet to 77 feet above finish grade
	Allowable Rooftop Features:	16 feet for stair and elevator penthouses, and; 4 feet for open railings, planters, skylights, clerestories, parapets, and firewalls.



LAND USE CONSIDERATIONS

01

DESIGN CONTEXT



A. NE 66th Street - Looking at Site

Existing commercial properties are boarded up and awaiting demolition. There are 4 flowering trees in a continuous planting strip.

B. NE 66th Street - Looking from Site

The historical landmark Roosevelt High School, originally built in 1922 and recently renovated. Includes an athletic field used as a public open space. There are several mature trees on the property.

C. 15th Avenue NE - Looking at Site

Narrow sidewalk with overhead power poles & lines. Boarded up and dilapidated buildings. No street trees or planting strips. Chain link fence along majority of property line. Farm/produce stand.

D. 15th Avenue NE - Looking from Site

Narrow sidewalk. No street trees or planting strip. Light commercial businesses, several buildings unoccupied and in need of repair.



EXISTING STREETScape CHARACTER



A. NE 65th Street - Looking at Site

Narrow sidewalk. No street trees or planting strip. Chain link fence along majority of property line. Boarded up single family homes awaiting demolition. Overhead power lines & poles.



B. NE 65th Street - Looking from Site

Narrow sidewalk. No street trees or planting strip. Overhead power lines and poles. Light commercial structures and single family homes.



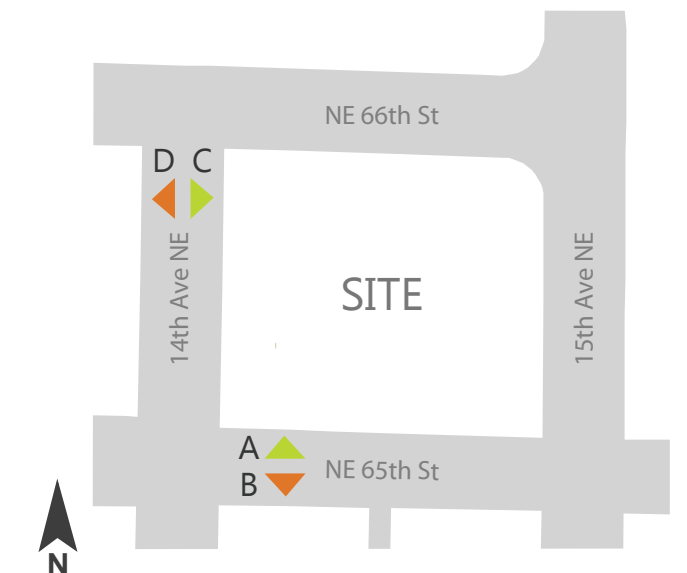
C. 14th Avenue NE - Looking at Site

No street trees or planting strips. Chain link fence. Boarded up single family homes and commercial structures awaiting demolition.



D. 14th Avenue NE - Looking from Site

No street trees or planting strips. Partial vacant site with single family homes to the west.



EXISTING STREETScape CHARACTER

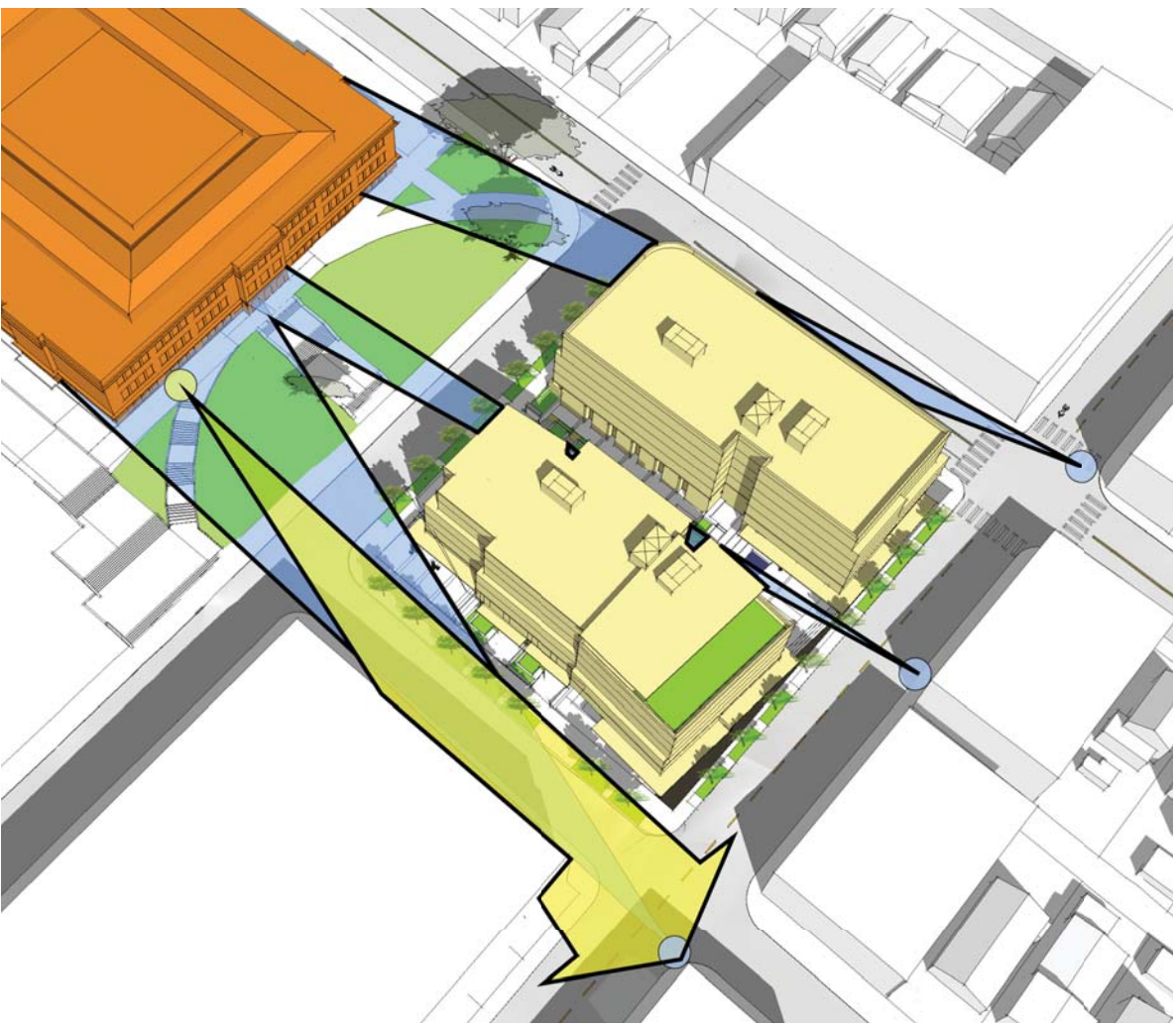
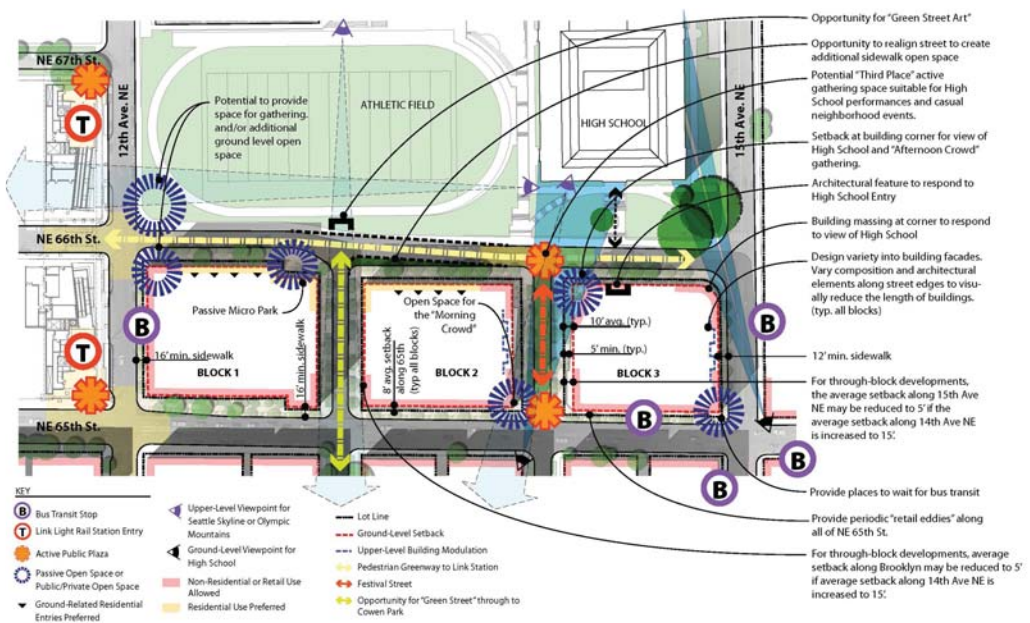
VALUES SUMMARY

Neighborhood Values

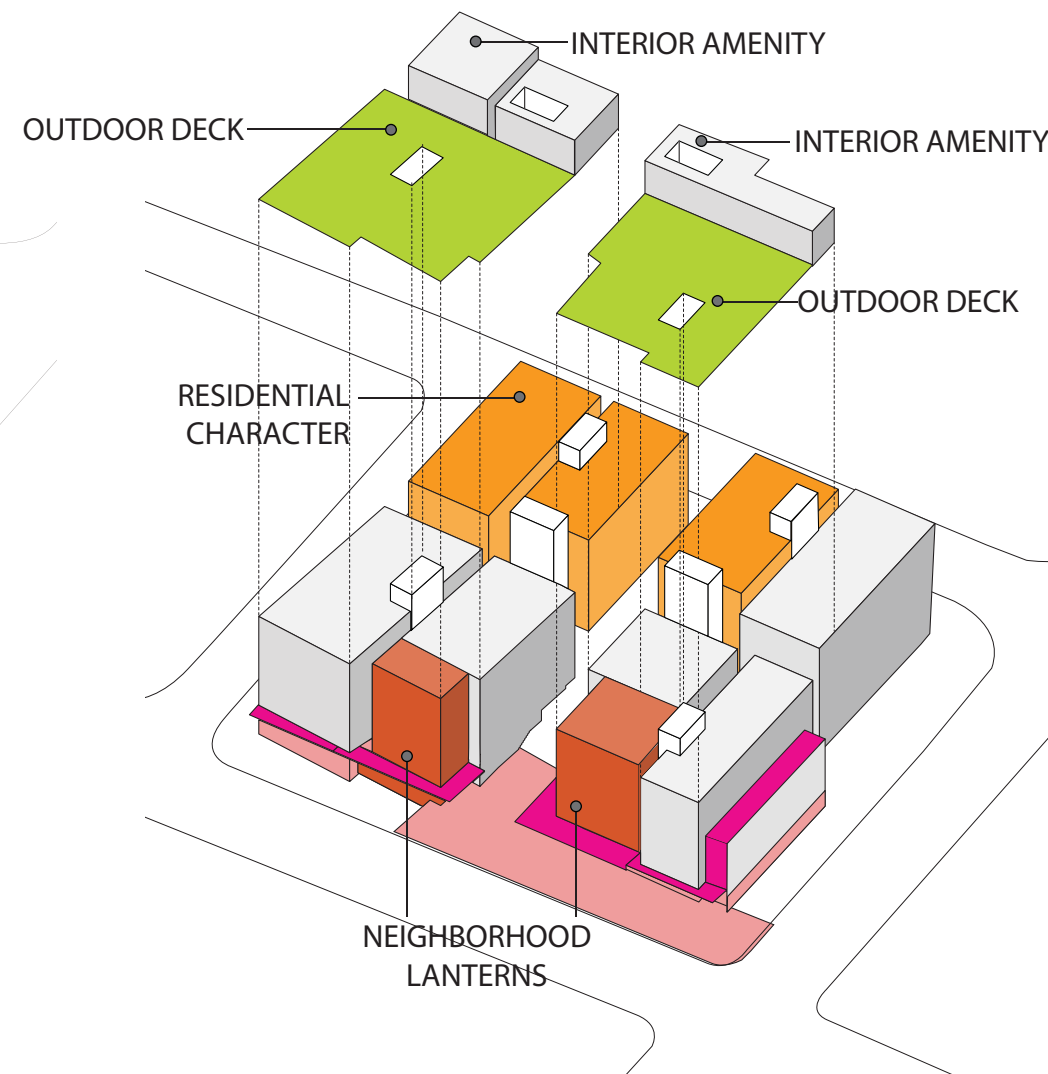
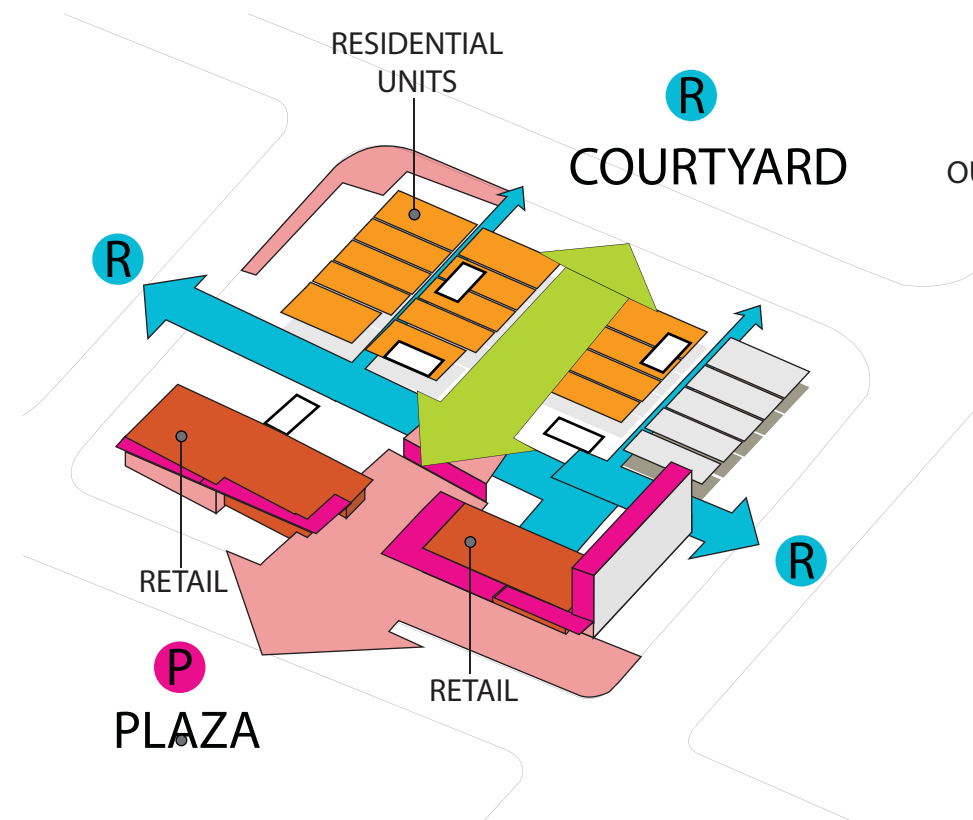
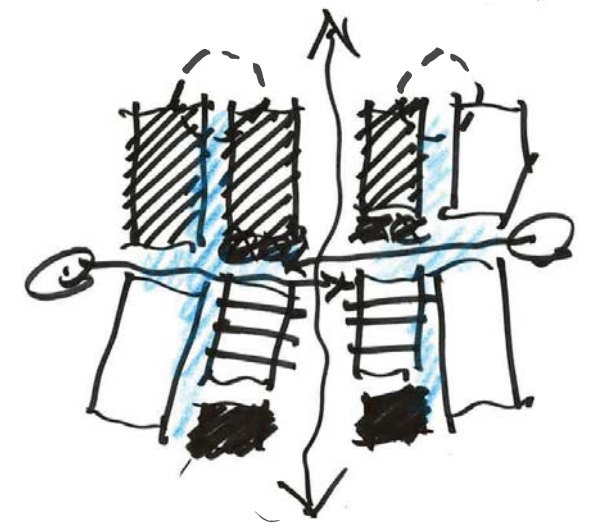
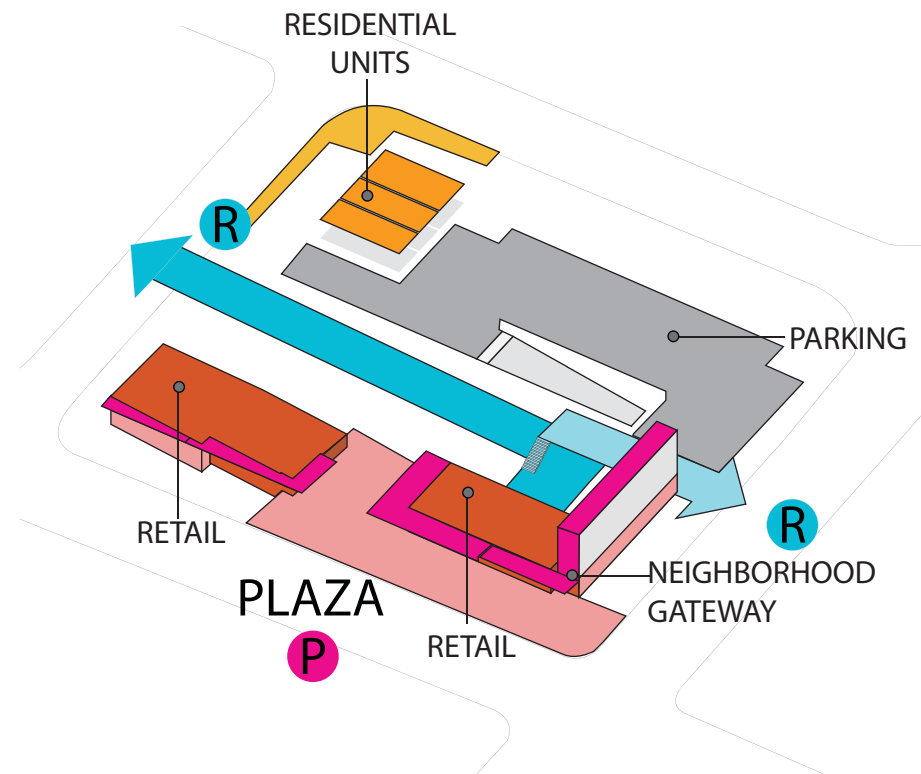
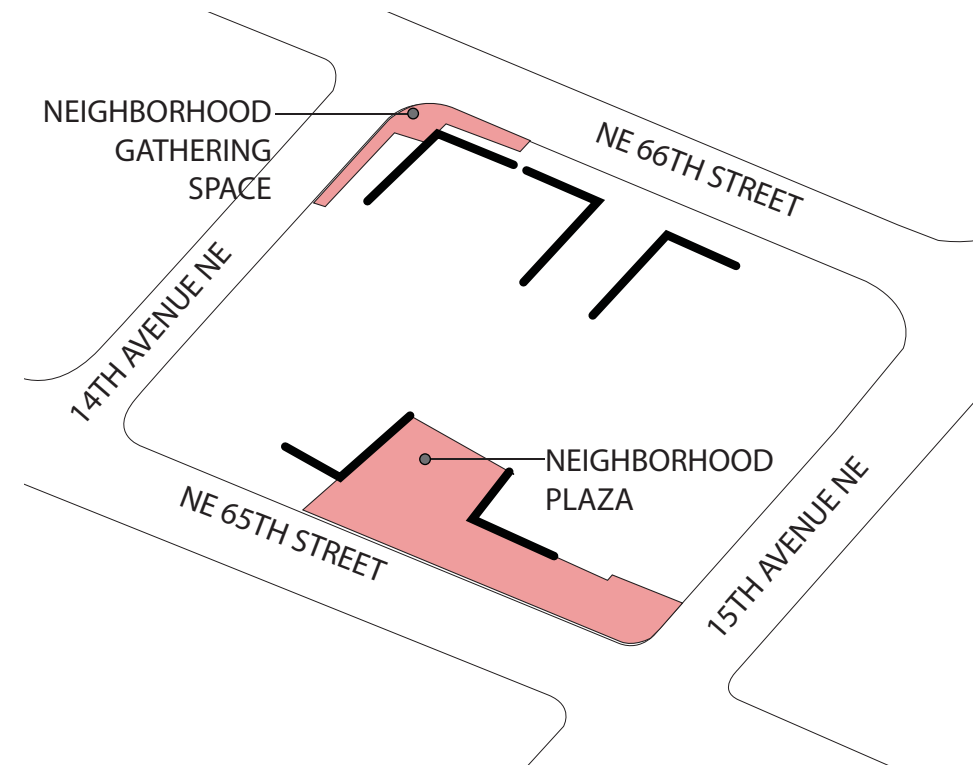
Response

	Protect Views		Two buildings preserves views to Roosevelt High School
	Active, vibrant, walkable, and pedestrian friendly environment.		A variety of streetscape conditions support vibrancy.
	Effective transitions in height, bulk, and use.		Two buildings break down the mass of the block.
	Create additional open green space.		Two plazas are provided at ground level.
	Respect Roosevelt High School.		Views to the school guide building placement.
	Appropriate selection of façade materials, design, lighting, and landscape.		High quality materials at the lower portions of the building, more opportunities for landscape.
	Provide spaces for appropriate economic activities at the streetscape.		Retail uses front 65th and the plaza.
	Provide interior and exterior spaces and amenities that support interaction.		Plazas and active street edges promote walking and gathering around and through block
	Incorporate sustainable design and building.		Increased solar access, ventilation, and shorter corridors reduce energy consumption.
	Keep a safe, clean environment for everyone, including Roosevelt students.		Security and heavy foot-traffic buffers are incorporated, two buildings provide more site lines.
	Increase residential density to accommodate a fair share of new residents.		High density mixed income housing near transit.
	Provide a fair share of affordable housing.		17.5% of bonus floor area will be for affordable housing.
	Honor the planning process and involvement to-date by the neighbors.		The preferred scheme arose from collaboration and engagement with the community.

“THE HIGH SCHOOL BLOCKS” COMMUNITY OUTREACH

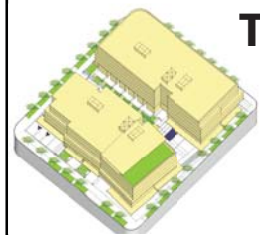


OVERALL MASSING STRATEGY



- P PUBLIC CIRCULATION
- PUBLIC SPACE
- NEIGHBORHOOD LANTERNS
- RESIDENTIAL CHARACTER
- R RESIDENTIAL CIRCULATION
- VERTICAL CIRCULATION
- OUTDOOR AMENITY

PUBLIC SPACE MASSING



TWO BUILDINGS

Project Data

Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	205,000 SF
Total Residential Units	221
Floor Area Ratio (FAR) (Approx.)	4.3
Density	193 units/net acre
Underground Parking (Approx.)	175 stalls

Advantages and Opportunities

Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.

Views towards downtown from Roosevelt High-School are acknowledged in the western building's setbacks.

Straightforward building layout offers the potential for a variety of residential units with large quantity of daylight.

Minimize massing on site, and face narrow building edges to school and 65th.

Roof top open space creates modulation

Different building grade planes allows for each building to respond more appropriately to the sloping site at the ground level.

Challenges

Circulation for residents between the two buildings



- Streetside Plaza
- Retail Corner
- Linear Courtyard
- Gate
- Residential Stoops
- Raised Terraces
- Community Plaza
- Roof Terrace

- Common Residential Entry
- Parking Entry

PUBLIC CIRCULATION DIAGRAM

02

PROJECT OVERVIEW



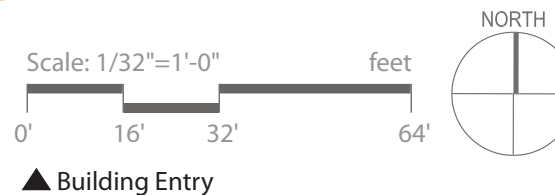
AERIAL MASSING

NE 66th Street

14th Avenue NE

15th Avenue NE

NE 65th Street



NE 65th Street
active commercial



15th Avenue NE
urban arterial



NE 66th Street
civic residential



14th Avenue NE
festive mixed-use



LANDSCAPE SITE PLAN



Corner Retail



Metro Bus Stop



Retail at Public Plaza



Wide Sidewalks



Transition from Retail to Residential



Raised Planter Curbs



Elevated Private Stoops

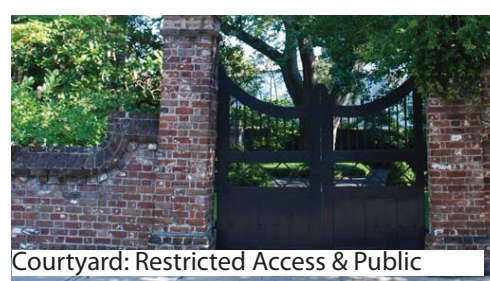


Heavy Vehicular Traffic

active commercial



Private Residential Entries



Courtyard: Restricted Access & Public



Residential Micro-plazas



High Student Pedestrian Traffic

urban arterial



Elevated Live/Work Units



Designated Festival Street



Integrated Stormwater Management



Garage Access & Retail Corner

civic residential

festive mixed-use

STREET CHARACTER

Active Commercial Gateway

The proposed design will enhance 65th as a gateway and entry street into the commercial core. Retail storefront treatments will include large display windows, recessed entries, and weather protection. A consistent and visually enhanced wall of street trees and ornamental pole mounted pedestrian lights will provide uniformity. Wide sidewalks and building setbacks will create opportunities for public space. Amenities that support retail use and encourage sidewalk activation will include seating, accent lighting, accent paving, and low ornamental planting.



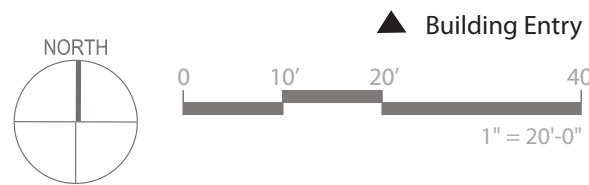
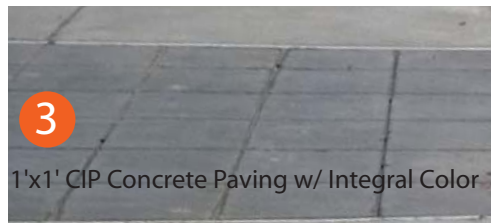
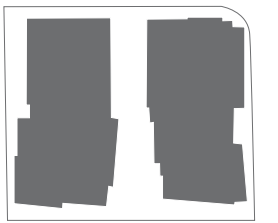
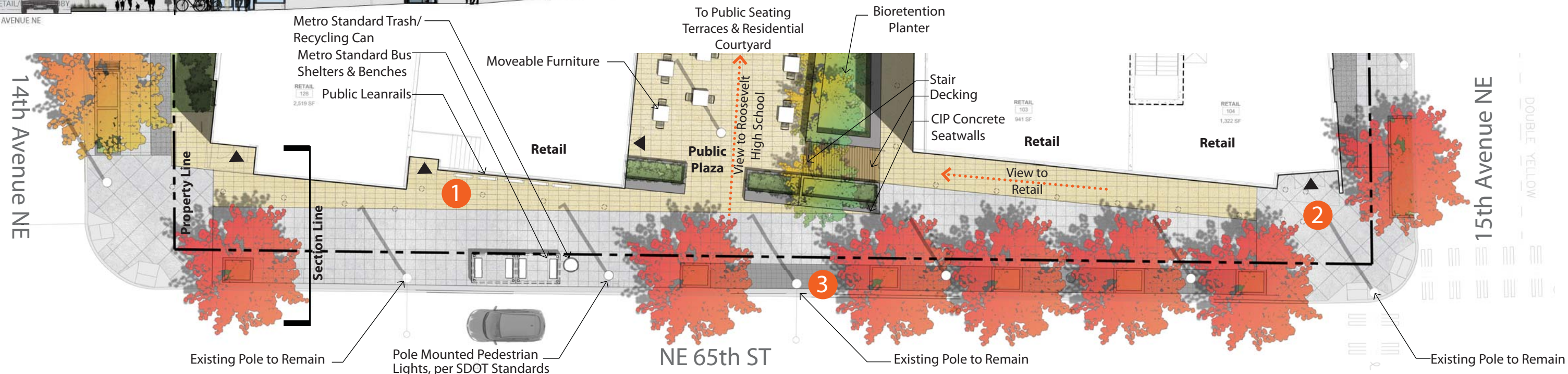
NE 65th St Looking West

- Weather Protection And Storefront Glazing
- 25' Height Street Trees
- Pole Mounted Pedestrian Lighting, Per SDOT Standards
- Low, Drought-Tolerant Ornamental Planting & Raised Planting Curbs with Low Planter Rail

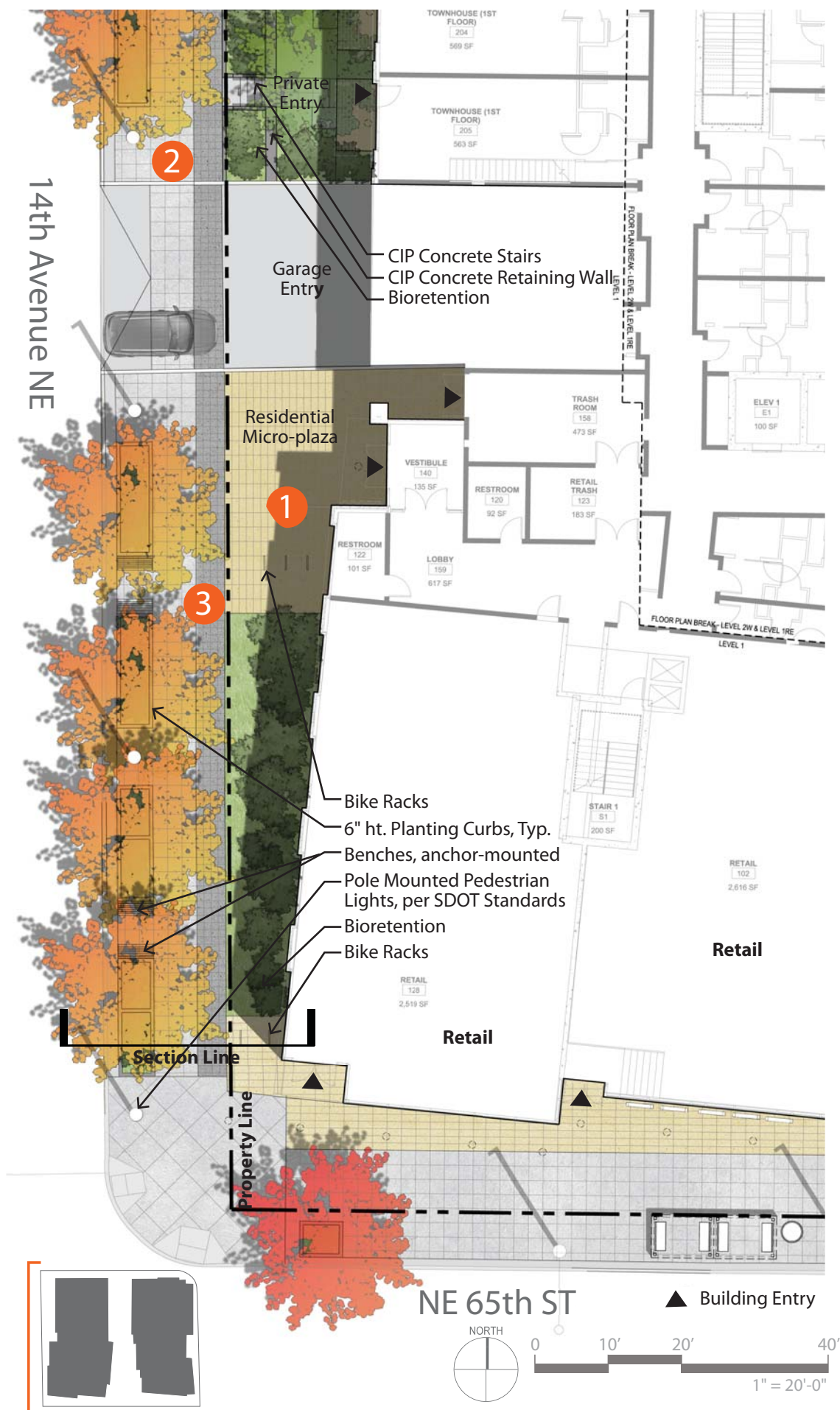


Existing Streetscape Looking West

NE 65TH DESIGN INTEGRATION



NE 65TH DESIGN INTEGRATION

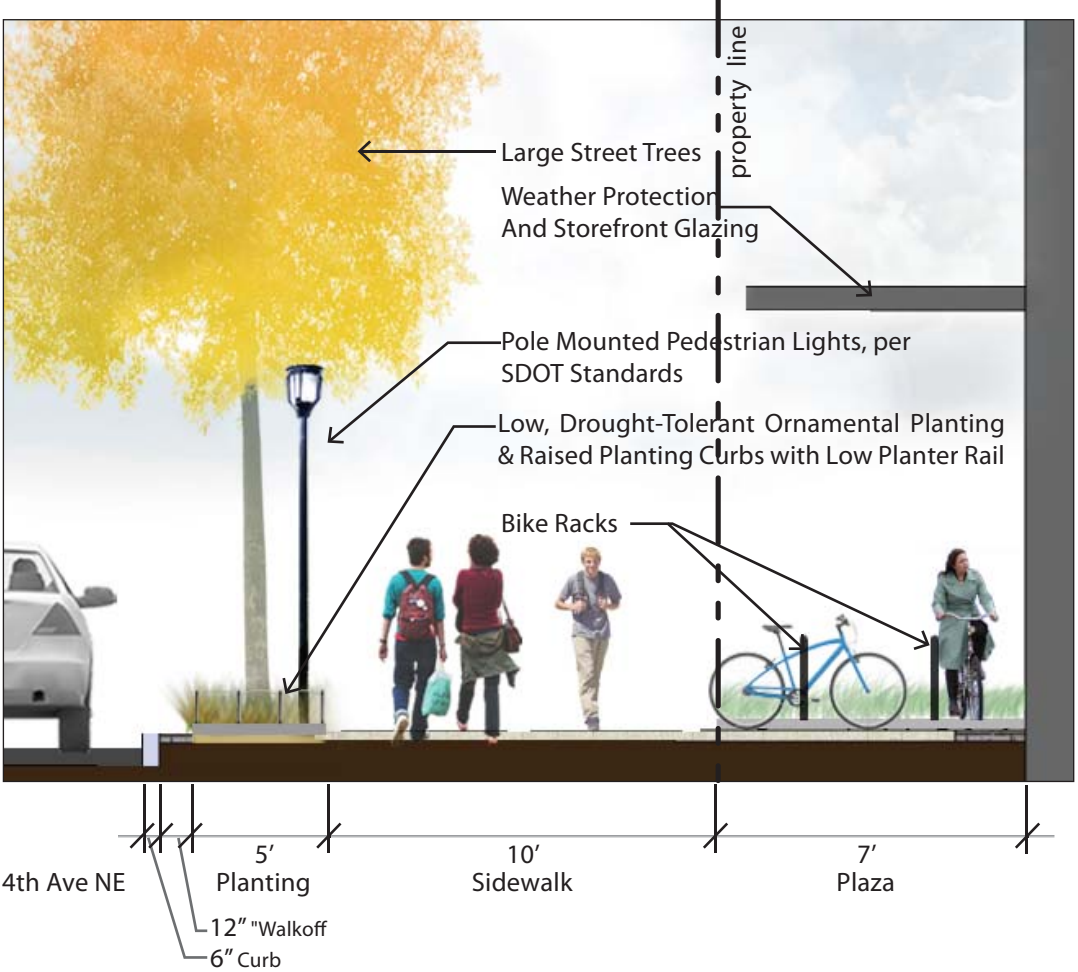


Intimate Pedestrian Scale Along Festival Street

The proposed design will include planting strips with large street trees spaced to allow pedestrian connections to the festival street. Wide sidewalks and residential stoops will differentiate public and private zones.



Existing Streetscape Looking North



14th Ave NE Townhomes and Festival St Looking North

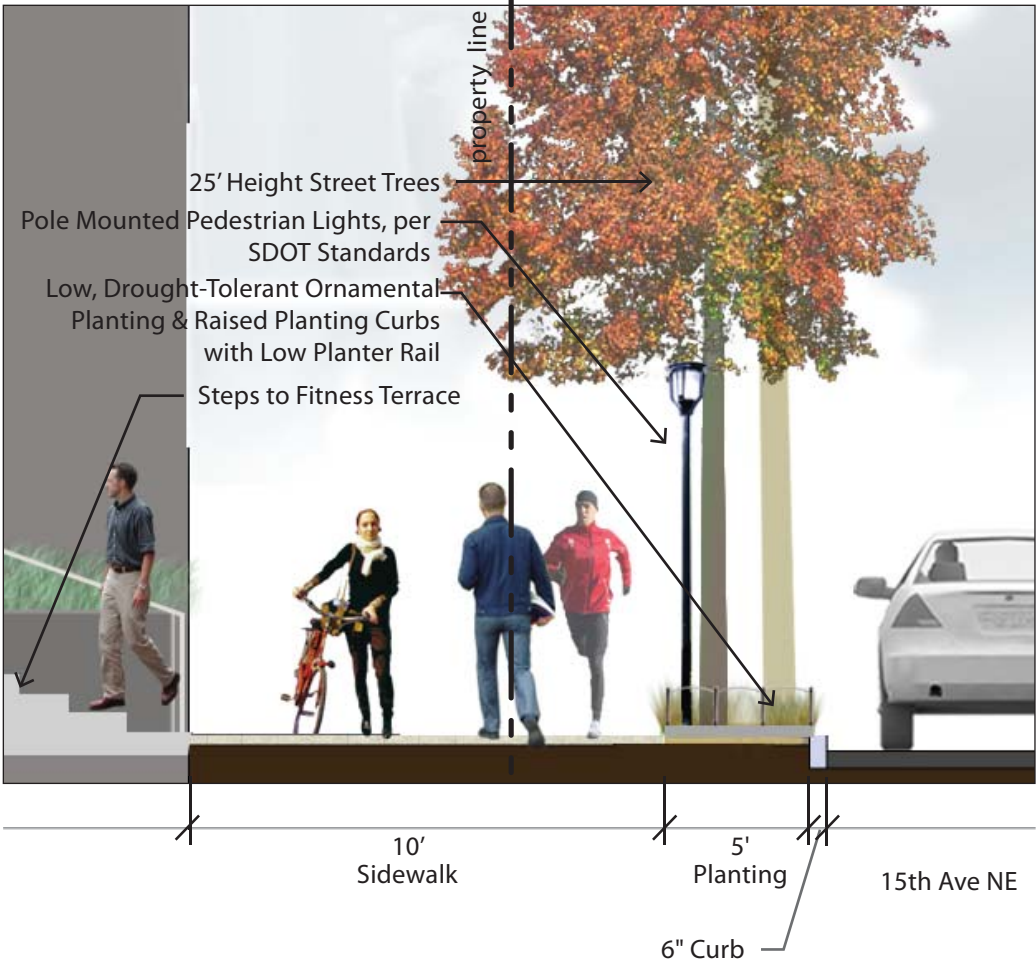
14TH AVE NE DESIGN INTEGRATION

Protected Pedestrian Environment Along Arterial

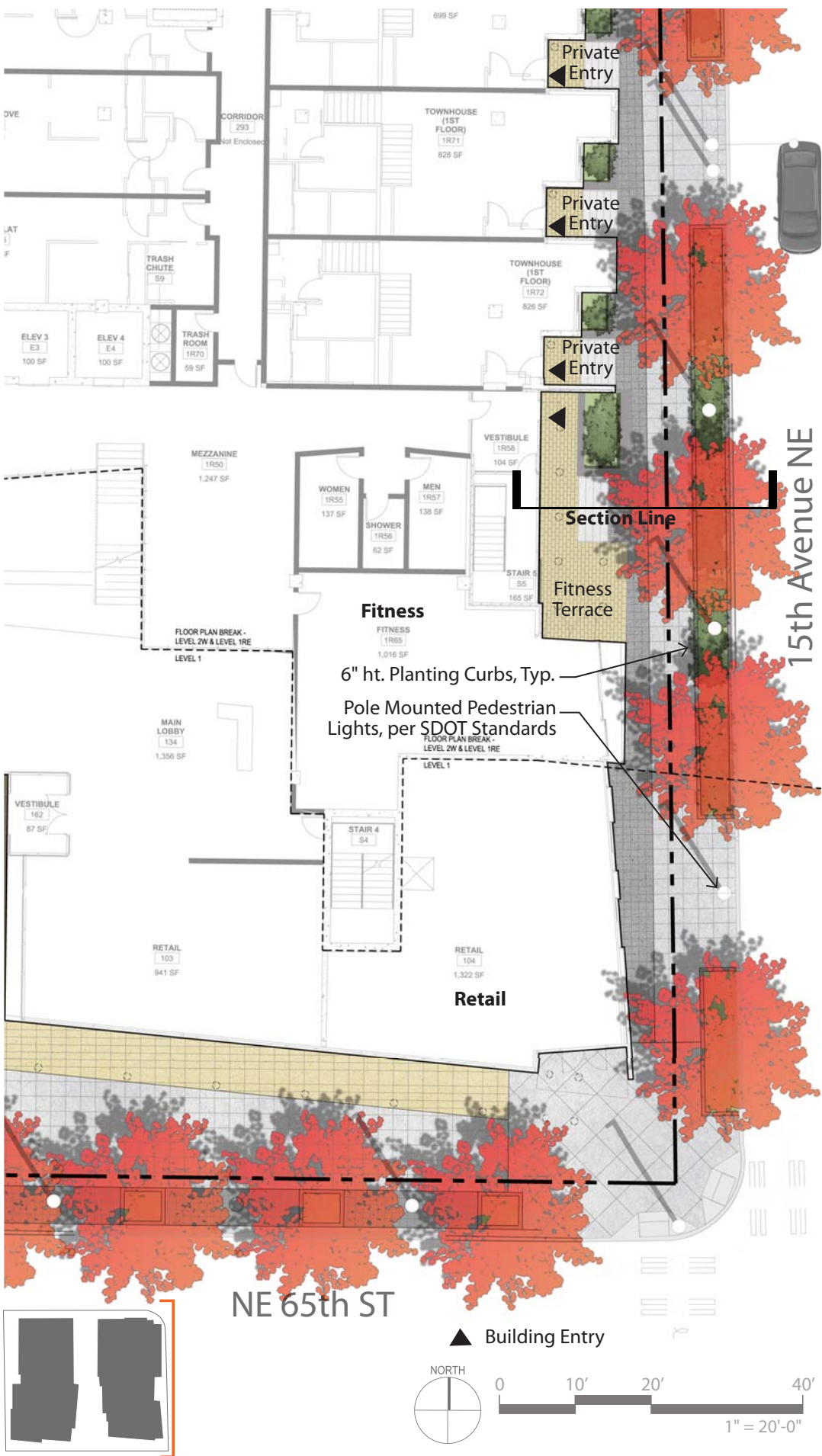
The proposed design will transform the sidewalk on 15th from an auto-dominated streetscape into an active, comfortable, and pedestrian-oriented environment. Wide sidewalks and generous planting strips will provide a pleasant and safe pedestrian route. Ornamental pedestrian lights and street trees will improve pedestrian comfort and separate pedestrians from the adjacent travel lanes. Overall character will be commercial in feel, and appropriate to 15th as an active conduit for the commercial core.



Existing Streetscape Looking South



15th Ave NE Looking North



15TH AVE NE DESIGN INTEGRATION

Civic/Residential Transition

The proposed design will complement the existing open space, trees, and character of iconic Roosevelt High School. Townhomes will include ground related entries and private yards, with planting and landscape features on each side of the sidewalk. Small flowering trees and accent planting will reinforce the residential scale of 66th.



NE 66th St Looking SE

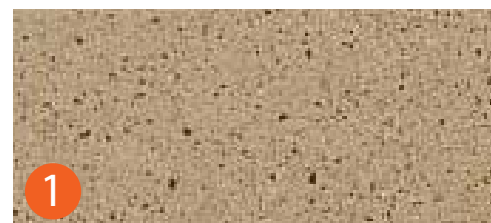
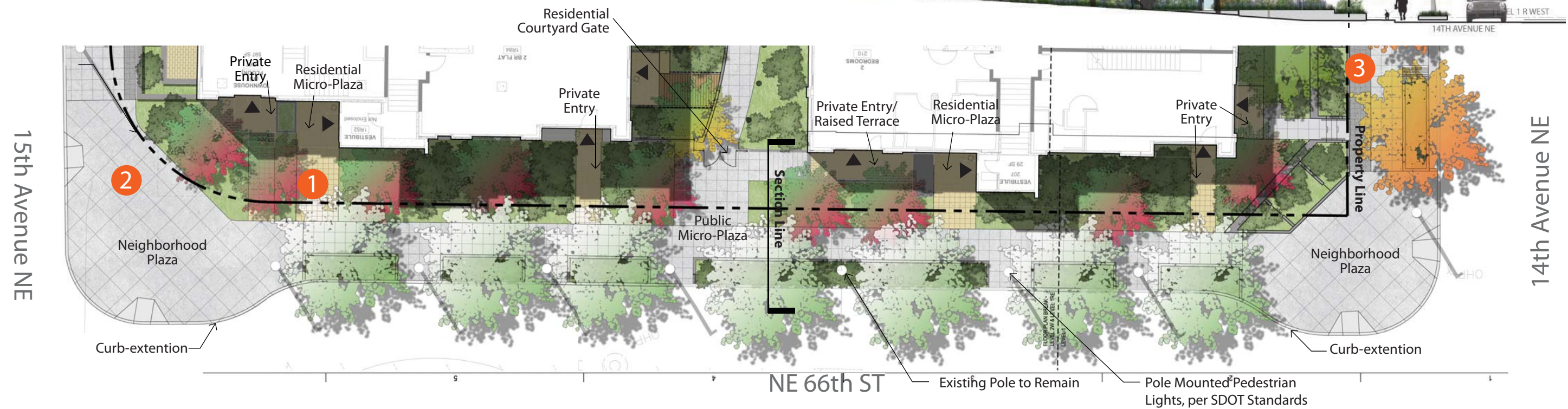


View of Roosevelt High School



Existing Streetscape Looking East

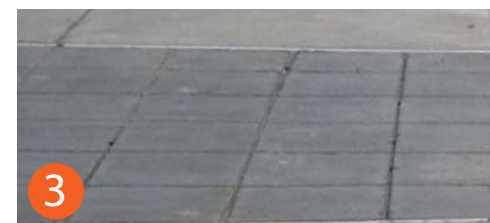
NE 66TH DESIGN INTEGRATION



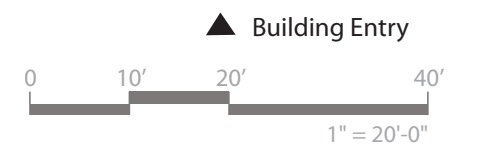
1'x2' CIP Concrete Paving w/ Integral Color



2'x2' CIP Concrete Sidewalk



1'x1' CIP Concrete Paving w/ Integral Color



NE 66TH DESIGN INTEGRATION

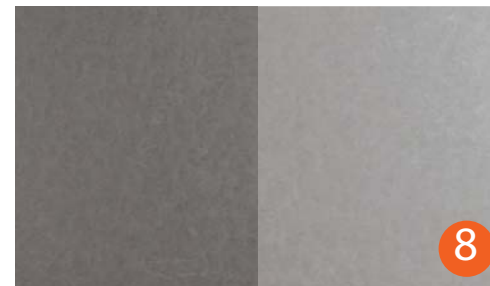
SITE ELEMENTS



WINDOW WALL



METAL



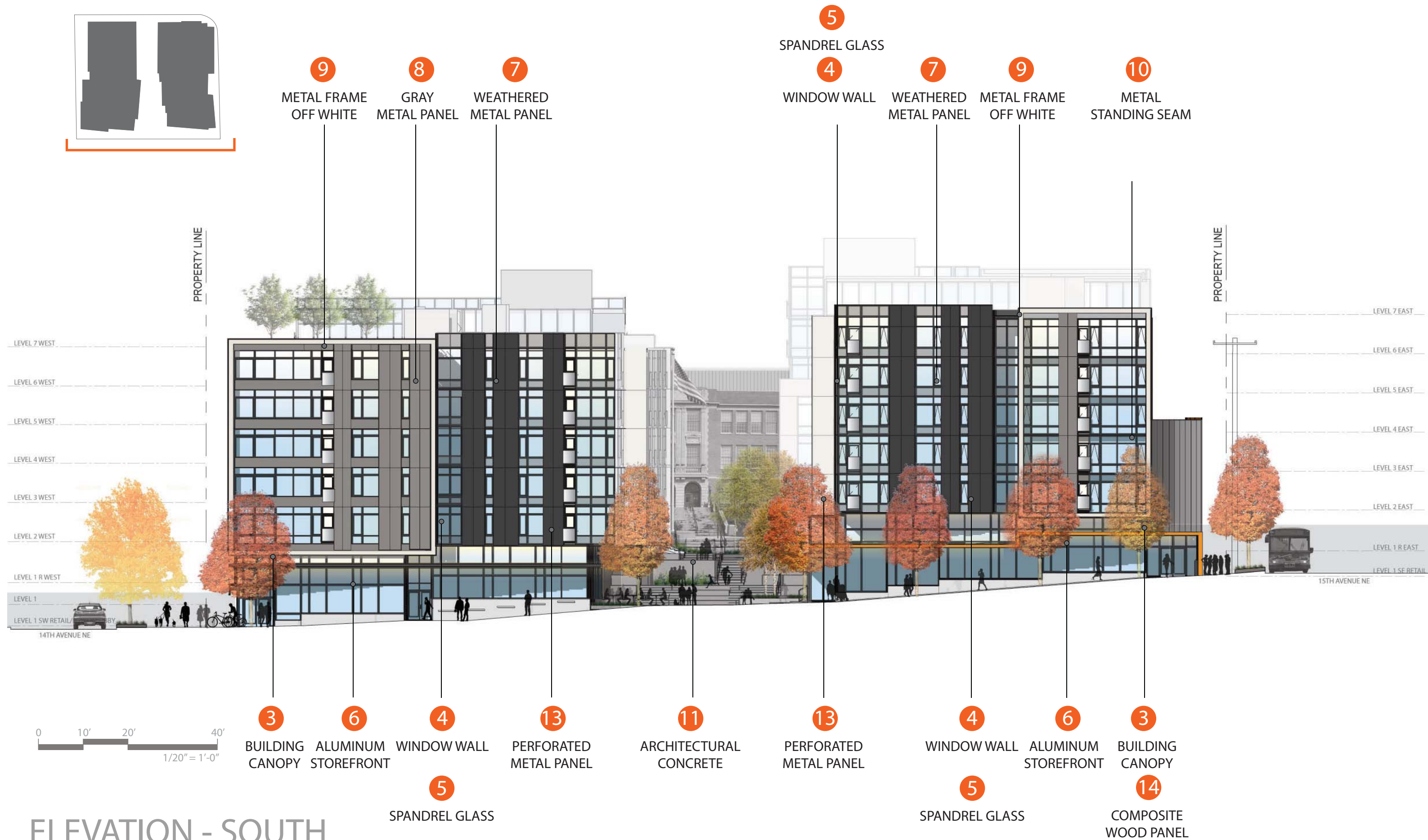
CONCRETE / MASONRY



CLADDING / ACCESSORIES



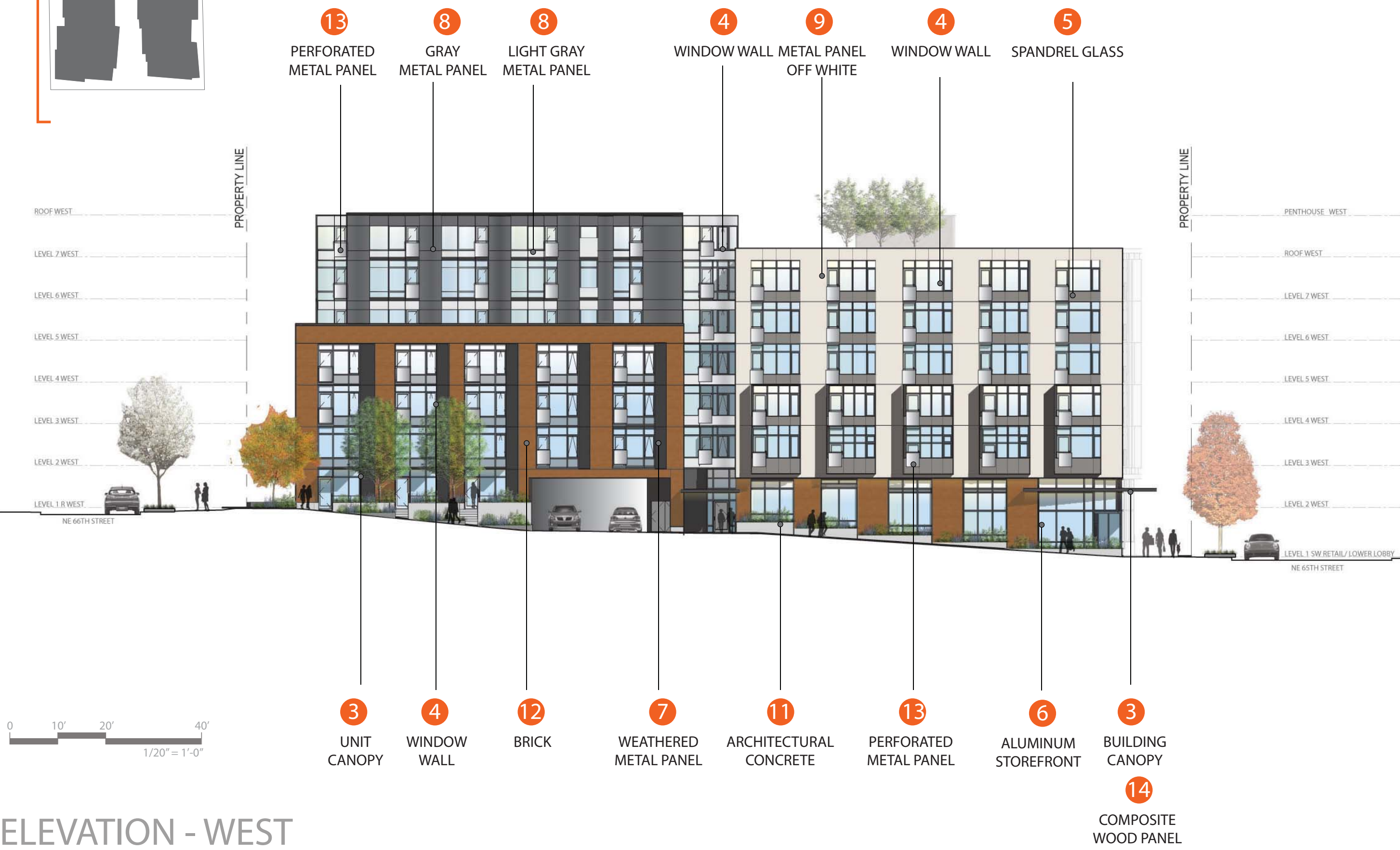
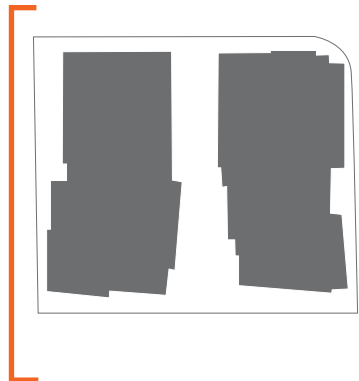
EXTERIOR ELEMENTS



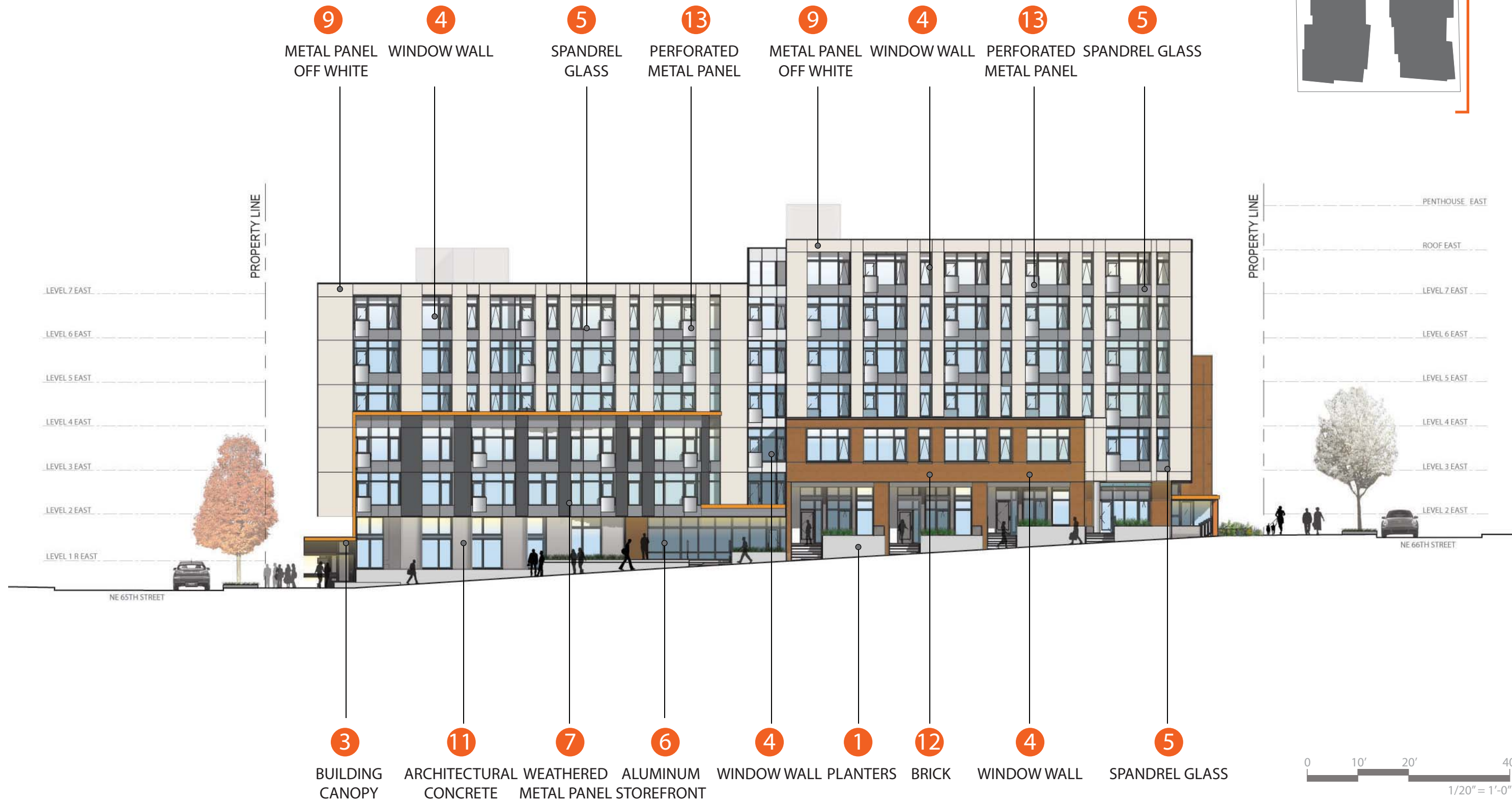
ELEVATION - SOUTH



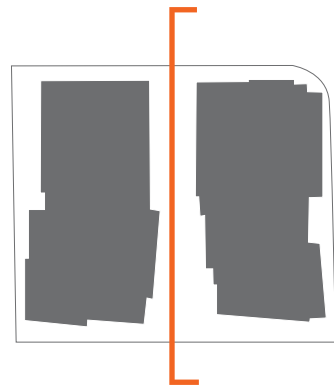
ELEVATION - NORTH



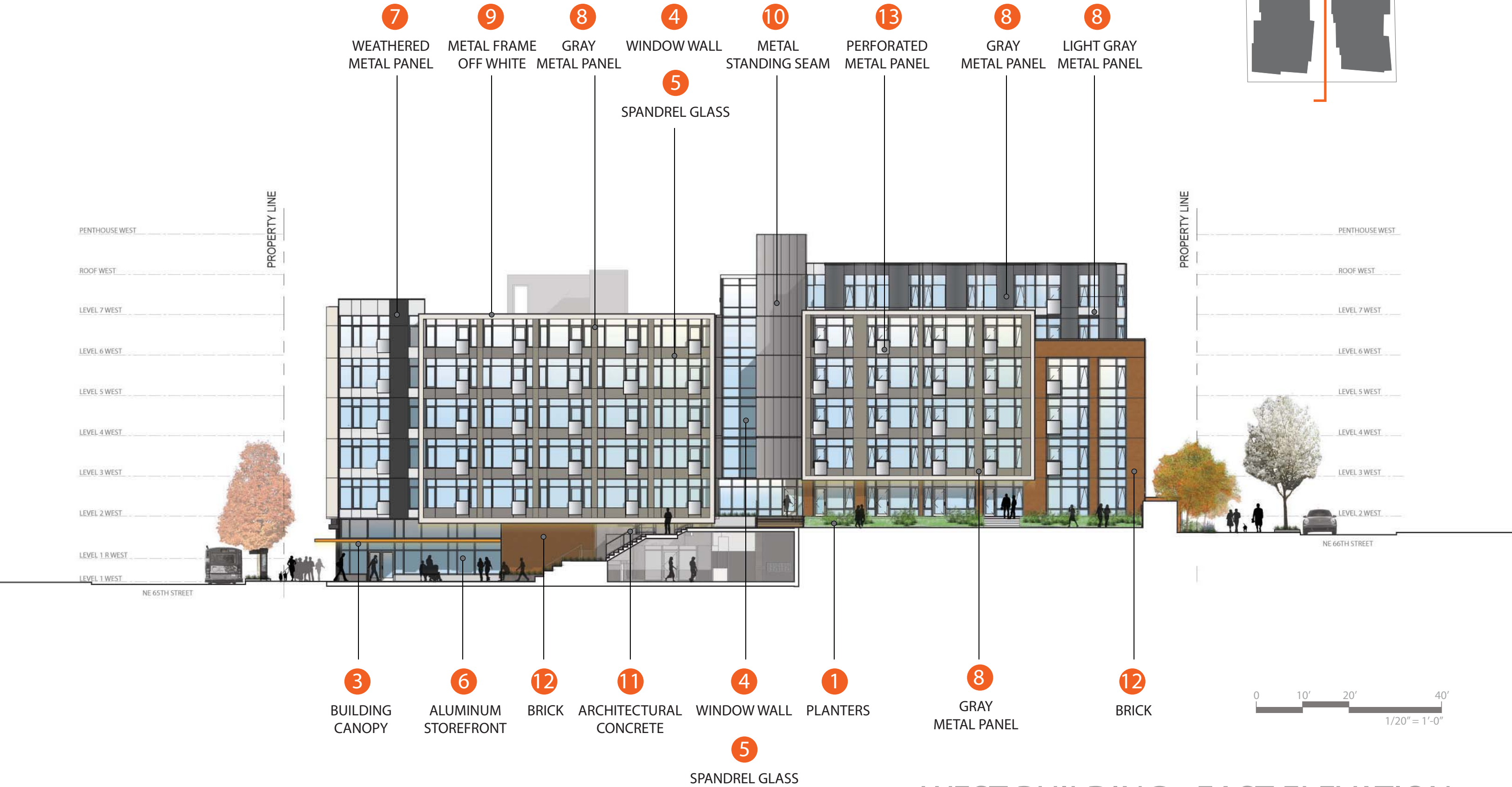
ELEVATION - WEST



ELEVATION - EAST



EAST BUILDING - WEST ELEVATION

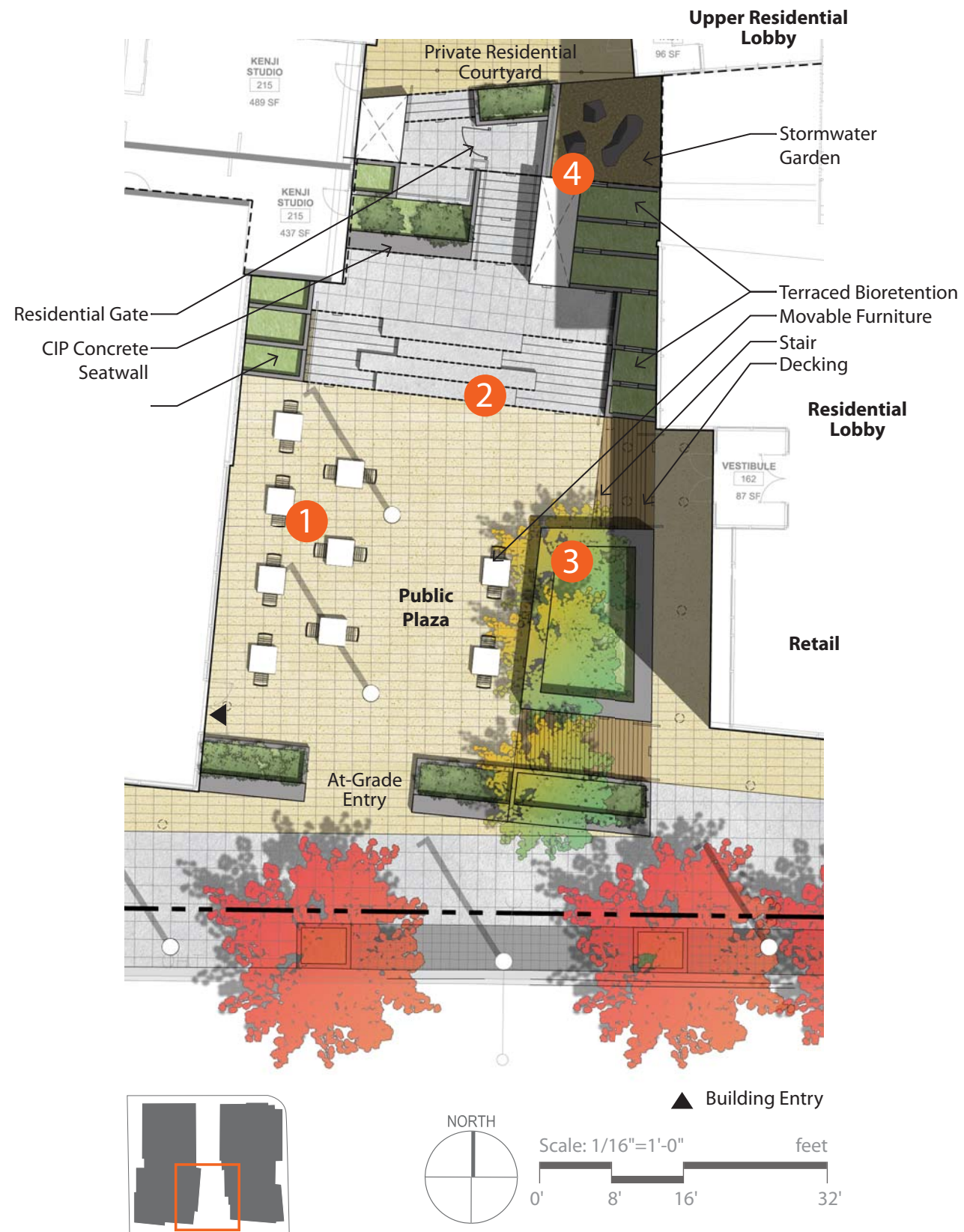


WEST BUILDING - EAST ELEVATION



View Looking North

PUBLIC PLAZA



Movable Furniture



Seating Terraces



Bioretention Planters



Stormwater Garden

1



Bioretention Entry Bridges

2



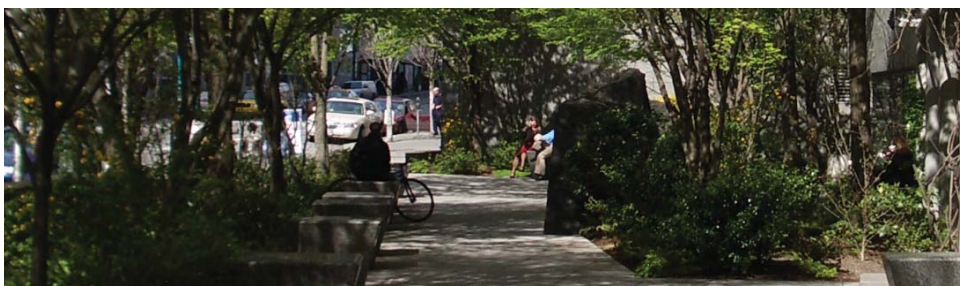
Private Decks in Meadow

3

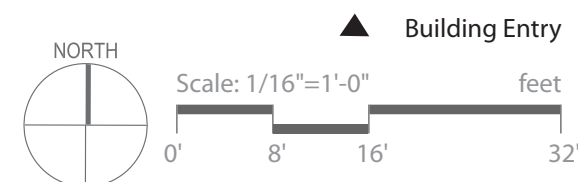


Restricted Residential Access

4



Private Corridor



PRIVATE RESIDENTIAL COURTYARD



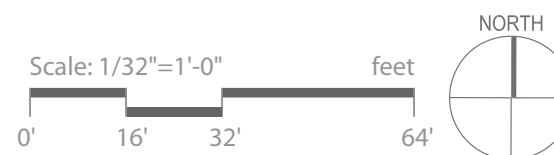
View Looking North

PRIVATE RESIDENTIAL COURTYARD

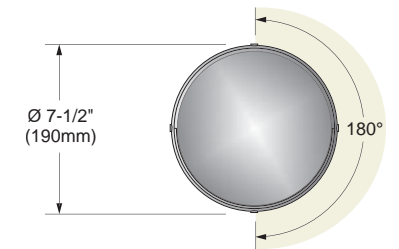


▲ Building Entry

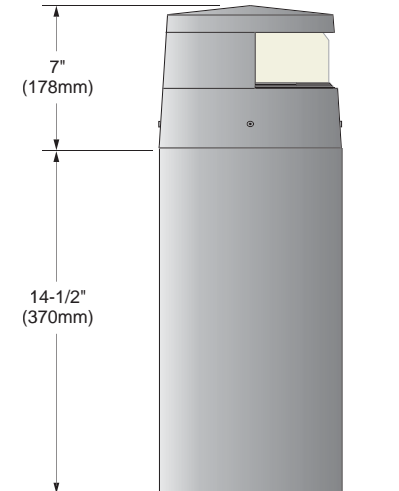
EXTERIOR LIGHTING



Pole Mounted Pedestrian Light



TOP VIEW



LED Bollard Light



Catenary Light



Building Mounted Sconce



LED Rope Light



Recessed Wall Light

TREES



Pacific Sunset Maple
Street Tree NE 65th St & 15th Ave



Swamp White Oak
Street Tree 14th Ave NE



Kousa Dogwood
Street Tree NE 66th St



Little King River Birch
Plaza/Courtyard



Holly Oak
Private Stoops 14th Ave NE



Vine Maple
Residential Planting - NE 66th St

PERENNIALS / GROUNDCOVERS



Emerald Carpet
Kinnikinnick



Daylily
Wild Ginger



Bishop's Hat



Big Blue Lilyturf



Sweet Box

SHRUBS



Crimson Pygmy Barberry



Red Twig Dogwood



Oakleaf Hydrangea



Magic Carpet Spirea



Box Leaf Honeysuckle



Snowlady Rhododendron



Evergreen Huckleberry



Compact American Cranberry



Heavenly Bamboo



Dwarf Box Hedge

GRASSES / FERNS / VINES



Blue Fescue



Japanese Sedge



Tufted Hair Grass



Western Sword Fern



Hardstem Bulrush



New Zealand Sedge

PLANTING PALETTE

PAVEMENT / SITE ELEMENTS



Concrete Paving with Integral color and Decorative Scoring



Sidewalk, Per City of Seattle standards



CIP Concrete Paving with Integral Color and Decorative Scoring



Moveable Furniture



Seating Terraces



Bioretention Planters



Terraced Bioretention Planters



Stormwater Garden



Decking



Guardrails



Private Gate



Bioretention Bridge



Green Screen



Metro Bus Shelter



Bike Rack

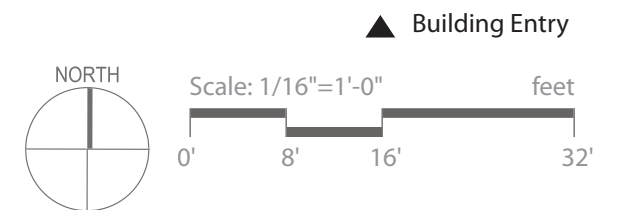
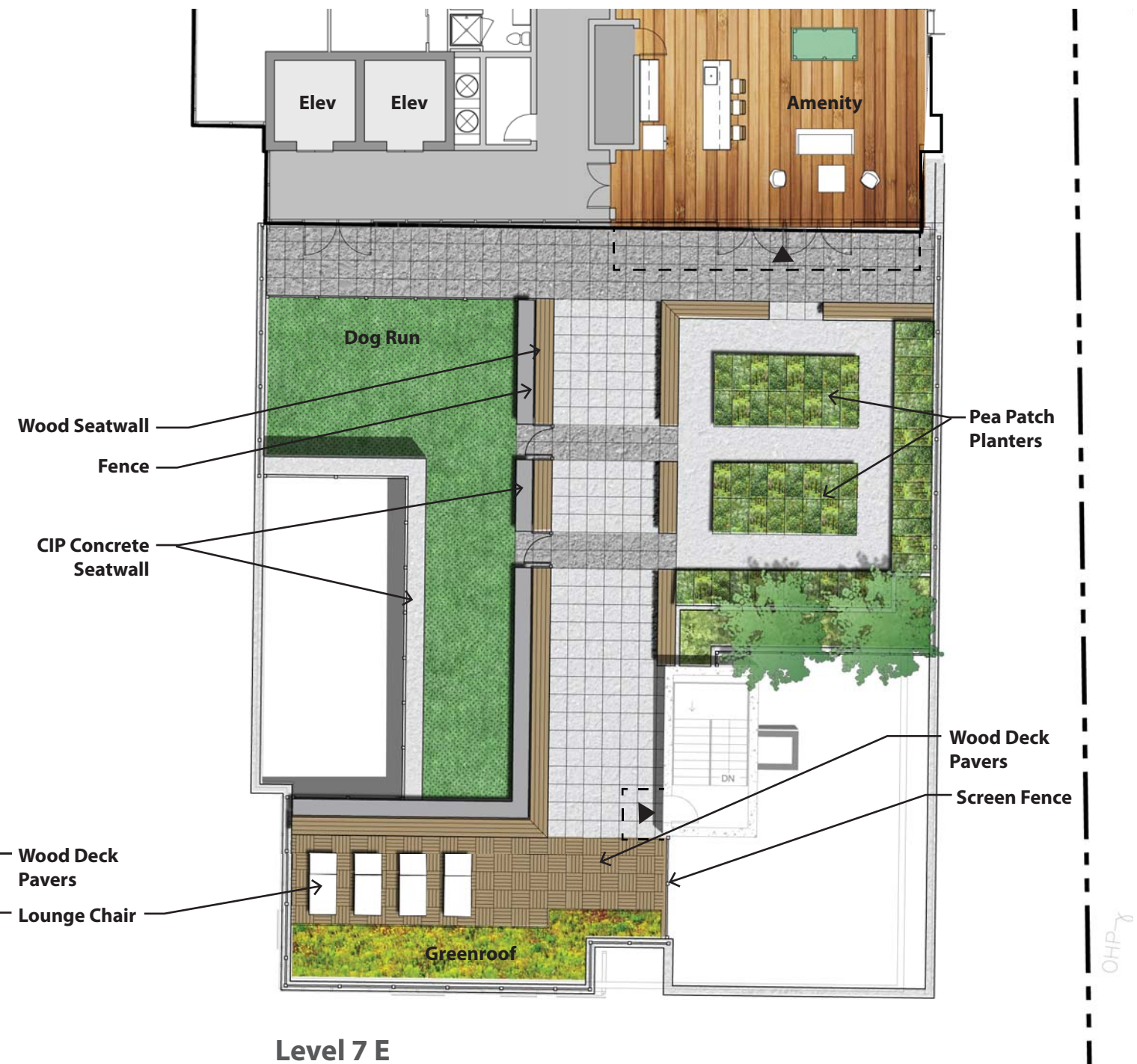
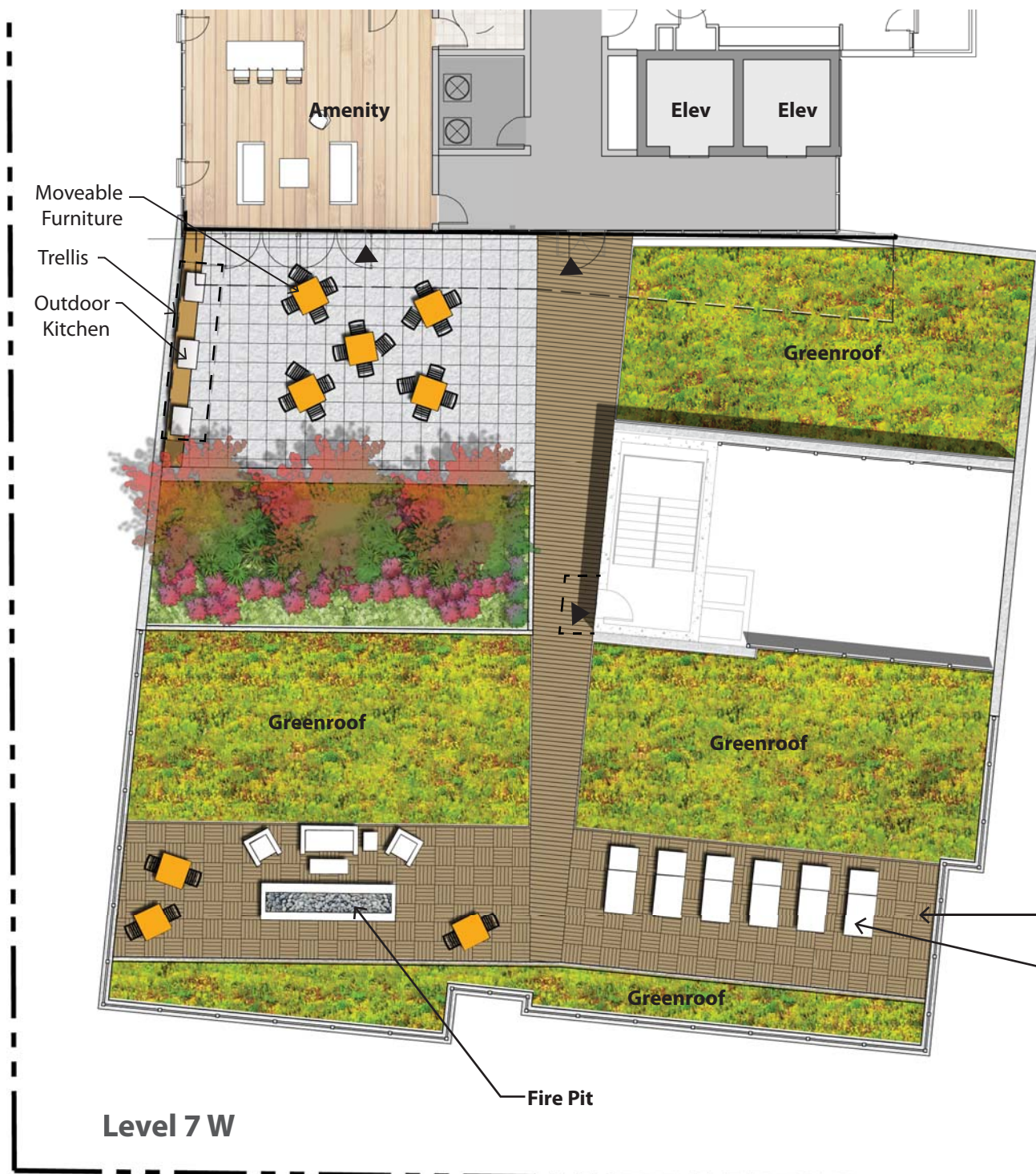


Bench



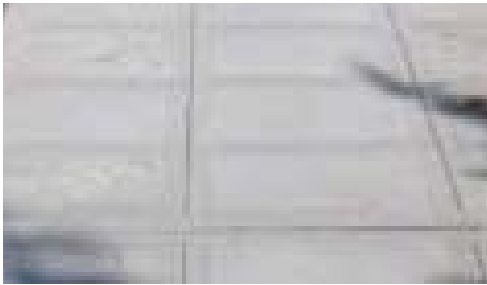
Planter Rail/Curb

EXTERIOR ELEMENTS



ROOF DESIGN INTEGRATION

PAVERS / PAVEMENT



2' X2' Concrete Paver



Wood Deck Paver



Decking



Dog Run



Greenroof

PEDESTRIAN FEATURES



Trellis



Fire Pit



Indoor Amenity Space



Outdoor Kitchen and dining space



Pea Patch Garden



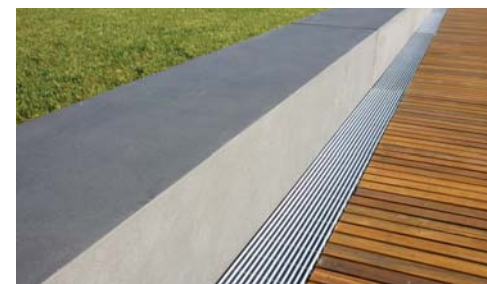
Moveable Furniture



Outdoor Lounge Chair



Wood Seatwall



Concrete Seatwall



Recessed Wall Light



Path Light



Catenary Light

ROOF MATERIALS

TREES



Paperbark Maple



Apple Tree

SHRUBS/FERNS



Crimson Pygmy Barberry



Western Sword Fern



Tuscan Blue Rosemary



Munstead English
Lavender



Evergreen Huckleberry

PERENNIALS / VINES / GROUND COVERS



Big Blue Lilyturf



Japanese Sedge



Beach Strawberry

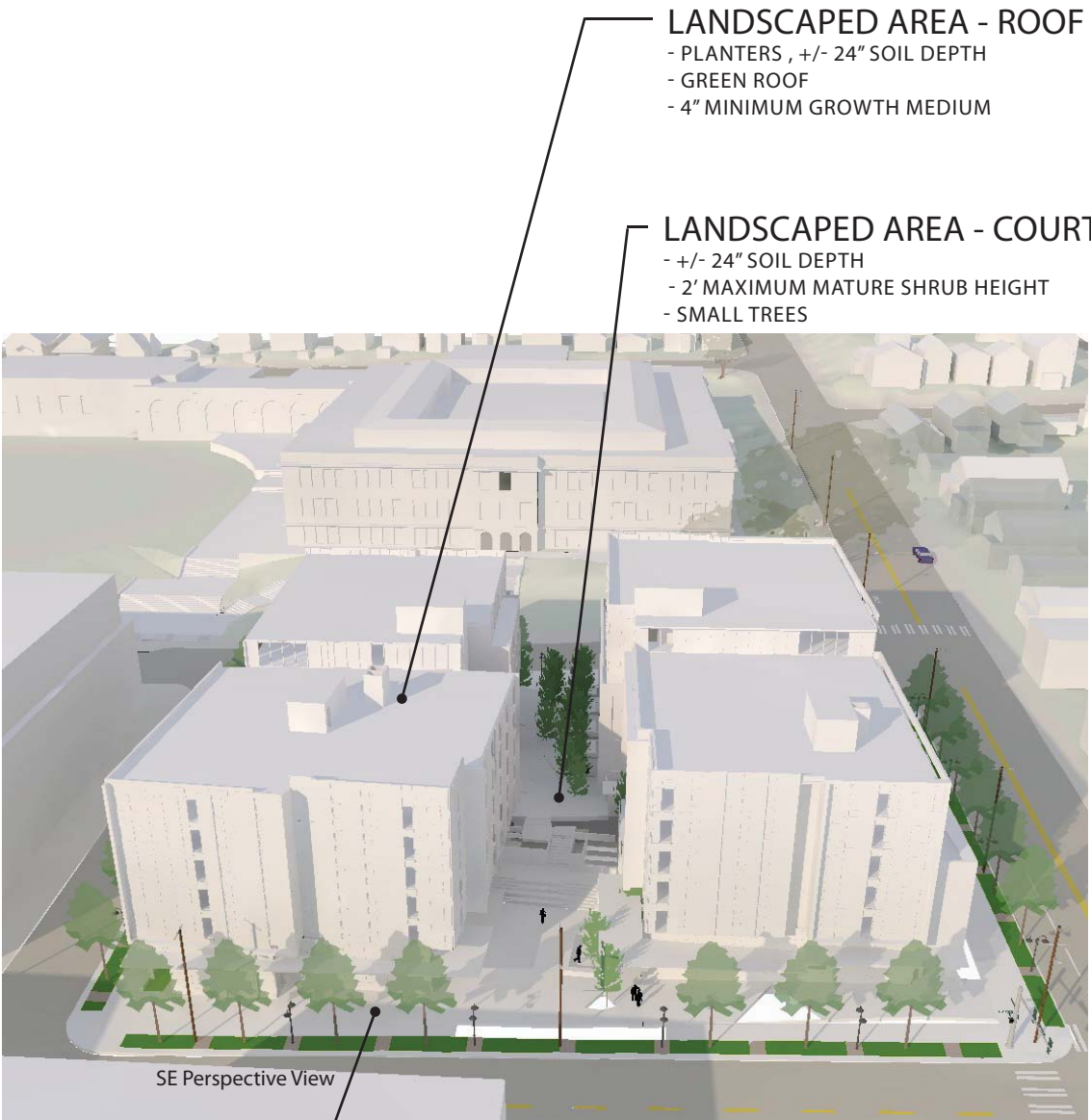


Greenroof



Common Chives

ROOF PLANTING PALETTE



LANDSCAPED AREA - ROOF
- PLANTERS , +/- 24" SOIL DEPTH
- GREEN ROOF
- 4" MINIMUM GROWTH MEDIUM

LANDSCAPED AREA - COURTYARD
- +/- 24" SOIL DEPTH
- 2' MAXIMUM MATURE SHRUB HEIGHT
- SMALL TREES

SE Perspective View

LANDSCAPED AREA - STREETSCAPE
- 24" MINIMUM SOIL DEPTH
- 2' MAXIMUM MATURE SHRUB HEIGHT
- MEDIUM TREE CANOPY SPREAD
- PERMEABLE PAVING

- Proposed design includes a mix of green factor strategies, including:
- Street trees and at grade planting in expanded planting strips in the right of way
 - Small trees, shrubs, and ground cover in 2' to 3' depth soils in courtyards
 - Green roof in 4" minimum depth soils at upper level roof decks

REVISION 1.4/2011

Green Factor Score Sheet		SEATTLE×green factor	
Project title: RDG Block 3		enter sq ft of parcel	
Parcel size (enter this value first) *		47,689	SCORE 0.383
Landscape Elements**	Totals from GF worksheet	Factor	Total
A Landscaped areas (select one of the following for each area)			
1 Landscaped areas with a soil depth of less than 24"	enter sq ft 0	0.1	-
2 Landscaped areas with a soil depth of 24" or greater	enter sq ft 10560	0.6	6,336.0
3 Bioretention facilities	enter sq ft 0	1.0	-
B Plantings (credit for plants in landscaped areas from Section A)			
1 Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft 10560	0.1	1,056
2 Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 750 9000	0.3	2,700
3 Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants 67 5025	0.3	1,508
4 Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants 0 0	0.3	-
5 Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants 24 6000	0.4	2,400.0
6 Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants 7 2450	0.4	980.0
7 Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH 0 0	0.8	-
C Green roofs			
1 Over at least 2" and less than 4" of growth medium	enter sq ft 0	0.4	-
2 Over at least 4" of growth medium	enter sq ft 1678	0.7	1,174.6
D Vegetated walls			
	enter sq ft 0	0.7	-
E Approved water features			
	enter sq ft 0	0.7	-
F Permeable paving			
1 Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.2	-
2 Permeable paving over at least 24" of soil or gravel	enter sq ft 0	0.5	-
G Structural soil systems			
	enter sq ft 0	0.2	-
sub-total of sq ft =		45,273	
H Bonuses			
1 Drought-tolerant or native plant species	enter sq ft 10560	0.1	1,056.0
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft 0	0.2	-
3 Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft 10,560	0.1	1,056
4 Landscaping in food cultivation	enter sq ft 0	0.1	-
Green Factor numerator =		18,266	

[†] Do not count public rights-of-way in parcel size calculation.

^{**} You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

GREEN FACTOR STRATEGY

04

TECHNICAL INFORMATION



A-1 Responding to Site Characteristics: The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Roosevelt Supplementary Guidance: Solar Orientation.

Minimizing shadow impacts along NE 65th Street is especially important in the Roosevelt neighborhood.

Response: The overall site planning and proposed building layout is designed to maximize solar exposure of open space. The proposed building is setback to allow views from surrounding buildings to see Downtown to the south, the Cascade mountains to the east and the Olympic mountains to the west. The proposed building structure is to have public plazas at the northwest corner, mid-block 65th Ave, and an open residential courtyard at the center of the property. The proposed building utilized upper level setbacks and separated the building above the podium into two buildings to further break down the scale and respond to the sloped site. The site topography slopes 20 feet from the NE corner to the SW corner. The combination of setbacks and separation at ground level provides for a pedestrian view to Roosevelt high school through the property and additional solar exposure to future tenants.



A-2 Streetscape Compatibility: The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Roosevelt Supplementary Guidance: Commercial and Mixed Use Developments.

Continuity of the Street Wall Along Sidewalks

Response: On NE 66th St. street level residential town-homes will maintain the neighborhood character and relate to the pedestrian character of the adjacent Roosevelt High school. Commercial use and storefronts will “hold the edge” along 15th Ave NE and NE 65th St. while providing momentary “retail eddies” for walkers to pause and rest. A consistent urban vocabulary of street trees, planting, pedestrian lighting, site furnishing, spacious public plazas, and accent pavings will be part of the right-of-way improvements at grade and contribute to the a continuous and pleasant pedestrian experience.



A-3 Entrances Visible from the Street: Entries should be clearly identifiable and visible from the street.

Roosevelt Supplementary Guidance: Human Activity.

Encourage Pedestrian activity along sidewalks within the Commercial Core.

Response: The project provides wide pedestrian-friendly sidewalks and the residential and commercial entries to the project are visible from the street. Entry prominence will be reinforced with signs, lighting, and overhead weather protection. Storefronts along 15th Avenue NE, 14th Avenue NE and NE 65th St., will have visible entries to the commercial space. Access to the main residential lobby will be from NE 65th plaza. Townhouses on NE 66th St. will also have clear visible signage.



A-4 Human Activity: New development should be sited and designed to encourage human activity on the street.

Response: The proposed project will have residential amenities for the residents, commercial users, and the neighbors. The proposed design brings commercial activity to the sidewalk along 15th Ave NE and NE 65th St. The residents will have entries on NE 66th St. The units will have an eye on the sidewalk for pedestrian safety.

DESIGN GUIDELINES



A-7

A-7 Residential Open Space: Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Roosevelt Supplementary Guidance:

Provision of ground level open space is encouraged.

Response: The proposed street level plaza and open space will include attractive street trees, understory planting at recessed entries, and entry terraces for the townhouses. A podium level courtyard partially visible from the street will include common areas, residential gardens, and private terraces. A roof terrace will include seating, outdoor dining, roof garden, and outdoor fireplaces.

The south-facing ground level plaza along 65th at mid-block will be a signature feature. The open courtyard will be a gathering space for residents and visitors. The plaza will be a welcoming waiting area for the high frequency bus stop.



A-8

A-8 Parking and Vehicle Access: Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Roosevelt Supplementary Guidance:

Minimize the number of curb cuts along 65th.

Response: Parking will be entirely below grade, screened and concealed from the street. Access will occur at one point only, mid-block of 14th Avenue NE.

The garage access will be placed as south of the the northwest corner ope space to allow for street festival days and activities.

A-9 Location of Parking on Commercial Street Fronts: Parking on a commercial street front should be minimized and where possible should be located behind a building.

Response: Parallel parking is available on NE 65th Ave, 15th Ave NE and 14th Ave NE streets. All sidewalk frontages including NE 66th Ave will be enhanced with landscaping, site furniture to soften the experience for pedestrian access from vehicles.



A-10

A-10 Corner Lots: Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from the corners.

Roosevelt Supplementary Guidance: Gateways

The following design elements are encouraged at the corner of 15th and 65th: special paving or surface treatments, art, water features, landscaping, seating, and kiosks, etc.

Response: The proposed structure massing for the design schemes will be modulated to emphasize the corner with commercial, plaza or townhouse residences. Street-level storefront glazing shall continue around corners to provide transparency and activity. Parking access and private driveways will be located away from corners.

At the Corner of 65th and 15th, the ground level retail frontage is recessed to create a visual focal point, a wider sidewalk, and to have direct ground-level view from the corner to the plaza.



B-1

B-1 Height, Bulk and Scale Compatibility: Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

Response: The building massing for the proposed design will step back it's massing at the upper residential level to minimize shadow impacts on adjacent public areas and Roosevelt High School. The west elevation along 14th Ave NE is setback to allow views from 65th St towards the high school. The proposed townhouses in front of the school and across from the L-2 zone will introduce individual residential entries to reduce the overall scale of the building. The mid block public plaza and through residential courtyard will provide relief to the south facade. The exterior materials and color used below the concrete podium will be high quality and warm to relate to the hight school and residential scale.

DESIGN GUIDELINES



C-1 Architectural Context: New buildings proposed for existing neighborhoods with a well defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Roosevelt Supplementary Guidance:

Articulate the building facade consistent with Roosevelt's historic building pattern, provide distinctly different architectural treatments at the lower building levels, and incorporate materials that are similar to those of adjacent buildings.

Response: The proposed facades adjacent to the commercial streets are to have a contemporary style and character appropriate to the evolving Roosevelt neighborhood commercial district. The facades facing the high school and residential areas will include masonry elements, modulations and material variations to express commercial and residential components. Exterior materials are to include a veneer masonry, metal panel, and aluminum windows. Facade modulation at the ground level of 18" recessed residential entries will help to define a residential scale. Decks and balconies at the upper levels will help with modulation and reduce the overall scale of the building.



C-2 Architectural Concept and Consistency: Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.

Roosevelt Supplementary Guidance:

The architectural features below are especially important for new commercial and mixed use developments: Multiple building entries, Courtyards, Building base, Attractively designed alley-facing, building façades including architectural treatments, fenestration, murals, etc.

Response: See C-1 above and C-4 responses

C-3 Human Scale: The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

Response: The proposed design will include material changes and setbacks from the street level to upper levels. Design details such as storefront glazing, marquees, residential balconies, and canopy overhangs will help in achieving human scale throughout the design.



C-4 Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, patterns, or lend themselves to a high quality of detailing are encouraged.

Roosevelt Supplementary Guidance:

Developments should accommodate places for signage that are in keeping with the building's architecture and overall sign program.

Response: Masonry at street levels will achieve a durable and maintainable exterior finish. Upper residential levels and townhouses materials will include paneling, metal, and fenestration, for variety, texture pattern and detail. Signage will be incorporated into the frontage design of the retail areas.

C-5 Structure Parking Entrances:

Roosevelt Supplementary Guidance:

The presence and appearance of garage entrances should be minimised so that they do not dominate the street frontage of a building

Response: The garage entrance is from 14th Ave. It is minimized to not dominate the street frontage. and allows for the north west corner of the site for festivals and community gathering space.



D-1 Pedestrian Open Spaces and Entrances: Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Roosevelt Supplementary Guidance:

Pedestrian amenities are encouraged where appropriate along sidewalks within the Core Commercial Area.

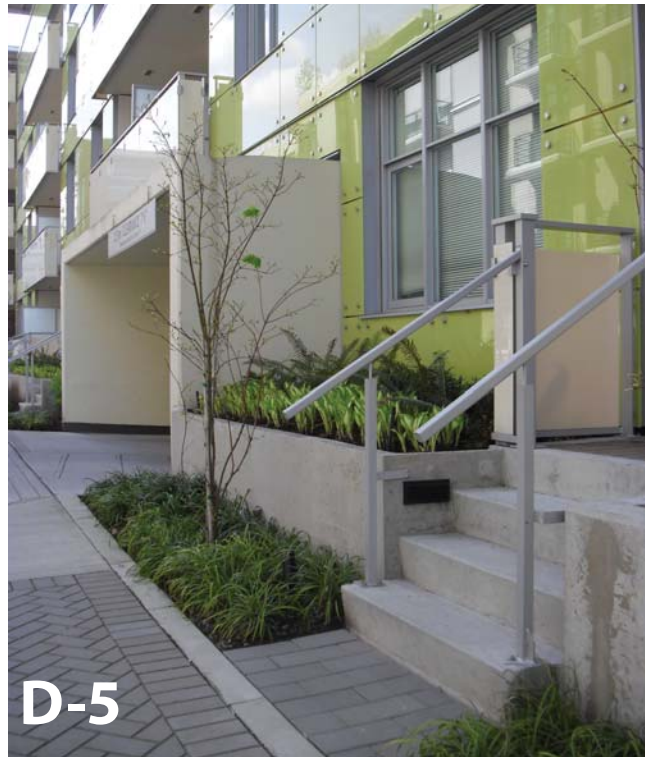
Response: Convenient and attractive access to the building entries will be provided. The main building residential lobby will have access from the south elevation. To distinguish it from the adjacent commercial uses, it will be made visible by signs, lighting, and weather protection of projecting marquee or canopy. The NW plaza will be designed to appear inviting with textured paving and landscape features. Townhouse entry terraces with landscape yards at the north elevation will invite neighborhood interaction and still be distinguished as residential homes.

Additionally, increased setbacks will provide for wider sidewalks and welcoming gathering spaces.

D-2 Blank Walls: Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest.

Response: The podium structure without any commercial or residential uses facing the streets will be designed to avoid blank walls. Where blank walls are unavoidable landscape or site furnishes will add to pedestrian comfort and interest.

DESIGN GUIDELINES



D-3 Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where higher retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the street scapes.

Response: Concrete retaining walls are reduced on streetfronts. Where there are concrete walls, planting beds and green walls are placed in front for visual interests.

D-5 Visual Impacts of Parking Structures: The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

Response: Parking structures will be concealed below grade and entrances will be integrated with the frontage character of the building.



D-6 Screening of Dumpsters, Utilities and Service Areas: Building sites should located service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Response: Dumpsters, utilities and service areas will be either screened if adjacent to the street, or concealed within the building structure.

D-7 Personal Safety and Security: Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Response: The proposed design schemes shall enhance personal safety and security with lighting, inviting visual connection with commercial street frontage and residential activities.



D-9 Commercial Signage: Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area

Response: Commercial signs will be added at the recess commercial entries. Blade signs will also be added to the canopies for vehicular visibility.

D-10 Commercial Lighting: Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and or on signs.

Response: Appropriate level of lighting will be provided for visual interests and security. Lighting will be incorporated into building facades, weather protections, street furniture, display windows, signs, and landscape areas.

D-11 Commercial Transparency: Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of the building. Blank walls should be avoided.

Response: Commercial Storefronts will be transparent, allowing a direct visual connection between pedestrians and interior activities. Blank walls will be avoided.



D-12 Residential Entries and Transitions: For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

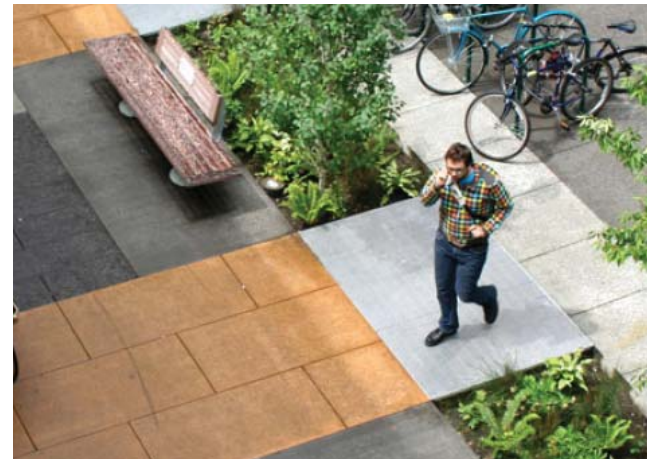
Response: The main residential building will have access through a residential lobby from the south elevation. The townhouses at the north will provide privacy for residents with a significant set back towards the street. It will enhance streetscape with landscaped courtyards. The townhouse entries will be distinguished by private porches and canopies.

DESIGN GUIDELINES



E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites: Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Response: Proposed landscape shall respond to adjacent uses and reinforce the commercial character of NE 65th St. and 15th Ave NE, while providing scale and materials appropriate to the more residential character of NE 66th St. and 14th Ave NE. Consistent planting strips along wide sidewalks will include low planting and street trees along commercial frontage. Front yards, small flowering trees, and low ornamental fences will provide residential character at street related townhouses. The proposed improvements will establish a new standard for this end of the corridor and greatly improve the existing streetscape that is made up of narrow sidewalks, minimal planting, and lacking pedestrian amenities.



E-2 Landscaping to Enhance the Building and or Site: Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Response: Proposed streetscape enhancements on all streets include wider sidewalks, consistent planting strips with curb side paving for parallel parking, street trees, lighting, and furnishings – including benches and bike racks.

Sustainable stormwater infrastructure, bicycle parking, and furniture will also be incorporated into the landscape design.

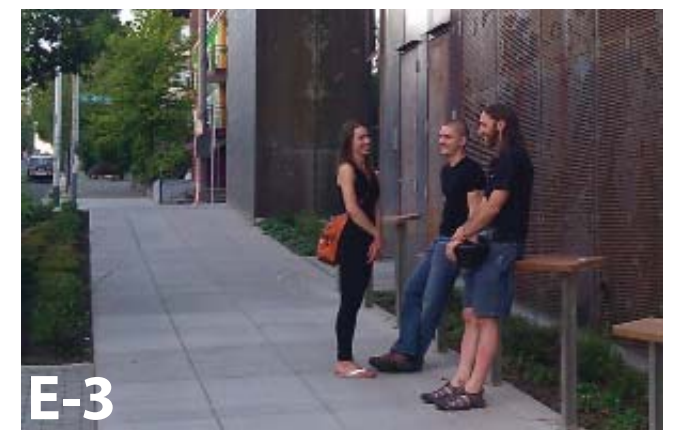


E-3 Landscape Design to Address Special Site Conditions: The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas and boulevards.

Response: Landscape design on NE 66th St. will complement the landscape of the High School, significant existing off-site trees, and related off-site open spaces, including a new proposed public open space at the northwest corner and front yards along street related townhouses. Wide planting strips with ornamental flowering street trees will continue the residential character of 14th Ave NE that exists to the south. A consistent commercial streetscape will be established along NE 65th and 15th Ave NE, with elements that enhance the intersection as a gateway for the neighborhood.

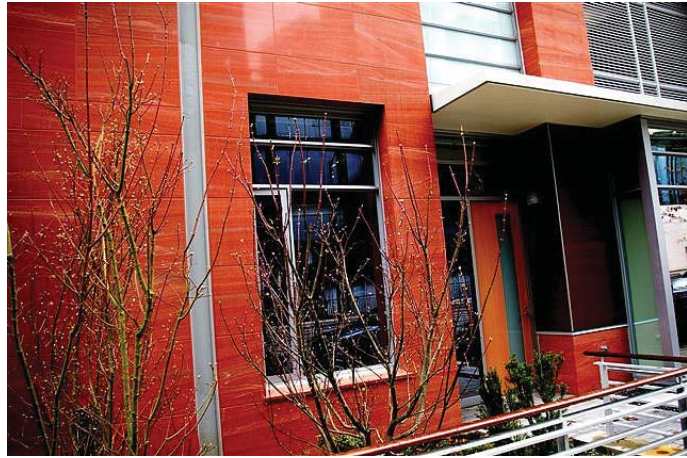


E-3 Active and safe street edges for residential frontage will be important to enliven the streetscape along 15th and 66th.



E-3 At the mid-block bus stop along 65th, lean-to rails will provide waiting opportunities for transit passengers.

DESIGN GUIDELINES



Distinctive ground-related building entries



View terraces and balconies at upper level setbacks.



Modern character using traditional materials and building elements, distinguish the building(s) from Roosevelt High School while maintaining visual and architectural compatibility.



Upper levels of the building will be set back to allow additional solar access to the surrounding ground plane and to visually modulate the scale of the buildings



Transparent storefronts that address the slope along 65th and 15th.



Live/Work units along 14th to respond to the Neighborhood's desire to create a Festival Green Street there.

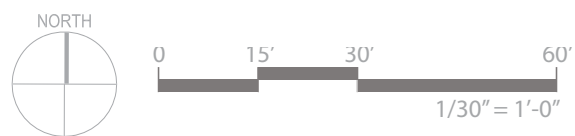
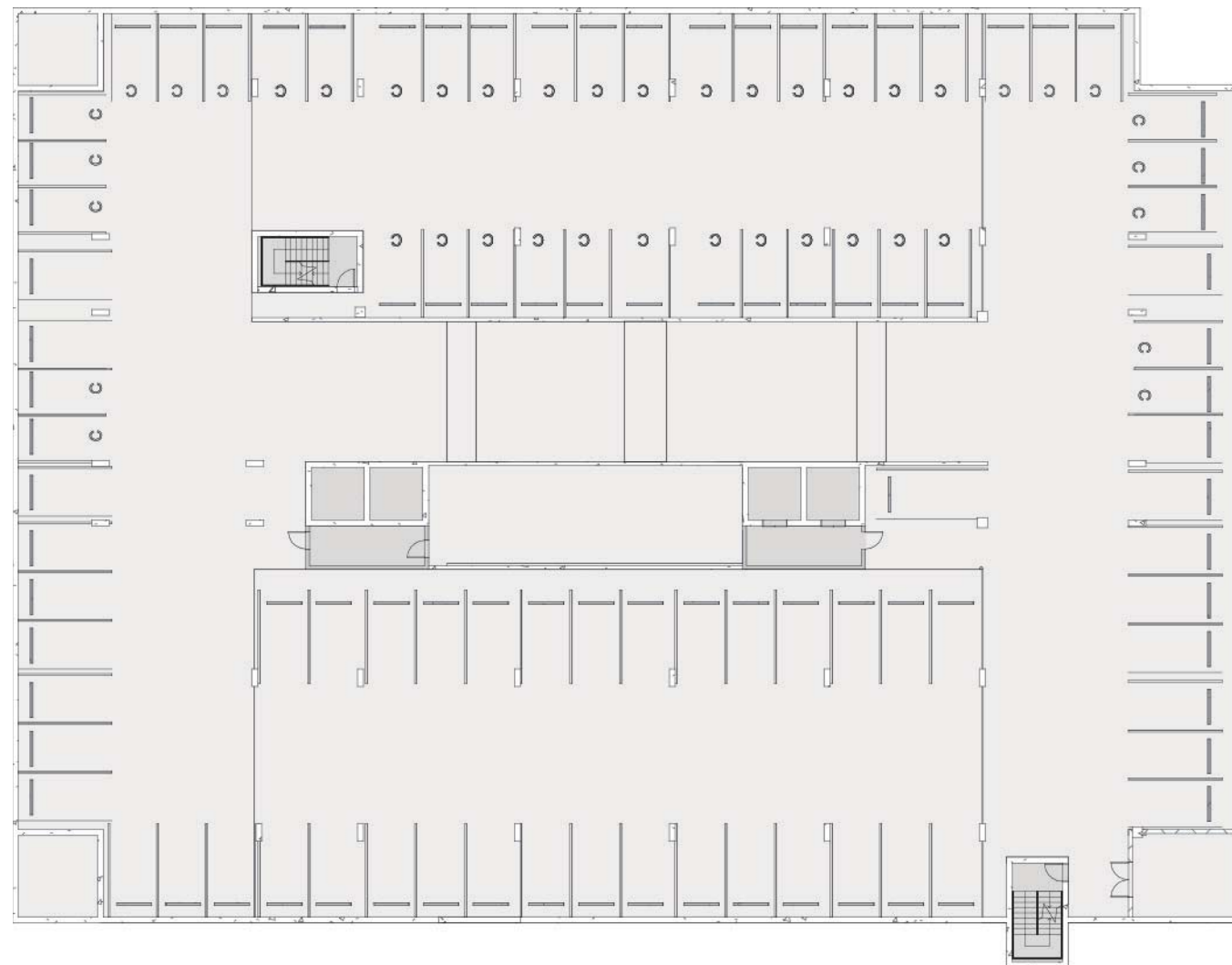
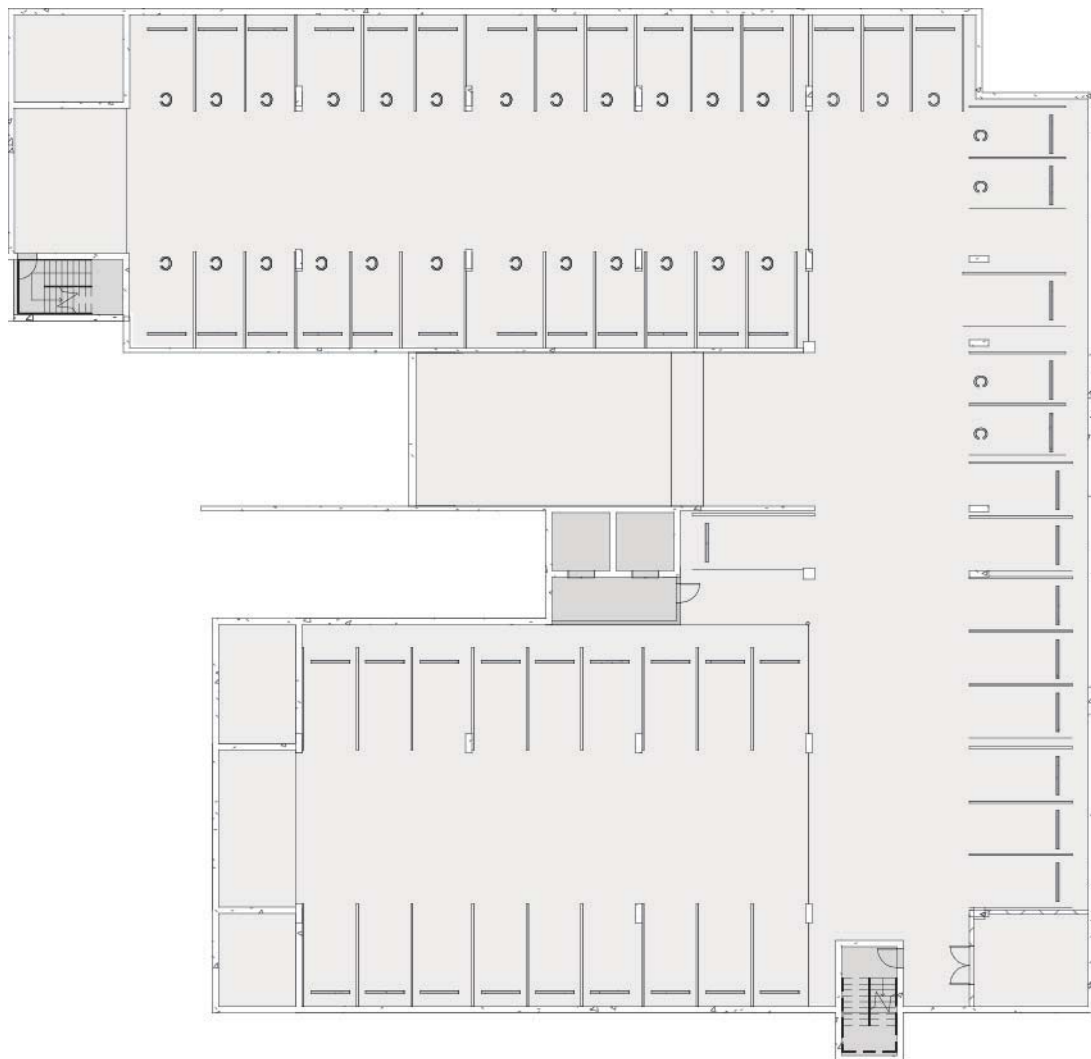


Private, direct-entry stoops and natural materials at the lower levels help to establish a human scale and sense of place.

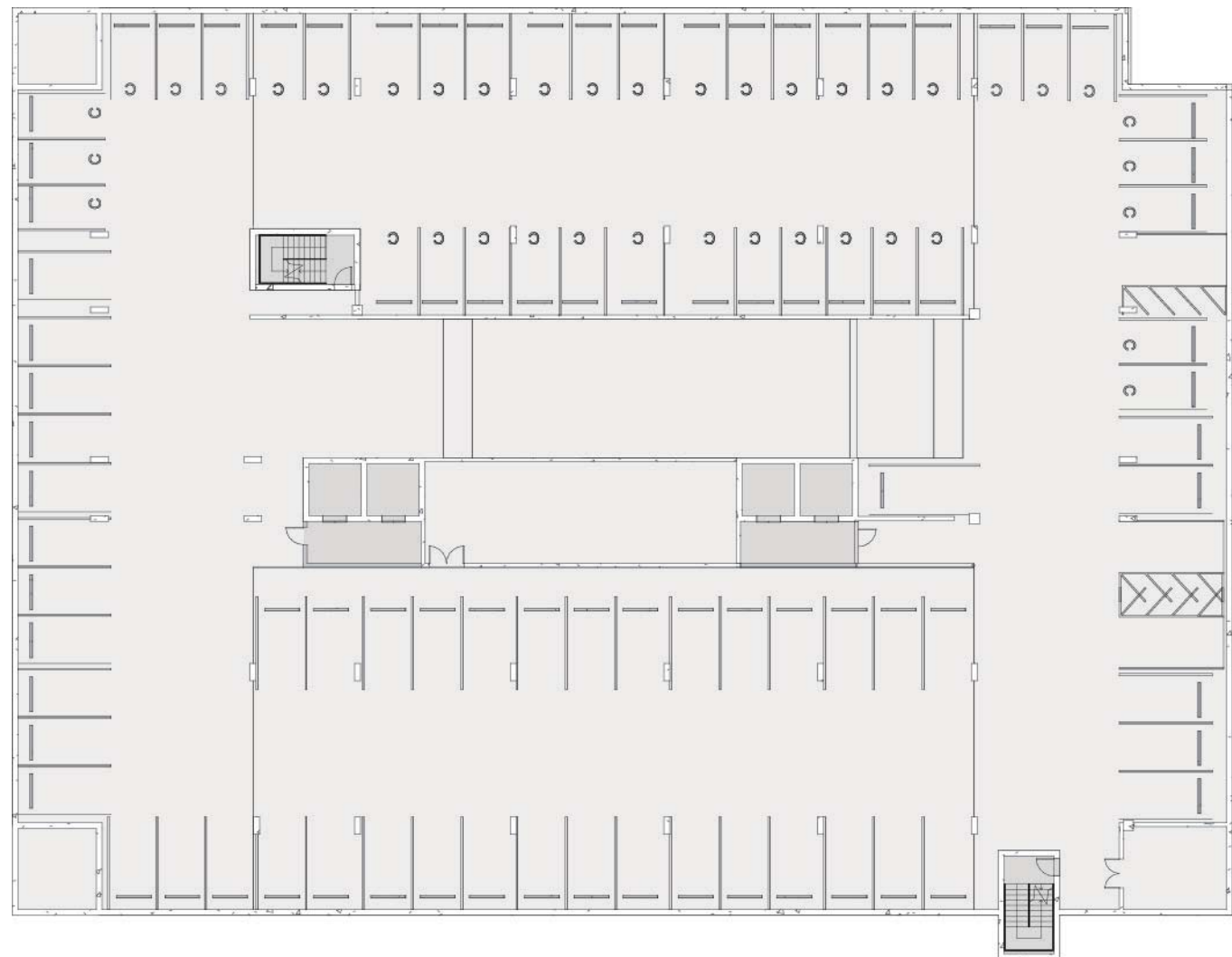


Some facades will be broken down into smaller components that reflect the individuality of unit types.

DESIGN GUIDELINES



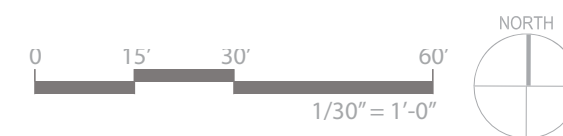
FLOOR PLAN - P3 & P2



LEGEND









- STUDIO
- 1 BED
- 2 BED
- TOWNHOUSE

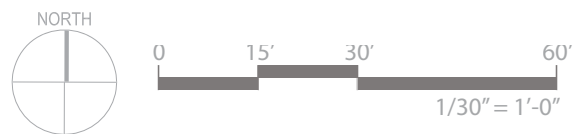
- NON-RESIDENTIAL USE (LIVE / WORK)
- AMENITY
- PRIVATE TERRACE
- CIRCULATION



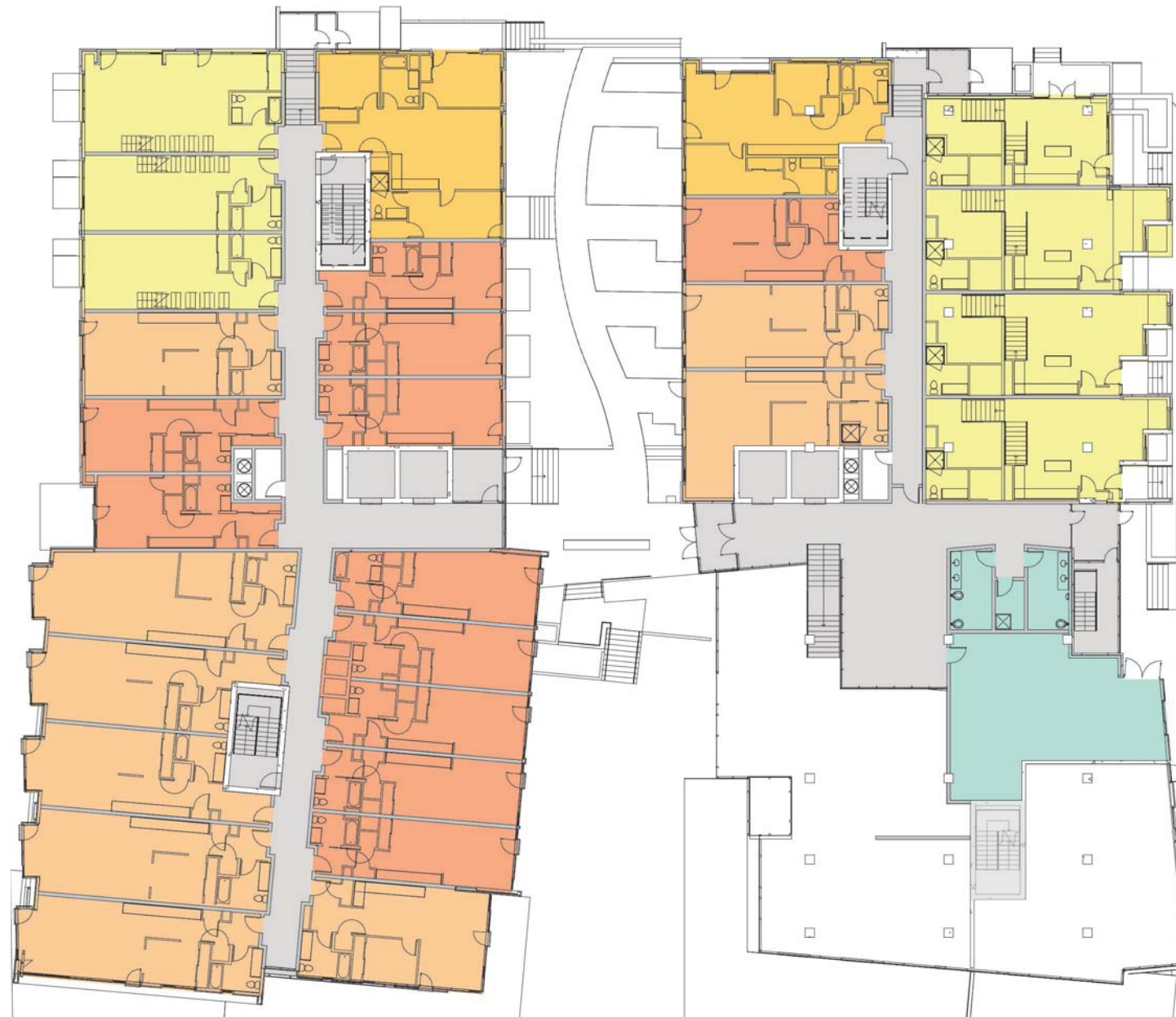
FLOOR PLAN - P1

LEGEND

	STUDIO		NON-RESIDENTIAL USE (LIVE / WORK)
	1 BED		AMENITY
	2 BED		PRIVATE TERRACE
	TOWNHOUSE		CIRCULATION

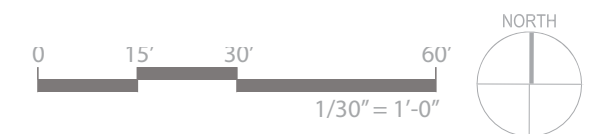


FLOOR PLAN - L1



LEGEND

- | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STUDIO | NON-RESIDENTIAL USE (LIVE / WORK) |
| 1 BED | AMENITY |
| 2 BED | PRIVATE TERRACE |
| TOWNHOUSE | CIRCULATION |



FLOOR PLAN - L2 W & L1R E

LEGEND

- STUDIO

1 BED

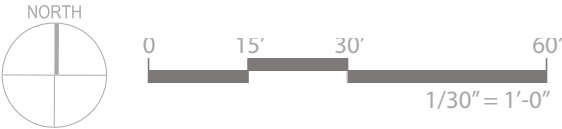
2 BED

TOWNHOUSE
- NON-RESIDENTIAL USE (LIVE / WORK)

AMENITY

PRIVATE TERRACE

CIRCULATION



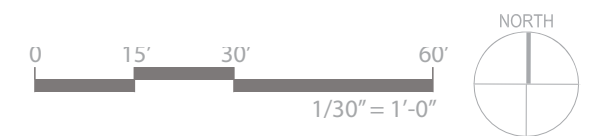
FLOOR PLAN - L3 W & L2 E



LEGEND

- STUDIO
- 1 BED
- 2 BED
- TOWNHOUSE

- NON-RESIDENTIAL USE (LIVE / WORK)
- AMENITY
- PRIVATE TERRACE
- CIRCULATION



FLOOR PLAN - L4 W & L3 E

LEGEND

- STUDIO

1 BED

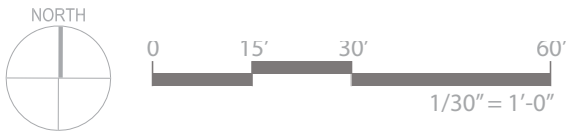
2 BED

TOWNHOUSE
- NON-RESIDENTIAL USE (LIVE / WORK)

AMENITY

PRIVATE TERRACE

CIRCULATION

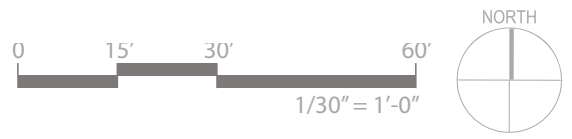


FLOOR PLAN - L5 W & L4 E



LEGEND

- STUDIO
- 1 BED
- 2 BED
- TOWNHOUSE
- NON-RESIDENTIAL USE (LIVE / WORK)
- AMENITY
- PRIVATE TERRACE
- CIRCULATION



FLOOR PLAN - L6 W & L5 E

LEGEND

- STUDIO

1 BED

2 BED

TOWNHOUSE
- NON-RESIDENTIAL USE (LIVE / WORK)

AMENITY

PRIVATE TERRACE

CIRCULATION



FLOOR PLAN - L7 W & L6 E



LEGEND

STUDIO

1 BED

2 BED

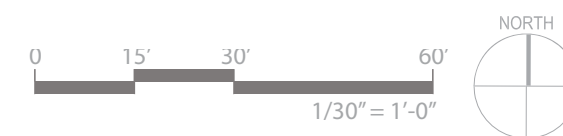
TOWNHOUSE

NON-RESIDENTIAL USE (LIVE / WORK)

AMENITY

PRIVATE TERRACE

CIRCULATION



FLOOR PLAN - ROOF W AND L7 E