

Roosevelt Development Group  
Block 3

Early Design Guidance  
Project # 3013244  
August 3rd, 2012



G G L O

architecture | interior design | landscape architecture | planning & urban design



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Summary

# Application Form

## APPLICATION FOR EARLY DESIGN GUIDANCE

### PART I: CONTACT INFO

#### Property Address:

6505 15th Ave NE Seattle, WA

#### Legal Description:

APN 052504-9030, BAAP 30' N & 30' W of SE COR OF SE 1/4 of 5-25-04, THEN W 114' & N 102' & TO W LN OF 15TH NE, THEN S TO POB

Project number: 3013244

Additional related project number(s): 3010100

#### Owner/ Lessee Name:

Roosevelt Development Group, LLC

#### Contact Person Name:

Pamela Trevithick  
GGLO  
1301 1st Ave, Suite 301  
Seattle, WA 98101  
Phone 206-902-5530  
Email address ptrevithick@gglo.com

#### Applicant's Name:

Ed Hewson and Jon Breiner,

Relationship to Project: Owners

#### Design Professional's Name:

GGLO  
1301 1st Ave, Suite 301  
Seattle, WA 98101  
Phone 206-902-5530  
Email address: ptrevithick@gglo.com

### PART II: SITE AND DEVELOPMENT INFO

#### General Site Description and Location:

The site is one full block, approximately 1.09 acres in area (204' x 235'), located in the Roosevelt Neighborhood, two blocks East of the future Roosevelt LINK light rail station (opening 2020) and immediately South of Roosevelt High School. The site is bounded by NE 65th Street on the South, NE 66th Street on the North, 14th Avenue NE on the West, and 15th Avenue NE on the East. Both 65th and 15th are designated High Frequency Transit corridors by the City of Seattle, and 14th and 66th are slated for designation by SDOT as Neighborhood Green Streets.

#### Existing Uses and/or Structures:

The site is currently occupied by several structures that are derelict and awaiting demolition.

#### Topographic and other physical features:

The site slopes upward approximately 22' from the SW corner (at the intersection of 65th and 14th) to the NE corner (at the intersection of 66th and 15th) of the site. Roosevelt High School is immediately to the North. The historic school building is 4 stories in height, sitting atop a plinth that is approximately 15' above the street.

Existing vegetation on the site includes four flowering plum trees along NE 66th Street.

#### Zoning, Overlay Designations, and Neighborhood-Specific Guidelines:

The Site is within the Roosevelt Residential Urban Village and Roosevelt Station Area Overlay District. The zoning is NC2P-65 (Neighborhood Commercial, 65' height) with a base FAR of 1.3 and 4.0 covering different portions of the site. An increase of up to 5.75 FAR is available through the incentive bonus program. Street-specific setback conditions apply. NE 65th Street is a designated Principle Pedestrian Street.

The Roosevelt Neighborhood Design Guidelines (RNDG) apply, offering supplemental guidance to the Citywide Design Guidelines.

#### Context

Adjacent zoning to the West is NC2P-65. Adjacent zoning to the South is NC2-40 (1.3 Base FAR). Adjacent zoning to the East is NC2-40. The historic landmark Roosevelt High School and campus (zoned SF 5000) occupies the property north of the site.

The neighborhood offers limited views of the Olympic Mountains, Mt. Rainier, and Downtown Seattle.

Surrounding uses include light commercial and office uses, many deteriorated properties in need of repair, and single family homes. The neighborhood is well-serviced by buses and close to I-5.

#### Development objectives:

Residential Development:	200 dwelling units (approx.) in a mix of multi-level and ground-related units and upper-level flats
Ground-Level Commercial	7,500 sf (approx.)
Underground Parking:	175 stalls (approx.) accessed from 14th Ave NE.
Structure Height:	7-stories, 55' - 75' high (approx.)
Additional Height:	Additional 3' structure height in exchange for upper-level setbacks, as allowed by RNDG DC-3.

# The Planning Context

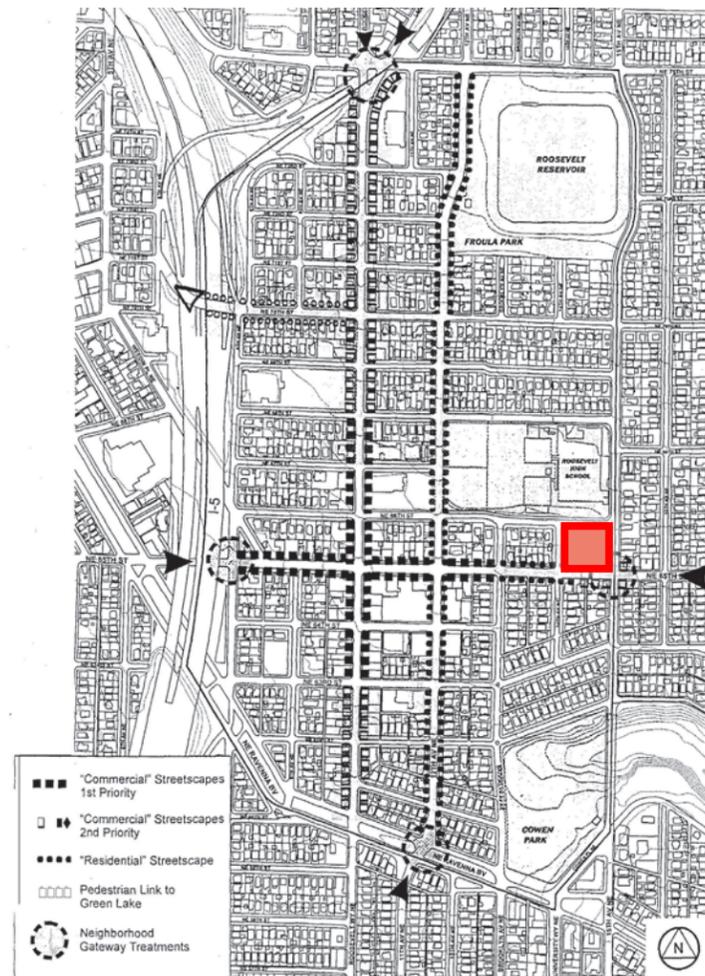


Figure 18: Neighborhood Identity Elements and Pedestrian Improvements

 Project Site

## NEIGHBORHOOD

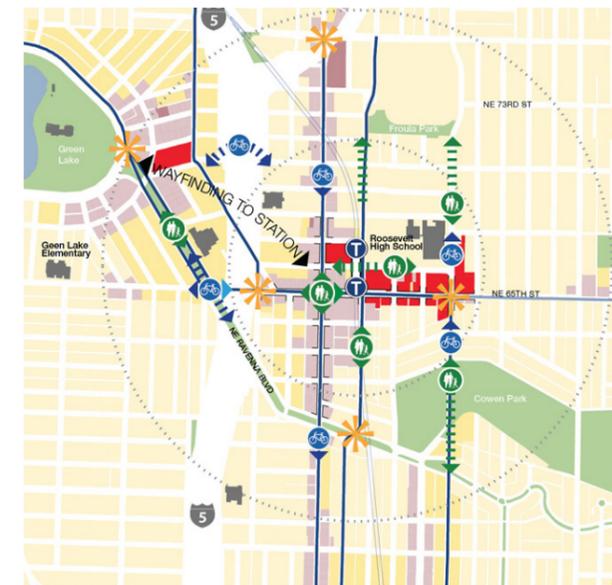
Over nearly 20 years, planning for growth in the Roosevelt Neighborhood has been the subject of significant public discourse. Beginning in 1992 with the development of a community-driven Neighborhood Plan titled “Tomorrow’s Roosevelt,” and in subsequent evolutions of the Plan in 1999 and 2006, the neighborhood’s residents (rather than city planners) have taken the lead in envisioning how they would like to grow. This “can-do” attitude was instrumental in bringing a new underground Link Light Rail Station to the center of the neighborhood, and it has cemented the neighborhood’s reputation for community organizing and for sustainable and progressive thinking.

Adopted by resolution into the City’s Comprehensive Plan “Toward a Sustainable Seattle,” the Roosevelt Neighborhood Plan forms the backbone for new development in the neighborhood.

Selected Policies and Goals relevant to this Project:

- R-LUG3 Promote the design of private development and public facilities that protects and enhances public views and vistas.
- R-TP2 Promote sidewalk design on principal and minor arterials to encourage pedestrian use and improve pedestrian safety.
- R-HP6 Encourage mixed-use and larger multifamily structures in and immediately surrounding the transit and commercial core to accommodate increased density in our neighborhood.

## CITY-WIDE



An urban design diagram of the Roosevelt Neighborhood, Seattle Transit Communities

The Seattle Planning Commission’s 2010 report, “Seattle Transit Communities: Integrating Neighborhoods with Transit,” identified Roosevelt as a Mixed-Use Neighborhood typology and a priority for investment.

Among many recommendations, several are pertinent to this Project:

- Improve pedestrian and bicycle access ... to the light rail station.
- Improve ... bicycle facilities on NE 65th Street
- Create pedestrian connections between Roosevelt High School and the two planned Roosevelt Station entrances.

## STATE-WIDE



“The Blueprint” has become a benchmark for development planning in Northwest Transit Communities.

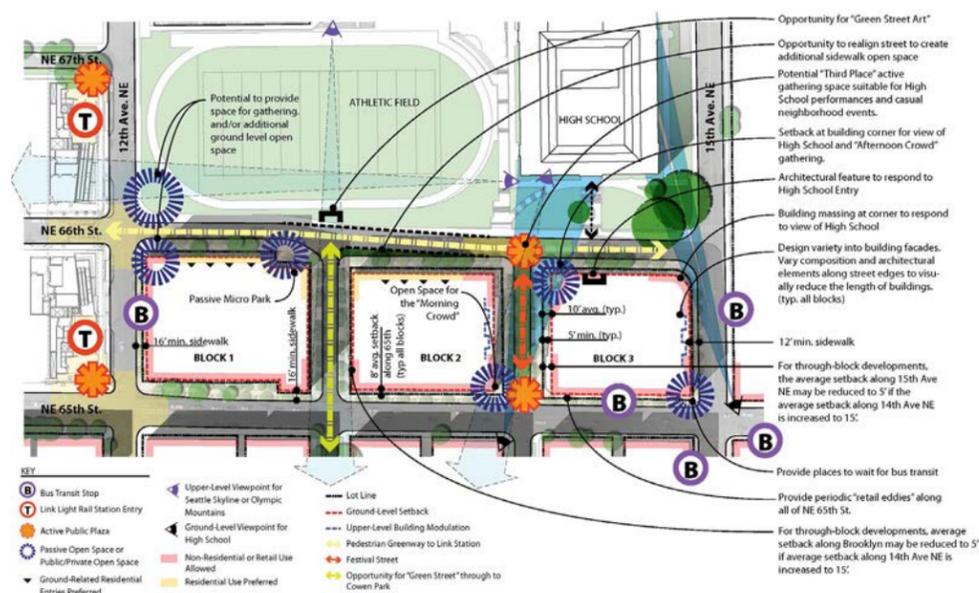
In 2009, Futurewise, Transportation Choices Coalition, and GGLO partnered to develop the policy-primer, “Transit-Oriented Communities: A Blueprint for Washington State,” which advocated for the establishment of station-area typologies, performance measures, and actions that would support complete, compact, and connected development around high capacity transit infrastructure. Roosevelt was identified as a “Village” typology.

Among many recommendations, several that are relevant to this Project include:

- Provide a complete pedestrian and bicycle network to ... promote easy access to transit.
- Strive for small block sizes and a high density of street intersections.

# Guiding Principles

## "THE HIGH SCHOOL BLOCKS" COMMUNITY OUTREACH



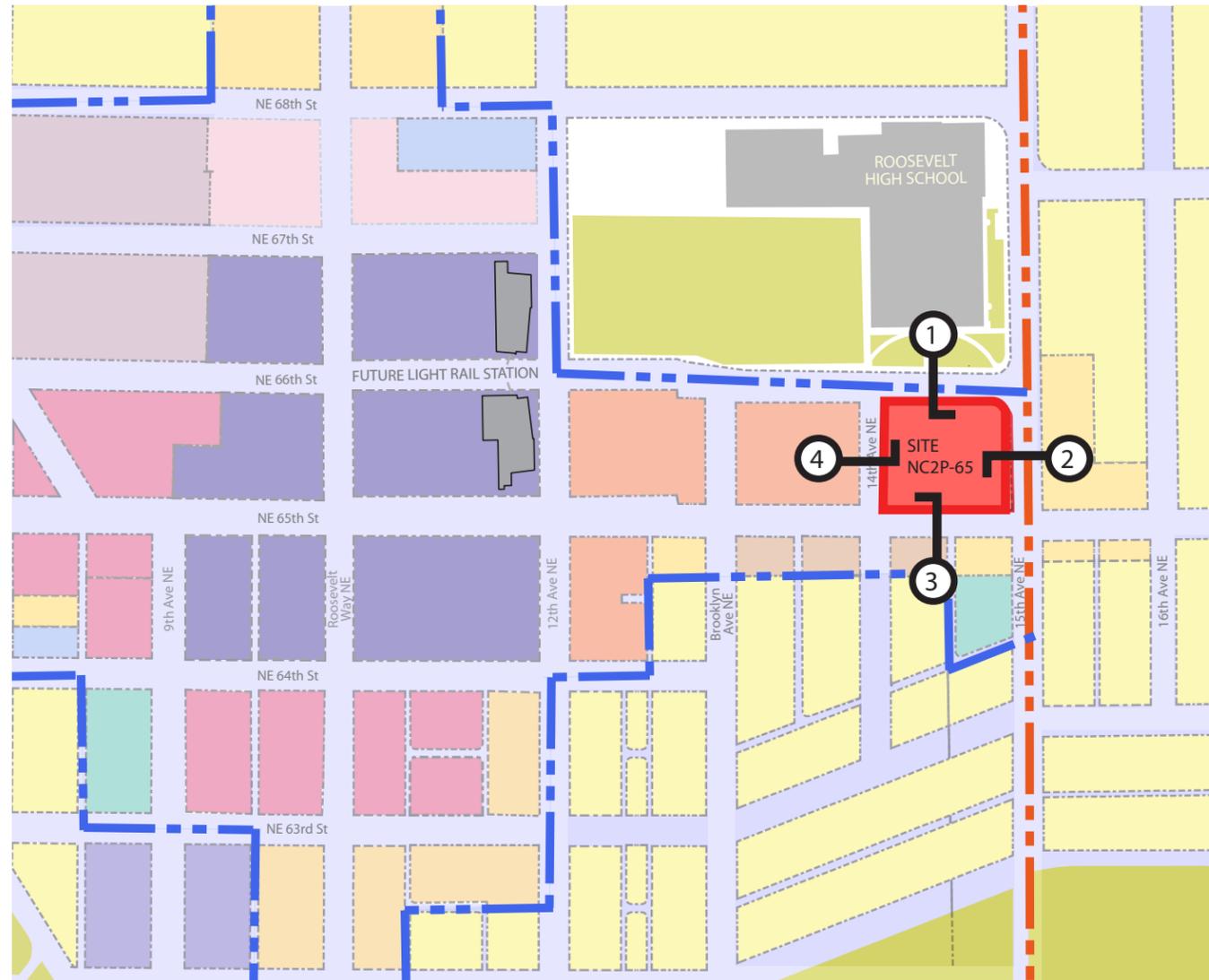
An urban design diagram for the "High School Blocks," developed in collaboratively by RNA and RDG.

Throughout the Winter of 2011, and the Spring and Summer of 2012, the Roosevelt Development Group (RDG) and the Roosevelt Neighborhood Association (RNA) partnered to craft the Legislative Rezone that governs the Project Site, but also the guiding principles that will determine the behavior of the future building(s) there.

The following points encapsulate the desires of the RNA, and from the perspective of RDG, constitute the basis of design for the Project.

-  Maintain Roosevelt High School's central impact on the neighborhood by protecting views from the high school to the south and views of the high school from the streets.
-  Create a streetscape environment that is activated, vibrant, walkable and pedestrian friendly, including a pedestrian greenway along NE 66th Street.
-  Create effective transitions in height, bulk, and use from the core to the single-family zones.
-  Create additional open green space.
-  Respects the designated City of Seattle Landmark Roosevelt High School, as well as the cultural heritage of the nearby bungalow neighborhood areas.
-  Enhance the character of the built environment through appropriate selection of façade materials, design, lighting, and landscape.
-  Enhance the economic environment by providing spaces for appropriate economic activities and supporting those activities through appropriate streetscape enhancements consistent with local neighborhood character.
-  Support the social and communal character of the neighborhood by providing interior and exterior spaces and amenities that support and enhance community interaction and engagement.
-  Incorporate robust practices and measures of sustainable design and building, including those related to energy use and efficiency; water use and efficiency; runoff; and construction processes and materials.
-  Keep a safe, clean environment for everyone, including Roosevelt students.
-  Increase residential density to accommodate a fair share of new residents.
-  Provide a fair share of affordable housing.
-  Honor the planning process and involvement to-date by the neighbors.

# Land Use and Zoning Analysis



## Zoning and Design Review

Base Zone:	NC2P-65
Overlay:	Station Area Overlay District
Planning:	Roosevelt Residential Urban Village
Supplementary Design Guidance:	Roosevelt Neighborhood Design Guidelines

## LEGEND

[Yellow]	SF 5000
[Purple]	LR1
[Teal]	LR2
[Light Blue]	L-3
[Light Orange]	NC1-40
[Orange]	NC2-40
[Red-Orange]	NC2P-65
[Pink]	NC3-65
[Light Pink]	NC3P-65
[Dark Purple]	NC3P-85
[Light Purple]	MR

## Use

- Commercial uses are required along 80% of the frontage along NE 65th Street.
- Live/Work units may not occupy more than 20% of the frontage along NE 65th Street.
- Commercial uses are prohibited along NE 66th Street, except within 50 feet of the intersection with 14th Avenue NE and 15th Avenue NE. (23.47A.009.D.3)

## Floor Area Ratio (Chart A Section 23.47A.013B)

Lot Size:	47,736 (approx.)
Gross Floor Area:	260,000 square feet (approx.) including underground parking
Allowable FAR (23.47A.013 Table B):	5.75
Proposed FAR:	4.5 (approx.) excluding underground parking

## Parking

- The Station Area Overlay does not require parking. However, if parking is provided, it must be below grade.
- Parking for 175 vehicles (approx.) will be provided below grade.
- Parking will be accessed from 14th Avenue NE.

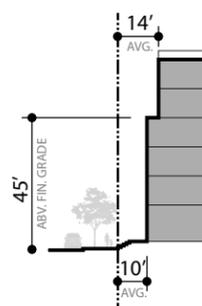
## Green Factor Strategies

- Extensive Green Roof on the upper roof of the West Building.
- Intensive plantings on the courtyard.
- Trees and ground covers along the street frontage.

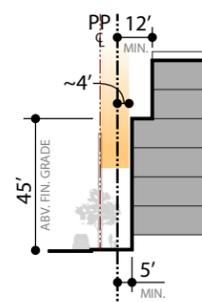
# Setbacks and Envelope Analysis

## Setbacks

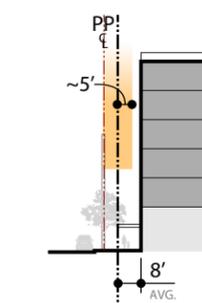
(23.47A.009 Standards Applicable to Specific Areas)



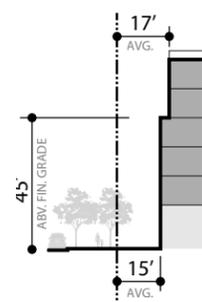
- 1 Northeast 66th Street. An average ground level setback of 10 feet and a minimum upper level setback of 4 feet at 45 feet above finished grade.



- 2 15th Avenue Northeast. An average ground level setback of 5 feet and an average upper level setback of 7 feet at 45 feet above finished grade.



- 3 Northeast 65th Street. An average ground level setback of 8 feet shall be provided, and the setback may include pedestrian access and circulation.

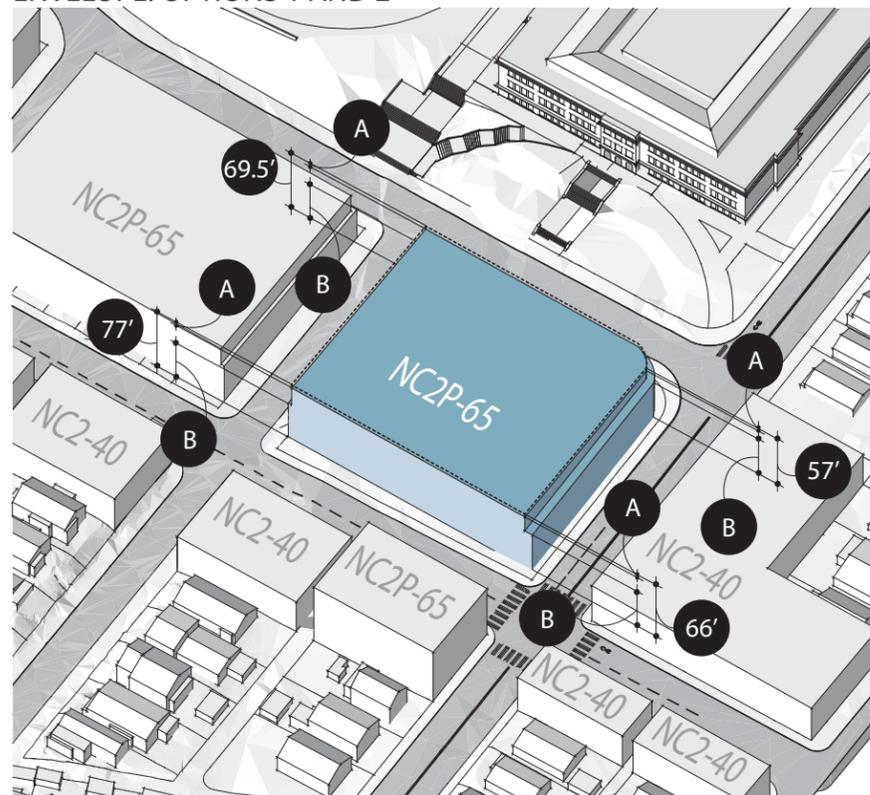


- 4 14th Avenue Northeast. An average ground level setback of 15 feet and a minimum ground level setback of 5 feet and a minimum upper level setback of 3 feet at 45 feet above finished grade.

## Additional Setbacks

Seattle City Light- setback 10' from centerline at power poles

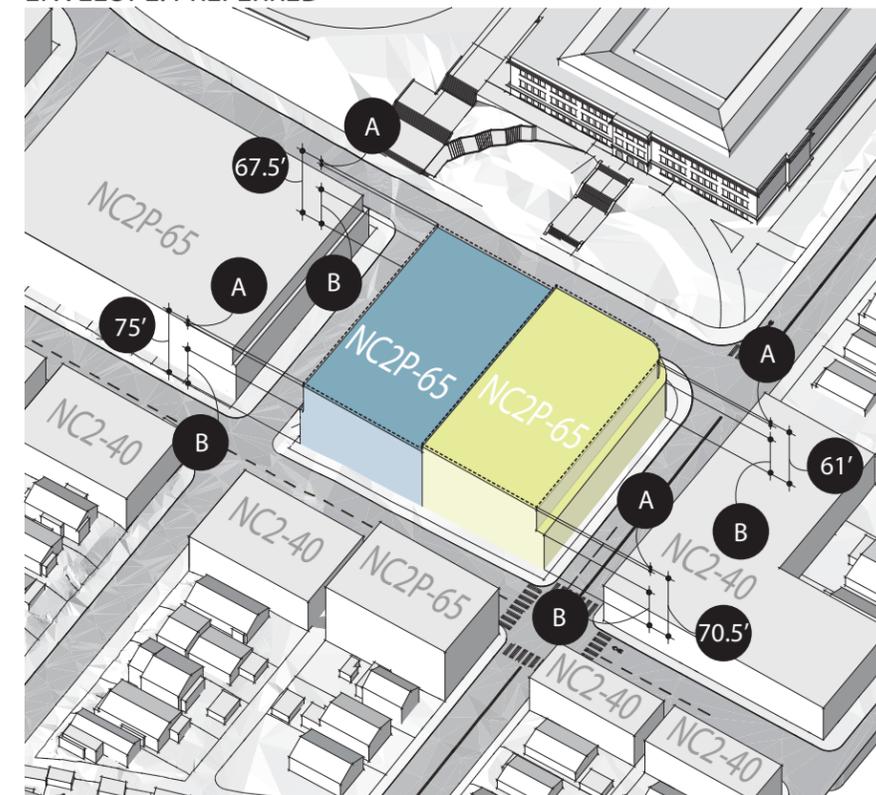
## ENVELOPE: OPTIONS 1 AND 2



## Envelope (23.47A.012 and 23.47A.009)

Maximum Allowable Structure Height:	65 feet
A Additional Allowable Structure Height:	3 feet additional structure height in exchange for upper-level setbacks (Roosevelt Neighborhood Design Guidelines DC3 Responding to Site Characteristics, Solar Orientation.
B Upper-Level Setbacks:	45' above finish grade along 66th, 15th and 14th
Proposed Structure Height:	57 feet to 77 feet above finish grade
Allowable Rooftop Features:	16 feet for stair and elevator penthouses, and; 4 feet for open railings, planters, skylights, clerestories, parapets, and firewalls.

## ENVELOPE: PREFERRED



## Street Level Development Standards (23.47A.009)

- Ground-related housing units facing Northeast NE 66th Street shall have their primary pedestrian entrance directly accessible from the sidewalk. (23.47A.009.D.4)
- Stoops may not cover more than 20% of the total setback area along any single street.
- NE 65th Street is a Principle Pedestrian Street

# Neighborhood Connectivity and Gateways

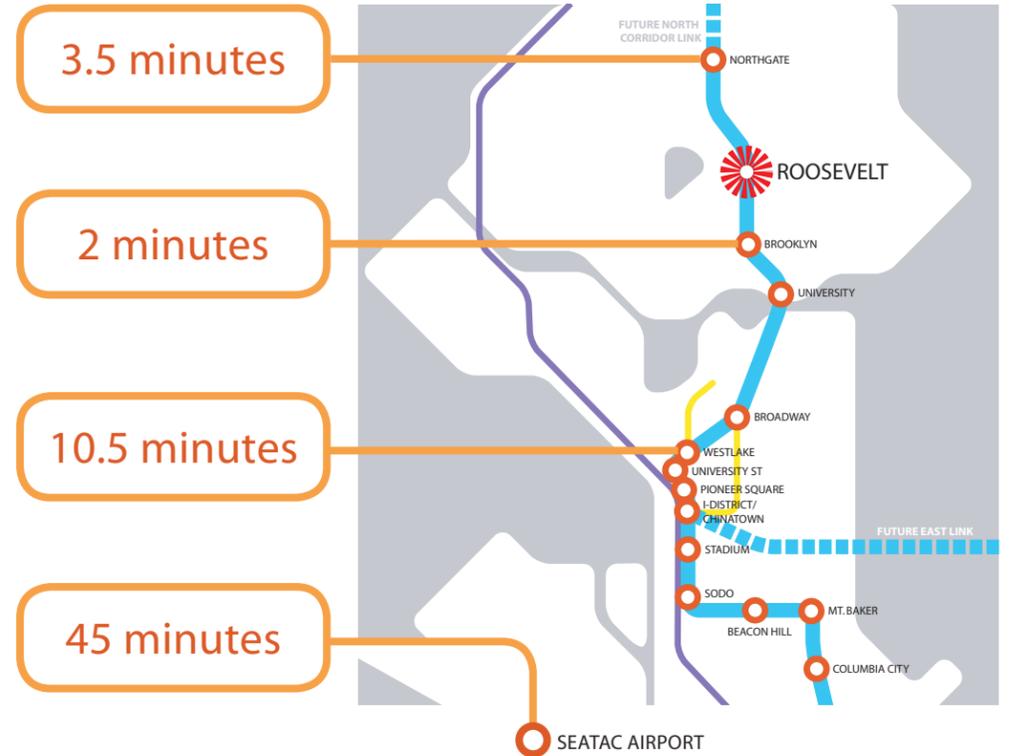


Diagram of the Link Light Rail and Streetcar Networks. Reliable, frequent, and speedy Light Rail service will reduce travel times and improve access to points North and South.

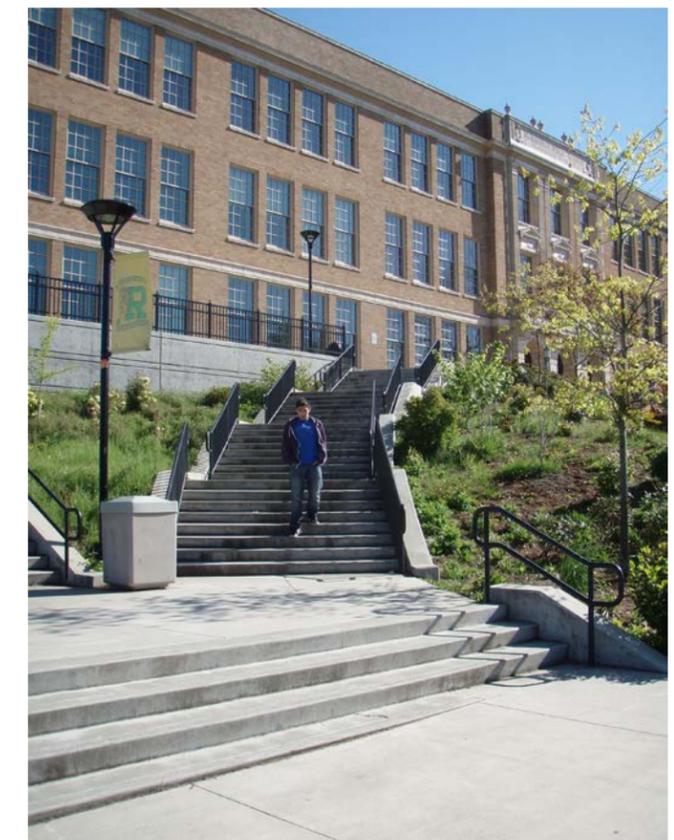
- LEGEND
- Site
  - Future Station Entrance
  - Future Sound Transit Rail
  - Future Sound Transit Station
  - Neighborhood Gateway
  - Major Arterial
  - Existing & Future Bike Lane
  - Bus Stop
  - Parks & Open Space
  - Green Street
  - Festival Street

# Opportunities

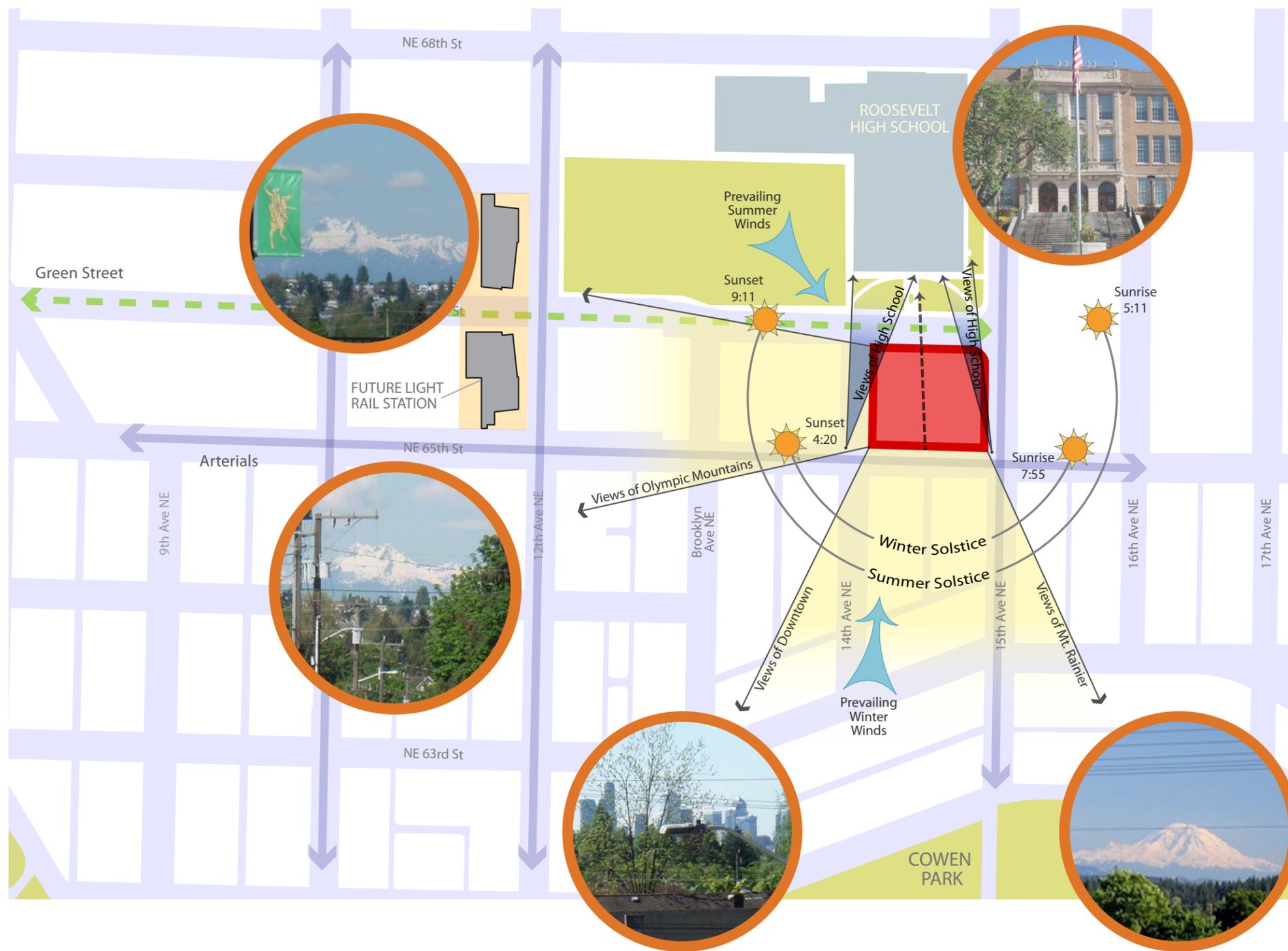
## Harness Neighborhood Assets

The site is located directly south of the landmark Roosevelt High School building. Limited views of the Olympic Mountains, Downtown Seattle and Mt. Rainier can be seen from the site, and similar views existing from the High School campus. However, perhaps more important to the community are the views of the school itself from the surrounding streets, as the historic building has helped to shape the neighborhood's identity.

Winter winds prevail from the south. Summer winds prevail from the Northwest.



A view of Roosevelt High School near the intersection of 14th and 66th, two Green Streets identified by the Roosevelt Neighborhood Plan.

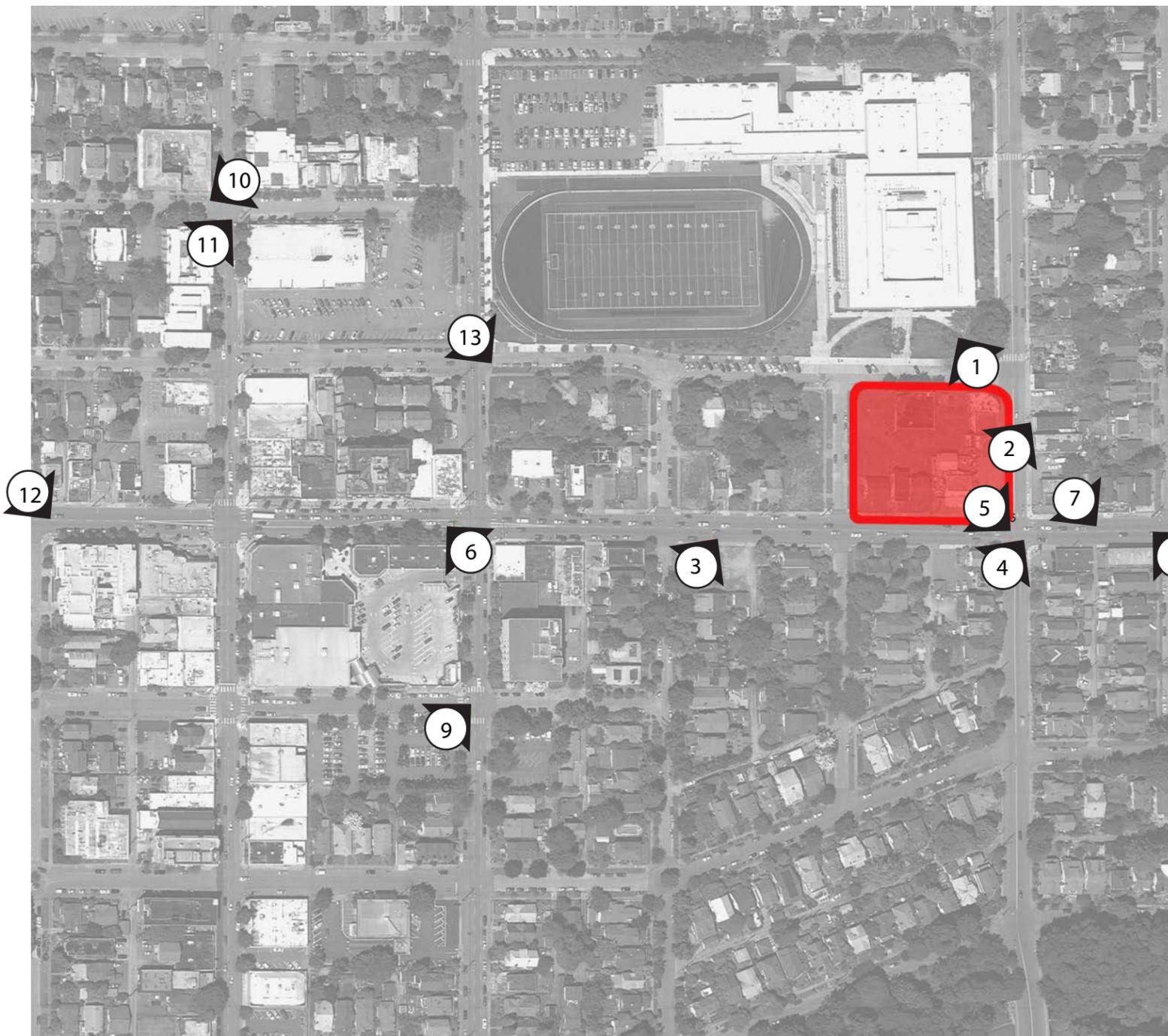


# Aerial Photography and Neighborhood Assets



- 1** TOD Site
- 2** Link Transit Station
- 3** Whole Foods
- 4** Roosevelt High School
- 5** Fruit Stand
- 6** Cowen Park

# Vicinity Building Character



1. Roosevelt High School



2. RR Hardware



3. Typical Residential



4. Espresso Express



5. Pizza Hut



6. Dwell Condominiums



7. Allstar Cleaners



8. Silhouette Antiques



9. Qwest Communications



10. Strada67 Apartments



11. 6700 Roosevelt Apartments



12. St. Theodore Apartments



13. New Apartments on 12th

# Existing Streetscape Character



**A. NE 66th Street - Looking at Site**

Existing commercial properties are boarded up and awaiting demolition. There are 4 flowering trees in a continuous planting strip.



**B. NE 66th Street - Looking from Site**

The historical landmark Roosevelt High School, originally built in 1922 and recently renovated. Includes an athletic field used as a public open space. There are several mature trees on the property.



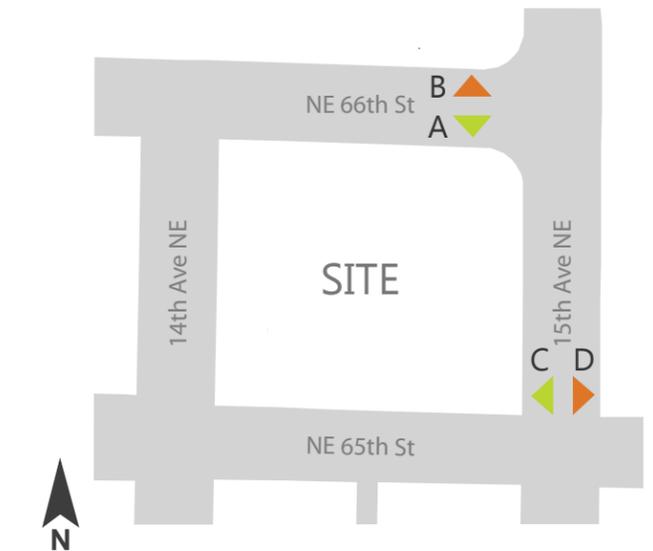
**C. 15th Avenue NE - Looking at Site**

Narrow sidewalk with overhead power poles & lines. Boarded up and dilapidated buildings. No street trees or planting strips. Chain link fence along majority of property line. Farm/produce stand.



**D. 15th Avenue NE - Looking from Site**

Narrow sidewalk. No street trees or planting strip. Light commercial businesses, several buildings unoccupied and in need of repair.



# Existing Streetscape Character



**A. NE 65th Street - Looking at Site**

Narrow sidewalk. No street trees or planting strip. Chain link fence along majority of property line. Boarded up single family homes awaiting demolition. Overhead power lines & poles.



**B. NE 65th Street - Looking from Site**

Narrow sidewalk. No street trees or planting strip. Overhead power lines and poles. Light commercial structures and single family homes.



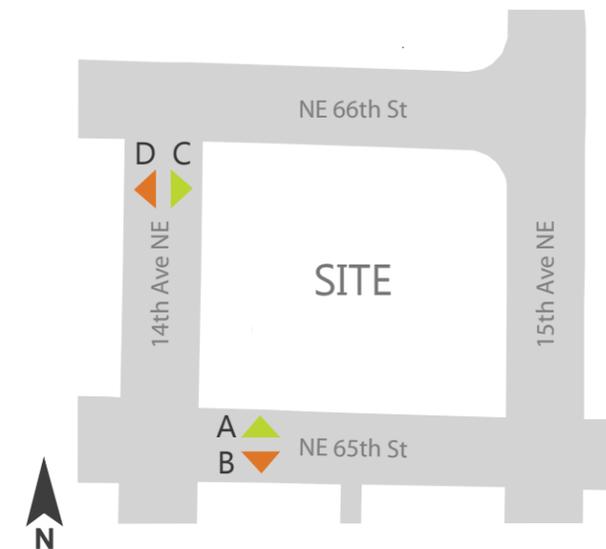
**C. 14th Avenue NE - Looking at Site**

No street trees or planting strips. Chain link fence. Boarded up single family homes and commercial structures awaiting demolition.



**D. 14th Avenue NE - Looking from Site**

No street trees or planting strips. Partial vacant site with single family homes to the west.



# Site Survey

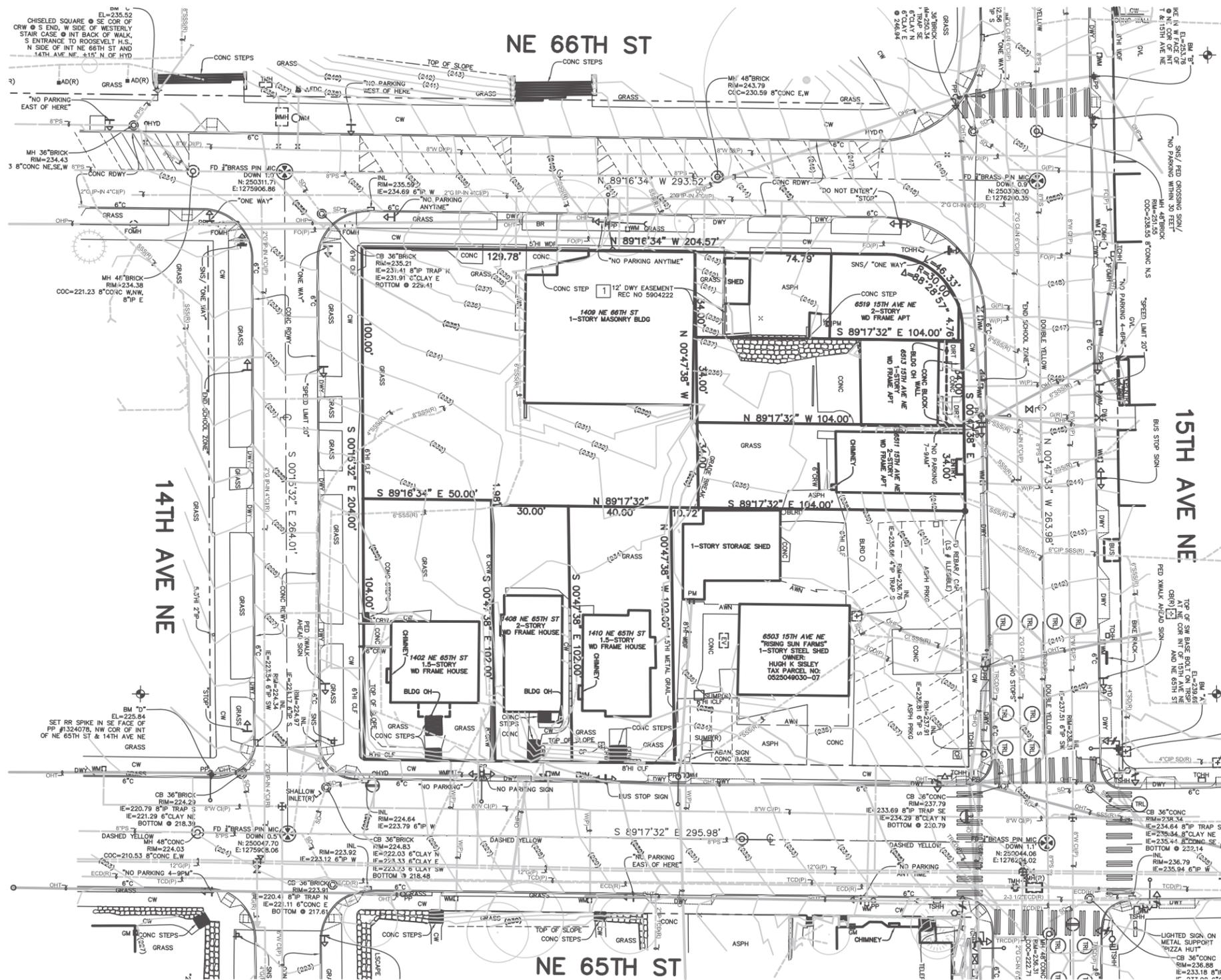
The site is located in the Roosevelt Neighborhood and is bounded by NE 65th and NE 66th Streets and 14th NE and 15th NE Avenues.

The site is approximately 204 feet by 235 feet, for a total area of 47,685 square feet.

Vegetation includes four existing flowering plum trees along NE 66th Street.

The site is occupied by several structures that are boarded up and awaiting demolition. A farm/produce stand is located in the SE corner.

The site slopes +/- 20 feet from the NE corner to the SW corner of the site.





## Design Guidelines + Precedent

Citywide Guidelines

*A1 - A10, B1, C1 - C5, D1 - D12, E1 - E3*

Roosevelt Neighborhood Design Guidelines

*Supplementary Guidance*

# Design Guidelines



**A-1 Responding to Site Characteristics:** The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

**Roosevelt Supplementary Guidance: Solar Orientation.**

Minimizing shadow impacts along NE 65th Street is especially important in the Roosevelt neighborhood.

Response: The proposed project is positioned to acknowledge its prominent intersections and topography. The proposed buildings setback to allow views from the public realm to Downtown to the south and to the Cascade and Olympic mountains to the east and west. The topography is sloping from the NE corner about 20 feet to the SW corner.

The three proposed designs of the building structure have the public plazas and open spaces along the northwest corner, mid-block along the 65th, and an open residential courtyard at the center of the property. To reduce the building mass, all three schemes utilize upper level setbacks, and one of the proposed schemes is designed to be two separate buildings above the podium to further break down the scale of the block and respond to a sloped ground plane. The combination of setbacks and separation provides for a pedestrian view to Roosevelt high school through the property and for additional solar exposure. The schemes utilize the allowed 3' of additional height to create better conditions for raised residential stoops at the ground plane.



**A-2 Streetscape Compatibility:** The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

**Roosevelt Supplementary Guidance: Commercial and Mixed Use Developments.**

**Continuity of the Street Wall Along Sidewalks**

Response: On NE 66th St. street level residential townhomes will maintain the neighborhood character and relate to the pedestrian character of the adjacent Roosevelt High school. Commercial use and storefronts will "hold the edge" along 15th Ave NE and NE 65th St. while providing momentary "retail eddies" for walkers to pause and rest. A consistent urban vocabulary of street trees, planting, pedestrian lighting, site furnishing, spacious public plazas, and accent pavings will be part of the right-of-way improvements at grade and contribute to the a continuous and pleasant pedestrian experience.



**A-3 Entrances Visible from the Street:** Entries should be clearly identifiable and visible from the street.

**Roosevelt Supplementary Guidance: Human Activity.**

**Encourage Pedestrian activity along sidewalks within the Commercial Core.**

Response: The project provides wide pedestrian-friendly sidewalks along all four block faces and proposes that residential and commercial entries to the project be visible from the street and clearly distinguishable. Entry prominence will be reinforced with signs, lighting, and overhead weather protection. Storefronts along 15th Avenue NE, 14th Avenue NE and NE 65th St., will provide visible entries to the commercial space and serve as focus of pedestrian activity. Access to the main residential lobby will be at ground level mid-block on NE 65th St. creating an entry point and pedestrian interest. Townhouses along NE 66th St. will have clearly visible ground level individual residential entry courtyards facing Roosevelt High School.



**A-4 Human Activity:** New development should be sited and designed to encourage human activity on the street.

Response: The proposed schemes will have intervening open spaces at the ground level, which will be an amenity for the residents, commercial users, as well as the neighbors. The proposed design brings commercial activity to the sidewalk along 15th Ave NE and NE 65th St. The residential entries along NE 66th St. will ensure pedestrian activity. The public plazas will invite neighbors and walk-through pedestrian access on NE 65th St. and 14th Ave NE, encouraging vibrant human activity.



**A-5 Respect for Adjacent Sites:** Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

Response: The proposed design schemes will set back the residential massing on top of the podium from the street to reduce disruption of the privacy and outdoor activities of residents in adjacent buildings. The commercial use at the street level will be adjacent to other commercial uses across the streets. The townhouses will relate to the Roosevelt neighborhood character. Service, loading and storage areas for the proposed schemes will be oriented away from the street frontages.



**A-6 Transition Between Residence and Street:** For residential projects, the spaces between the buildings and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

**Roosevelt Supplementary Guidance:**

Encourage incorporation of separate ground related entrances and private open spaces between the residence, adjacent properties, and street, especially for multifamily developments West of Roosevelt Way.

Ground Level Landscaping can be used between the structure(s) and sidewalk.

Response: The setbacks from the property line provides a transitional space between the podium and the sidewalk that will be landscaped to provide security and privacy for its residents on all sides of the property. On the north elevation, townhouses will have landscaped stoops and the residences will provide social interaction at street level. The outdoor plazas at the NW corner of 66th St. and 14th Ave NE will be accessible to the public and encourage. In the "O" shaped courtyard scheme, an large aperture and stair is provided from 65th to the courtyard, which helps establish a visual threshold between the private open space and the public street edge.



**A-7**

**A-7 Residential Open Space:** Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

**Roosevelt Supplementary Guidance:**

Provision of ground level open space is encouraged.

Response: The overall site planning and building layout is designed to maximize solar exposure of the proposed open spaces on multiple levels of the building. Street level open space will include attractive street trees and understory planting at recessed entries and entry terraces for the townhouses. A podium level courtyard, will be partially visible from the street. It will include common areas, residential gardens and private terraces. A roof terrace will includes seating, outdoor dining, roof garden, and features such as outdoor fireplaces.

The signature feature of each of the three schemes is a South-facing public ground level plaza along 65th at mid-block. This open space can become a focal point for the residents and visitors, and because it coincides with a high frequency bus stop, it can become a welcome waiting area as well.

**A-8 Parking and Vehicle Access:** Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

**Roosevelt Supplementary Guidance:**

Minimize the number fo curb cuts along 65th.

Response: Parking will be entirely below grade, screened and concealed from the street. Access will occur at one point only, mid-block on 14th Avenue NE.



**A-10**

**A-9 Location of Parking on Commercial Street Fronts:** Parking on a commercial street front should be minimized and where possible should be located behind a building.

Response: Parallel parking is available on NE 65th Ave, 15th Ave NE and 14th Ave NE streets. All sidewalk frontages including NE 66th Ave will be enhanced with landscaping, site furniture to soften the experience for pedestrian access from vehicles.

**A-10 Corner Lots:** Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from the corners.

**Roosevelt Supplementary Guidance: Gateways**

The following design elements are encouraged at the corner of 15th and 65th: special paving or surface treatments, art, water features, landscaping, seating, and kiosks, etc.

Response: The proposed structure massing for the design schemes will be modulated to emphasize the corner with commercial, plaza or townhouse residences. Street-level storefront glazing shall continue around corners to provide transparency and activity. Parking access and private driveways will be located away from corners.

At the Corner of 65th and 15th, the ground level retail frontage is recessed to create a visual focal point, to allow a wider sidewalk, and to open up a ground-level view from the corner directly to the central plaza.

# Design Guidelines



**B-1**

**B-1 Height, Bulk and Scale Compatibility:** Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

**Response:** The massing of the proposed schemes will enhance solar exposure and define open spaces. The building massing for the design schemes step back it's massing at the upper residential level to minimize shadow impacts on adjacent public areas and Roosevelt High School. The west elevation along 14th Ave NE is set back to allow views from 65th St. towards the high school. The proposed townhouses in front of the school and across from the L-2 zone reduces the overall scale of the buildings for the pedestrians and the neighborhood. The public plaza and residential courtyard facing NE 65th St. reduces the expanse of the south elevation providing relief to the commercial and residential facade. The material changes at the podium structure and the upper residential massing will relate to the smaller buildings in the neighborhood.



**C-1**

**C-1 Architectural Context:** New buildings proposed for existing neighborhoods with a well defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

**Roosevelt Supplementary Guidance:**

Articulate the building facade consistent with Roosevelt's historic building pattern, provide distinctly different architectural treatments at the lower building levels, and incorporate materials that are similar to those of adjacent buildings.

**Response:** The project facades adjacent to the commercial streets are proposed to be have a contemporary style and character appropriate to the evolving neighborhood commercial district and reflecting the fact that it has been built over time. The facades facing the high school and residential areas are proposed to have a pedestrian residential scale and materials.

The design will include masonry elements, facade modulations and material variations to express commercial and residential components. Exterior materials are currently proposed to include a masonry veneer at commercial levels, combinations of panel and lap siding with metal accents at the townhouses, and glass in combination with metal siding above. Facade modulation of about 12" to 18" in depth will help define the residential scale. Decks and balconies and recesses and courtyards will reduce the overall scale of the development.



**C-3**

**C-2 Architectural Concept and Consistency:** Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.

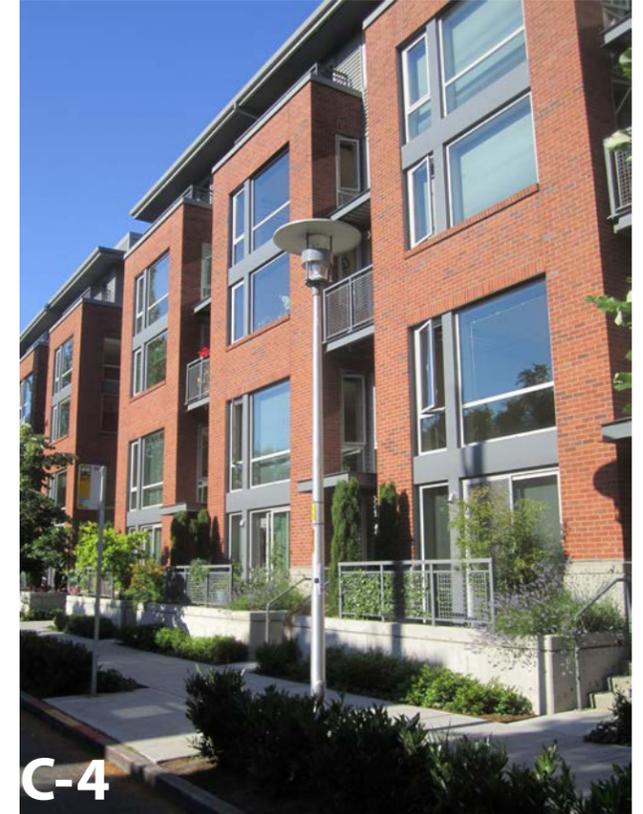
**Roosevelt Supplementary Guidance:**

The architectural features below are especially important for new commercial and mixed use developments: Multiple building entries, Courtyards, Building base, Attractively designed alley-facing, building façades including architectural treatments, fenestration, murals, etc.

**Response:** See C-1 above and C-4 responses

**C-3 Human Scale:** The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

**Response:** The design schemes will include material changes and set backs from street level to upper levels. Storefront glazing mullions, marquees, sunshades, balconies, overhangs, and material changes will help in achieving human scale in the building designs.



**C-4**

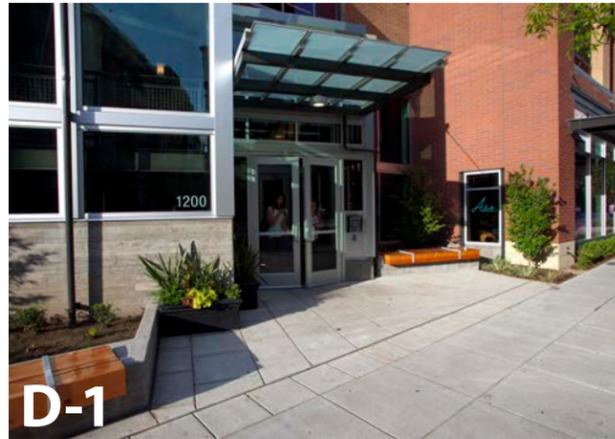
**C-4 Exterior Finish Materials:** Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, patterns, or lend themselves to a high quality of detailing are encouraged.

**Roosevelt Supplementary Guidance:**

Developments should accommodate places for signage that are in keeping with the building's architecture and overall sign program.

**Response:** Masonry at street levels will achieve a durable and maintainable exterior finish. Upper residential levels and townhouses materials will include paneling, metal, fenestration, and lap siding for variety, texture pattern and detail.

Signage will be incorporated into the frontage design of the retail areas.



**D-1 Pedestrian Open Spaces and Entrances:** Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

**Roosevelt Supplementary Guidance:**

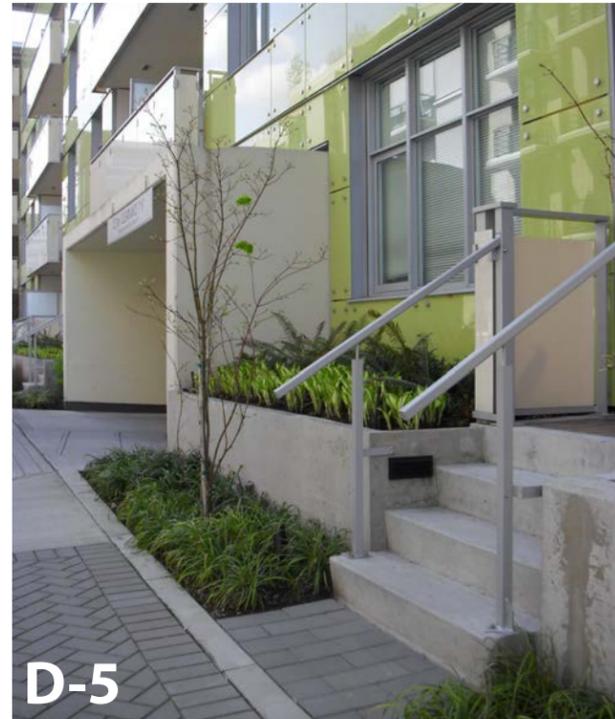
Pedestrian amenities are encouraged where appropriate along sidewalks within the Core Commercial Area.

Response: Convenient and attractive access to the building entries will be provided. The main building residential lobby will have access from the south elevation. To distinguish it from the adjacent commercial uses, it will be made visible by signs, lighting, and weather protection of projecting marquee or canopy. The NW plaza will be designed to appear inviting with textured paving and landscape features. Townhouse entry terraces with landscape yards at the north elevation will invite neighborhood interaction and still be distinguished as residential homes.

Additionally, increased setbacks will provide for wider sidewalks and welcoming gathering spaces.

**D-2 Blank Walls:** Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest.

Response: The podium structure without any commercial or residential uses facing the streets will be designed to avoid blank walls. Where blank walls are unavoidable landscape or site furnishes will add to pedestrian comfort and interest.



**D-5 Visual Impacts of Parking Structures:** The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

Response: Parking structures will be concealed below grade and entrances will be integrated with the frontage character of the building.

**D-6 Screening of Dumpsters, Utilities and Service Areas:** Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

Response: Dumpsters, utilities and service areas will be either screened if adjacent to the street, or concealed within the building structure.



**D-7 Personal Safety and Security:** Project design should consider opportunities for enhancing personal safety and security in the environment under review.

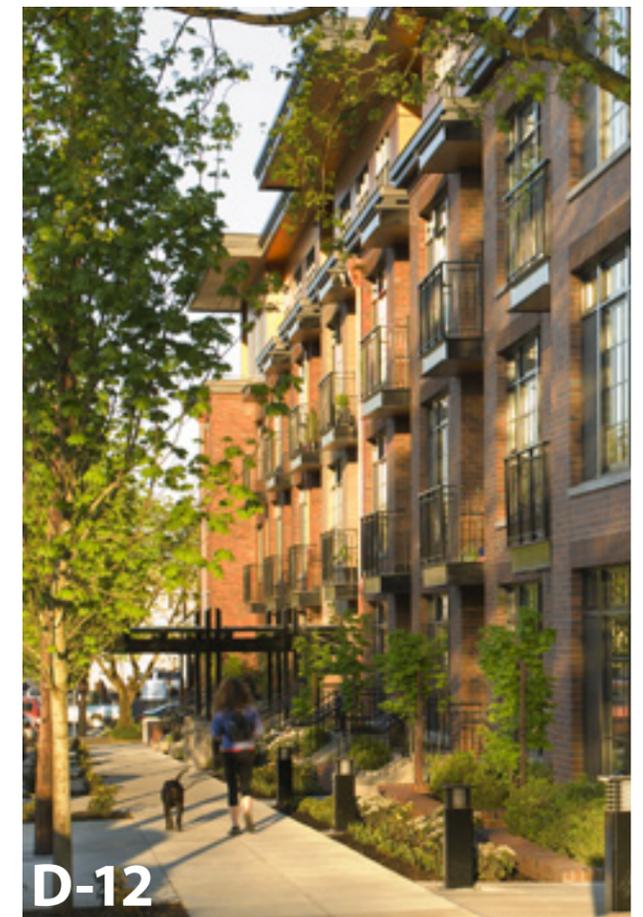
Response: The proposed design schemes shall enhance personal safety and security with lighting, inviting visual connection with commercial street frontage and residential activities.

**D-10 Commercial Lighting:** Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and or on signs.

Response: Appropriate level of lighting will be provided for visual interests and security. Lighting will be incorporated into building facades, weather protections, street furniture, display windows, signs, and landscape areas.

**D-11 Commercial Transparency:** Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of the building. Blank walls should be avoided.

Response: Commercial Storefronts will be transparent, allowing a direct visual connection between pedestrians and interior activities. Blank walls will be avoided.



**D-12 Residential Entries and Transitions:** For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

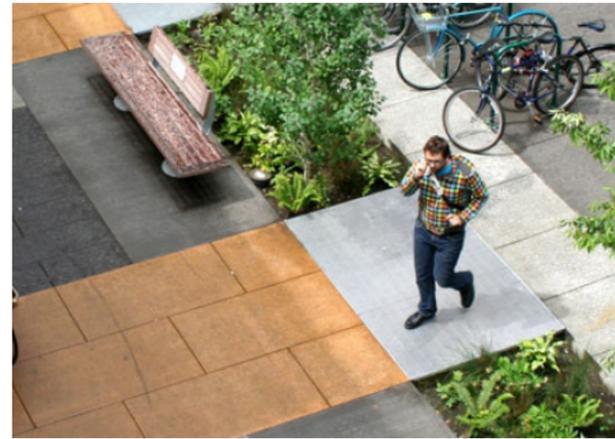
Response: The main residential building will have access through a residential lobby from the south elevation. The townhouses at the north will provide privacy for residents with a significant set back towards the street. It will enhance streetscape with landscaped courtyards. The townhouse entries will be distinguished by private porches and canopies.

# Design Guidelines



**E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites:** Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Response: Proposed landscape shall respond to adjacent uses and reinforce the commercial character of NE 65th St. and 15th Ave NE, while providing scale and materials appropriate to the more residential character of NE 66th St. and 14th Ave NE. Consistent planting strips along wide sidewalks will include low planting and street trees along commercial frontage. Front yards, small flowering trees, and low ornamental fences will provide residential character at street related townhouses. The proposed improvements will establish a new standard for this end of the corridor and greatly improve the existing streetscape that is made up of narrow sidewalks, minimal planting, and lacking pedestrian amenities.



**E-2 Landscaping to Enhance the Building and or Site:** Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Response: Proposed streetscape enhancements on all streets include wider sidewalks, consistent planting strips with curb side paving for parallel parking, street trees, lighting, and furnishings – including benches and bike racks.

Sustainable stormwater infrastructure, bicycle parking, and furniture will also be incorporated into the landscape design.

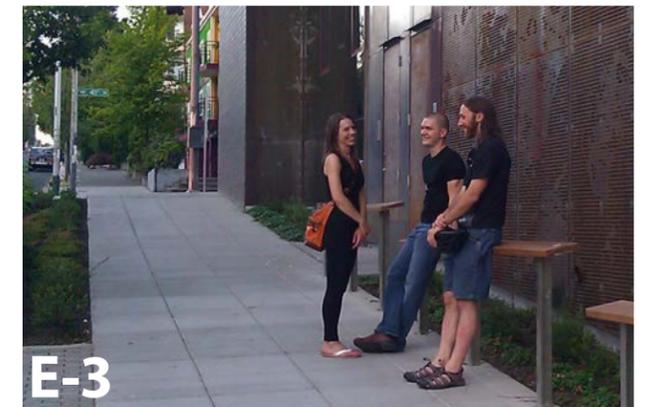


**E-3 Landscape Design to Address Special Site Conditions:** The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas and boulevards.

Response: Landscape design on NE 66th St. will complement the landscape of the High School, significant existing off-site trees, and related off-site open spaces, including a new proposed public open space at the northwest corner and front yards along street related townhouses. Wide planting strips with ornamental flowering street trees will continue the residential character of 14th Ave NE that exists to the south. A consistent commercial streetscape will be established along NE 65th and 15th Ave NE, with elements that enhance the intersection as a gateway for the neighborhood.



**E-3**  
*Active and safe street edges for residential frontage will be important to enliven the streetscape along 15th and 66th.*



**E-3**  
*At the mid-block bus stop along 65th, lean-to rails will provide waiting opportunities for transit passengers.*

# Architectural Character



Distinctive ground-related building entries



Upper levels of the building will be set back to allow additional solar access to the surrounding ground plane and to visually modulate the scale of the buildings



Live/Work units along 14th to respond to the Neighborhood's desire to create a Festival Green Street there.



View terraces and balconies at upper level setbacks.



Corner conditions respond to site.



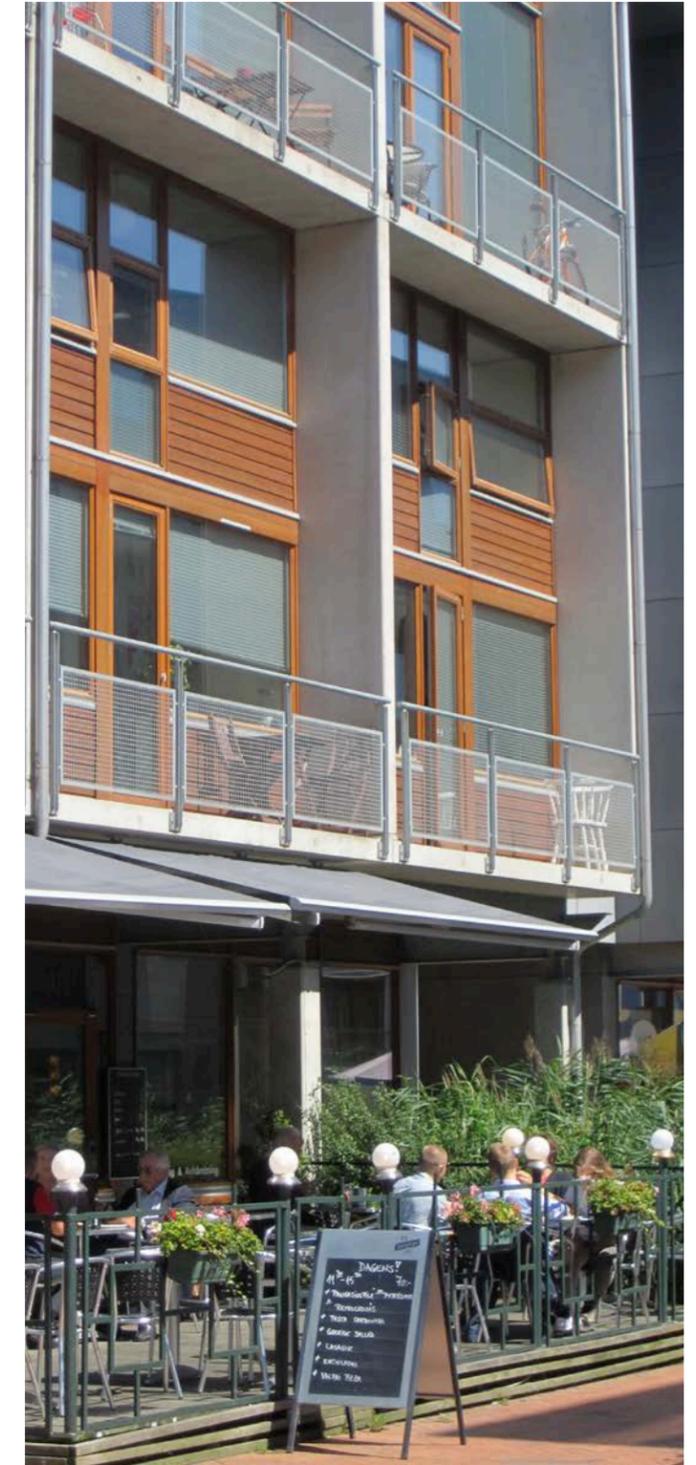
Modern character using traditional materials and building elements, distinguish the building(s) from Roosevelt High School while maintaining visual and architectural compatibility.



Transparent storefronts that address the slope along 65th and 15th.

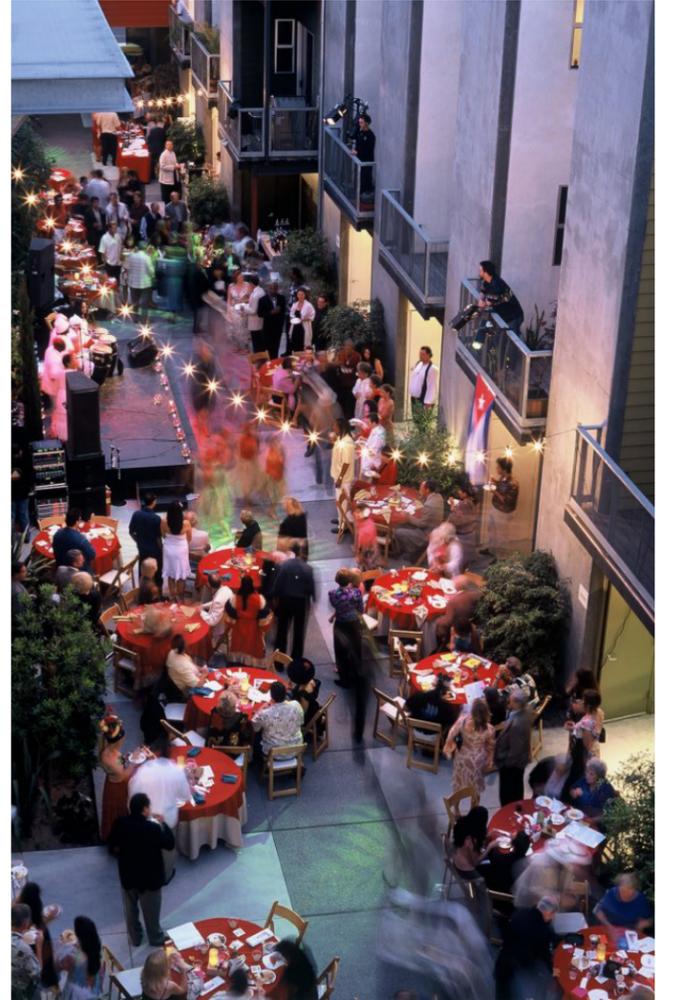


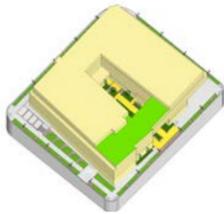
Private, direct-entry stoops and natural materials at the lower levels help to establish a human scale and sense of place.



Some facades will be broken down into smaller components that reflect the individuality of unit types.

# Landscape Character





### "O" SHAPED

**Project Data**

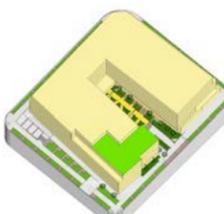
Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	217,150
Total Residential Units	<b>205</b>
Floor Area Ratio (FAR) (Approx.)	4.5
Density	188 units/net acre
Underground Parking (Approx.)	175 stalls

**Advantages and Opportunities**

- Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.
- Variety of residential units with a central courtyard and moderate amount of light for each unit.
- Roof top garden creates massing modulation.

**Challenges**

- Large portion of open space will be in shadow most of the day
- No direct view to the High School through the block
- Not all residents have a direct view to downtown
- Less efficient residential unit layout with more corridors



### "U" SHAPED

**Project Data**

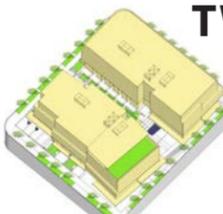
Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	205,350 SF
Total Residential Units	<b>200</b>
Floor Area Ratio (FAR) (Approx.)	4.3
Density	184 units/net acre
Underground Parking (Approx.)	175 stalls

**Advantages and Opportunities**

- Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.
- Variety of residential units with a greater portion facing south/east, south and west, resulting in a larger quantity of daylight.
- Roof top garden creates massing modulation.

**Challenges**

- No direct view to the High School through the block
- Long street wall along 66th



### TWO BUILDINGS

**Project Data**

Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	205,000 SF
Total Residential Units	<b>210</b>
Floor Area Ratio (FAR) (Approx.)	4.3
Density	193 units/net acre
Underground Parking (Approx.)	175 stalls

**Advantages and Opportunities**

- Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.
- Views towards downtown from Roosevelt High-School are acknowledged in the western building's setbacks.
- Straightforward building layout offers the potential for a variety of residential units with large quantity of daylight.
- Minimize massing on site, and face narrow building edges to school and 65th.
- Roof top open space creates modulation
- Different building grade planes allows for each building to respond more appropriately to the sloping site at the ground level.

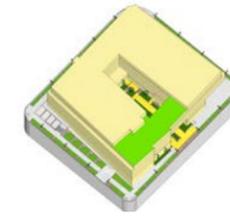
**Challenges**

- Circulation for residents between the two buildings

## Option 1 - "O" Shaped



View looking North towards the Community Plaza to the inner courtyard



### "O" SHAPED

#### Project Data

Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	217,150
Total Residential Units	<b>205</b>
Floor Area Ratio (FAR) (Approx.)	4.5
Density	188 units/net acre
Underground Parking (Approx.)	175 stalls

#### Advantages and Opportunities

Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.

Variety of residential units with a central courtyard and moderate amount of light for each unit.

Roof top garden creates massing modulation.

#### Challenges

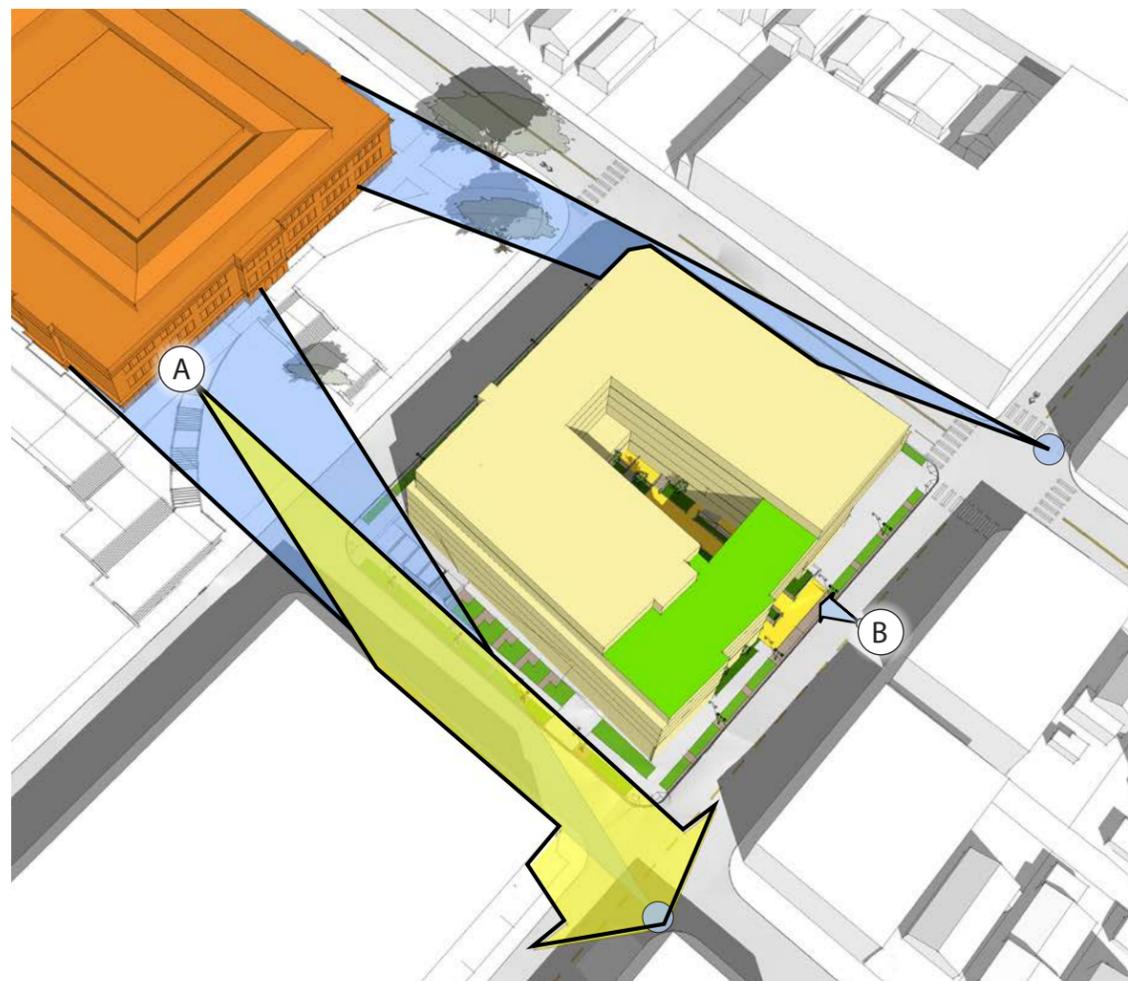
Large portion of open space will be in shadow most of the day

No direct view to the High School through the block

Not all residents have a direct view to downtown

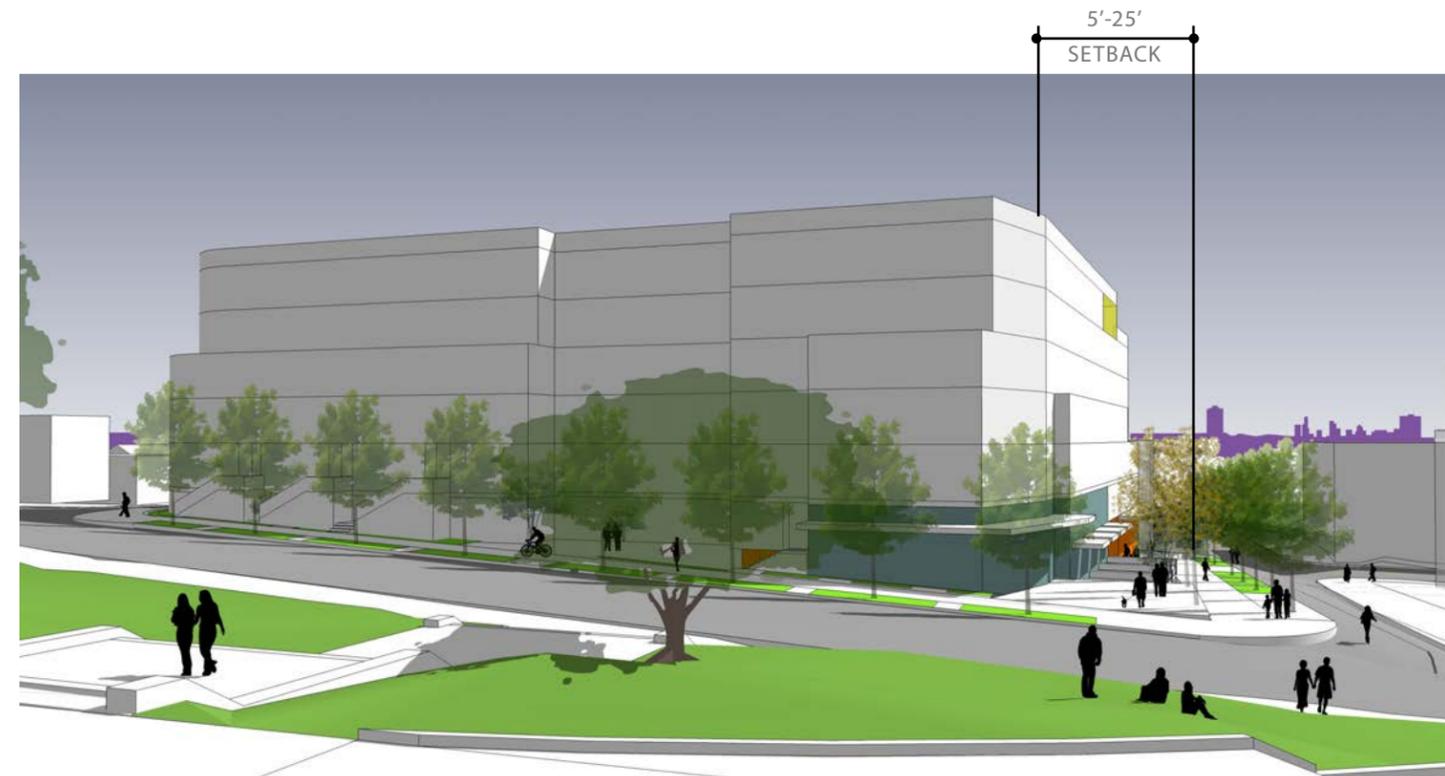
Less efficient residential unit layout with more corridors

# Option 1 - "O" Shaped



## Option 1 - "O" Shaped

Double loaded corridors of an 'O'-shaped floor plan allow a variety of residential unit designs and views. A large courtyard space at the center of the building provides light for the residents. The building mass is shifted at the west edge of the podium for a public plaza to provide views for pedestrians from NE 65th St. to Roosevelt High School.



**A** View to downtown skyline

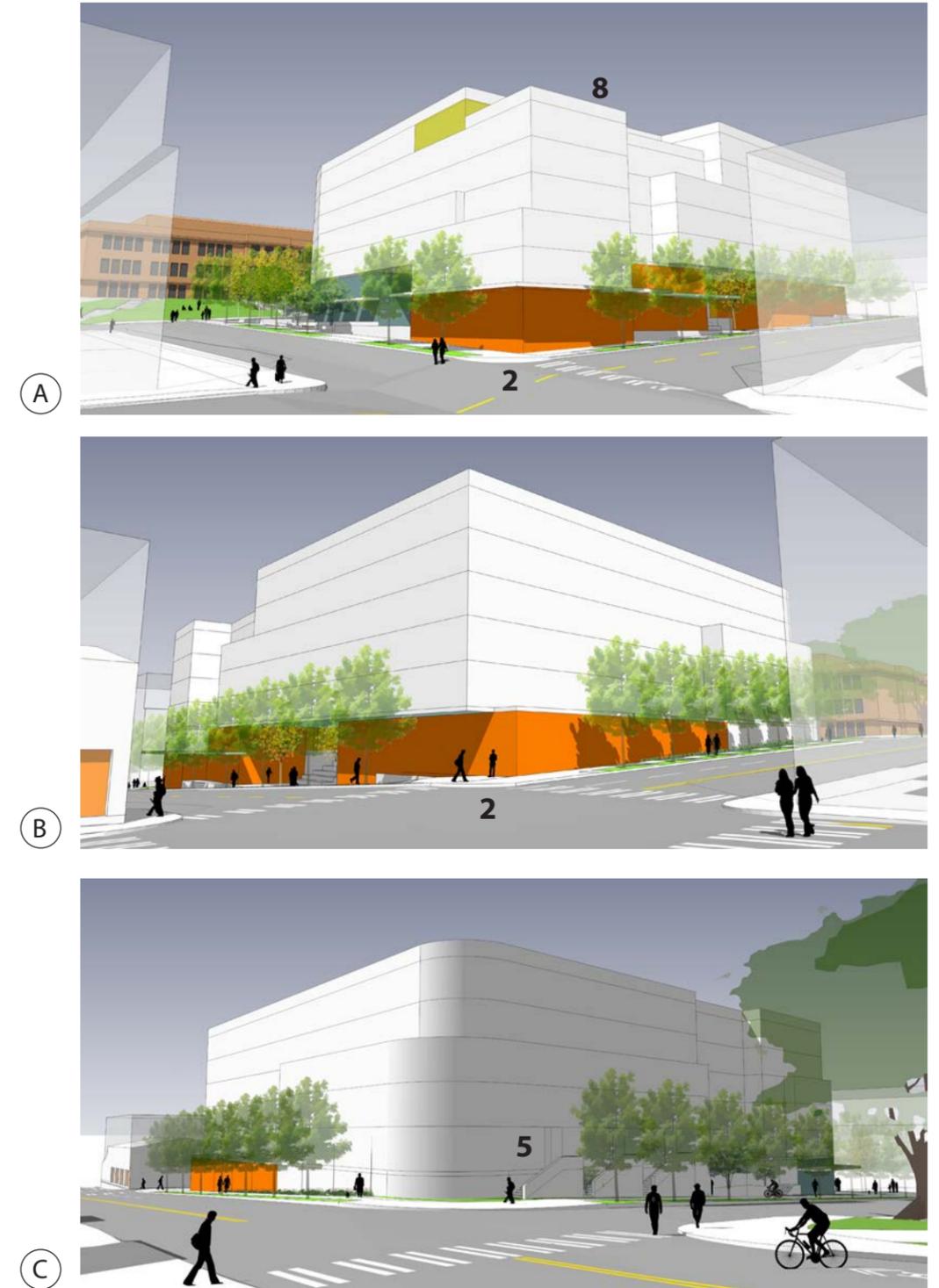


**B** View to High School from Public Realm

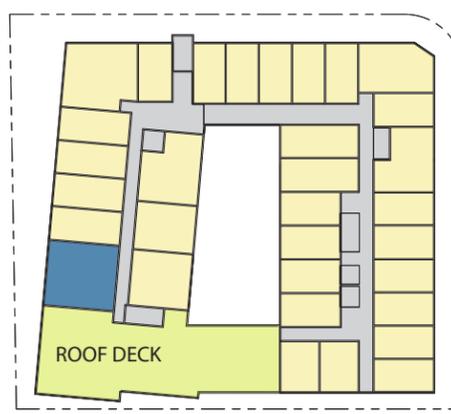
# Option 1 - "O" Shaped



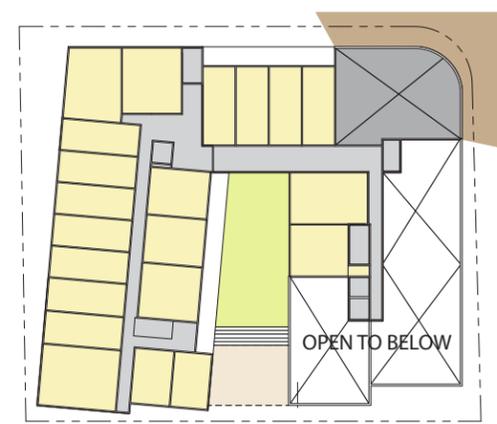
- 1. Streetside Plaza
- 2. Retail Corner
- 3. Courtyard
- 4. Gate
- 5. Residential Stoops
- 6. Raised Terraces
- 7. Community Plaza
- 8. Roof Terrace
-  Common Residential Entry
-  Parking Entry



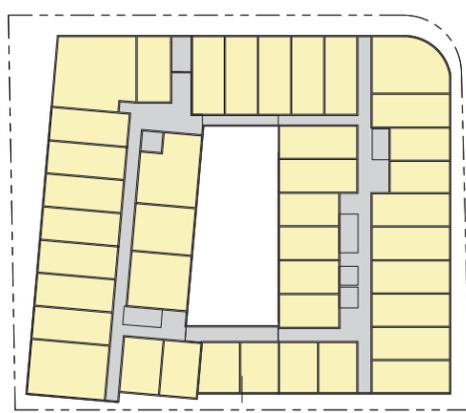
# Option 1 - "O" Shaped



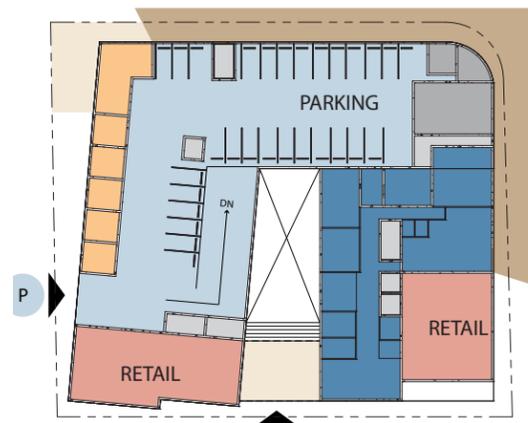
Level 7 Plan



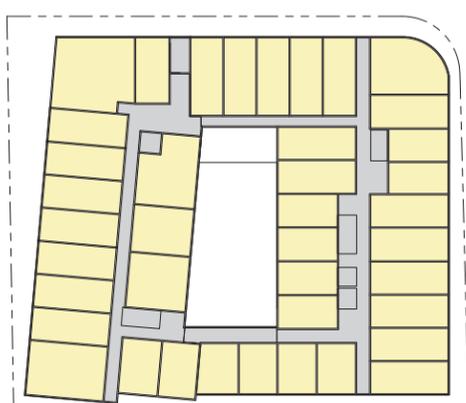
Level 2 Plan



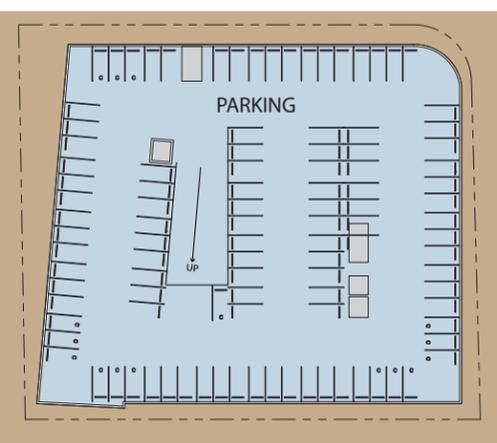
Levels 4-6 Typical Plan



Level 1 Plan



Level 3 Plan



Level P1 Plan

Legend:

- Retail
- Live/Work
- Residential
- Amenities/ Residential Lobby
- Plaza
- Roof Deck/ Courtyard
- Parking
- Circulation
- Utilities
- Underground
- P Parking Entry
- R Common Residential Entry
- Private Residential Entry

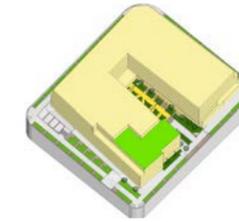
## VALUES SUMMARY

Neighborhood Values	Response
 Protect Views	 "O" shape building prevents views to portal of Roosevelt High School.
 Active, vibrant, walkable, and pedestrian friendly environment.	 A variety of streetscape conditions support vibrancy.
 Effective transitions in height, bulk, and use.	 A single building presents a challenge to appropriate massing along 66th.
 Create additional open green space.	 Two plazas are provided at ground level, but one is in shade for a longer portion of the day.
 Respect Roosevelt High School.	 Views to the school guide placement of the building perimeter.
 Appropriate selection of façade materials, design, lighting, and landscape.	 High quality materials at the lower portions of the building.
 Provide spaces for appropriate economic activities at the streetscape.	 Retail uses front 65th and the plaza.
 Provide interior and exterior spaces and amenities that support interaction.	 Ground level plazas and active street edges promote walking and gathering.
 Incorporate sustainable design and building.	 Locating housing near transit supports lower VMTs
 Keep a safe, clean environment for everyone, including Roosevelt students.	 Security and heavy foot-traffic buffers are incorporated.
 Increase residential density to accommodate a fair share of new residents.	 High density mixed income housing near transit.
 Provide a fair share of affordable housing.	 17.5% of bonus floor area will be for affordable housing.
 Honor the planning process and involvement to-date by the neighbors.	 The preferred scheme arose from collaboration and engagement with the community.

## Option 2 - "U" Shaped



View looking North through the South-facing courtyard



### "U" SHAPED

#### Project Data

Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	205,350 SF
Total Residential Units	<b>200</b>
Floor Area Ratio (FAR) (Approx.)	4.3
Density	184 units/net acre
Underground Parking (Approx.)	175 stalls

#### Advantages and Opportunities

Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.

Variety of residential units with a greater portion facing south/east, south and west, resulting in a larger quantity of daylight.

Roof top garden creates massing modulation.

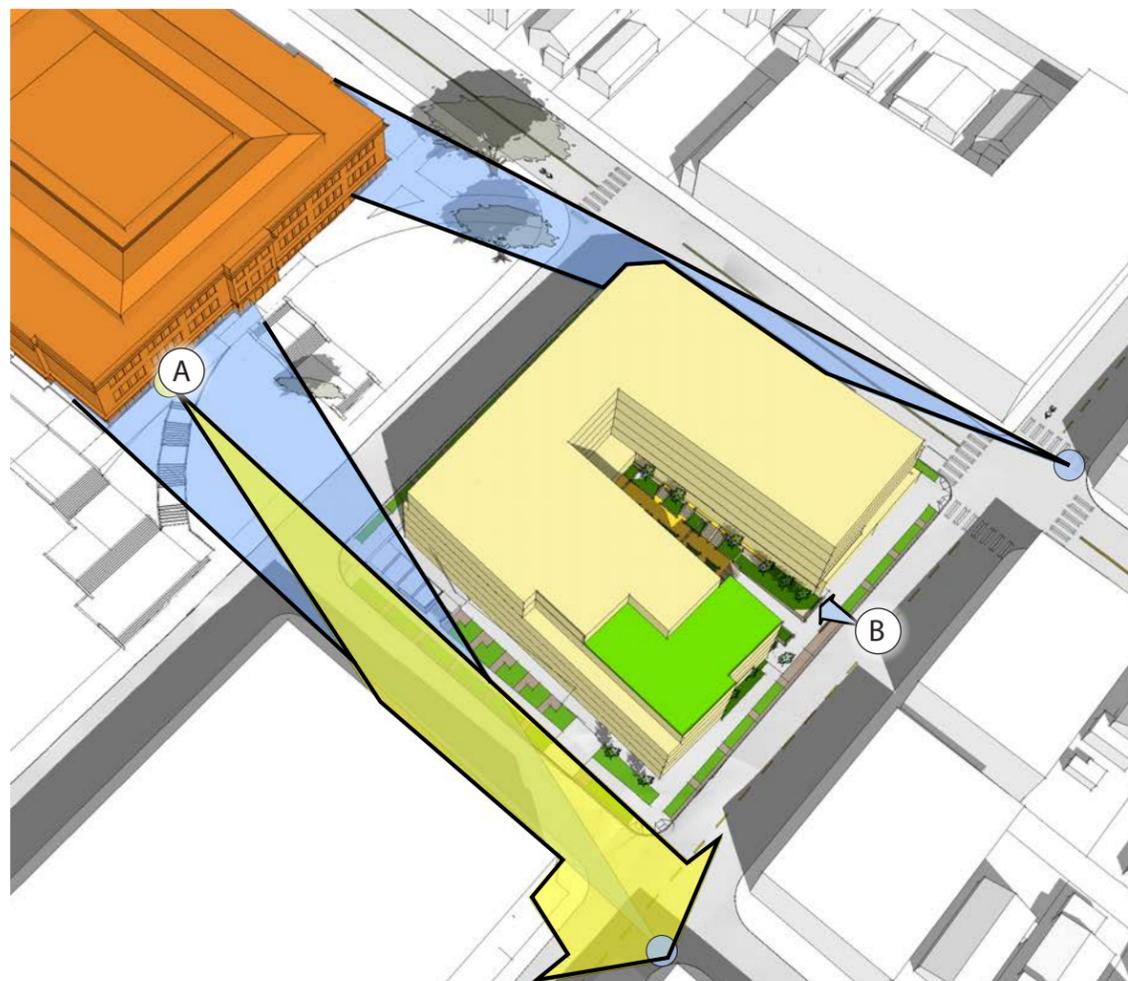
#### Challenges

No direct view to the High School through the block

Long street wall along 66th

# Option 2 - "U" Shaped

5'-25'  
SETBACK



A View to downtown skyline



B View to High School from Public Realm

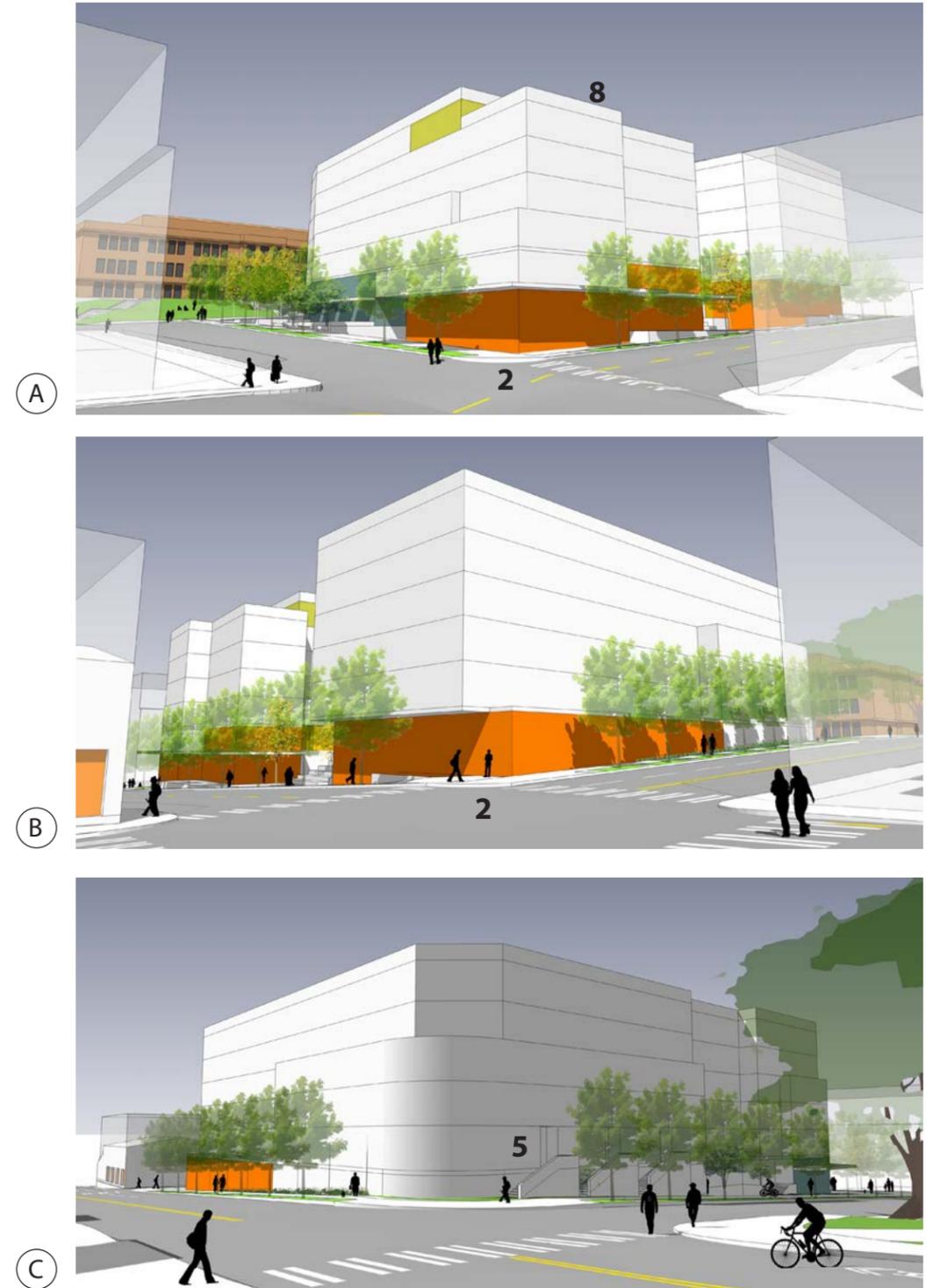
## Option 2 - "U" Shaped

Double loaded corridors of a U-shaped floor plan allows a variety of residential unit designs and views. The large open courtyard space at the center of the building provides light and downtown views for the residents. The building mass is shifted at the west edge of the podium to provide a public plaza and views toward Roosevelt High School from NE 65th St.

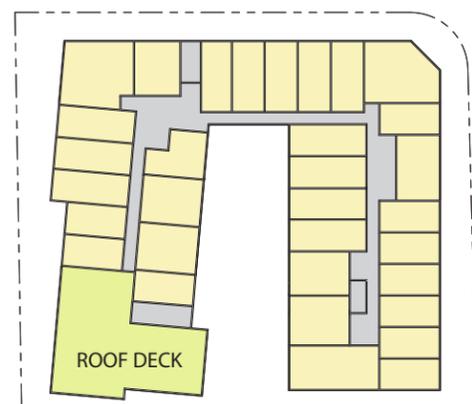
# Option 2 - "U" Shaped



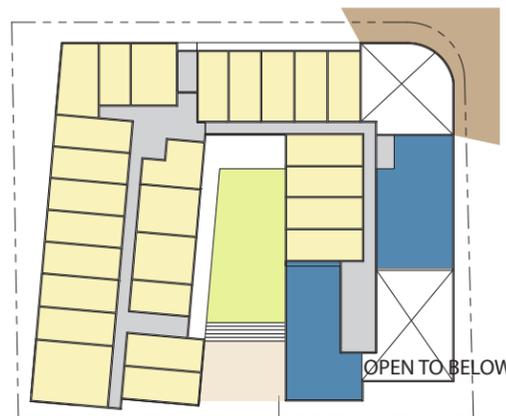
- 1. Streetside Plaza
- 2. Retail Corner
- 3. Courtyard
- 4. Gate
- 5. Residential Stoops
- 6. Raised Terraces
- 7. Community Plaza
- 8. Roof Terrace
- Common Residential Entry
- Parking Entry



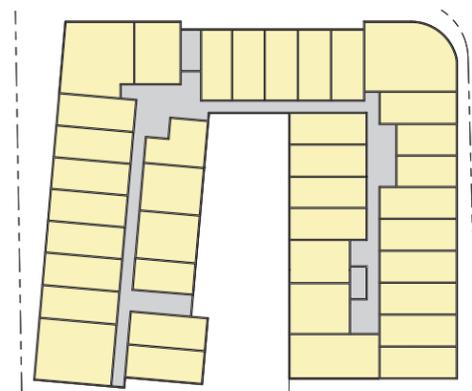
# Option 2 - "U" Shaped



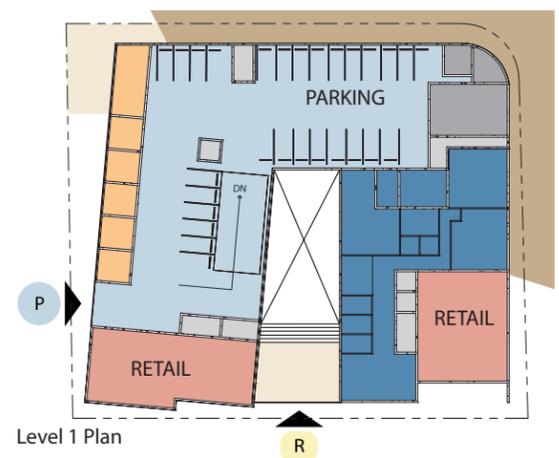
Level 7 Plan



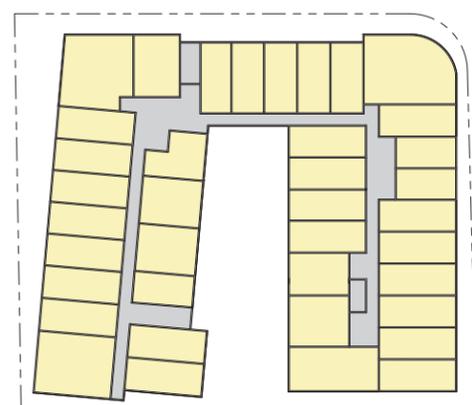
Level 2 Plan



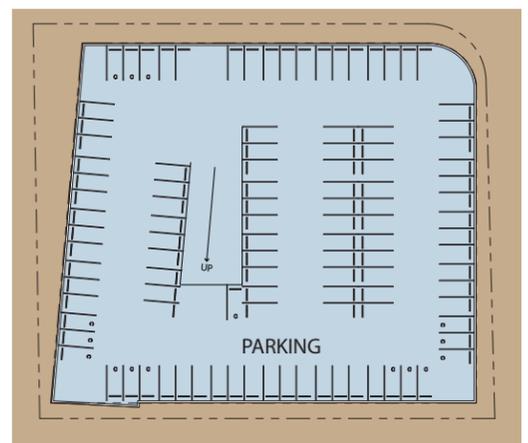
Levels 4-6 Typical Plan



Level 1 Plan



Level 3 Plan



Level P1 Plan

Legend:

- Retail
- Live/Work
- Residential
- Amenities/ Residential Lobby
- Plaza
- Roof Deck/ Courtyard
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- Circulation
- Utilities
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- Private Residential Entry

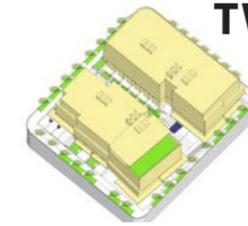
## VALUES SUMMARY

Neighborhood Values	Response
Protect Views	U-shaped building preserves views to Roosevelt High School at edge but not through block.
Active, vibrant, walkable, and pedestrian friendly environment.	A variety of streetscape conditions support vibrancy.
Effective transitions in height, bulk, and use.	Ground-level and upper-level setbacks provide relief at the street edge.
Create additional open green space.	Two plazas are provided at ground level.
Respect Roosevelt High School.	Views to the school guide placement of the building perimeter.
Appropriate selection of façade materials, design, lighting, and landscape.	High quality materials at the lower portions of the building.
Provide spaces for appropriate economic activities at the streetscape.	Retail uses front 65th and the plaza.
Provide interior and exterior spaces and amenities that support interaction.	Ground level plazas and active street edges promote walking and gathering.
Incorporate sustainable design and building.	Locating housing near transit supports lower VMTs
Keep a safe, clean environment for everyone, including Roosevelt students.	Security and heavy foot-traffic buffers are incorporated.
Increase residential density to accommodate a fair share of new residents.	High density mixed income housing near transit.
Provide a fair share of affordable housing.	17.5% of bonus floor area will be for affordable housing.
Honor the planning process and involvement to-date by the neighbors.	The preferred scheme arose from collaboration and engagement with the community.

## Option 3 - Two Buildings (Preferred)



View looking North through the linear courtyard



### TWO BUILDINGS

#### Project Data

Total Footprint of Building(s)	31,150 SF
Percent of Total Site for Ground Level Open Space (Approx.)	35%
Total Street Level Retail Area	7,500 SF
Total Gross Floor Area (Approx.)	205,000 SF
Total Residential Units	<b>210</b>
Floor Area Ratio (FAR) (Approx.)	4.3
Density	193 units/net acre
Underground Parking (Approx.)	175 stalls

#### Advantages and Opportunities

Large gathering space along 65th, where students, residents, and the neighborhood community can access transit, shop, and enjoy the streetlife.

Views towards downtown from Roosevelt High-School are acknowledged in the western building's setbacks.

Straightforward building layout offers the potential for a variety of residential units with large quantity of daylight.

Minimize massing on site, and face narrow building edges to school and 65th.

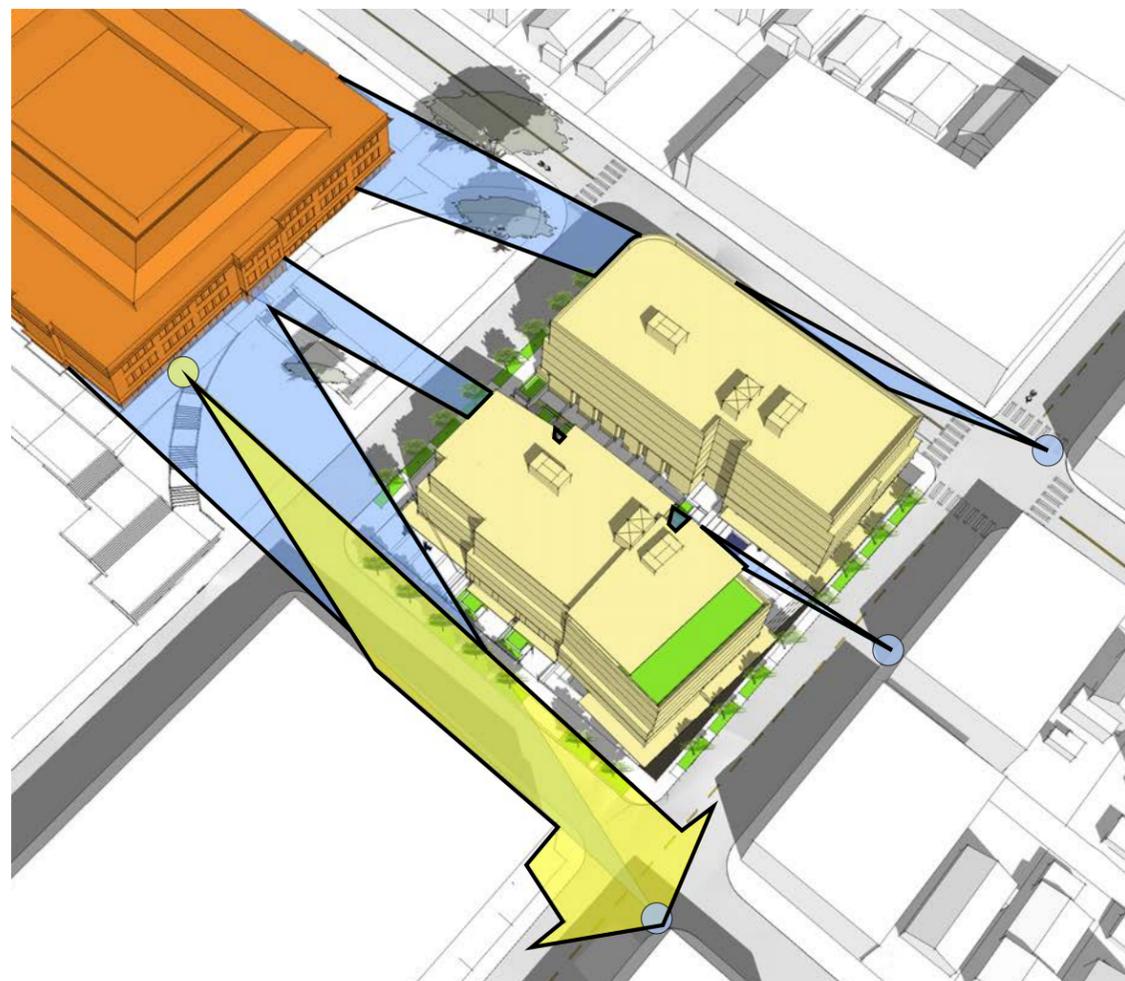
Roof top open space creates modulation

Different building grade planes allows for each building to respond more appropriately to the sloping site at the ground level.

#### Challenges

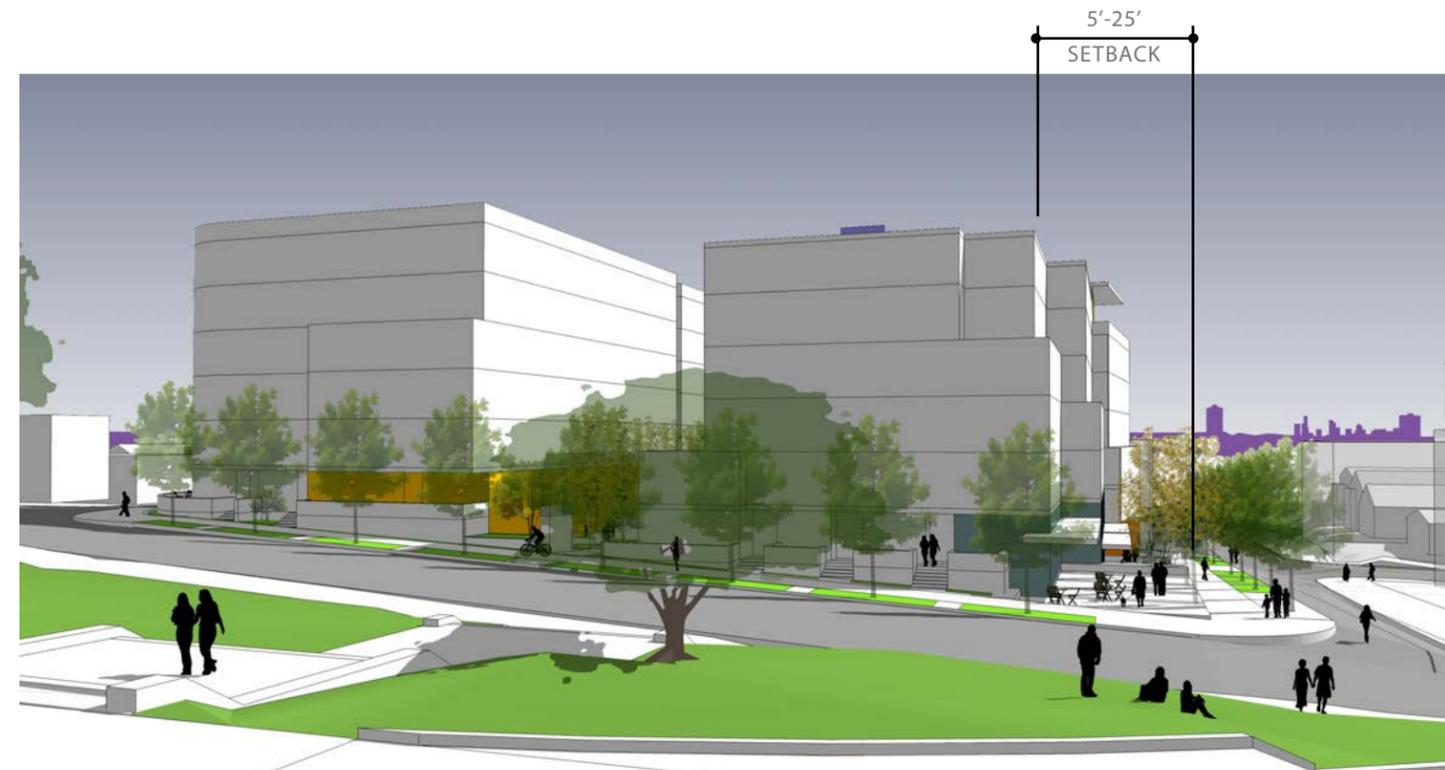
Circulation for residents between the two buildings

# Option 3 - Two Buildings (Preferred)



## Option 3 - Two Buildings (Preferred)

The preferred option splits the building program into two rectangular structures, which allows for a variety of residential unit designs and minimizes the length of common corridors. The linear open space between the two buildings provides views to the High School from 65th and reduces the width of building frontage along 66th, helping to reinforce the residential character of this important Neighborhood Green Street. The two buildings are served by a main lobby in the East Building and are connected below the podium level. The West building mass is shifted at the west edge of the podium to respond to views of the downtown skyline from the High School and to maintain sight lines to the school from 65th.



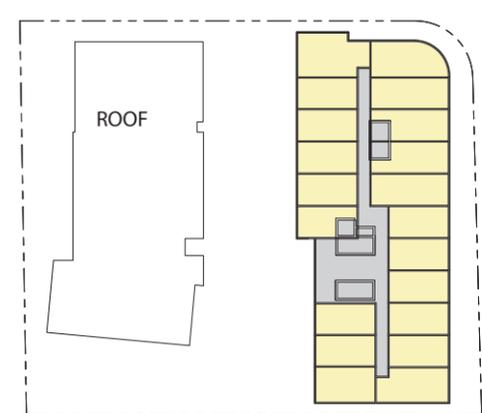
View to downtown skyline



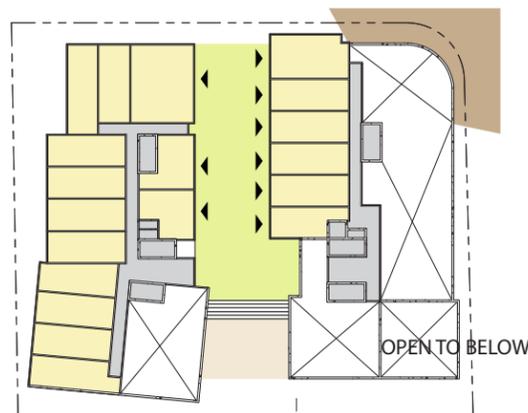
View to High School from Public Realm



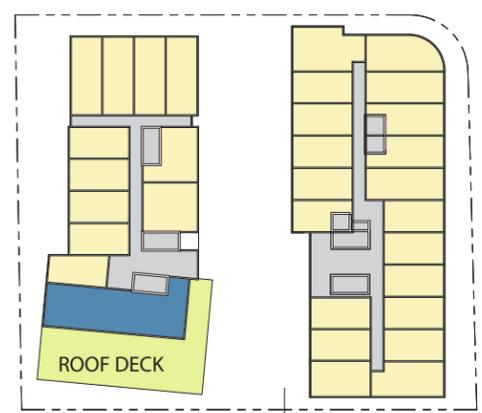
# Option 3 - Two Buildings (Preferred)



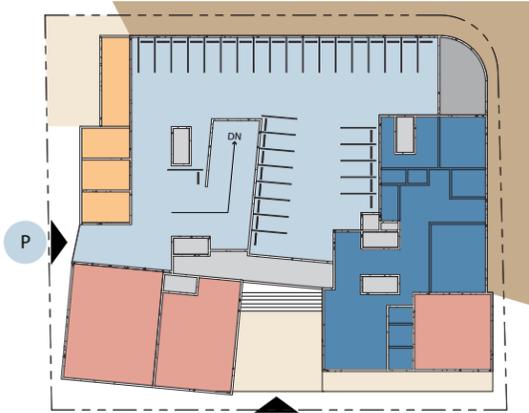
Level 7 & Roof Plan



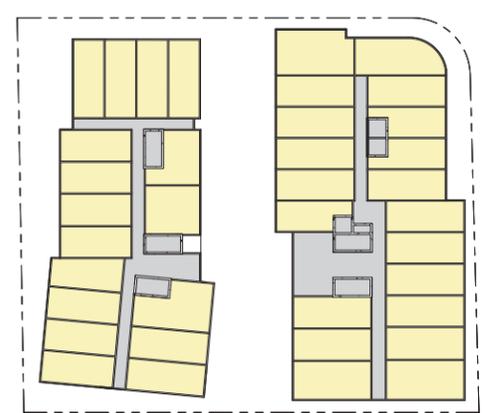
Level 1A Plan



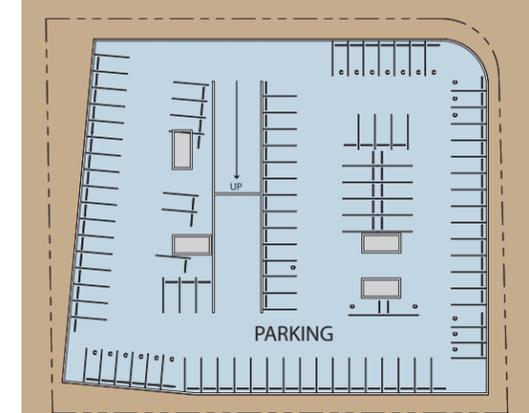
Levels 5 & 6 Typical Plan



Level 1 Plan



Level 2-4 Typical Plan



Level P1 Plan

- Legend:
- Retail
  - Live/Work
  - Residential
  - Amenities/ Residential Lobby
  - Plaza
  - Roof Deck/ Courtyard
  - Parking
  - Circulation
  - Utilities
  - Underground
  - P ▶ Parking Entry
  - R ▶ Common Residential Entry
  - ▶ Private Residential Entry

## VALUES SUMMARY

Neighborhood Values	Response
 Protect Views	<span style="color: green;">●</span> Two buildings preserves views to Roosevelt High School
 Active, vibrant, walkable, and pedestrian friendly environment.	<span style="color: green;">●</span> A variety of streetscape conditions support vibrancy.
 Effective transitions in height, bulk, and use.	<span style="color: green;">●</span> Two buildings break down the mass of the block.
 Create additional open green space.	<span style="color: green;">●</span> Two plazas are provided at ground level.
 Respect Roosevelt High School.	<span style="color: green;">●</span> Views to the school guide building placement.
 Appropriate selection of façade materials, design, lighting, and landscape.	<span style="color: green;">●</span> High quality materials at the lower portions of the building, more opportunities for landscape.
 Provide spaces for appropriate economic activities at the streetscape.	<span style="color: green;">●</span> Retail uses front 65th and the plaza.
 Provide interior and exterior spaces and amenities that support interaction.	<span style="color: green;">●</span> Plazas and active street edges promote walking and gathering around and through block
 Incorporate sustainable design and building.	<span style="color: green;">●</span> Increased solar access, ventilation, and shorter corridors reduce energy consumption.
 Keep a safe, clean environment for everyone, including Roosevelt students.	<span style="color: green;">●</span> Security and heavy foot-traffic buffers are incorporated, two buildings provide more site lines.
 Increase residential density to accommodate a fair share of new residents.	<span style="color: green;">●</span> High density mixed income housing near transit.
 Provide a fair share of affordable housing.	<span style="color: green;">●</span> 17.5% of bonus floor area will be for affordable housing.
 Honor the planning process and involvement to-date by the neighbors.	<span style="color: green;">●</span> The preferred scheme arose from collaboration and engagement with the community.



SE Perspective View

**LANDSCAPED AREA - ROOF**

- PLANTERS, +/- 24" SOIL DEPTH
- GREEN ROOF
- 4" MINIMUM GROWTH MEDIUM

**LANDSCAPED AREA - COURTYARD**

- +/- 24" SOIL DEPTH
- 2' MAXIMUM MATURE SHRUB HEIGHT
- SMALL TREES

**LANDSCAPED AREA - STREETScape**

- 24" MINIMUM SOIL DEPTH
- 2' MAXIMUM MATURE SHRUB HEIGHT
- MEDIUM TREE CANOPY SPREAD
- PERMEABLE PAVING

REVISED 1/21/2010

**Green Factor Score Sheet**

Project title: RDG Block 3



		enter sq ft of parcel		
		Parcel size (enter this value first) *	SCORE	0.383
Landscape Elements**	Totals from GF worksheet	Factor	Total	
<b>A Landscaped areas (select one of the following for each area)</b>				
1	Landscaped areas with a soil depth of less than 24"	enter sq ft 0	0.1	-
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft 10560	0.6	6,336.0
3	Bioretention facilities	enter sq ft 0	1.0	-
<b>B Plantings (credit for plants in landscaped areas from Section A)</b>				
1	Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft 10560	0.1	1,056
2	Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 750	9000	0.3
3	Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants 67	5025	0.3
4	Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants 0	0	0.3
5	Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants 24	6000	0.4
6	Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants 7	2450	0.4
7	Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH 0	0	0.8
<b>C Green roofs</b>				
1	Over at least 2" and less than 4" of growth medium	enter sq ft 0	0.4	-
2	Over at least 4" of growth medium	enter sq ft 1678	0.7	1,174.6
<b>D Vegetated walls</b>				
		enter sq ft 0	0.7	-
<b>E Approved water features</b>				
		enter sq ft 0	0.7	-
<b>F Permeable paving</b>				
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.2	-
2	Permeable paving over at least 24" of soil or gravel	enter sq ft 0	0.5	-
<b>G Structural soil systems</b>				
		enter sq ft 0	0.2	-
		sub-total of sq ft = 45,273		
<b>H Bonuses</b>				
1	Drought-tolerant or native plant species	enter sq ft 10560	0.1	1,056.0
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft 0	0.2	-
3	Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft 10,560	0.1	1,056
4	Landscaping in food cultivation	enter sq ft 0	0.1	-
		Green Factor numerator = 18,266		

\* Do not count public rights-of-way in parcel size calculation.

\*\* You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

**Green Factor Strategy**

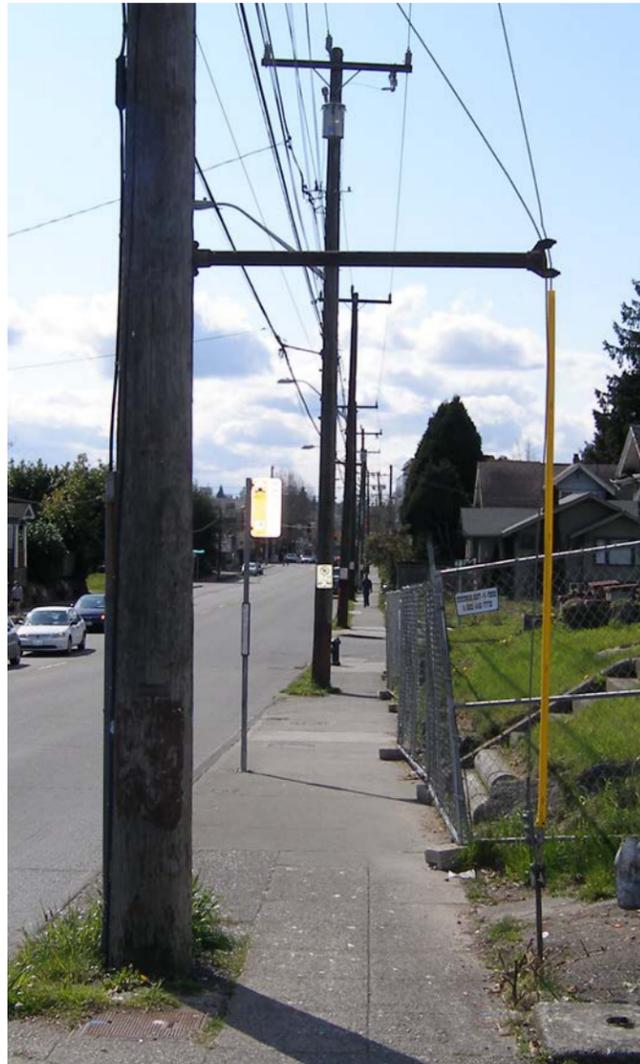
Two Building (Preferred)

Proposed design includes a mix of green factor strategies, including:

- Street trees and at grade planting in expanded planting strips in the right of way
- Small trees, shrubs, and ground cover in 2' to 3' depth soils in courtyards
- Green roof in 4" minimum depth soils at upper level roof decks

# NE 65th Street Frontage

Current Streetscape



Proposed Character



## Urban Pedestrian Environment Along Arterials

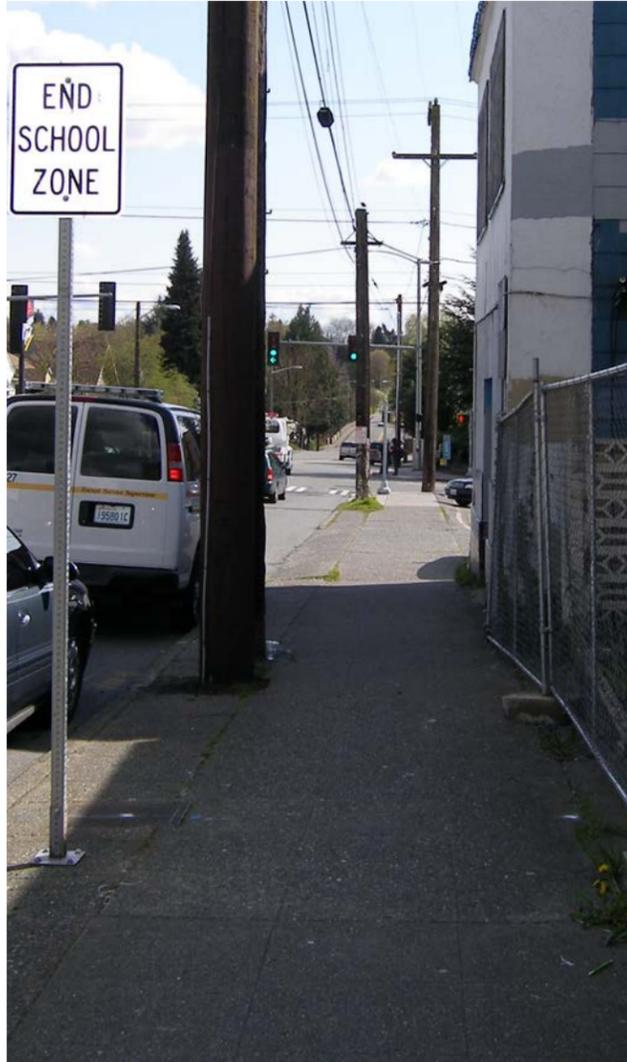
The proposed design will enhance 65th as a gateway and entry street into the commercial core. Retail storefront treatments will include large display windows, recessed entries, and weather protection. A consistent and visually enhanced street wall of street trees and ornamental pole mounted pedestrian lights will provide uniformity. Wide sidewalks and building setbacks will create opportunities for public space. Amenities that support retail use and encourage sidewalk activation will include café tables and chairs, seating, accent lighting, accent paving, and low ornamental planting.

- 25' Height Street Trees
- Weather Protection And Storefront Glazing
- Ornamental Pedestrian Lighting
- Low, Drought-Tolerant Ornamental Planting



# 15th Ave NE Street Frontage

### Current Streetscape



### Proposed Character



## Urban Pedestrian Environment Along Arterials

The proposed design will transform the sidewalk on 15th from an auto-dominated streetscape into an active, comfortable, and pedestrian-oriented environment. Street related retail frontage will include large display windows, recessed entries, and weather protection. Wide sidewalks and a generous planting strip will provide ample space for benches, bike racks, and other pedestrian amenities. Ornamental pedestrian lights and street trees will improve pedestrian comfort and set-up a consistent street edge from the adjacent travel lanes. Overall character will be commercial in feel, and appropriate to 15th as an active conduit for the commercial core.

Weather Protection And Storefront Glazing

25' Height Street Trees

Ornamental Pedestrian Lighting

Low, Drought-Tolerant Ornamental Planting



+ 8' - 9' property setback

10'  
Sidewalk

5'  
6"  
Planting Strip curb

15th Ave

Current Streetscape

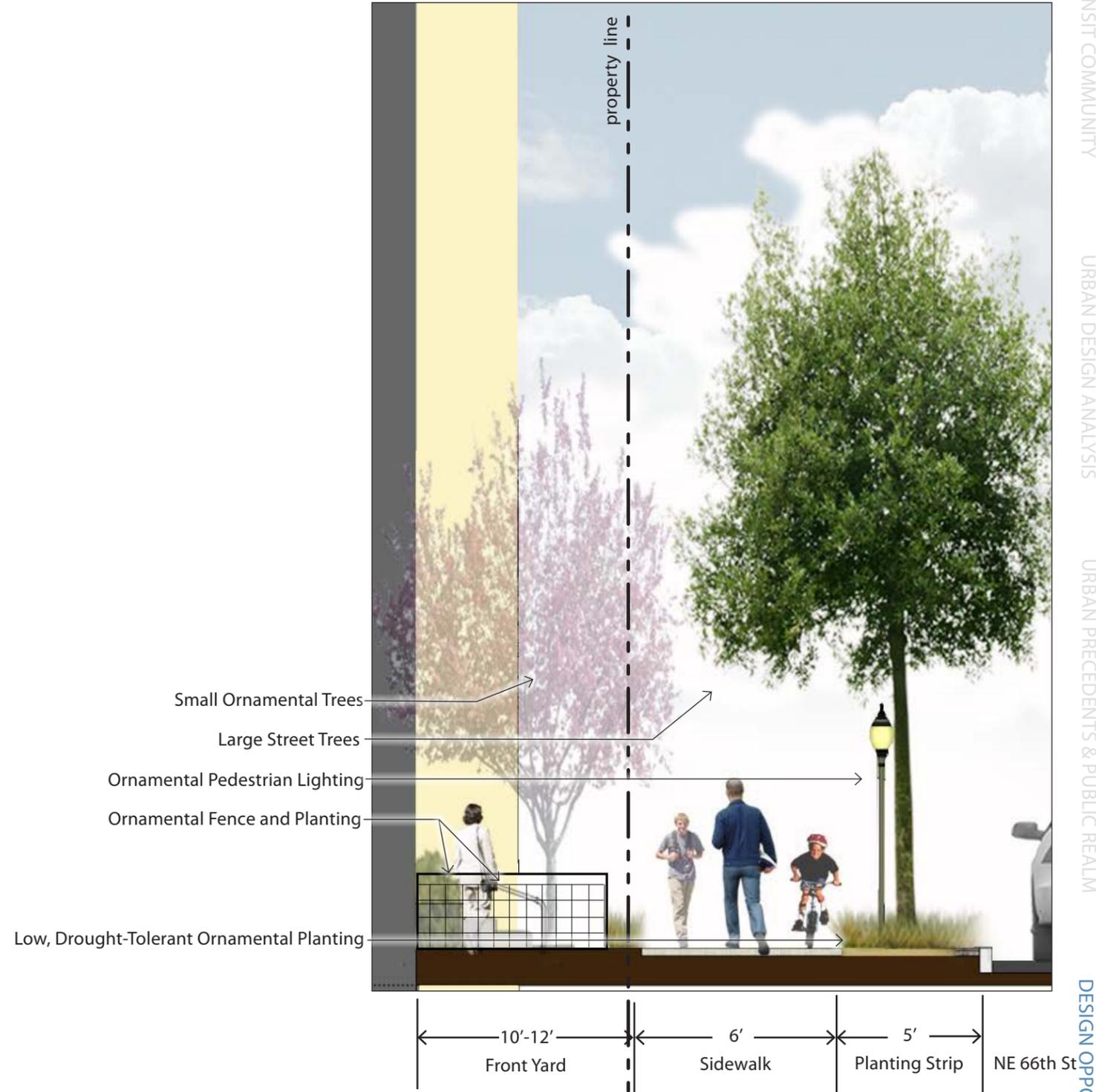


Proposed Character



**Intimate Pedestrian Scale Environment Along Residential Streets**

The proposed design will complement the existing open space, trees, and character of iconic Roosevelt High School. Townhomes will include ground related entries and private yards, with planting and landscape features on each side of the sidewalk. Small flowering trees and accent planting will reinforce the residential scale of 66th.



### Current Streetscape

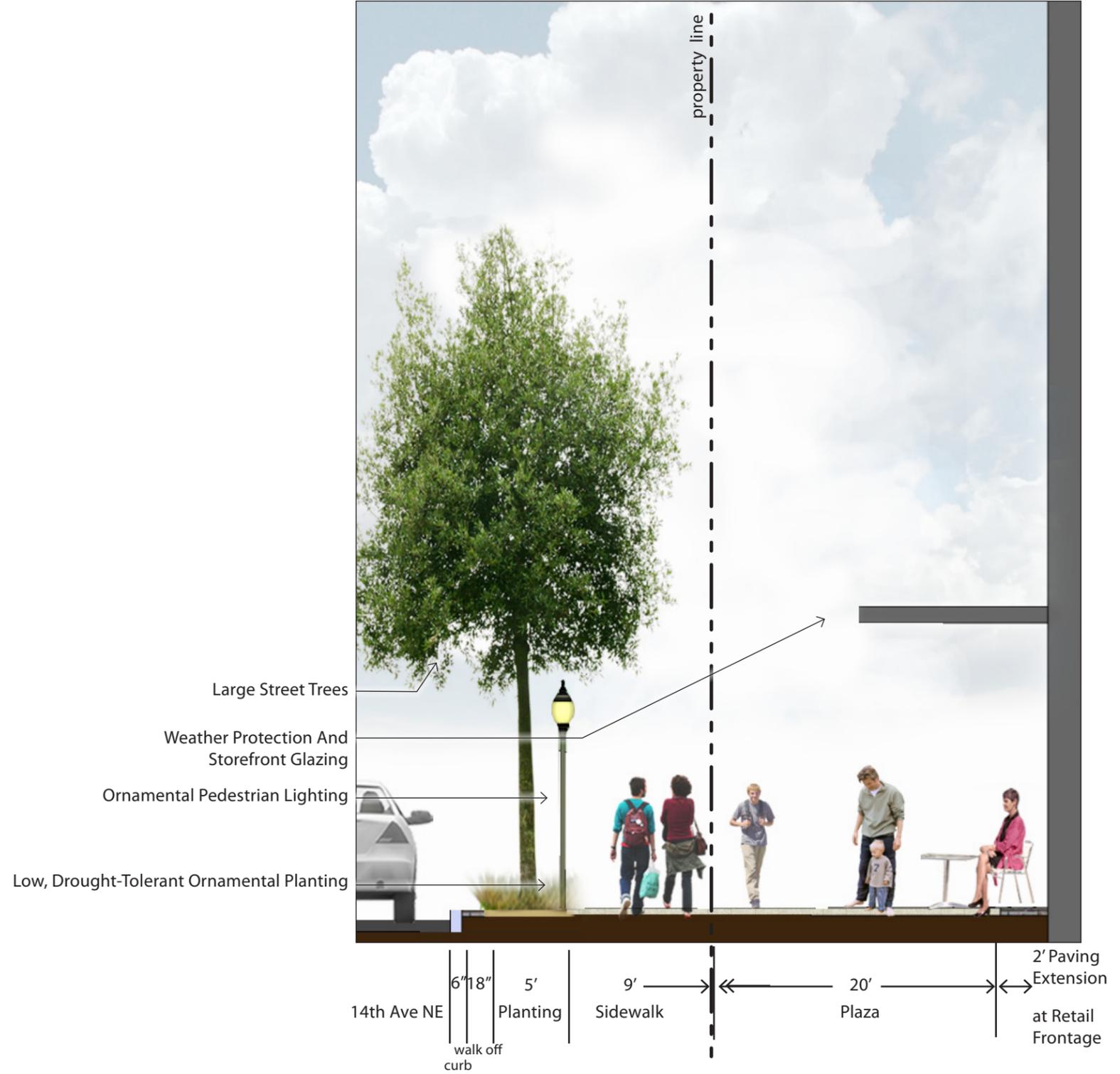


### Proposed Character

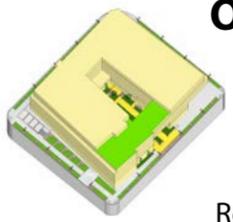
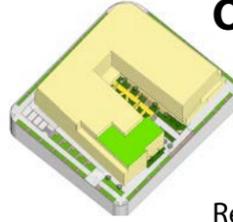
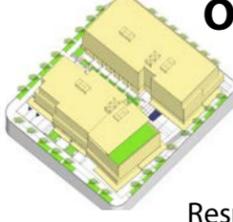


### Intimate Pedestrian Scale Environment Along Residential Streets

The proposed design will include wide planting strips with consistent rows of small ornamental flowering trees on either side of the sidewalk, relating to the lush character of 14th to the South. Sidewalks will be comfortable in width, framed by 4-season understory planting and a higher diversity of species.



# Proposed Alternative Concepts

	 <b>Option 1 - "O" Shaped</b>	 <b>Option 2 - "U" Shaped</b>	 <b>Option 3 - Two Buildings</b>
<b>Neighborhood Values</b>	<b>Response</b>	<b>Response</b>	<b>Response</b>
 Protect Views	 "O" shape building prevents views to portal of Roosevelt High School.	 U-shaped building preserves views to Roosevelt High School at edge but not through block.	 Two buildings preserves views to Roosevelt High School
 Active, vibrant, walkable, and pedestrian friendly environment.	 A variety of streetscape conditions support vibrancy.	 A variety of streetscape conditions support vibrancy.	 A variety of streetscape conditions support vibrancy.
 Effective transitions in height, bulk, and use.	 A single building presents a challenge to appropriate massing along 66th.	 A single building presents a challenge to appropriate massing along 66th.	 Two buildings break down the mass of the block.
 Create additional open green space.	 Two plazas are provided at ground level, but one is in shade for a loner portion of the day.	 Two plazas are provided at ground level.	 Two plazas are provided at ground level.
 Respect Roosevelt High School.	 Views to the school guide placement of the building perimeter.	 Views to the school guide placement of the building perimeter.	 Views to the school guide building placement.
 Appropriate selection of façade materials, design, lighting, and landscape.	 High quality materials at the lower portions of the building.	 High quality materials at the lower portions of the building.	 High quality materials at the lower portions of the building, more opportunities for landscape.
 Provide spaces for appropriate economic activities at the streetscape.	 Retail uses front 65th and the plaza.	 Retail uses front 65th and the plaza.	 Retail uses front 65th and the plaza.
 Provide interior and exterior spaces and amenities that support interaction.	 Ground level plazas and active street edges promote walking and gathering.	 Ground level plazas and active street edges promote walking and gathering.	 Plazas and active street edges promote walking and gathering around and through block
 Incorporate sustainable design and building.	 Locating housing near transit supports lower VMTs	 Locating housing near transit supports lower VMTs	 Increased solar access, ventilation, and shorter corridors reduce energy consumption.
 Keep a safe, clean environment for everyone, including Roosevelt students.	 Security and heavy foot-traffic buffers are incorporated.	 Security and heavy foot-traffic buffers are incorporated.	 Security and heavy foot-traffic buffers are incorporated, two buildings provide more site lines.
 Increase residential density to accommodate a fair share of new residents.	 High density mixed income housing near transit.	 High density mixed income housing near transit.	 High density mixed income housing near transit.
 Provide a fair share of affordable housing.	 17.5% of bonus floor area will be for affordable housing.	 17.5% of bonus floor area will be for affordable housing.	 17.5% of bonus floor area will be for affordable housing.
 Honor the planning process and involvement to-date by the neighbors.	 The preferred scheme arose from collaboration and engagement with the community.	 The preferred scheme arose from collaboration and engagement with the community.	 The preferred scheme arose from collaboration and engagement with the community.