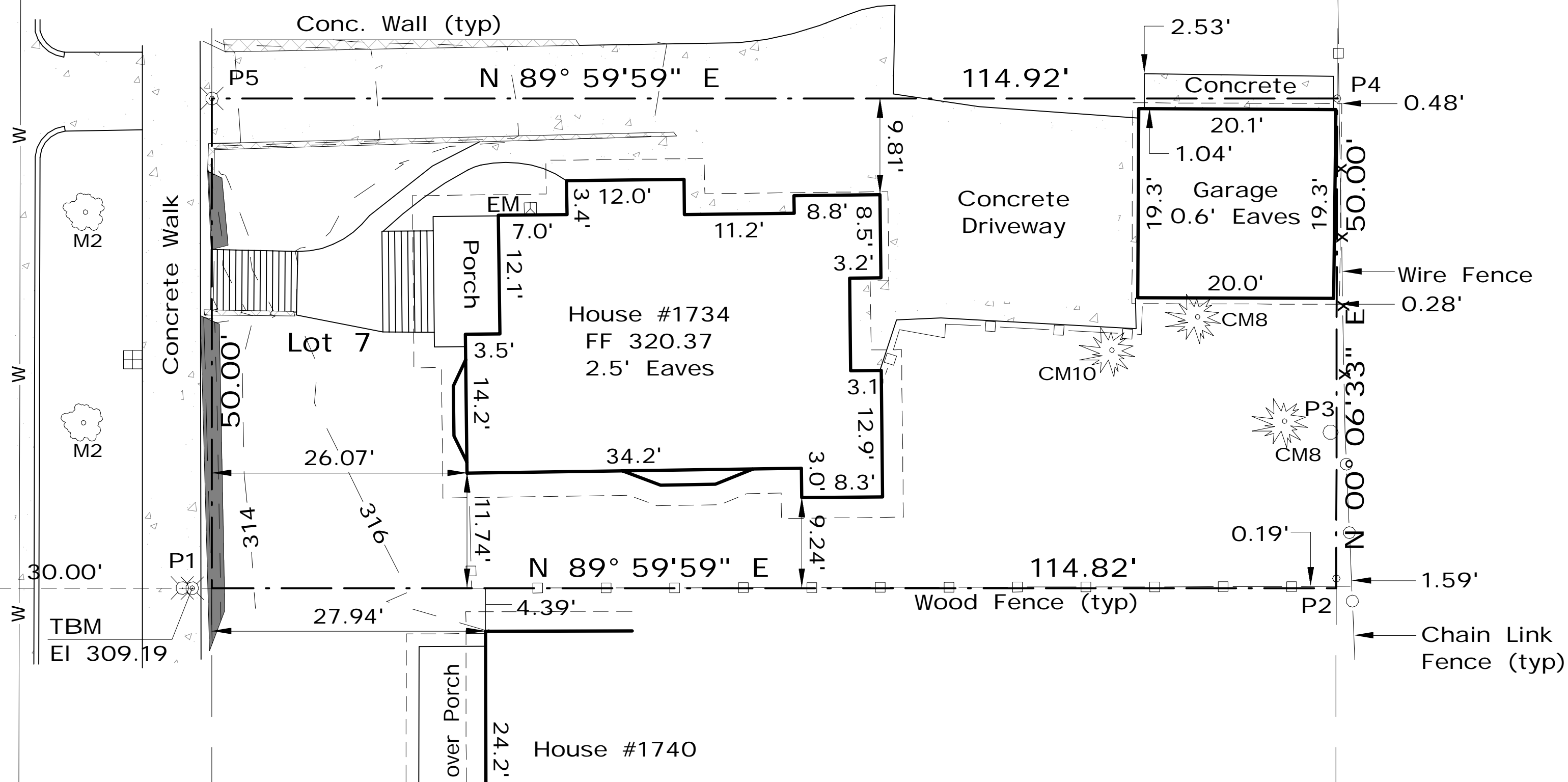




13th Avenue South





AERIAL VIEW LOOKING EAST

PROJECT SITE - 1734 13th Ave S



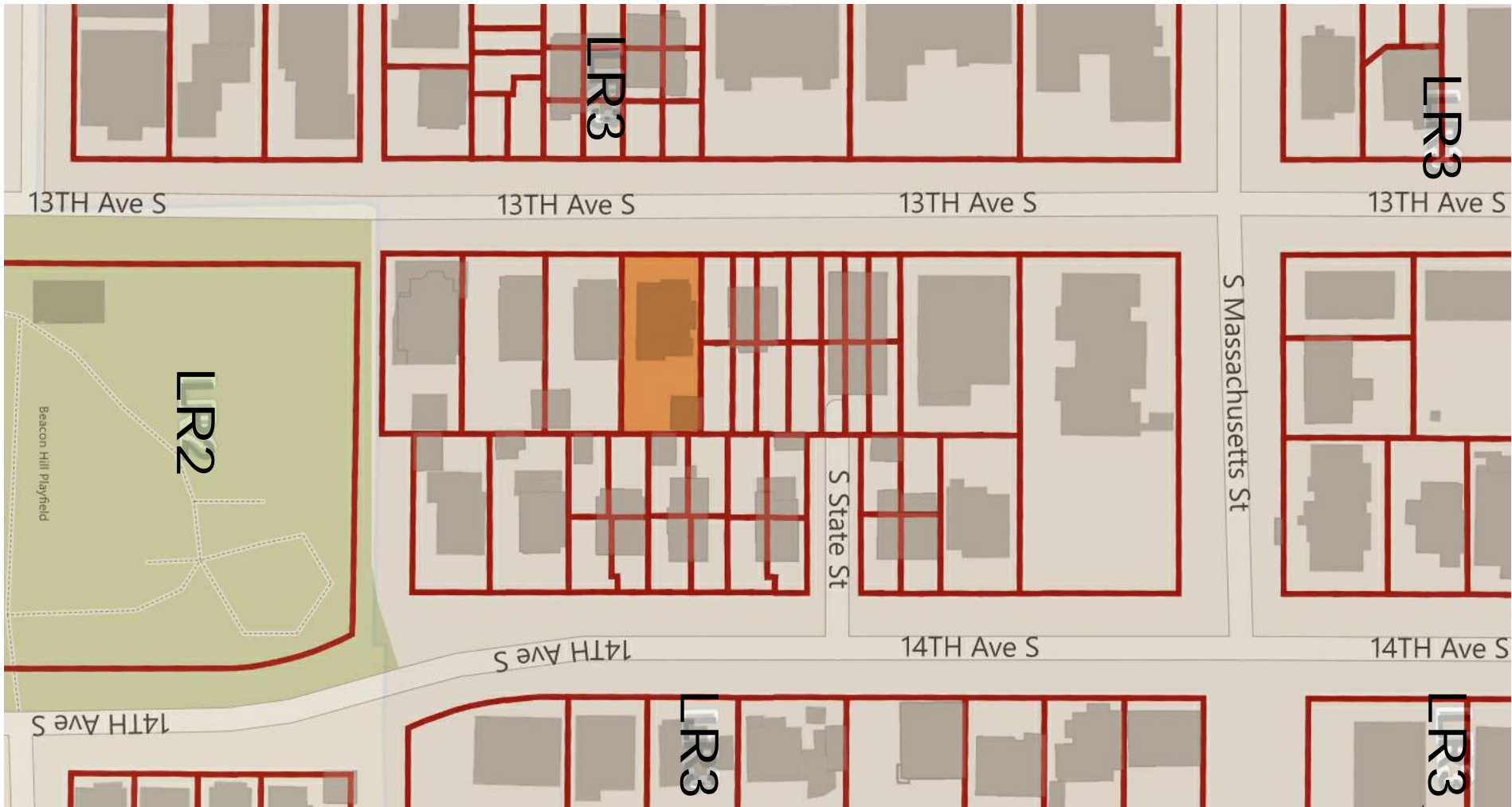
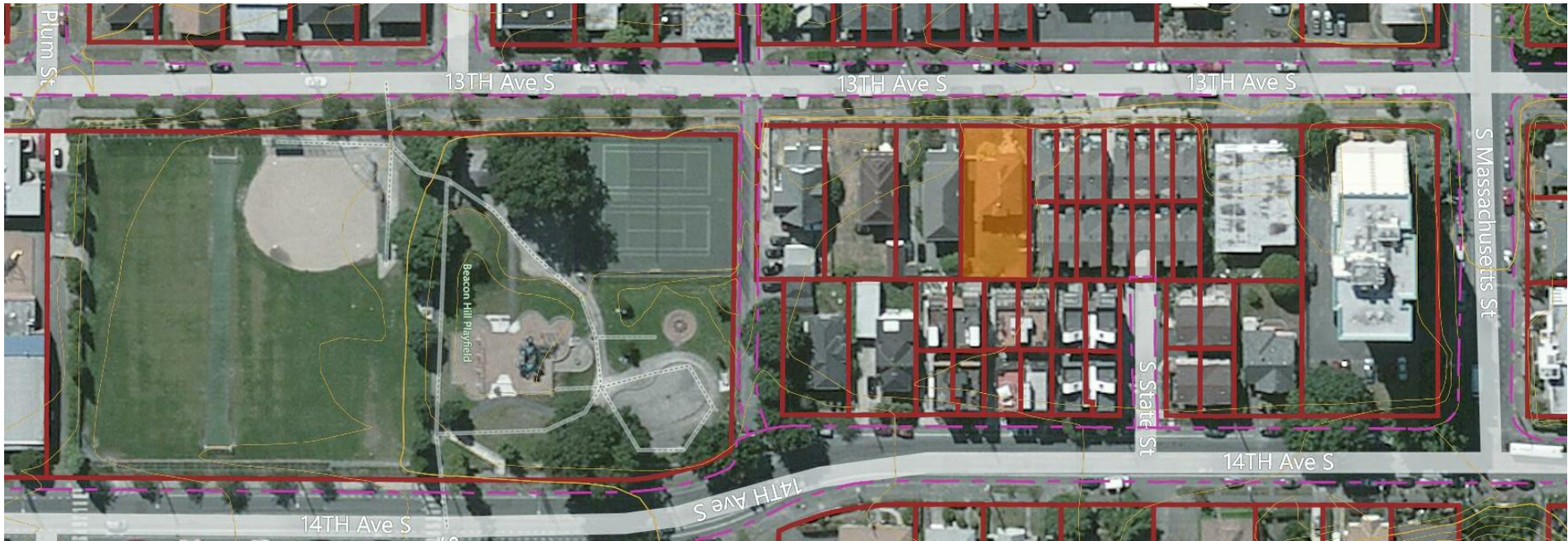
TOWNHOUSES NEXT DOOR (NORTH)



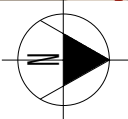
HOUSES NEXT DOOR (SOUTH)



13TH AVE S ELEVATION LOOKING EAST



BUILDING PATTERN AND ZONING



AERIAL VIEWS

SITE AND DEVELOPMENT INFORMATION

I. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

The Project site fronts on 13TH Ave S, a fairly quiet neighborhood street on the top of the north end Beacon Hill. The site is about ¾ of a mile north of the Beacon Hill light rail station. The site is one block west of 14th Ave S, the main arterial that runs along the top of Beacon Hill. 14th is a frequent transit corridor and is well connected to the rest of the city by Metro Bus service. Existing uses along 13th street are an eclectic mix of single family homes, apartments buildings, and new townhouse construction.

II. Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.

The Base zoning is LR3. The Project site sits within the North Beacon Hill Residential Urban Village. North Beacon Hill has a set of neighborhood specific design guidelines. The neighborhood guidelines are primarily concerned with development of the commercial core, and mitigating impacts of C zone development sites next to SF zoned land. In our case, the site is on a neighborhood street, surrounded by property of the same LR3 zoning. The context is highly eclectic, without a defined architectural character.

III. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

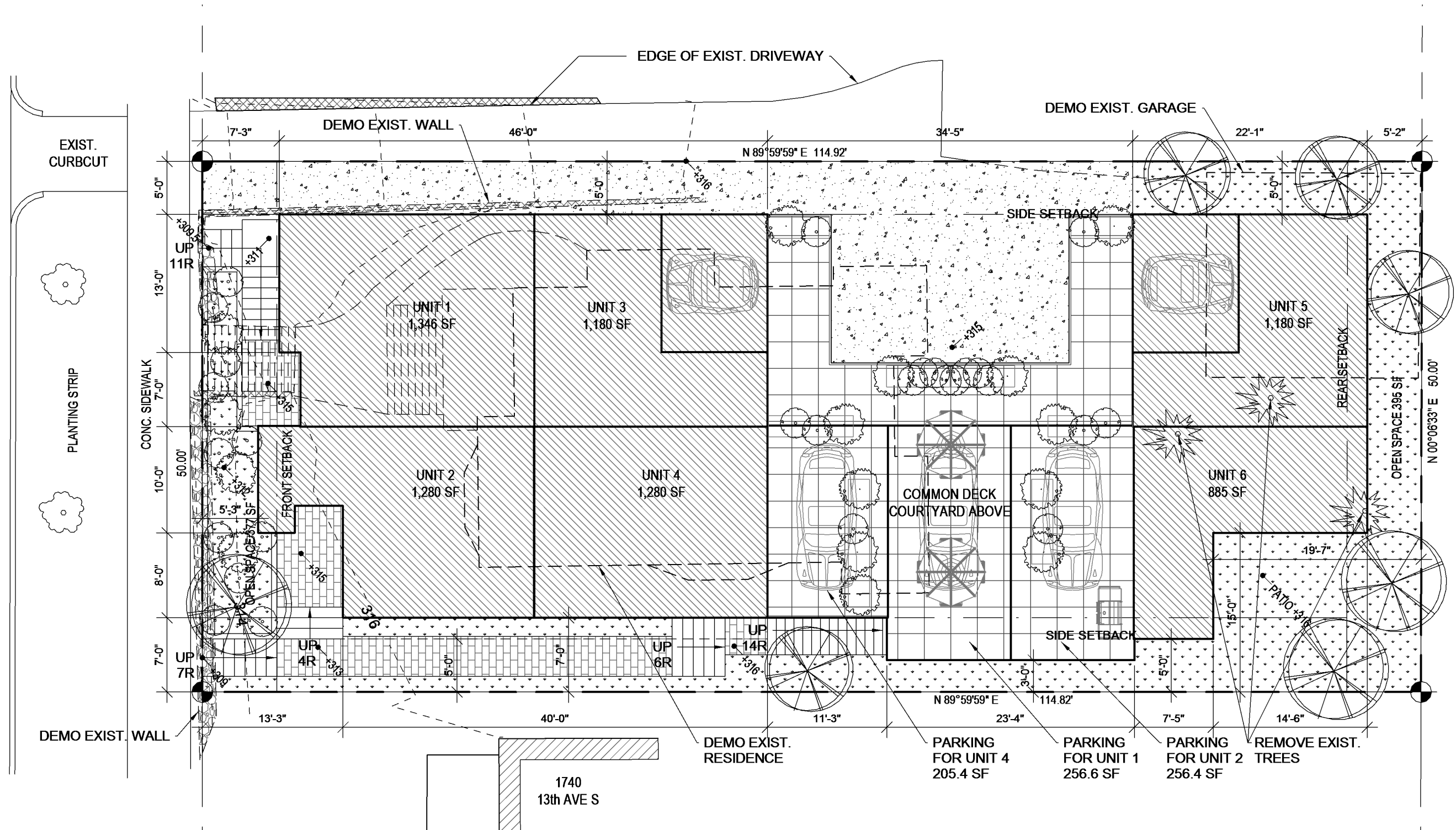
The site is located on a flat ridge that runs the length of Beacon Hill. To the east and the west, the topography slopes away, affording potential distant horizon views west towards the Olympic mountains and east towards the Cascade mountains. To the north, east, and west, the adjacent sites have been redeveloped over the last decade in a wide variety of styles. The property to the south is an older single family house, currently in use as a short-stay group home.

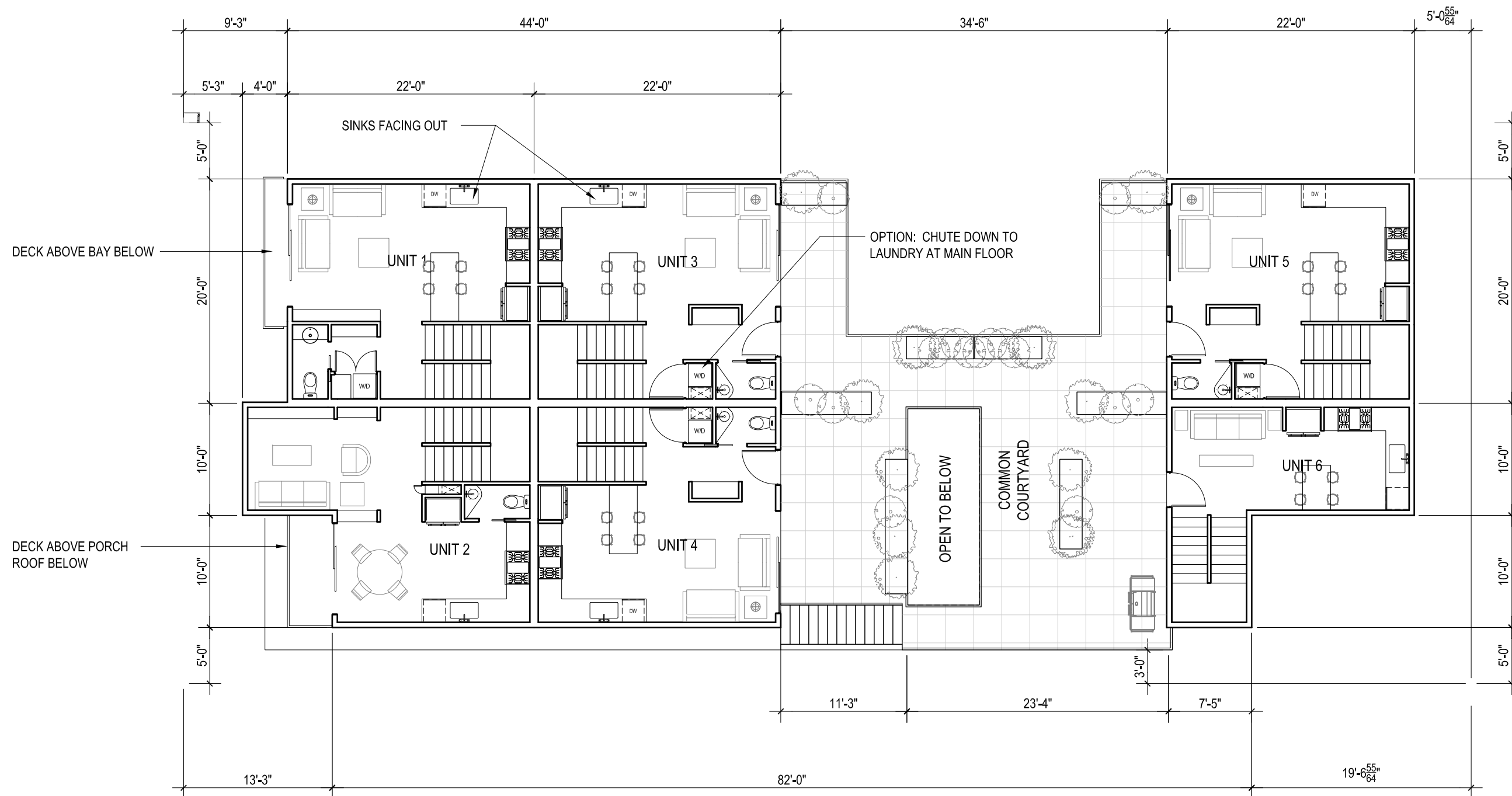
IV. Please describe the applicant's development objectives, indicating types of desired uses, structure height, number of residential units, amount of commercial square footage and number of parking stalls. Please also include potential requests for adjustments or departures from development standards.

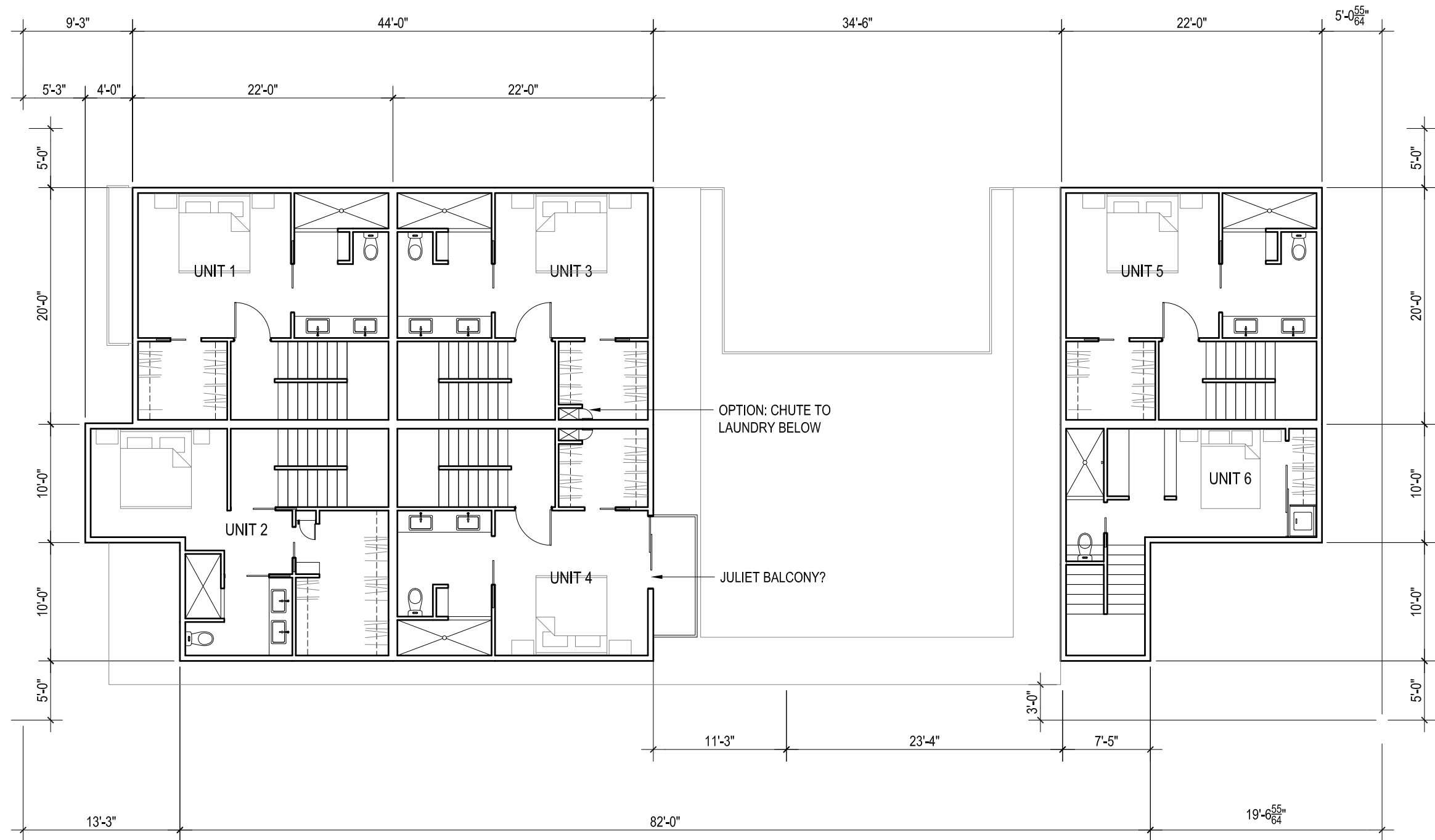
The applicant is developing the site as for-sale townhomes. The site was purchased along with permitted plans for a typical 4-pack townhouse. The applicant is exploring development schemes that provide an alternative to the typical parking court configuration. Specific design goals include:

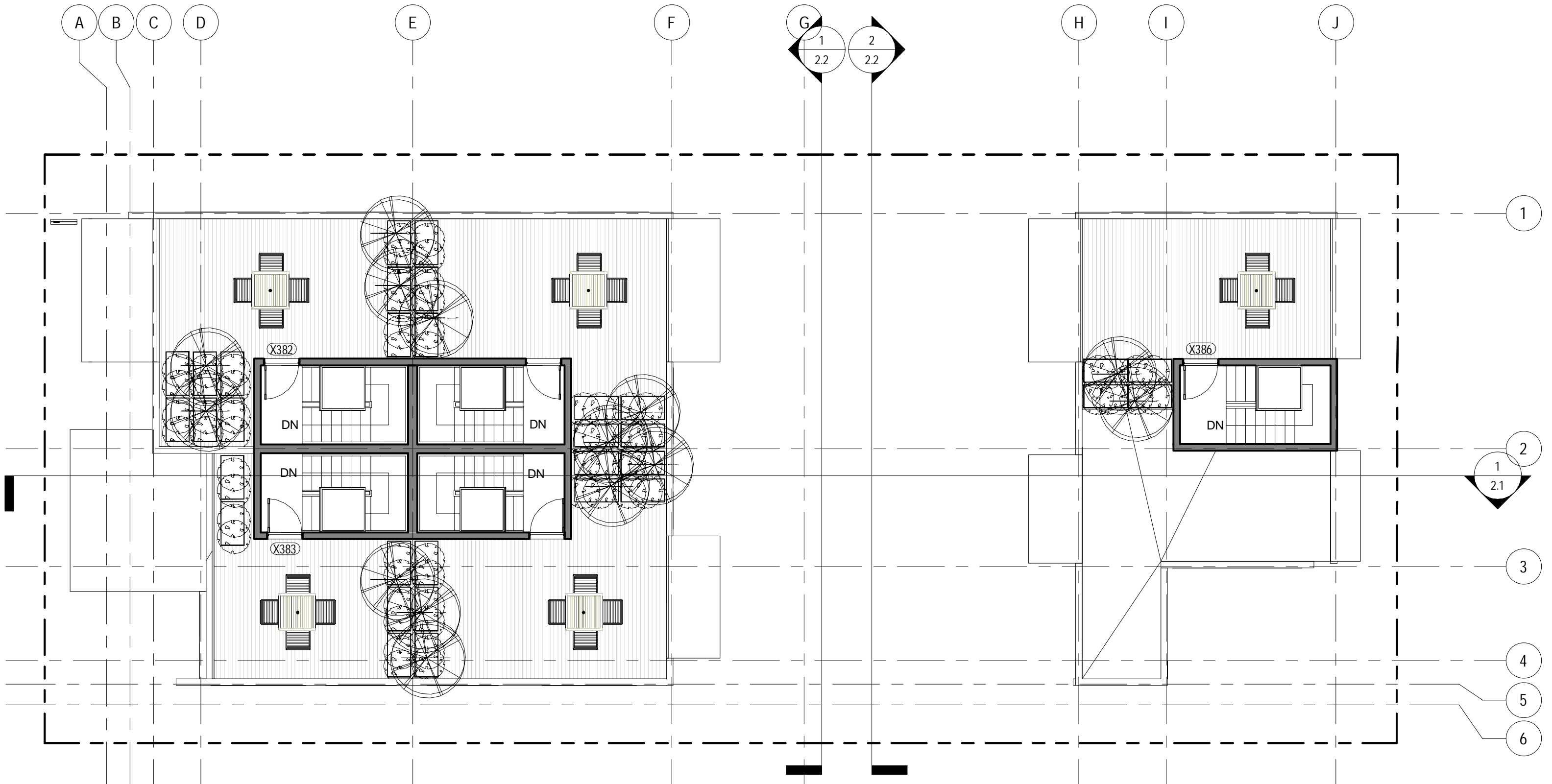
- Mitigate the visual impacts of on-site parking.
- Provide a common courtyard open space to enhance the sense of community, facilitate social interaction between residents, and enhance personal security.
- Provide rooftop decks to capture regional views to the east and west.
- Provide units sizes that are smaller and more affordable than typical townhouse development.
- Provide adaptable floor plans that allow homeowners future flexibility to use the lowest floor for parking, bedrooms, or a combination thereof.
- Provide one smaller unit with no parking aimed at a more affordable price point.
- Provide one unit with an ADU.

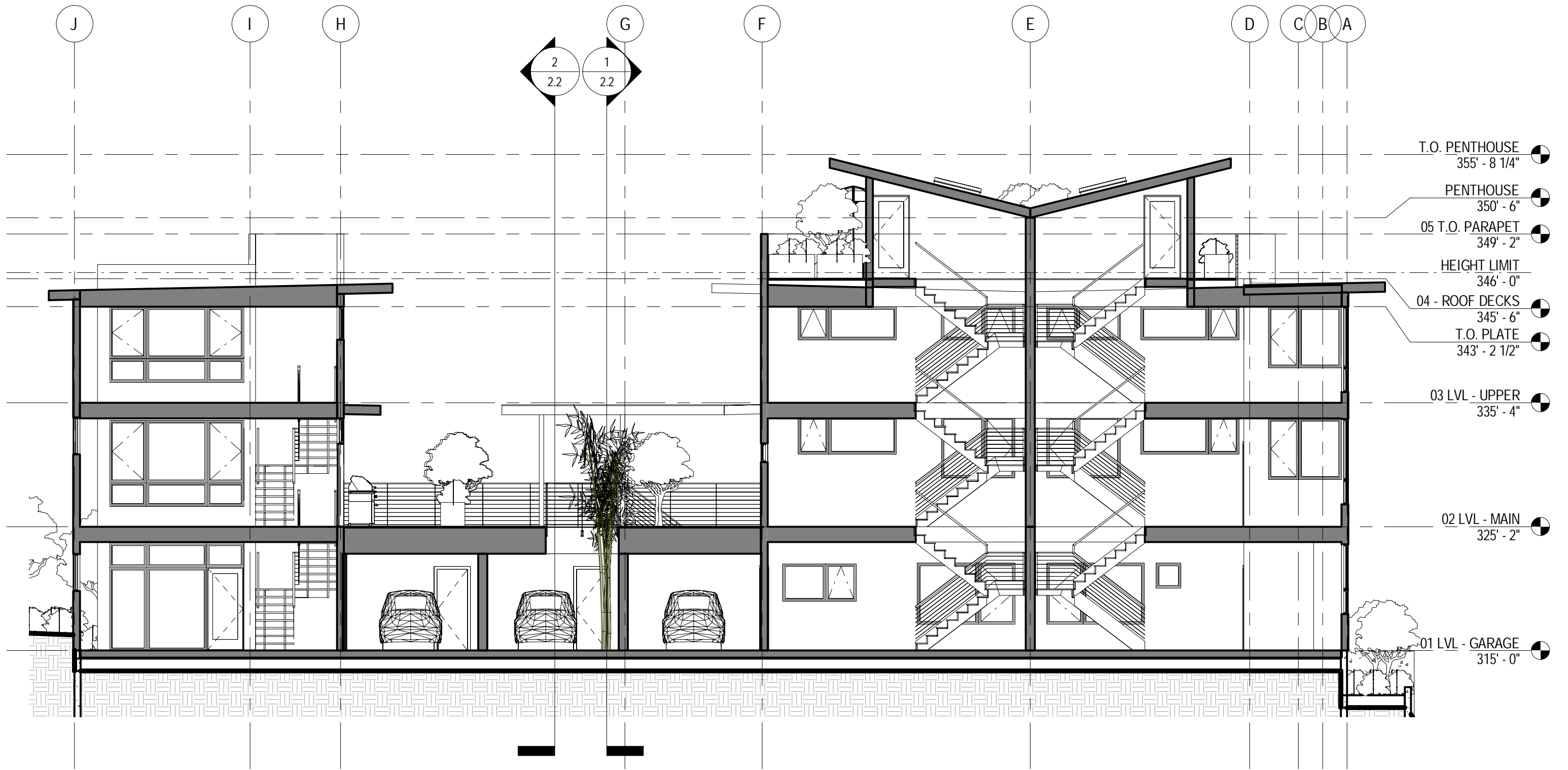
Adjustment requests: See Sheet 4.5

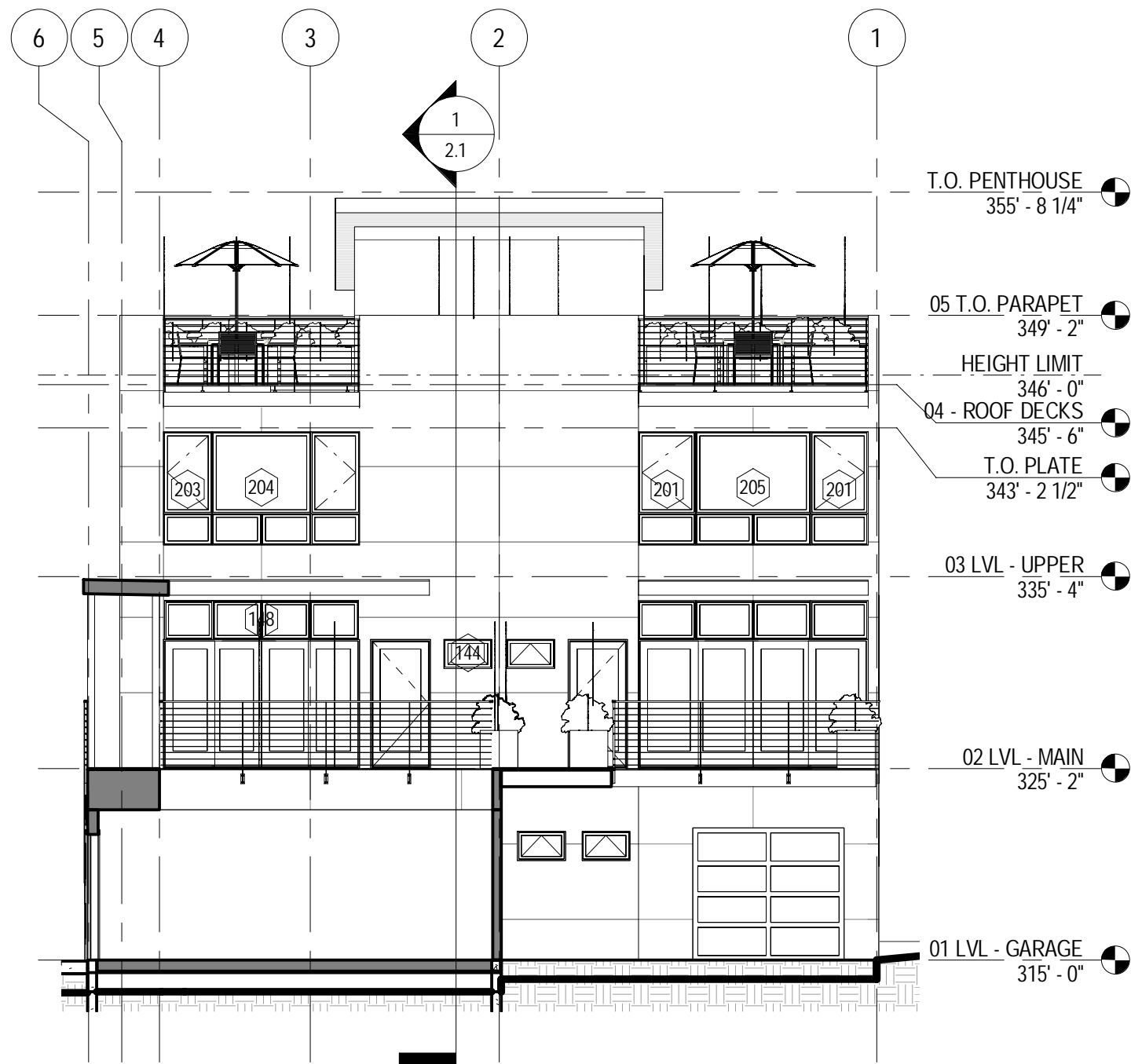




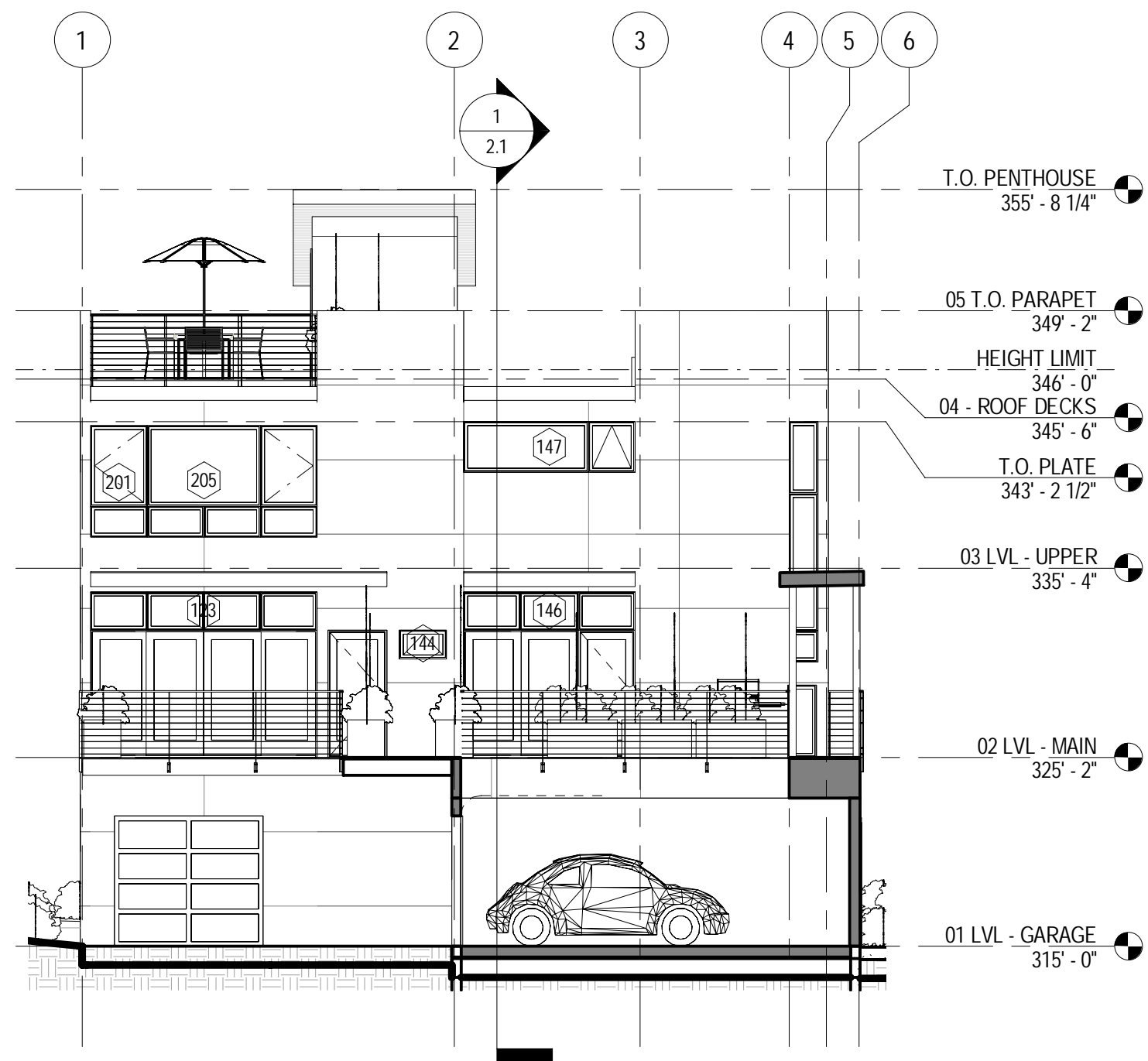








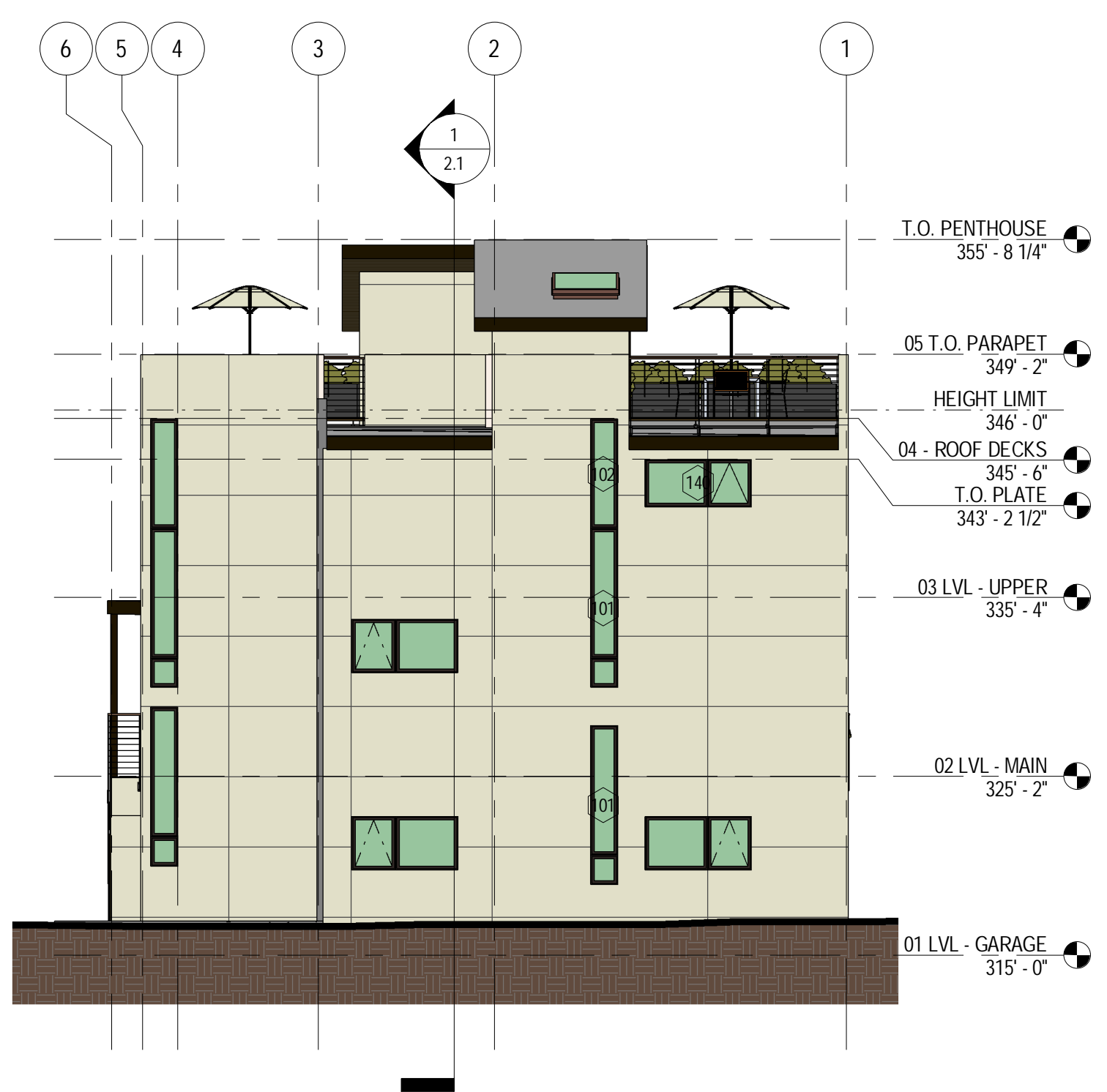
1 Courtyard Elevation West
1/8" = 1'-0"



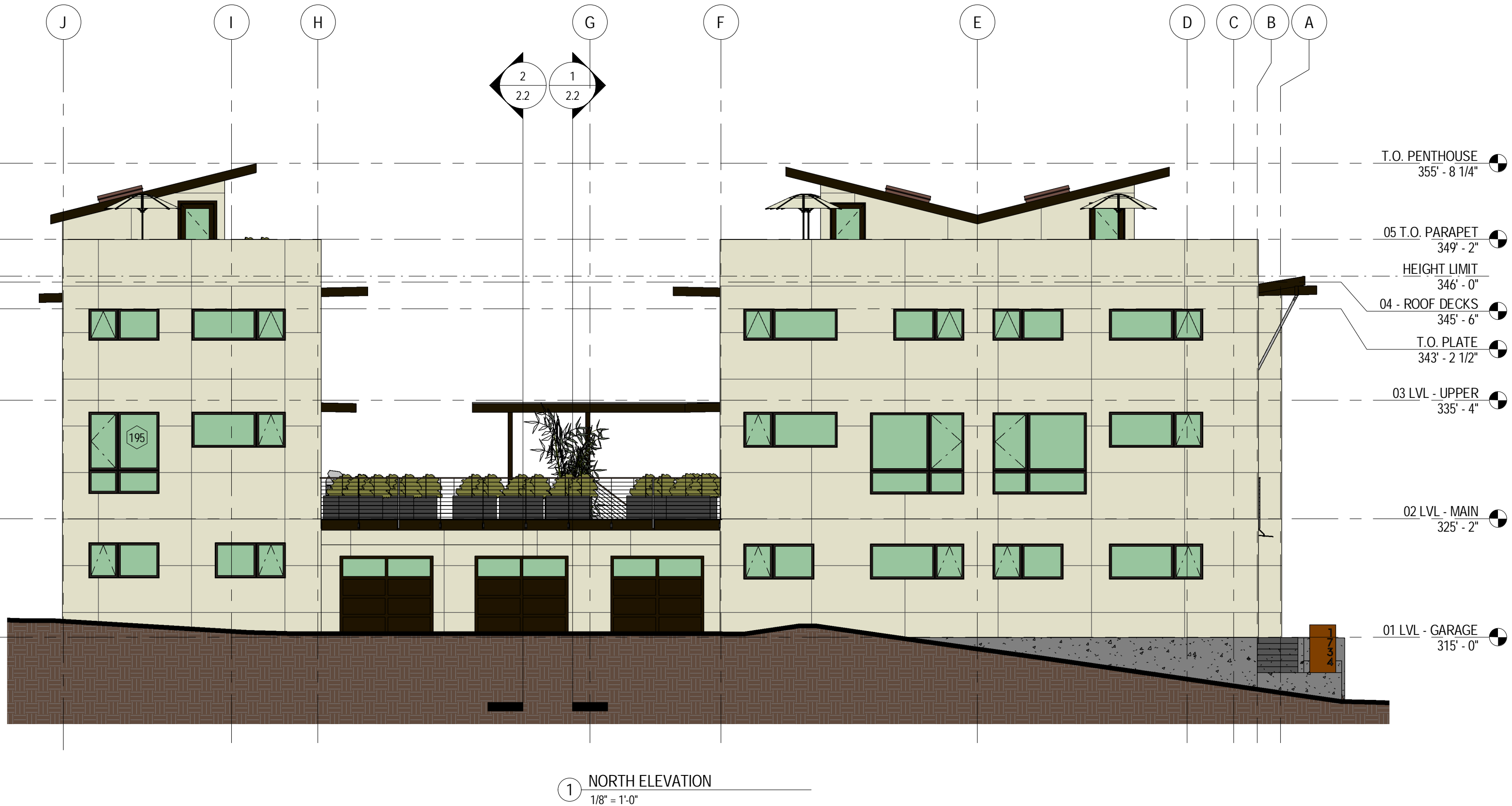
2 Courtyard Elevation East
1/8" = 1'-0"

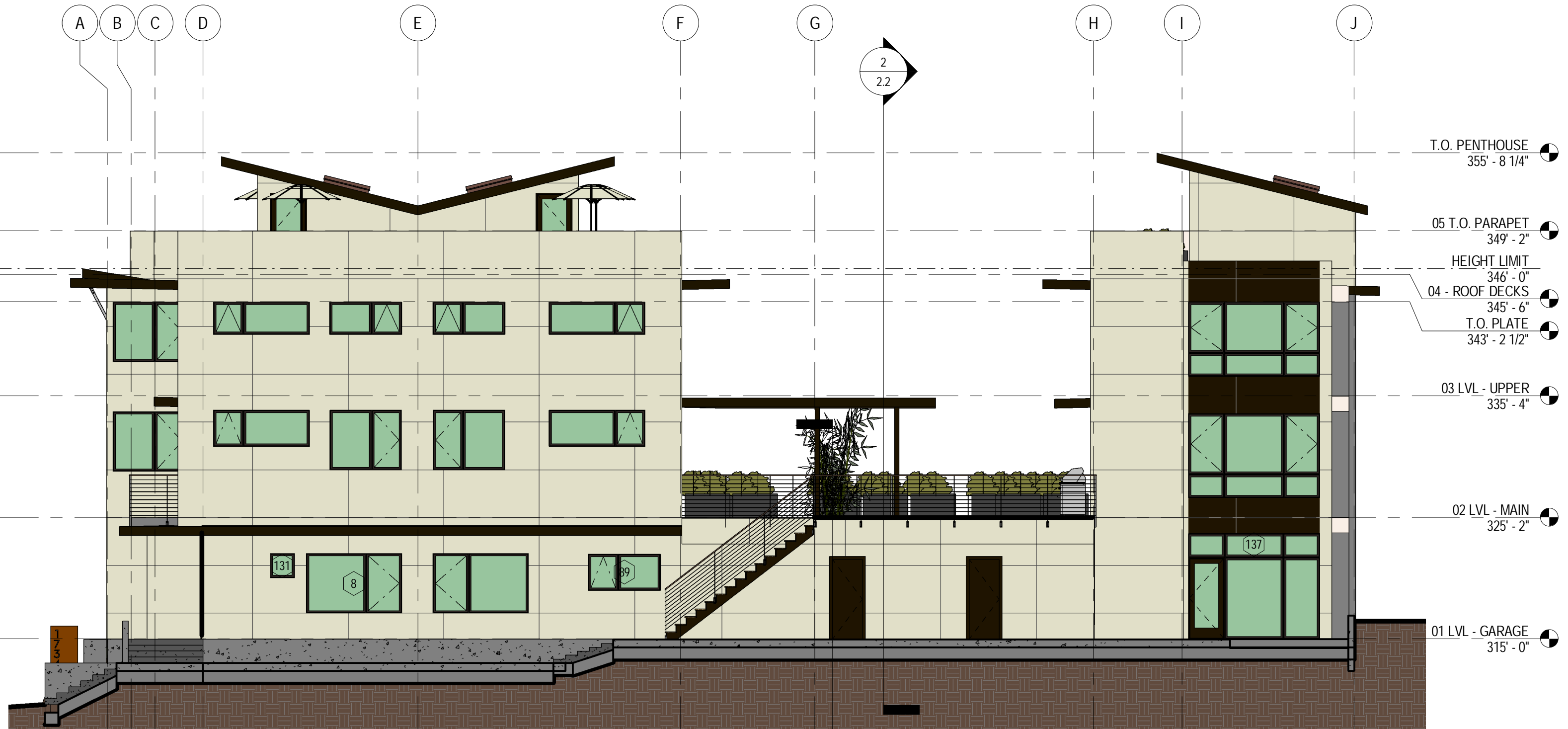


1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"





A-2 Streetscape compatibility (NSDG: B) Orient townhouse structures to provide pedestrian entrances to the sidewalk.; A-3 Entrances Visible from the Street; A-4 Human Activity; A-6 Transition between Residence and Street; D-1 Pedestrian Open Spaces and Entrances.

Response: The project provides entry porches that overlook 13th Ave S for both street facing units. Project entries are provided with porches raised up above street level to create a separation between the public & private realms. Unit entries are signaled with deep overhangs. Balconies facing the street at the main level orient the project to the sidewalk and connect human activity along the street face.

B-1 Height, Bulk and Scale Compatibility: Employ architectural measures to reduce building scale such as landscaping, trellises, complementary materials, detailing and accent trim.

The project is carefully designed and the street facing facades are developed with a high degree of modulation and a rich material palette to provide the project with visual interest and an inviting character. Project features include modulation of the building mass, changes in material & color, deep overhangs supported by large kickers, street facing balconies, and terraced landscaping.



1 VIEW FROM 13TH, LOOKING SE

2 VIEW FROM 13TH, LOOKING NE

FRONT ENTRY PORCH
FACES THE STREET

FRONT PLANTINGS PART OF
BIO-RETENTION CELL SYSTEM

FRONT ENTRY PORCH
FACES THE STREET

FRONT FACADE HIGHLY MODULATED.
FEATURES DEEP OVERHANGS AND LARGE KICKERS.

MAIN FLOOR BALCONIES HELP MAINTAIN HUMAN ACTIVITY ALONG THE STREET.

OPEN RAILING

DEEP OVERHANG
PROTECTING BALCONY



1 COMMON COURTYARD, LOOKING NW



2 COMMON COURTYARD, LOOKING SE

A-1 Respond to Site Characteristics, A-7 Residential Open Space: (NSDG: F) Site outdoor spaces to take advantage of as much sunlight as possible.

Response: The project provides an 1100sf south facing central common courtyard at main level, a 290sf south facing open space at grade for unit 6 and 1550sf of private roof deck for units 1-5. All told the project provides 3350sf of open space, more than twice what is required by code. The project is located at the top of Beacon Hill; the roof decks will command regional views to the west and south.

D-7 Pedestrian Safety: The principles of Crime Prevention Through Environmental Design (CPTED) are highly encouraged to be implemented into any design on North Beacon Hill....

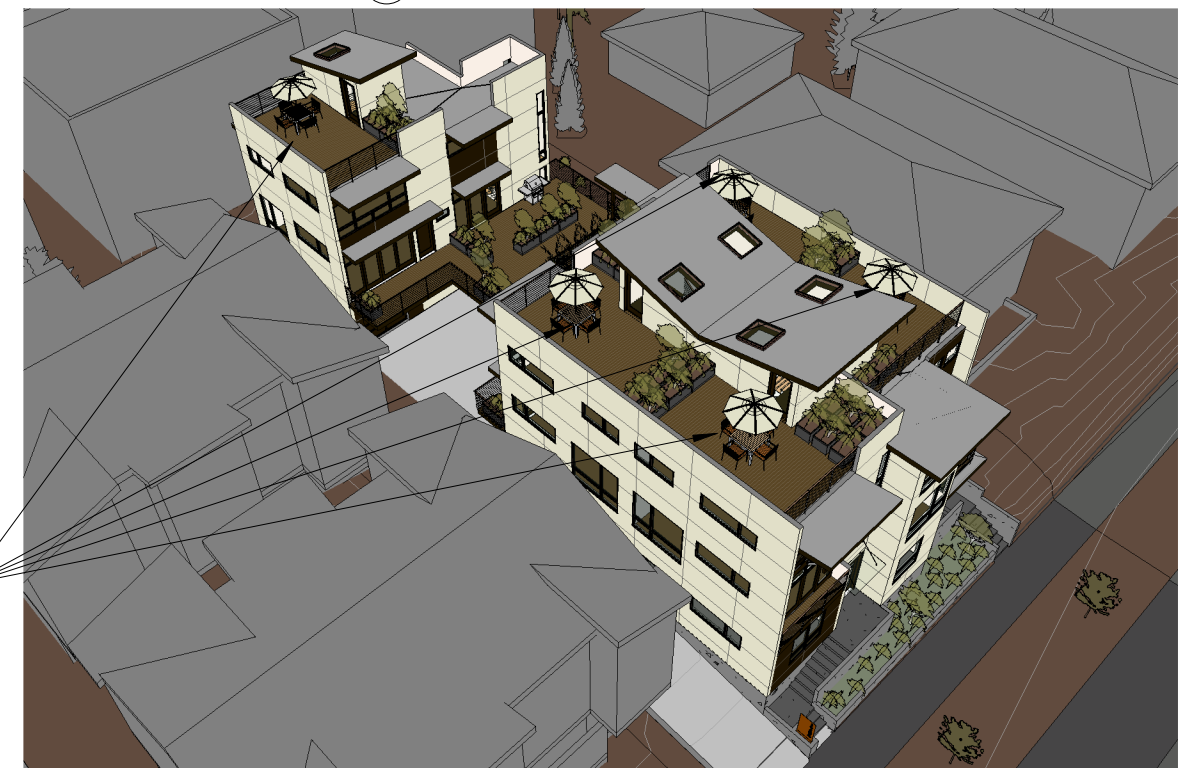
Unlike a typical parking court scheme where the center of the site is devoid of human activity and cut off from visual access, this project is designed around a central space that is a hub of communal activity & provides ample opportunity for natural surveillance that will enhance personal safety and discourage crime.

UNITS ORGANIZED AROUND AND OVERLOOK CENTRAL COURTYARD

PRIVATE ROOF DECKS FOR UNITS 1-5



4 UNIT 6 PRIVATE COURTYARD



3 AERIAL LOOKING SE



① PRIVATE GARAGES

A-8 Parking and Vehicle Access:
Incorporate bio-retention cells into parking lot design.

Response: Over 90% of the project stormwater is run through bio-retention cells, including all roof areas and all paved driveway areas.

D-3 Retaining Walls; E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites; E-3 Landscape Design to Address Special Site Conditions:

Response: Retaining walls adjacent to the public sidewalk utilize terracing and plantings to soften the impact on pedestrians and increase visual interest. The design of the retaining wall maintains continuity with the existing berm/retaining wall condition at the sidewalk along the entire block.



② REAR BIO-RETENTION

AT THE LOWER LEVEL, THESE UNITS CAN BE CONFIGURED WITH A FULL SIZED GARAGE, OR A SUBCOMPACT GARAGE PLUS ONE BEDROOM, OR NO GARAGE WITH TWO BEDROOMS.

SITE DRAINAGE DIRECTED TO BIO-RETENTION CELL SYSTEM AT FRONT AND REAR OF SITE. ALL PLANTS FROM SEATTLE GREEN FACTOR PLANT LIST.

PROJECT RETAINING WALLS CONTINUE EXISTING BERM CHARACTERISTIC ALONG STREET. IMPACT IS MITIGATED AND SOFTENED THROUGH PLANTINGS AND TERRACING.

A-8 Parking and Vehicle Access

Instead of a typical drive court, parking is provided in private garages in the center of the site and covered with a usable open space lid. The project is also provided with a floor plan and structural diagram that allows the lower floor plan to be easily modified. The lower floor can be configured with either a full size garage with no bedrooms, a sub-compact garage with one bedroom, or no garage with two bedrooms.

E-2 Landscaping to enhance the building or site: a. Give purpose to plantings by incorporating multiple functions of the plantings, i.e., a planting can be a bio-retention cell, provide shelter, shade and habitat while enhancing the overall aesthetic of Beacon Hill. b. Native plants to the Pacific Northwest are encouraged because of their proven ability to perform well in our climate and their regional cultural significance.

Most of the project plantings at grade will be provided as part of a bio-retention cell system. All of the plant selections will be selected from the Seattle Green Factor plant list.



③ AERIAL LOOKING N/NE

C-2 Architectural Concept and Consistency (NSDG B.): Establish a building's overall appearance on a clear and pleasing set of proportions. A building should exhibit a sense of order. The use and repetition of architectural features and building materials, textures and colors can help create unity in a structure. C-4 Exterior Finish Materials:

Colors, material changes, and careful composition and alignment of project elements are used to establish a sense of visual order at a variety of scales. Siding is cement panels, with stained wood accents and soffits. The siding is installed in a rainscreen system to enhance durability. Deep overhangs protect openings and increase their longevity



3 FRONT PERSPECTIVE



1 NORTH PERSPECTIVE



2 SOUTH PERSPECTIVE

ADJUSTMENT REQUESTS

SMC 23.45.518: Side setbacks.
Required: 7' average, 5' minimum, front, rear, and sides
Provided: 5'-2" at east property line, 11'-8" (avg) at north property line, 7'-5" (avg) at south property line
Allowable adjustment: Up to 50% reduction

Reason for south setback reduction: The setback adjustment is required to provide entry/egress to the courtyard, making it more functional as a communal space, facilitating interaction among the project residents, and enhancing public safety (A-7; D-7). Without the adjustment, there would be no room for an access stair, the courtyard could not function as a common entry. The entries for the back four units would have to be provided along the south side yard and from the parking court.

SMC 23.45.527.B.1: Maximum Façade length.
Required: 65% maximum.
Provided: 71.4% (9% increase)
Allowable adjustment: Up to 10% increase.

Reason for façade length increase: The courtyard lid (which creates the need for the adjustment) also helps to meet the design review guidelines for A-7, A-8, and D-7.

SOUTH SETBACK AVERAGING

Facade Length	Setback	Length * Setback
3' 5.5"	15' 0"	51.88
4' 6.5"	17' 6.5"	79.67
40' 0"	7' 0"	280.00
11' 3"	3' 6"	39.38
23' 4"	3' 3"	75.83
7' 5"	5' 0"	37.08
14' 6"	15' 0"	217.50
Total: 104' 6"		Total: 781.34
		Average Setback: 7' 5"

NORTH SETBACK AVERAGING

Facade Length	Setback	Length * Setback
46' 0"	5' 0"	230.00
34' 5"	24' 10-1/2"	856.11
22' 1"	5' 0"	110.42
Total: 102' 6"		Total: 1,196.53
		Average Setback: 11' 8"

COMPLIANCE NOTES
Zoning LR3 – North Beacon Hill Residential Urban Village
Project will comply with 23.45.510.C to qualify for higher FAR & no density limits
Items shown in bold require adjustments per 23.41.018.D.4

SMC Section	Issue	Requirement	Provided
23.45.510	FAR	1.2 maximum	1.0
23.45.512	Density Limit	No limit	6 Units
23.45.514	Structure height 30'-0"	max.	29'-6"
23.45.514.J.4	Penthouse height	10'-0" above H.L.	9'-8"
23.45.514.J.4	Penthouse area	15% of roof area max.	15%
23.45.518.A	Front Setback	7'-0" Avg.	8'-4" Avg.
23.45.518.A	North Side Setback	7'-0" Avg.	11'-8" Avg.
23.45.518.A	South Side Setback	7'-0" Avg.	7'-5" Avg.
23.45.518.A	Rear Setback	7'-0" Avg.	9'-6" Avg.
23.45.522	Amenity area	718sf min. @ grade	1,062sf
23.45.522	Amenity area	1,436sf min. total	3,712sf
23.45.524.2.b.	Green Factor	0.6 min.	0.6
23.45.526	Built Green	4 Star min.	4 Star
23.45.527	Facade length	65% max	71.4%
23.45.545	Parking Location	Must be enclosed	Enclosed
23.54.015	Parking	None required	5 spaces

FAR CALCULATION
ENCLOSED FLOOR AREAS

UNIT	Garage	Main	Upper	Roof	Total
1	683	424	421	25	1,553
2	369	426	422	25	1,242
3	421	423	421	24	1,289
4	582	423	424	24	1,453
5	411	413	417	26	1,267
6	517	272	205		994
				GRAND TOTA	7,798
				LOT AREA	5,744
				FAR	1.36