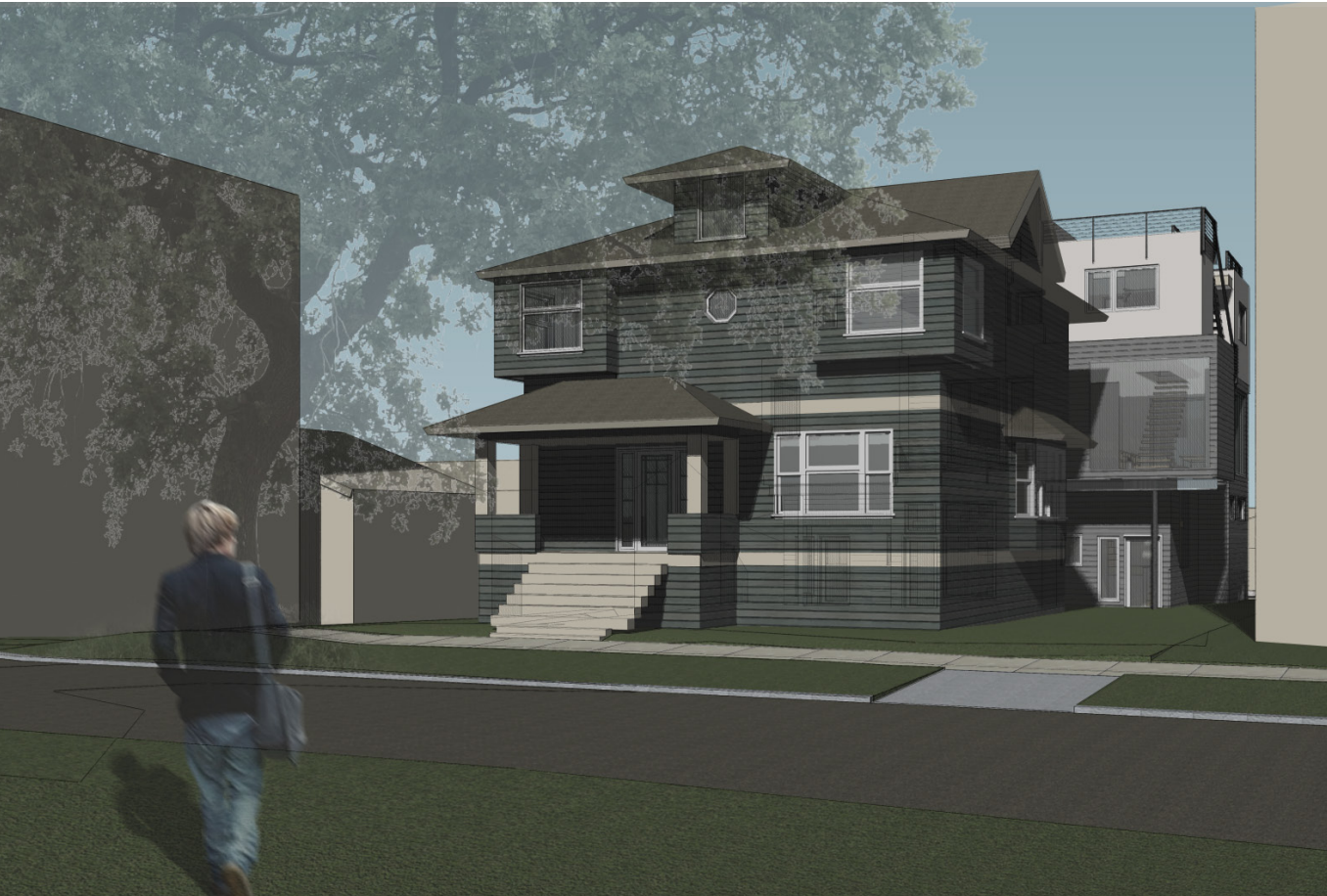


1 2 2 E





① panoramic view along 18th Ave. E, looking west



② panoramic view along 18th Ave. E, looking east



③ panoramic view from the site looking east



1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

Uses

The site is located on the east side of 18th Avenue East, one property south of the corner of 18th Ave E and E John Street. Its dimensions are 100 feet east-west and 50 feet north-south. The lot contains an existing single-family house, built in 1903 and remodeled only sparingly, that we will keep on the site.

Topography

The site is predominantly flat with a small step up from 18th Ave E and sloped down to the northeast, creating a 4' grade difference in its northeast corner.

Access

Both 18th Ave E and E John Street are modest streets with relatively low speed traffic used for vehicular, bicycle and pedestrian access. The nearby E. Thomas Street, one and one half blocks to the north, 15th Avenue E and 19th Avenue E are all minor or collector arterials. E Madison Street, three blocks to the south is a principal arterial.



① View looking southeast from 18th Ave E



② Looking east from 18th Ave E



③ Looking northeast from 18th Ave E



④ Looking northwest from E Glen St



⑤ Looking west from the back yard



⑥ Looking west from an adjacent parking lot



⑦ Looking southeast at the northwall of the existing building



⑧ Looking east into the driveway of the existing building



⑨ P-patch east of the site

existing site conditions

2. .Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.	
Site location:	122 18th Avenue E 5000 square feet
Site Zoning:	Lowrise LR-3
SEPA Review: CAM 208	Required with construction of over 8 dwelling units in LR-3, Not required in this parcel; see density calculation below (23.45.008).
Permitted Uses: 23.45.004	Residential Use: Townhouse and Single Family
Height: 23.45.514	Table A. Structure Height for Lowrise Zones in Feet. Maximum height is 30 feet for Townhouse Developments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts. D3. In LR3 zones, for structures subject to a 30 foot height limit, the ridge of pitched roofs on principal structures may either: a. extend up to 10 feet above the height limit, if the height exception provided in 23.45.514.F is not used, and the number of full stories above grade is limited to three; or b. extend up to 5 feet above the height limit, if the height exception provided in 23.45.514.F is used. E1. Shed and butterfly roofs in LR zones. In LR zones, the high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in Table A for 23.45.514, provided that the low side(s) of the shed or butterfly roof are no higher than the height limit (see Exhibit A for 23.45.514). F. For apartments in LR2 zones, and for all residential uses in LR3 zones, the applicable height limit is increased 4 feet above the height shown on Table A for 23.45.514 for a structure that includes a story that is partially below-grade, provided that: 1. This height exception does not apply to portions of lots that are within 50 feet of a single-family zoned lot, unless the lot in the LR zone is separated from a single-family zoned lot by a street; 2. The number of stories above the partially below-grade story is limited to three stories for residential uses with a 30 foot height limit and to four stories for residential uses with a 40 foot height limit; 3. On the street-facing facade(s) of the structure, the story above the partially below-grade story is at least 18 inches above the elevation of the street, except that this requirement may be waived to accommodate units accessible to the disabled or elderly, consistent with the Seattle Residential Code, Section R322, or the Seattle Building Code, Chapter 11; and 4. The average height of the exterior facades of the portion of the story that is partially below-grade does not exceed 4 feet, measured from existing or finished grade, whichever is less
Height: Rooftop features: 23.45.514	J4. In LR zones, the following rooftop features may extend 10 feet above the height limit set in subsections 23.45.514.A and F, if the combined total coverage of all features does not exceed 15 percent of the roof area or 20 percent of the roof area if the total includes screened mechanical equipment: a. Stair penthouses, except as provided in subsection 23.45.514.J.6; b. Mechanical equipment; J6. Subject to the roof coverage limits in subsections 23.45.514.J.4 and 5, elevator penthouses may extend above the applicable height limit up to 16 feet. J7. For height exceptions for solar collectors, see Section 23.45.545
Floor Area Ratio: Table A for 23.45.010	B. Floor Area Ratios. Floor area ratio limits apply in LR zones as shown in Table A for 23.45.510. Table A. LR3, Inside an Urban Village, for Townhouse Developments 1.2 or 1.4. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C C. In LR zones, in order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided. E. The following floor area is exempt from FAR limits: 3. The floor area contained in structures built prior to January 1, 1982 as single-family dwelling units that will remain in residential use, provided that: a. no principal structure is located between the existing single-family dwelling unit and the street lot line along at least one street frontage. If the single-family dwelling unit is moved on the lot, the floor area of the dwelling remains exempt if it continues to meet this provision; and b. the exemption is limited to the gross square footage in the single-family dwelling unit as of January 1, 1982.
Density: Table A for 23.45.512	Table A. Density Limits in Lowrise Zones: 1/1600 or No limit for Townhouses in LR3 zone. For townhouses that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.

Structure Width: Table A for 23.45.527	Table A. LR3 inside Urban Villages, Urban Centers or Station Area Overlay Districts is 150 feet. B1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.		
Setbacks and Separations: Table A for 23.45.518	For All LR Zones: Setback Front Rear Side Setback for Facades 40 feet or less Side Setback for Facades 40 feet or greater <table><tr><td>Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.</td><td>Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.</td></tr></table>	Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.	Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.
Single-Family 7 feet avg, 5 min. 0 with Alley, 7 if no alley 5 feet 5 feet min.	Townhouse Dev. 7 feet avg, 5 min. 7 feet avg, 5 min. 5 feet 7 feet avg, 5 min.		
23.45.518	F1. Separations between multiple structures. In LR zones, the minimum required separation between principal structures at any two points on different interior facades is 10 feet		
Parking: 23.54.015 Required Parking 23.54.030 Parking Space Standards 23.45.536 Parking location, access and screening	Table B Residential Uses – Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District(1) - No minimum requirement. B1. If parking is required, it shall be located on the same lot as the use requiring the parking, except as otherwise provided in this subsection 23.45.536.B . B2. Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except: a. between a principal structure and a street lot line b. in the required front setback or side street side setback; and c. within 7 feet of any street lot line.		
Landscaping standards: 23.45.524	A1. All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings. A2a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score. B1. 1. Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B . 2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.		
Amenity Area: 23.45.522	A1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. A2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. A4. For apartments, amenity area required at ground level shall be provided as common space. D1. All units shall have access to a common or private amenity area. D3. Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade. D5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions: a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. b. Common amenity area shall be improved as follows: 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees. 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.		
Design standards: 23.45.529	B. Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses that do not undergo any type of design review pursuant to Chapter 23.41, except single-family dwelling units.		
Standards for certain accessory uses: 23.45.545	C3. Solar collectors on roofs. Solar collectors that meet minimum written energy conservation standards administered by the Director and that are located on a roof are permitted as follows: a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).		



View from 18th Ave. E and E Denny Way looking east



View of Miller Park from E Thomas & 19th Ave. E



Seven Hills park on E Howell St. and 16th Ave E.



A grocery store ob 15th Ave E and E John St



16th Ave E & E John St.



Bus stop for bus#1 on 10TH Ave W and W Howe St.

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Land Use

The site is nestled between two apartment buildings, one from 1910 and the other from 1987. The area immediately surrounding the site is zoned LR 3 with areas of NC2-40. It is close to the several-block Group Health Hospital campus, and two blocks from Pendleton Miller Playfield. Generally, surrounding the site are three story multifamily apartment buildings, townhomes, and a sprinkling of single family houses of all sizes. Close by is a single-story garden apartment structure, and a bed and breakfast across the street. Immediately east of the site is a large apartment structure that abuts 19th Avenue E, and sets back from our site's east property line. The neighborhood's predominant typology is multifamily structures, which is apropos due to its inclusion in the Madison-Miller Residential Urban Village and very close proximity to the Capitol Hill Urban Center Village.

The site is shown in orange on the adjacent page in the aerial photo and zoning map.

Architecture

The single-family homes in the neighborhood are largely early 1900's with the multifamily structures ranging from early 1900's to new townhouse structures. There is no predominate architectural style or approach.

Topography and Views

The subject site is predominantly flat with a small step up from 18th Ave E and sloped to the northeast, 4' grade difference in its north-east corner. 18th Ave E is near or at the highest point topographically of the neighborhood with the topography sloping downhill immediately east of the site, creating opportunities for views of the Cascades and Lake Washington.



7

Single family house on 17th Ave E and E John St.



10

Apartment at 19th Ave E and E Denny Way.



8

Town house on E Glen St and 19th Ave E.



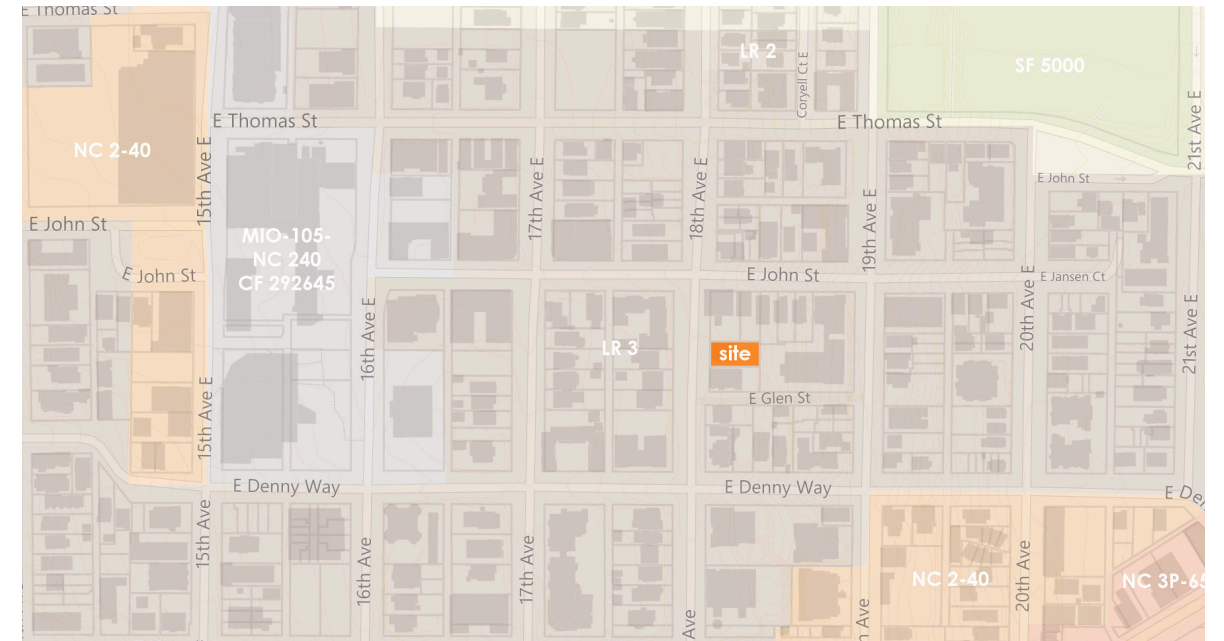
9

Town house project at 18th Ave E and E John St.



11

Single family house on 17th Ave E and E John St.



4. PROPOSAL

Please describe the applicant’s development objectives, indicating types of desired uses, structure height (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also include potential requests for departure from development standards.

Development Objectives

We strive to create a compelling community of homes; homes that acknowledge the area and the times, but also inject fresh concepts and energy into an existing neighborhood. We are proposing a group of four homes, three of which are attached, new construction, and the fourth is the existing house. All homes shall be clustered around an outdoor, shared courtyard. The courtyard, accessed from 18th Avenue E, provides a communal space at the heart of the project. A strong pedestrian connection to the courtyard is established south of the existing single-family home.

Desired Uses

The desired uses are residential townhomes and a detached home.

The three townhomes, ranging from 1400 to 1500 square feet will express their owners' environmental consciousness, progressive thinking, and individuality through the community focused site planning, architecture, systems, and locally sourced materials. Enriching natural light will reach deep into the homes because of thoughtful fenestration, double height spaces, and massing choices. Modulation of the exterior wall combined with decks and variation in materials and window treatment will express individual spaces and reduce the mass of the building. These homes will be certified a minimum of 4 Star built-green.

The townhomes' front doors will be at the internal courtyard space. Beyond enhanced security, this courtyard will serve as a place for people to cross paths as they come and go - the building block of a community. Many homes will have decks looking into the area in order to activate the communal space as much as possible. The courtyard will wrap around to the south side of the existing house, creating a strong connection to 18th Avenue E, beckoning visitors and welcoming owners home.

The existing single-family residence will become part of this new community. It will have a back door that opens to the courtyard, and will share in other community features. It will be moved forward on the site, creating a stronger engagement with the street while opening up its current backyard. This becomes the site for the new triplex.

Structure Height

Zoning allows 30 feet in height, or 34 feet in height for a structure that includes a story that is partially below-grade, with additional 4 feet for a parapet. It is our intent to utilize the full height permitted.

Access and Parking

Since the site is located within the Madison-Miller Residential Urban Village parking is not required, and will not be provided.

Potential Design Departures

Structure Width and Façade Length Limits in LR zones:

In order to reduce our overall east – west façade (the north and south elevations of the project), we are eliminating 8 feet of the existing house. This will happen as part of a remodel to that home when it is moved forward on the lot. Nonetheless, the project still requires design departures for façade length. As such we are requesting a design departure for façade length on both sides of the parcel (north and south). The proposed aggregated façade length is:

First Floor – 71'-5 3/8" = 71.5% allowable with adjustment through SDR
Second Floor – 76'-11 3/8" = 77% Departure requested
Third Floor – 72'-11 3/8" = 73% Departure requested

The massing along the north and south façades is highly modulated to reduce the scale and presence of the wall. In addition, there will be substantial glazing where appropriate to reduce the mass further. Further reducing the impact is the south side setback of the existing house.

Setbacks and Separations:

In order to keep the existing single-family structure on the site, and to provide useable floor sizes, we are requesting a design departure for two of our setbacks and the separation between the structures.

Setback Departure for the Rear Yard:

The rear setback is proposed at a minimum of 5'-2 ½" and an average of 5'-5 ¾". Generally speaking, to mitigate this departure we will modulate and activate all sides of the homes. While tempting to build simple, cheap monolithic walls, our approach is to build interesting, even dynamic walls on all sides of the townhouses. As such the setbacks vary from floor to floor:

Basement Floor – 6.125 feet minimum setback and average setback;
First Floor – 6.125 feet minimum setback and average setback;
Second Floor – 5.21 feet minimum setback and 6.1 feet average setback;
Third Floor – 5.21 feet minimum setback and 6.1 feet average setback.

This push and pull creates the perception of a larger setback for the wall. It will be highly fenestrated to reduce its sense of mass as well.

Setback Departure for the South Side:

The second setback departure is along the south façade. Here, we propose 10'-11" of wall 3'-2" north of the south property line. While the required setback is a minimum of 5 feet, we are proposing little to no glazing on this south facing wall. This departure is important to the look and feel of the project. It creates the dense urban infill condition that the code intends by partially filling in the nearly 21 foot gap between the existing house and apartment building to the south. The resulting gap will be around 9 feet. Additionally, it improves the legibility of the structure behind the existing single family home. The façade, at 55' feet back from the street, is far more interesting as it reaches west and south. A large glass expanse on this façade provides eyes on the common amenity area as it wraps around to the south of the existing house. This move is also important to the modulation goals for the south side, further reducing the wall's impact.

Separations Departure:

Shifting the volumes back and forth illustrates our desire to create sheltered outdoor communal space while providing more access to daylight from above. The first floor steps in on two of the homes, the second floor steps out on the same two homes and the third floor steps back on all homes. We are proposing to vary the required 10 foot separation in order to create a dense interior courtyard characterized by intrigue and light.

The proposed separations vary from floor to floor:

First Floor – varies from 15'-3 ½" at the north and south townhomes to 9'-9 ½" at the middle townhome;
Second Floor – varies from 8'-3 ½" at the north and south townhomes to 11'-3" at the middle townhome;
Third Floor – varies from 12'-3 ½" at the north and south townhomes to 11'-3" at the middle townhome;

Similar to our design of the east wall of the townhome structure, our design shall create an interesting, active, modulated wall instead of a monolithic façade that complies with the 10-foot separation.

(see Pages 10 and 11 for further explanation and diagrams)

5. Design Guildelines.

A brief description of how the proposal meets the intent of the applicable citywide and neighborhood design guidelines. Identify design guidelines most relevant to the proposal.

A-1. Respond to Site Characteristics:	The building's massing reflects a desire to address all four abutting sides, with a reduction in massing where the proposed structure meets the existing single-family structure and in the courtyard at the project's center. The rear of the site, the location for our proposal, has great separation from existing adjacent structures and therefore great exposure to the north, east and south. Roof access points are positioned to eliminate the impact of the additional height in those areas.
A-2. Streetscape Compatibility:	The existing single-family residence abutting 18th Ave E is retained to maintain the existing streetscape. It will be moved forward on its foundation to provide ample room for the new structure at its rear, respecting the setbacks of the adjacent apartment structures. Landscaping will be provided that is appropriate in this open space.
A-3 Entrances Visible from the Street:	The existing single-family structure has a strong and visible entrance from the street. The entrances for the triplex will be from a courtyard behind the existing structure with one townhouse visible from the street. The massing strategy and entry sequence from the Courtyard towards the street will announce the rear structure's presence, and their entrances, to the street.
A-5 Respect for Adjacent Sites:	SMC 23.45.510E2, Floor Area Ratio exempts the floor area contained in the existing single-family residence, constructed in 1903. By keeping the existing single-family structure on site, we respect and reinforce the character of 18th Avenue E and its adjacent sites. The proposed building minimizes height where it abuts the existing house. The new townhouse structure abutting the existing house is raised off the ground to allow access beneath it. In order to save the existing single-family home we need to create three substantial homes at the rear of the site. In order to accomplish this we need an adjustment for the length of wall permitted along the south property line.
A-6 Transition Between Residence and Street:	By keeping the existing single-family structure on site, we maintain the existing transition between the residence and the street. The proposed structure at the rear of the site will be visible to the south of the existing residence in order to create a strong connection to the street for its inhabitants and visitors. This allows for a strong pedestrian connection to the triplex structure and the courtyard between the four homes. This courtyard, and its extension along the south side of the single family house, will provide a thoughtful and assuring transition from the street to the homes.
A-7 Residential Open Space:	The amenity space requirement is provided in a private front yard for the existing single-family structure. Additionally there will be a common courtyard accessible to all homes at the center of the site. Amenity space is also provided on private roof decks for each of the new homes. Each new home will also have at grade outdoor space to the east, directly adjacent to a small pea patch garden on the abutting parcel.
A-8 Parking and Vehicular Access:	The existing curb cut will remain for temporary vehicular access only. The development proposal is not providing any off street parking.
B-1. Height, Bulk and Scale Compatibility:	By saving the existing single-family structure, the 18th Avenue E façade maintains form and size consistent with the adjacent residential structures. The new structure will be primarily three stories with flat roofs referencing the massing, bulk and scale of the two immediately abutting apartment structures. A primary volume of new the structure will raise one and a half stories off the ground adjacent to where it abuts the existing single-family structure. The new construction's east façade is modulated with material changes, shifts in plane and large amounts of glass to reduce its bulk and scale. The new structure also steps back from the courtyard to provide a more pedestrian scale at the center of the site.

C-1 Architectural Context	The proposed architectural solution respects the dominant architectural context along 18th Avenue E by preserving the existing single-family residence at the street. The new structure will appropriately reference the somewhat eclectic massing in the neighborhood and without imitating it. The specific roof and parapet design of the new structure provide a modern façade treatment on all sides.
C-2 Architectural Concept and Consistency:	The design approach is informed by three primary concepts: save an existing turn of the century home, design opportunities for shared community interaction, and manipulate unique volumes for living spaces that interact with each other and the community spaces. The building's entry and courtyard offer spaces for planned and informal interactions, and the homes, each unique, are arranged around the courtyard in a manner that allows connection and privacy simultaneously. The original driveway is recreated connecting the street to the courtyard as the primary pedestrian and, perhaps, occasional vehicular access. Its detailing and orientation will invite the inhabitants and their guests to find their way to the back townhouses.
C-4 Exterior Finish Materials:	We will use durable and maintainable materials at the buildings' exterior that also respect the need for sustainability. The majority of the siding is proposed to be painted ship-lap with areas of contrasting panels.
D-7 Pedestrian Safety:	We intend to have all pedestrian access come from 18th Avenue E. The access to the courtyard will be well lit and have a direct view from all the homes. The portion of the new home abutting the existing single-family structure and the street will maximize glazing in order to create significant interaction with the pedestrian street front.
E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites:	For this site, the landscaping approach starts with the access walkway to the courtyard. This shall be edged with landscaping native to the Northwest such as edibles that benefit from obstructed south light. The courtyard shall be carefully landscaped including special pavements, trellises, screen walls, planters. All setbacks, except the front, shall be landscaped to provide screening. In addition site furniture shall be incorporated into the design of the ground and outdoor decks above grade in the project. The landscaping, broadly defined to include existing and new trees, the plants in the amenity spaces, and the plantings in the courtyard shall enhance and help stitch together the project site with its surroundings.

Departure requests and explanations (see Page 8 for further information)**1. Façade Length:**

The façade length of the apartment structure immediately south of the development site is approximately 65 feet. It is a four-story building whose gross façade area is approximately 2550 square feet and is located 5'-6" south of the abutting property line. Our proposed townhouse structure has a gross façade area of 1198 square feet within 7 feet of the property line. The existing structure that will remain has a gross façade area of 890 square feet, setback 13'-9 ½" from the abutting side property line. When combined the two structures have a gross façade area of 2088 square feet, significantly less than the existing apartment building to the south. For its average setback refer to Item 3, South Setback, below. This is also significantly less than the gross façade area of our Alternative 1. If the existing house were merely 1'-2 ½" further away from the south property line, we would meet the requirements of code section 23.45.527 and not need this departure on the south façade. The north façade is sufficiently far enough away from the adjacent 100+ year-old apartment building to the north. See Figure 1 below demonstrating the wall areas described above and Figure 4 on page 11 for the site plan.

2. Separation between structures:

Careful attention has been paid to the design of the modulated west-facing façade of the proposed townhouse structure. Although there are areas that are proposed to encroach on the required 10-foot separation between structures, that encroachment is limited to 33% of the west façade of the townhouse structure. In these locations, privacy is carefully considered so that windows on the new structure are opposite solid wall on the existing single-family home and windows on the single family home are opposite solid wall on the townhouse structure. The large window on the west façade of the townhouse structure (shown on page 15 in all views) faces the street directly. See Figure 2 below for a drawing of the east elevation of the existing house with a shaded area showing the solid wall on the proposed townhouse structure. See Figures 4 – 6 on page 11 demonstrating the modulation in the separation between the structures in plan view.

3. South Setback: Provide the average setback along the south property line.

The proposed structure is positioned with a majority of its south façade within 5 feet of the property line and a small portion at the second floor only which extend to 3'-2". Because the existing house is located nearly 14 feet from the

south property line it creates a larger perceived setback for the development site. When calculated together, the average side setback for both structures is 9'-1" far in excess of the required average setback of 7 feet. Refer to Figure 4 on page 11.

4. Rear setback:

The condition of property directly abutting our development site to the east (rear) supports our request for a departure of the rear setback. Immediately adjacent to our rear property line is a 10'-6" deep p-patch that provides a landscaped buffer that effectively becomes part of our rear setback. The site directly east of the p-patch is an apartment building, completed in December 1999. It is located far from its rear property line, with a rear setback of 39'-8". That distance, added to the 10'-6" of the p-patch has the first section of the 2-story portion of the apartment structure 50 feet from our site's rear property line. In addition the topography creates a sectional separation as the p-patch and abutting property slope downhill to the east as shown in Figure 1 below.

Although it is less than the average requirement of 7 feet, the average setback at each floor is 6.1 feet, more than the 5-foot required minimum distance. The distance between our proposed eastern façade and the western most

wall of the abutting apartment building to the east is 56.125 feet.

See Figures 4 – 6 on page 11 for plan views of this condition.

5. Front Setback Front Porch:

Once the existing single-family structure is moved approximately 10 feet closer to 18th Ave E, the steps to its front porch will be reconstructed at the code permitted rise and run, reducing the number of steps by 1. The steps will be designed to create a stoop that engages with the pedestrian environment of 18th Ave E, open from both sides, with open railings. The apartment building to the north is located right at its property line and the apartment building abutting the site immediately to the south has a similar but covered front porch condition that comes to the property line.

See photograph 1 on page 4 for the street condition described above. For the proposed position and general design of the front stoop refer to image 1 on page 14 and images 4 and 5 on page 15.

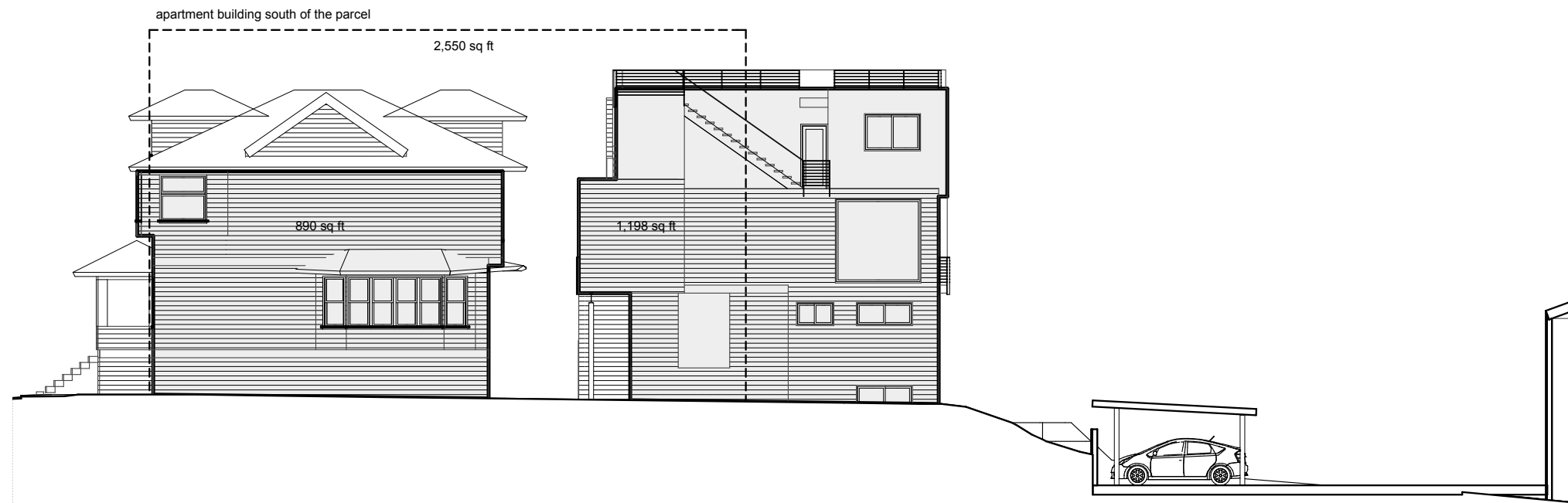


Figure 1: South Elevation View demonstrates wall area related to Façade Length.

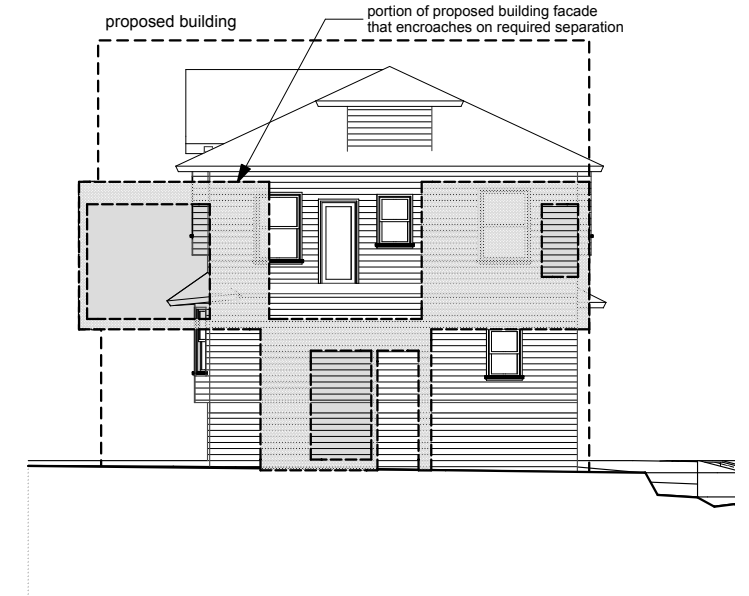


Figure 2: East Elevation of existing Single-family house demonstrates wall area that encroaches on Separation requirement

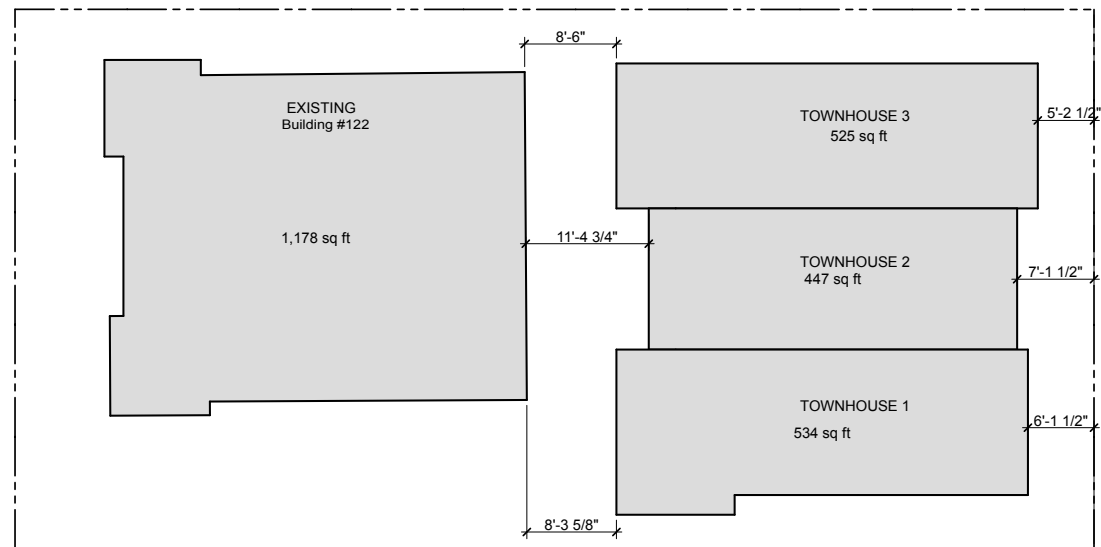


Figure 4: Second Floor Plan

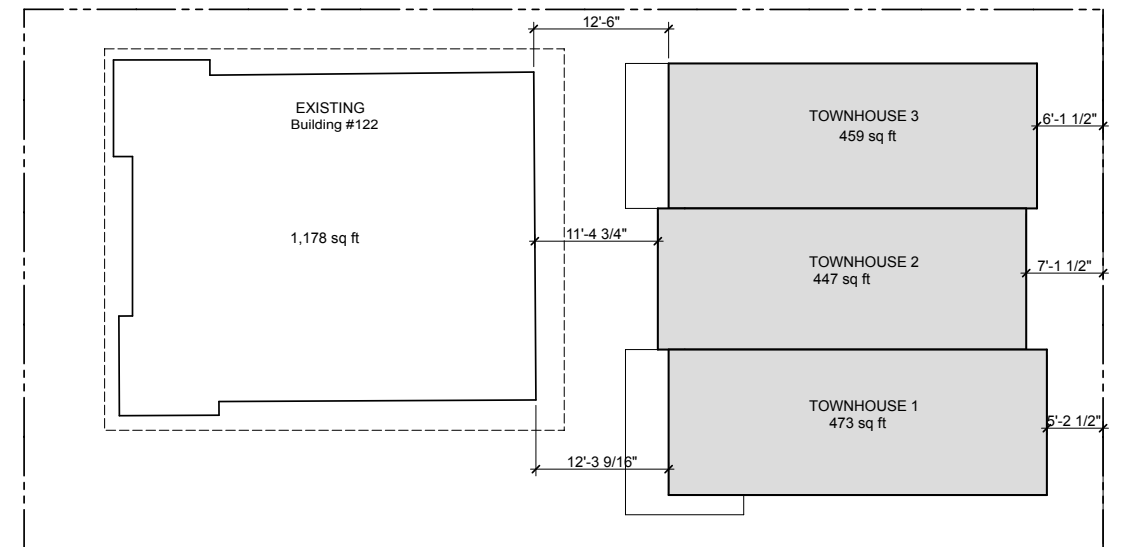


Figure 5: Third Floor Plan

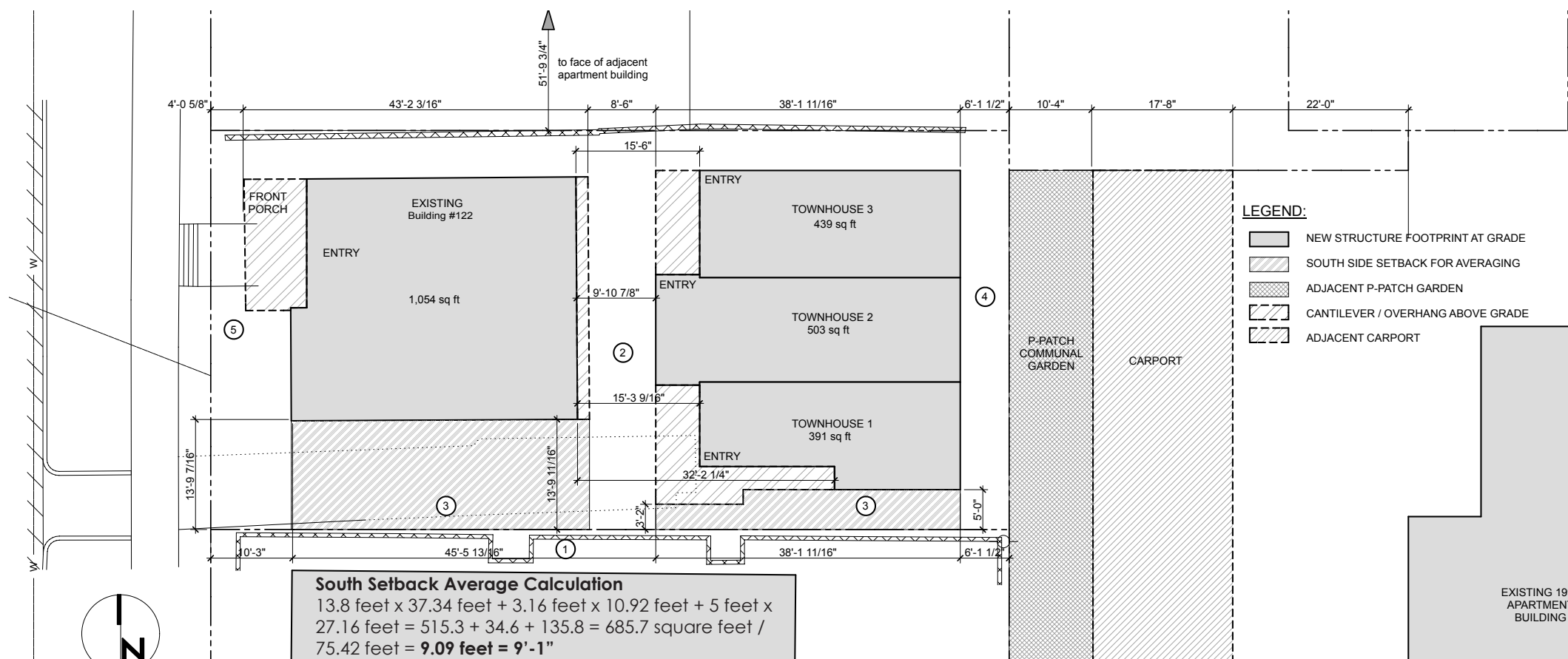
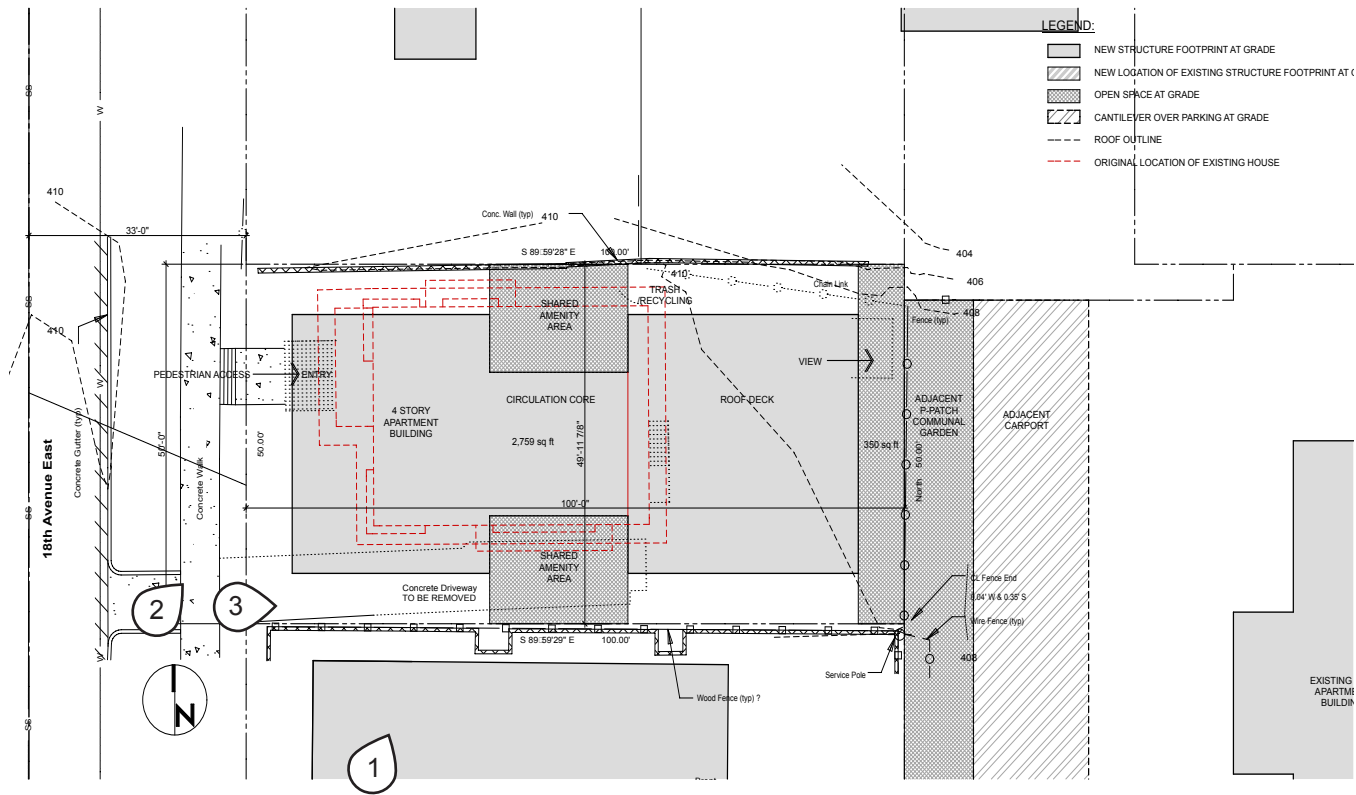


Figure 3: Site Plan



View of project from southeast at driveway entry to adjacent apartment structure.



① aerial view from southwest.

Alternative 1:

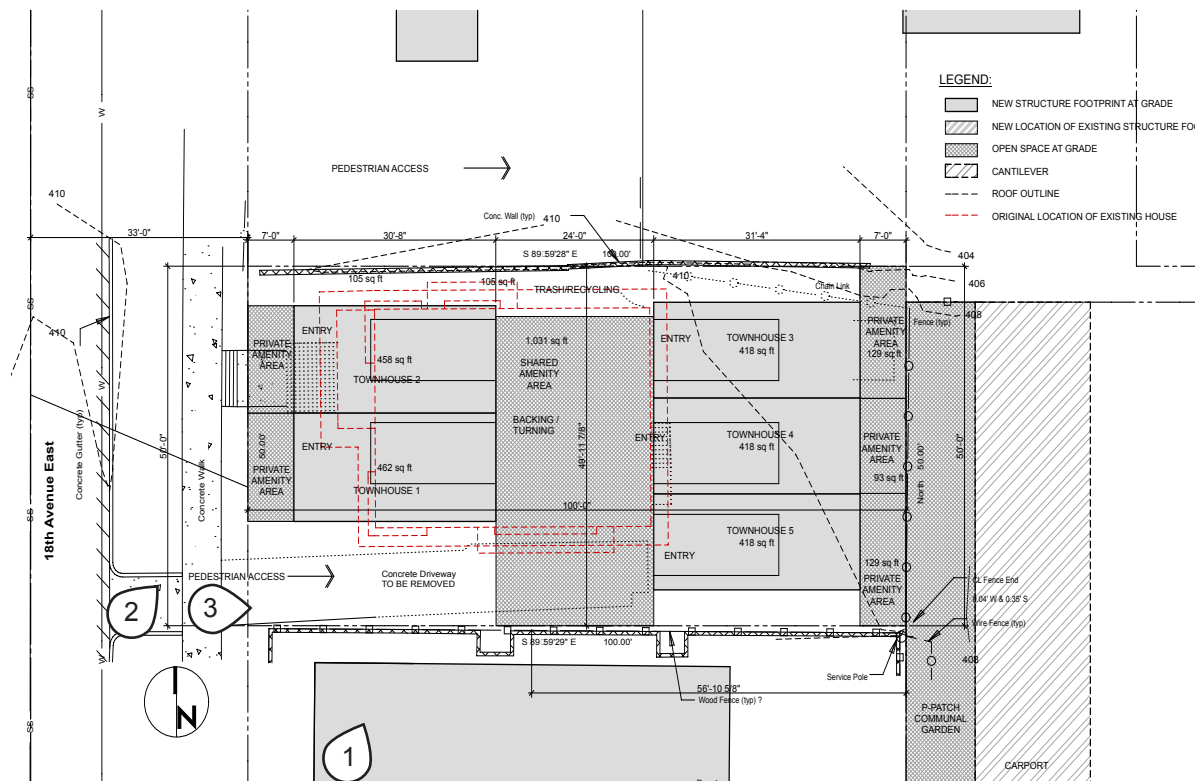
Alternative 1 proposes to construct a four-story apartment development that maximizes allowable FAR while providing no parking. This scheme provides a common roof deck on top of the rear portion of the apartment structure with parapets to the maximum allowable height in the zone for apartment which is 40 feet. The existing 1903 single-family residence, in very good condition is demolished to make room for this solution. Amenity space is provided in two communal spaces at grade and on a shared roof deck. This solution fills much of the development site between two existing apartment structures.



② view from 18th Ave E to the west.



③ view down south walkway.



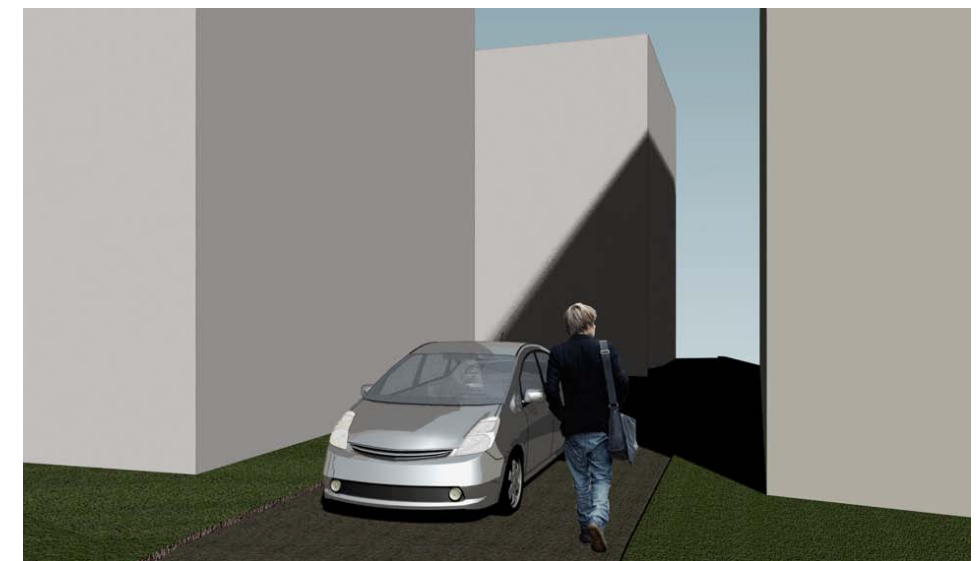
① aerial view from southwest.

Alternative 2

Alternative 2 proposes to construct a three-story townhouse development that maximizes allowable FAR and provides parking in private garages accessed via a common drive court from 18th Avenue E. This scheme provides roof decks with parapets to the maximum allowable height in the zone for townhouses. The existing 1903 single-family residence, in very good condition is demolished to make room for this solution. Amenity space is provided in private yards and on private roof decks, with no real space for communal gathering. The pedestrian experience is similar to that of the automobile, using the driveway and parking court for access to the rear townhouse structure.

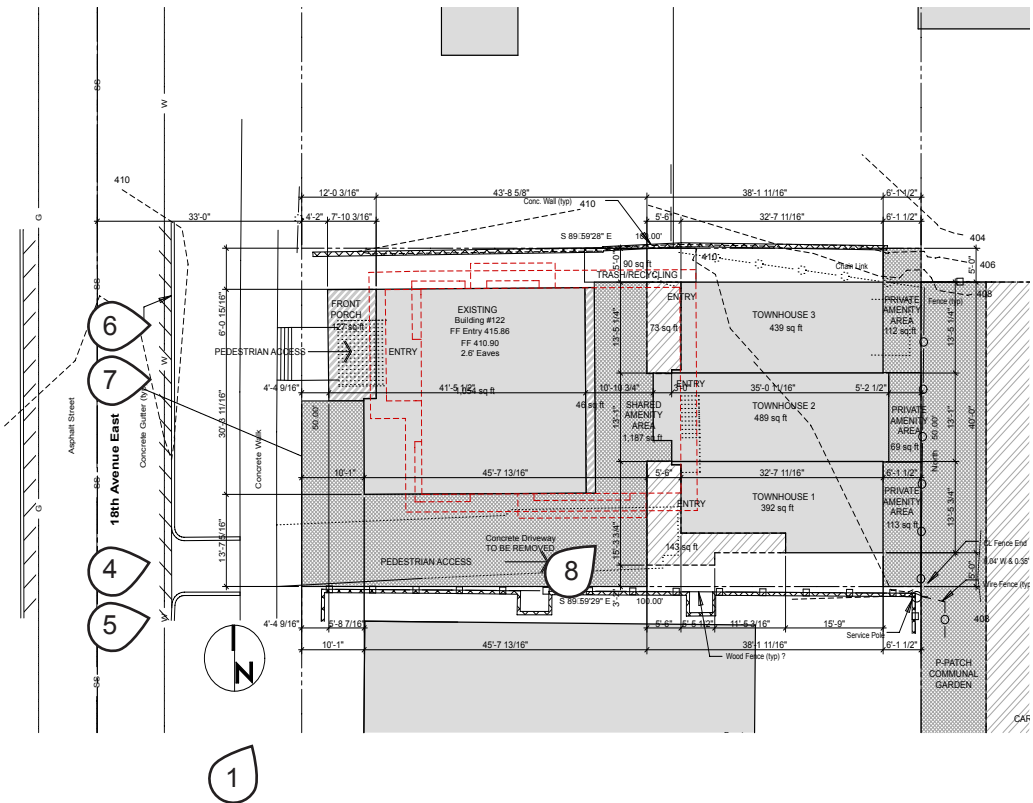


② view from 18th Ave E to the west.



③ view down the shared automobile and pedestrian access.

alternative 2 - auto focused townhouses



Preferred Alternative

The Preferred Alternative embraces the potential of the new Multifamily code. By saving the existing 1903 home, an important contributor to the existing neighborhood fabric, this solution embraces the incentive in the code to maintain existing housing. In order to protect this house and keep it on the development site the solution proposes to move the house forward approximately 10 feet, stitching together the its adjacent structures better. The new structure is pushed to the rear of the site into an existing void between adjacent structures and creates a space of intrigue and pedestrian activity. The design is informed by three primary concepts: save an existing turn of the century home, design opportunities for shared community interaction, and manipulate unique volumes for living spaces that interact with each other and the community spaces. The original driveway is recreated connecting the street to the courtyard as the primary pedestrian and, perhaps, occasional vehicular access.



① aerial view from southwest



② view from the neighboring apartment driveway to east.



③ aerial view from southeast.



④ view from southwest on 18th Ave E



⑤ view from southwest on 18th Ave E with front structure hidden



⑥ view from west on 18th Ave E



⑦ view from west on 18th Ave E with front structure hidden



⑧ view from north into the courtyard

preferred alternative - 1903 4-square + 2012 triplex

Alternative 1**Brief Description**

This design includes an apartment structure that fills the allowable zoning envelope, taking advantage of the higher FAR allowable in LR3 in the Madison-Miller Residential Urban Village. In addition, no parking is provided due to its location in an Urban Village.

Advantages

Maintaining compliance with the Land Use Code, this design requires no departures. Apartment uses in this zone take advantage of the highest allowable FAR. There is a large communal roof deck on the eastern portion of the structure taking advantage of the views to the east.

Issues

This scheme requires that we demolish the existing 1903 4-square home as part of the development proposal. It also provides a massive building solution with a 40-foot allowable height where a well-scaled single-family home currently resides. There is little open space for the tenants at the ground level.

**Alternative 2****Brief Description**

This design utilizes a 24-foot parking court and 10-foot wide driveway for pedestrian and automobile access a five townhome development. It maximizes the allowable FAR or townhouses taking advantage of the higher FAR allowable in LR3 in the Madison-Miller Residential Urban Village.

Advantages

Maintaining compliance with the Land Use Code, this design requires no departures. The parking court strategy provides one off street parking stall for each townhome. Each home would have a private roof deck to take advantage of the views to the east.

Issues

This scheme requires that we demolish the existing 1903 4-square home as part of the development proposal. It also provides an automobile oriented solution with a where a well-scaled single-family home currently resides. There is little open space for the tenants at the ground level.

**preferred alternative****Brief Description**

The Preferred Alternative embraces the potential of the new Multifamily code. By saving the existing 1903 home, an important contributor to the existing neighborhood fabric, this solution embraces the incentive in the code to maintain existing housing. In order to protect this house and keep it on the development site the solution proposes to move the house forward approximately 10 feet, stitching together the its adjacent structures better. The new structure is pushed to the rear of the site into an existing void between adjacent structures and creates a space of intrigue and pedestrian activity.

Advantages

This scheme allows us to keep the existing 1903 4-square home that is in such great condition. The original driveway is recreated connecting the street to a courtyard shared by all occupants. The automobile is minimized, although occasional vehicular access would be considered in the design of the new pedestrian access. This is the most sustainable solution of the three alternatives.

Issues

In order to keep the existing single-family structure on the site, and to provide useable floor sizes, we are requesting a design departure for two of our setbacks and the separation between the structures.

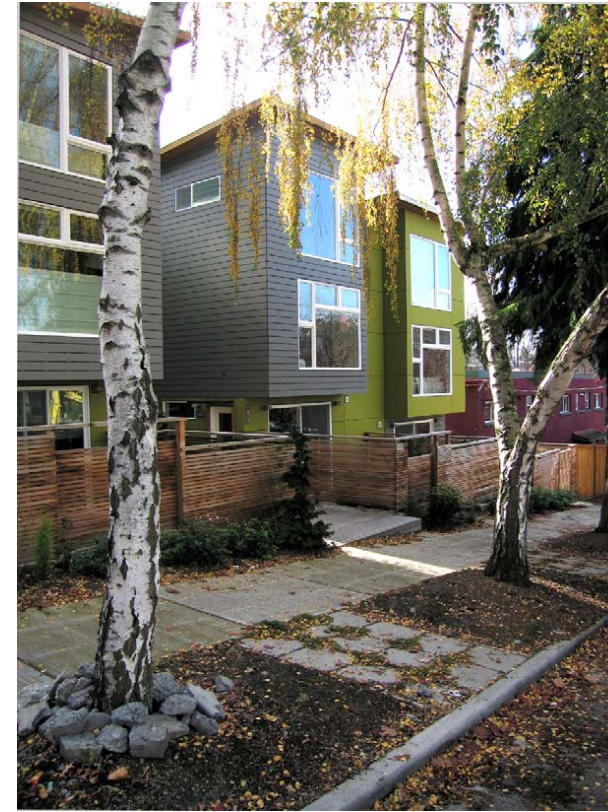




① 208 18th Ave. E. exterior view from street



② 1504 19th Avenue Duplex behind SF House



③ 1411 E. Fir St. exterior view from street

⑦ 1411 E. Fir St. interior boardwalk view

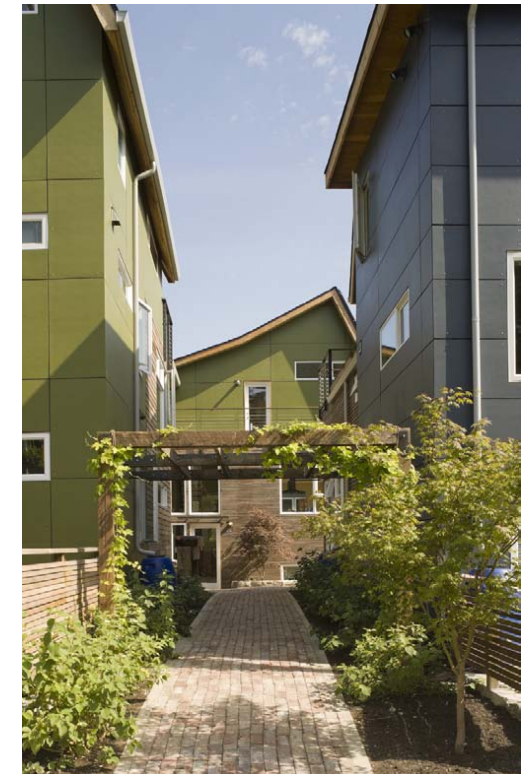
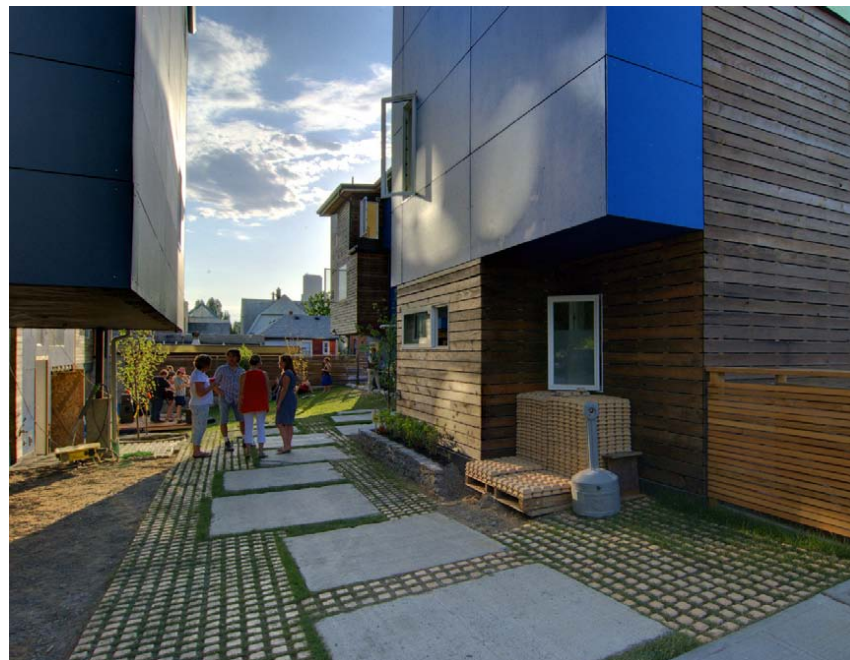


④ 1911 E. Pine St. courtyard view from a deck

⑧ 1911 E. Pine St. view from street



⑥ 1818 E Yesler Way. view of a woonerf



completed work examples