

INITIAL RECOMMENDATION MEETING



1414 10th Ave
Seattle, Washington

ALLIANCE REALTY PARTNERS LLC | ANKROM MOISAN ASSOCIATED ARCHITECTS

DPD Project No.: 3013040
August 01, 2012

INITIAL RECOMMENDATION - CONTENTS



RECAP OF EDG 01, EDG 02

RESPONSE TO EDG 02

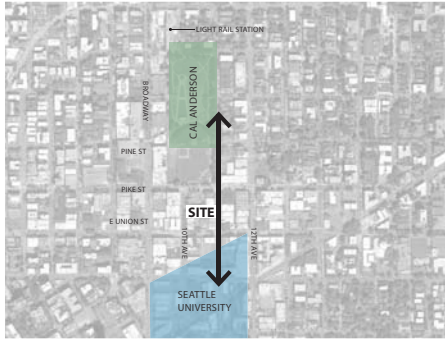
- 10TH & UNION CORNER STRUCTURE
- 11TH AVE FACADE & STREETScape
- NORTH FACADE
- PUBLIC COURTYARD AND LOBBY

DEPARTURES

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RECAP OF EDG 1 & 2

GENERAL PROJECT INFORMATION



PROJECT GOALS

1. ENHANCE CONNECTION BETWEEN NEIGHBORHOODS

The feedback we've heard from EDG 01 & 2 and our outreach efforts have made it clear: our project lies in the middle of an important connection between Cal Anderson Park and Seattle University along 11th Avenue. Our goal is to enhance the street life along that connection, as well as East Union Street & 10th.

2. REINFORCE CAPITOL HILL CHARACTER

Capitol Hill is a diverse and lively community, with extensive street life both in the daytime and the evening. Boutique shops, arts venues, bars, and some of the best restaurants in the city fill the street level. A mixture of historic brick residences, industrial "auto-row" style buildings, and contemporary mixed-use developments frame these street level activities. Our project will respond to and enhance both the historic and contemporary aspects of the neighborhood.

3. CREATE HIGH-QUALITY URBAN HOUSING

This project will be a long-term investment in the Capitol Hill neighborhood. Therefore, the materials and design are intended to have a lasting and positive impact on the stock of contemporary urban living in Seattle and inspire other builders and designers to do the same.

DPD #3013040

PROJECT ADDRESS

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Seattle, WA 98122

TEAM

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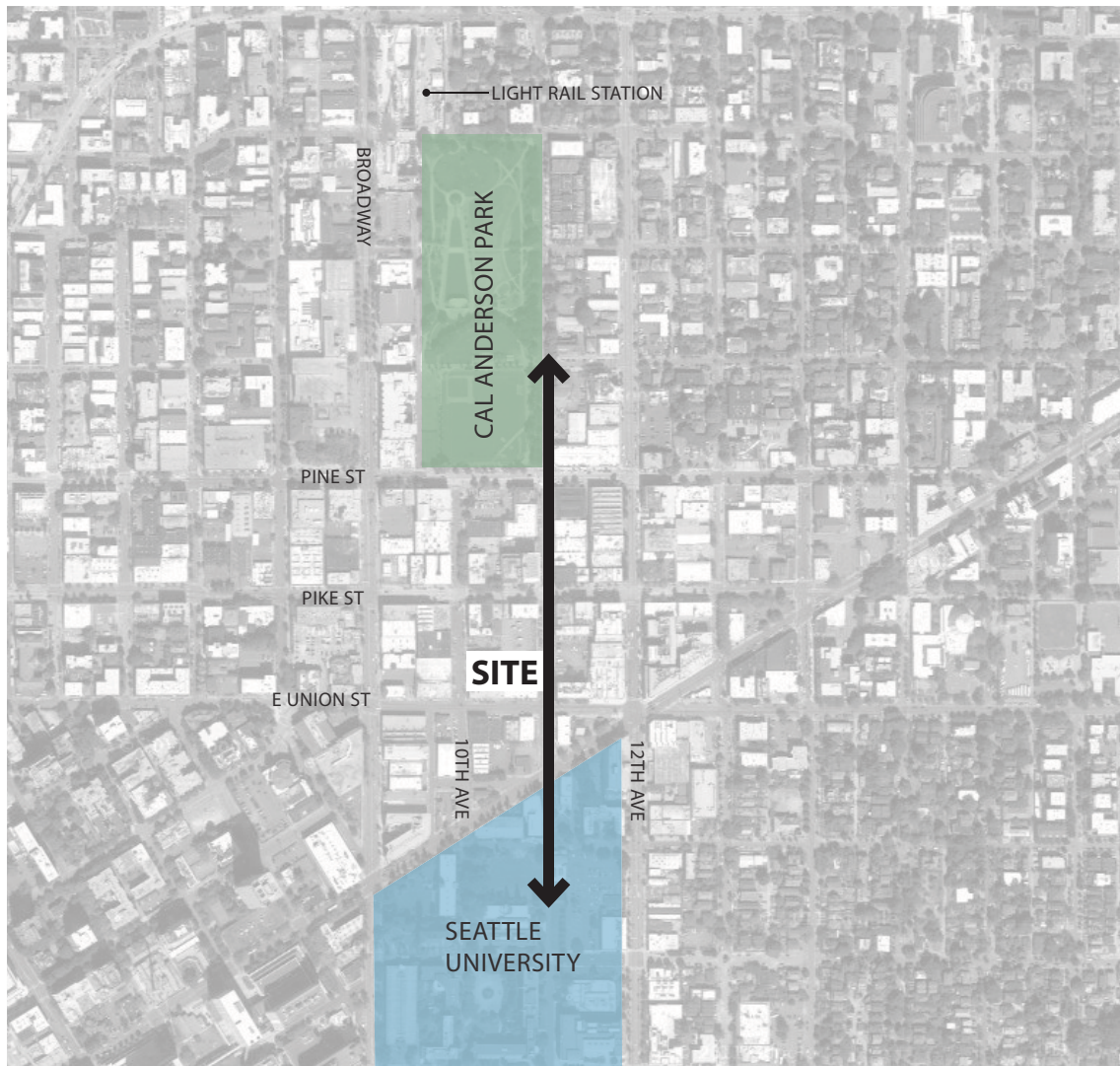
RECAP OF EDG 1 & 2

SITE VICINITY



RECAP OF EDG 1 & 2

SITE CONNECTIONS



ENHANCING NEIGHBORHOOD CONNECTIONS

All three streets (10th, 11th, Union) are crucial pedestrian connectors and should be designed to enhance the pedestrian experience.

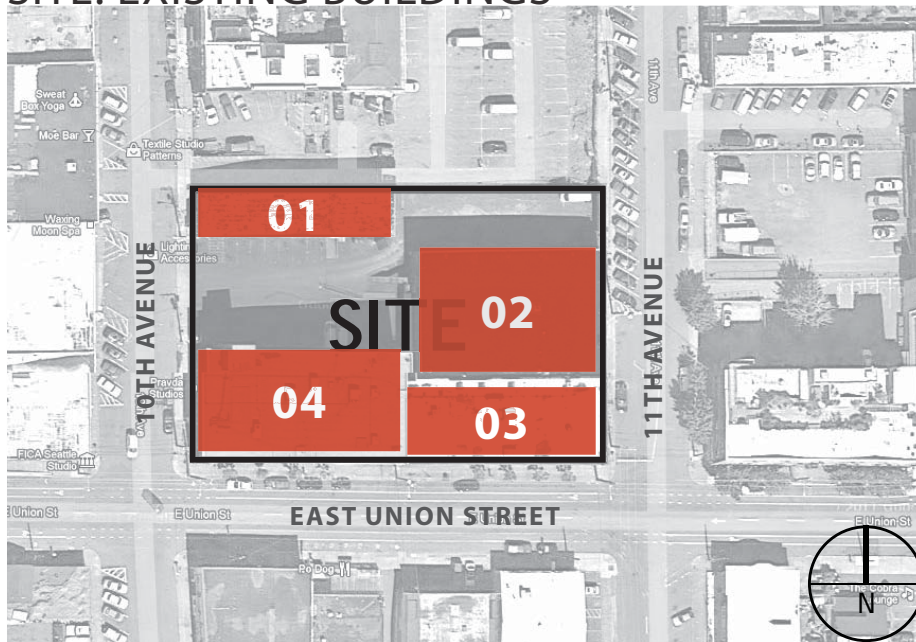
EDG 01 FOCUSED PRIORITIES ON 11TH AVENUE

Our project lies in the middle of an important connection between Cal Anderson Park and Seattle University along 11th Avenue, and our goal is to enhance the street life along that connection.

Currently there is a minimal amount of vibrant street life on 10th and 11th south of pike. Our project will create new street life and generate connections between Seattle University and the Pike/Pine corridor. Our presence will strengthen and add to the retail core of the Pike/Pine neighborhood.

RECAP OF EDG 1 & 2

SITE: EXISTING BUILDINGS



#01 - 1416 10TH AVENUE (UNION GARAGE)



#02 - 1405 11TH AVENUE (MADISON PARK GROUP 2)



#04 - 1406 10TH AVENUE (PRAVDA)



#03 - 1401 11TH AVE (MADISON PARK GROUP 1)

OUR GOALS FOR THE INITIAL RECOMMENDATION MEETING

- Present our preferred scheme
- Address design review board priorities
- Respond to the recommendations of EDG 02
- Show how the departures respond better to the design review guidelines

BOARD PRIORITIES AND RECOMMENDATIONS

1. 11th Ave Facade and Streetscape

GUIDELINES

- A1** Responding to Site Characteristics
- C1** Architectural Context
- A8** Parking & Vehicle Access
- C2** Architectural Concept
- A10** Corner Lots

BOARD GUIDANCE

The setback departure at SE corner may be positively considered if the design is highly glassy and transparent.

The design should meet the scale goals of the overlay district.

The board supports the design which floats over the older edifice.

The center portion of the elevation should enjoy a larger setback and be more aligned with code standards.

2. 10th & Union Corner Structure

GUIDELINES

- C2** Architectural Concept
- C4** Exterior Finish Materials
- B1** Height, Bulk, and Scale

BOARD GUIDANCE

The corner should strive to create a sense of scale familiar to the neighborhood context.

The building should have a tall ground floor height with large glazing.

The building should contrast the abutting buildings

The brick should fully wrap all sides of the building

The building should set back from the property line to appear more consistent with other buildings.

3. North Facade

- B1** Height, Bulk and Scale
- D2** Blank Walls
- C4** Exterior Finish Materials

The board was pleased with the direction of the design of the north elevation, including the step back and the inclusion of windows.

Vertical and horizontal windows should be authentic and use restraint in the composition

Changes in material should occur with shifts in plane

4. Public Courtyard and Lobby

- A4** Human Activity
- A8** Parking and Vehicle Access
- A10** Corner Lots
- D1** Pedestrian Open Spaces
- D11** Commercial Transparency

The presence of driveways and service areas should be minimized to the greatest extent possible.

The potential for public or semi-public ground level open spaces should be considered.

The board indicated support for the departure request provided that the 11th Ave facade is well scaled and that the mid-block setback departure is eliminated.

1. 11th Ave Facade and Streetscape

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11TH AVE FACADE AND STREETSCAPE



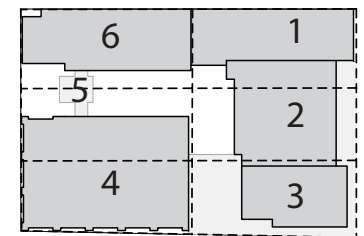
PREFERRED SCHEME, EDG 02

- Departed setback over Madison Park 1 & 2
- Similar Expression of form between mid-lot and north end of lot
- The design sets back 6' at the corner and 4' or less at mid-block.



PREFERRED SCHEME, CURRENT

- Full setback of 15' at mid-lot over Madison Park 2
- Three distinct volumes with three distinct expressions across the facade
- There is a 7' setback at corner glass element.

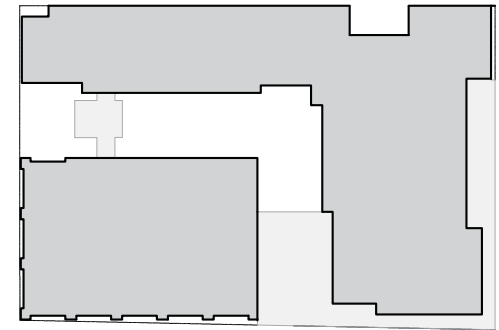


11TH AVE FACADE AND STREETSCAPE

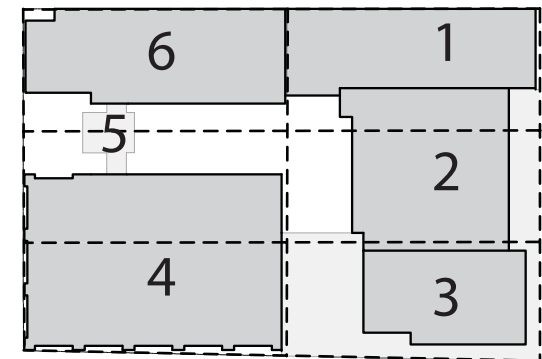


EAST ELEVATION @ 11TH AVE

- Full setback of 15' at mid-lot over Madison Park 2
- Three distinct volumes with three distinct expressions across the facade
- There is a 7' setback at corner glass element.



KEY PLAN



HISTORIC SETTLEMENT PATTERN
(ESTABLISHED PARCELS)

11TH AVE FACADE AND STREETSCAPE



EAST ELEVATION @ 11TH AVE

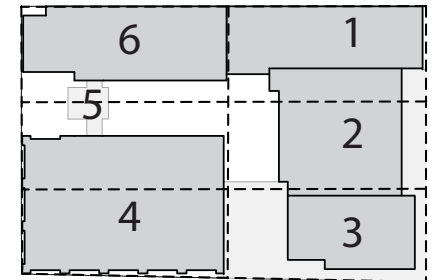
1. Window wall system
2. Light color fiber cement panel system
3. Dark fiber cement panel system
4. Historic brick

11TH AVE FACADE AND STREETSCAPE

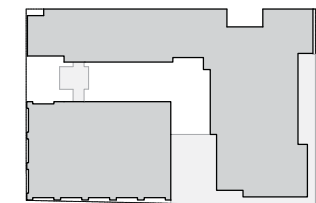


1405 11TH AVE RETAIL

- Mid-block building is setback significantly from the historic facade
- Retained and restored historic brick enhances street character
- Retail glass openings are enlarged to be taller and closer to the sidewalk in character structure modifications



HISTORIC SETTLEMENT PATTERN
(ESTABLISHED PARCELS)



KEY PLAN

11TH AVE FACADE AND STREETSCAPE



GARAGE AND LOADING ENTRANCE @ NE CORNER ON 11TH AVE

Graphics shown on garage doors are a possible example of how to add character and interest to the necessary loading and parking entrances. Overall scale of the openings have been brought down since EDG 01.



KEY PLAN

2. 10th & Union Corner Structure

GUIDELINES

- C2 Architectural Concept
- C4 Exterior Finish Materials
- B1 Height, Bulk, and Scale

BOARD GUIDANCE

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The building should have a tall ground floor height with large glazing.

The building should contrast the abutting buildings

The brick should fully wrap all sides of the building

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10TH & UNION CORNER STRUCTURE



PREFERRED SCHEME, EDG 02

- 75'-0" height with no setbacks at level 08.
- 14'-0" retail height with exterior facade treatment matching that height.



PREFERRED SCHEME, CURRENT

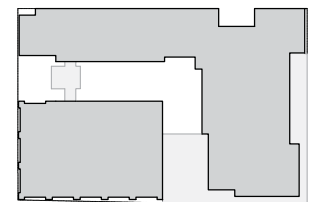
- The top floor set back 6'-0" on all sides
- Retail base facade has been raised to the bottom of level 3 to create a taller-feeling retail street character. This composition is now ~20' feet from sidewalk to cornice.
- SW building is still 75'-0" tall

10TH & UNION CORNER STRUCTURE



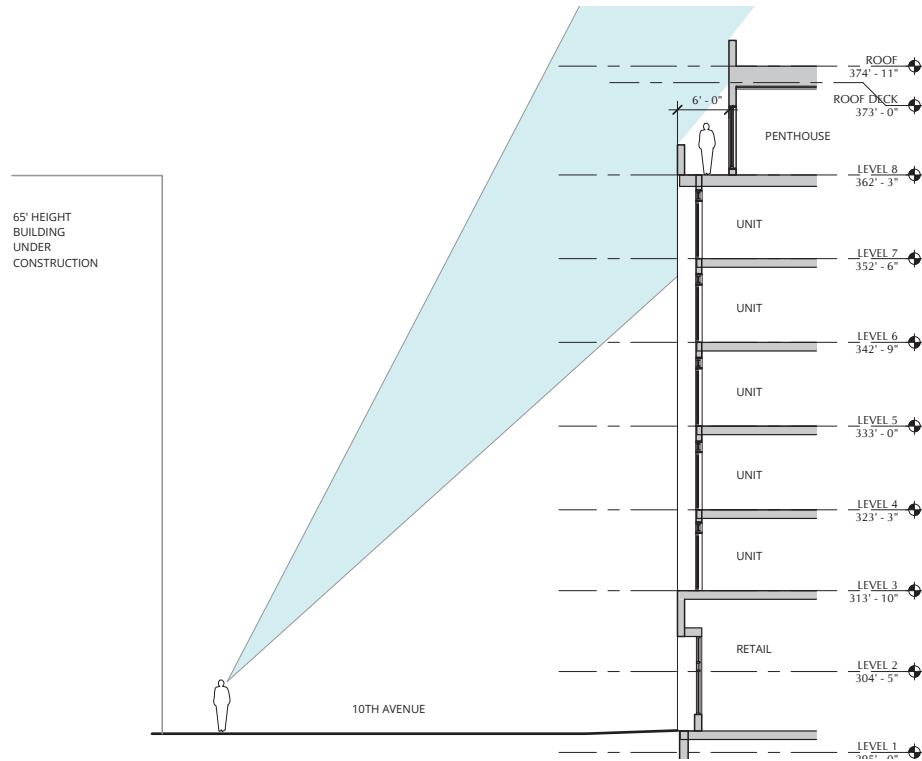
WEST ELEVATION @ 10TH AVE

- The top floor set back 6'-0" on all sides
- Retail base facade has been raised to the bottom of level 3 to create a taller-feeling retail street character. This composition is now ~20' feet from sidewalk to cornice.
- SW building is still 75'-0" tall



KEY PLAN

10TH & UNION CORNER STRUCTURE



SECTION ON 10TH @ SW CORNER

~2,500 SF REDUCED FROM L8



WEST ELEVATION @ 10TH OF SW CORNER

~2,500 SF REDUCED FROM L8

3. North Facade

GUIDELINES

- B1** Height, Bulk and Scale
- D2** Blank Walls
- C4** Exterior Finish Materials

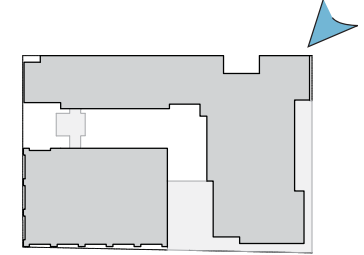
BOARD GUIDANCE

The board was pleased with the direction of the design of the north elevation, including the step back and the inclusion of windows.

Vertical and horizontal windows should be authentic and use restraint in the composition

Changes in material should occur with shifts in plane

NORTH FACADE



KEY PLAN

NORTH WALL ELEVATION @ 10TH AVE

- Two units on each level now face north on the west side of the building, increasing the interest of the north facade

4. Public Courtyard and Lobby

GUIDELINES

- A4 Human Activity
- A8 Parking and Vehicle Access
- A10 Corner Lots
- D1 Pedestrian Open Spaces
- D11 Commercial Transparency

BOARD GUIDANCE

The presence of driveways and service areas should be minimized to the greatest extent possible.

The potential for public or semi-public ground level open spaces should be considered.

The board indicated support for the departure request provided that the 11th Ave facade is well scaled and that the mid-block setback departure is eliminated.

PUBLIC COURTYARD AND LOBBY



PREFERRED SCHEME, EDG 02



PREFERRED SCHEME, CURRENT

- The new design for lobby entrance is light, glassy, and allows the public to see the interior courtyard.
- The public area at the lobby is suitable for sidewalk retail and restaurant uses and is both a private and public amenity.

PUBLIC COURTYARD AND LOBBY



ENTRY PLAZA @ 10TH AVE

- The new design for lobby entrance is light, glassy, and allows the public to see the interior courtyard.
- The public area at the lobby is suitable for sidewalk retail and restaurant uses and is both a private and public amenity.

ENTRY PLAZA PLAN

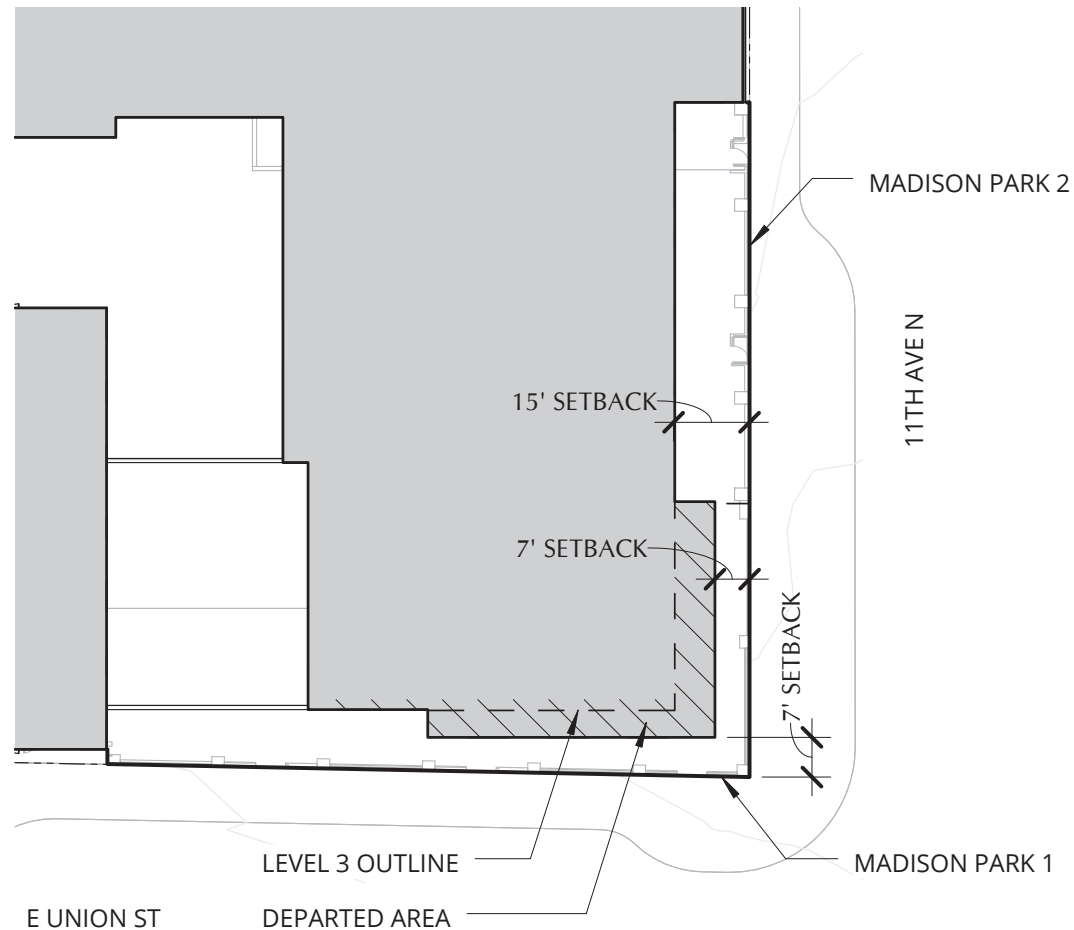


PUBLIC COURTYARD AND LOBBY



LANDSCAPE SITE PLAN

DEPARTURES



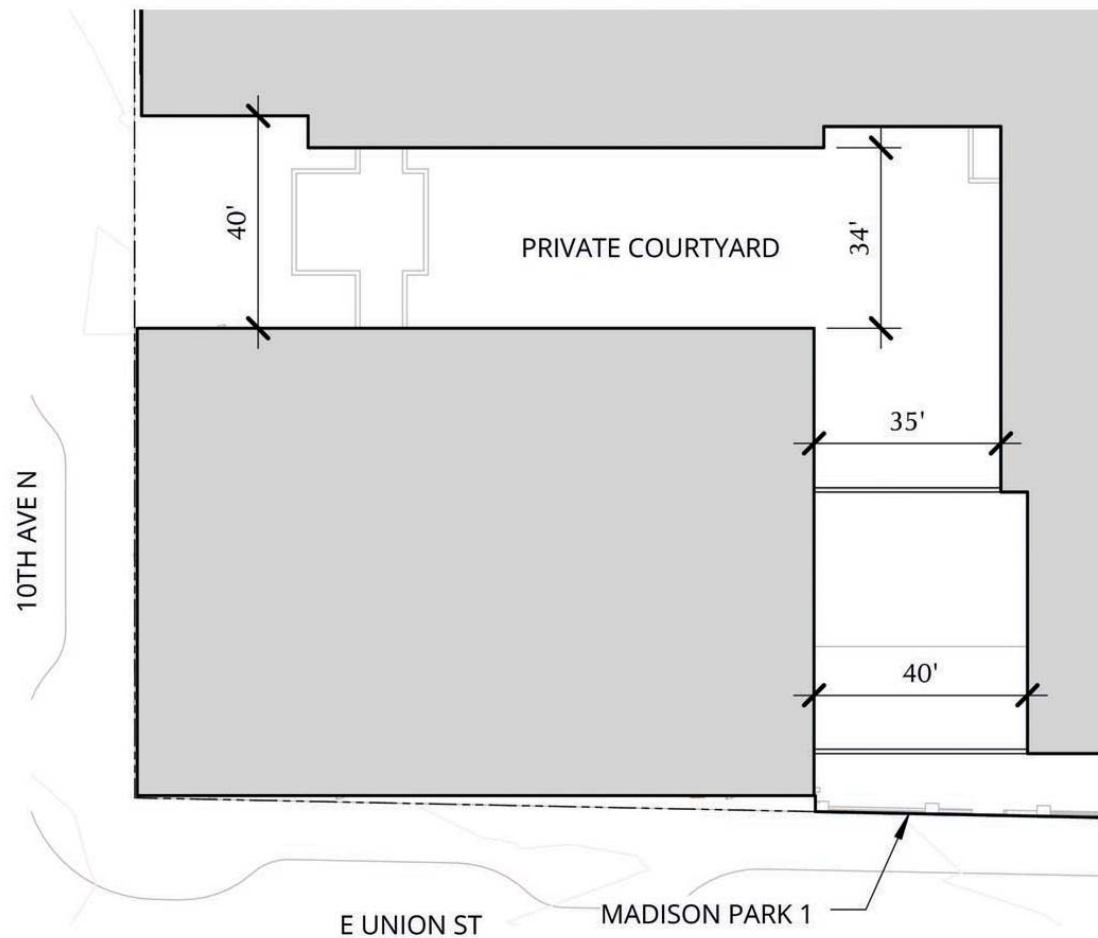
PLAN: SETBACK DEPARTURES REQUESTED

Land use code calls for a 15' setback of new structure from the facade of a character structure being retained. In the case of Madison Park 1, we will be using a contrasting architectural style for the new building above it and believe that the best arrangement is a 7' setback from the facade of the character structure.

This departure would allow us to place a large separation over the remaining portion of the existing character structure, giving further deference to the identity of the building.

The setback at Madison Park 2 is now 15' and requires no departure.

DEPARTURES

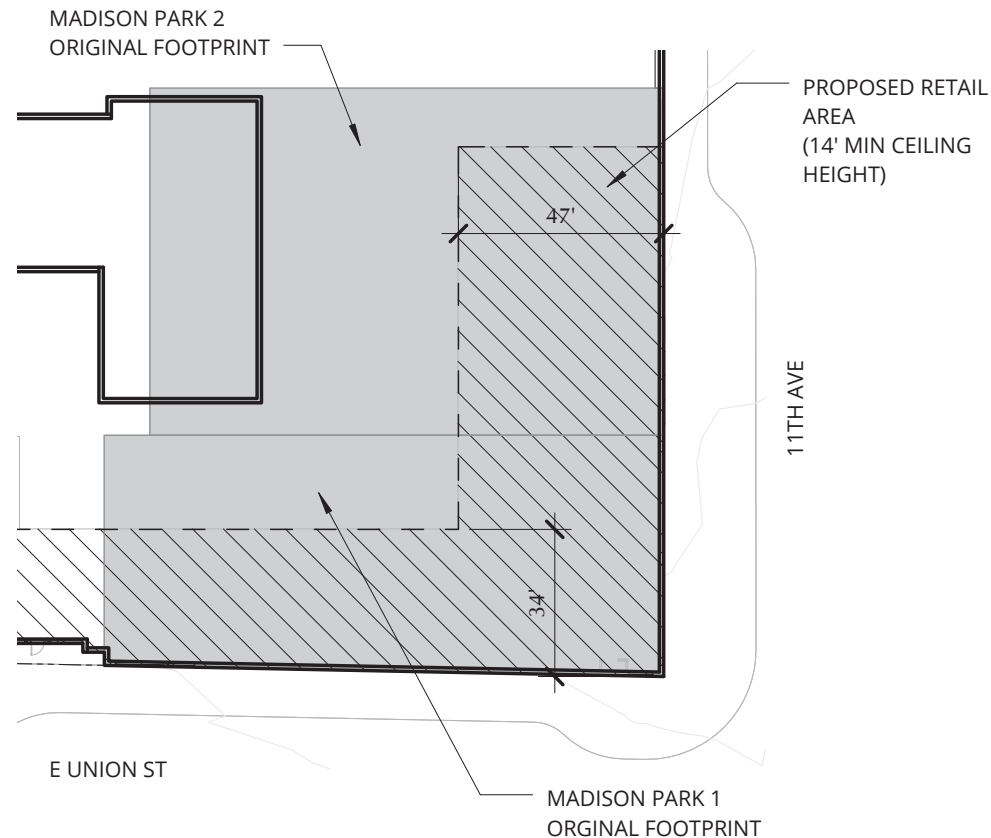


PLAN: SEPARATION DEPARTURES REQUESTED

Land use code calls for a 40' separation between two portions of a structure above 35' which are both subject to the floor size limit, and would be measured separately for the purposes of a total floor size limit.

This departure allows interior courtyard facades to be more articulated than they would be otherwise. EDG 01 requested that we find more ways to articulate both the interior courtyard facades and exterior street facades, and this departure allows us the flexibility to achieve that articulation.

DEPARTURES



RETAIL DEPTH DEPARTURE REQUESTED

Land use code requires that retained character structures keep their original floor-to-ceiling height of the ground floor. We are seeking a departure to maintain the original floor to ceiling height of Madison Park 1 & 2 only within our proposed retail area.

The intent of the code is to allow users of the interior space in the new construction to experience the interior of the preserved facade. The code also intends to create active streets by promoting a variety of differently-sized retail spaces. We have maximized the feasible depth of retail space in this scheme and allowed users of those spaces to experience the interior of the original facades.

This departure allows us to better meet the intent of the code by building functional, reasonably deep retail spaces.

CONCLUSION

OUR PREFERRED SCHEME MEETS THE INTENT OF THE DESIGN GUIDELINES IN THE FOLLOWING WAYS:

1. Preserves two valued character structures.
2. Provides pedestrian-friendly functions on the majority all three street facades.
3. Builds a brick building on the SW corner which blends into the neighborhood's historic style.
4. Provides a large public plaza at the NW corner.
5. Wider sidewalk with bulb-outs for safety at both corners.
6. Allows small (~700sf) retailers to inhabit character structure spaces.

