



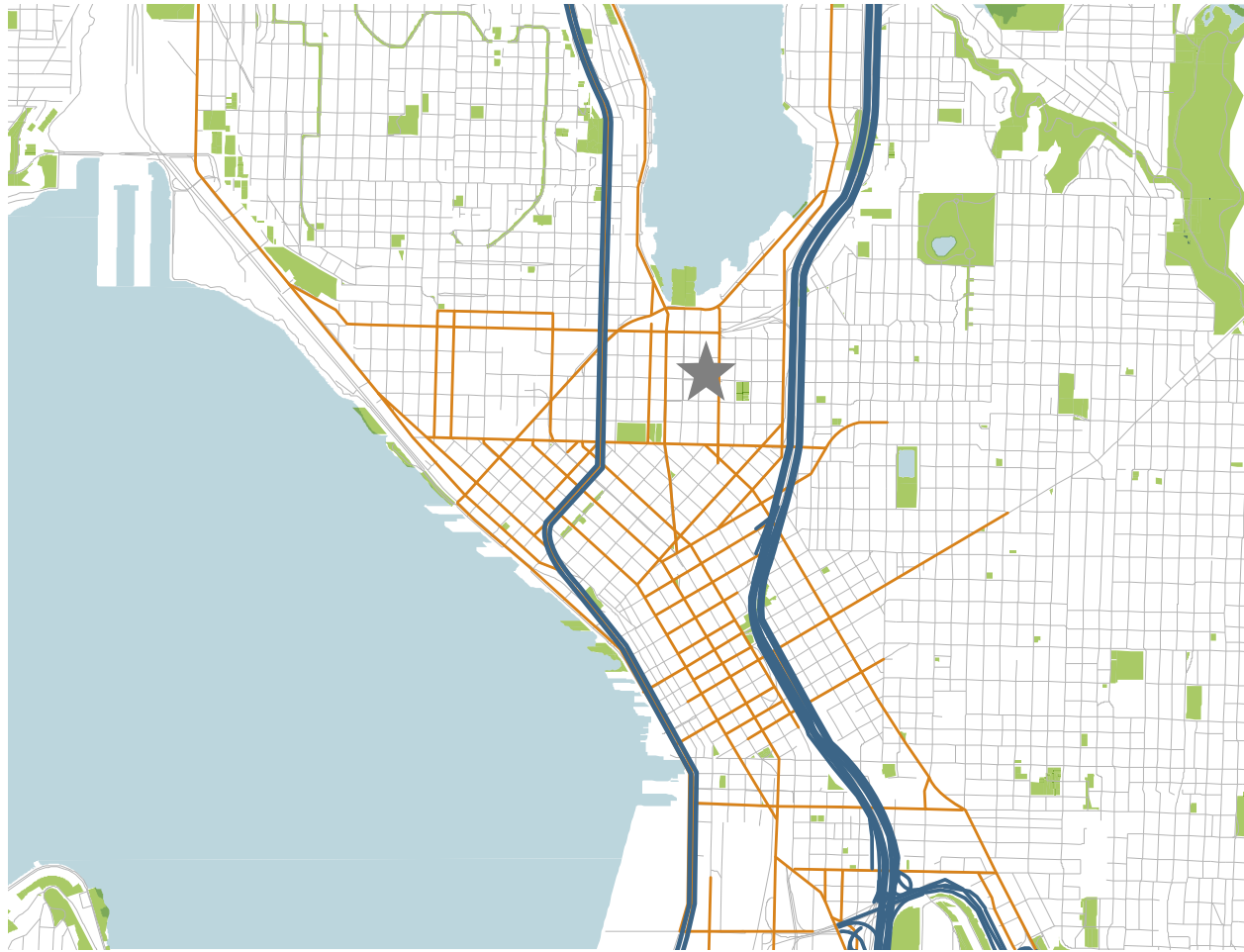
# 400 BOREN AVE. N.

DESIGN REVIEW

DPD #3013013

SEPTEMBER 5<sup>TH</sup>, 2012





## DEVELOPMENT OBJECTIVES

**Construction Types:** Five (5) floors Type VA 1-hour wood frame apartments over two (2) floors Type IA concrete construction at-grade and two (2) levels sub-grade parking.

**Residential Uses:** Approximately 280 residential market rate apartments; a mix of studio, open-one bedroom, one and two bedroom units

**Uses Distributed By Floor:**  
Basement: 2 Floors of Parking  
Level 1: 12 Apartments, Parking  
Level 2: 16 Apartments, Lobby, Leasing Office, Parking  
Level 3-7: 215 Apartments  
Level 8 (Roof): 30 Apartments, Roof Deck and Garden  
Level 9 (Roof): 9 Apartments, Roof Deck and Garden

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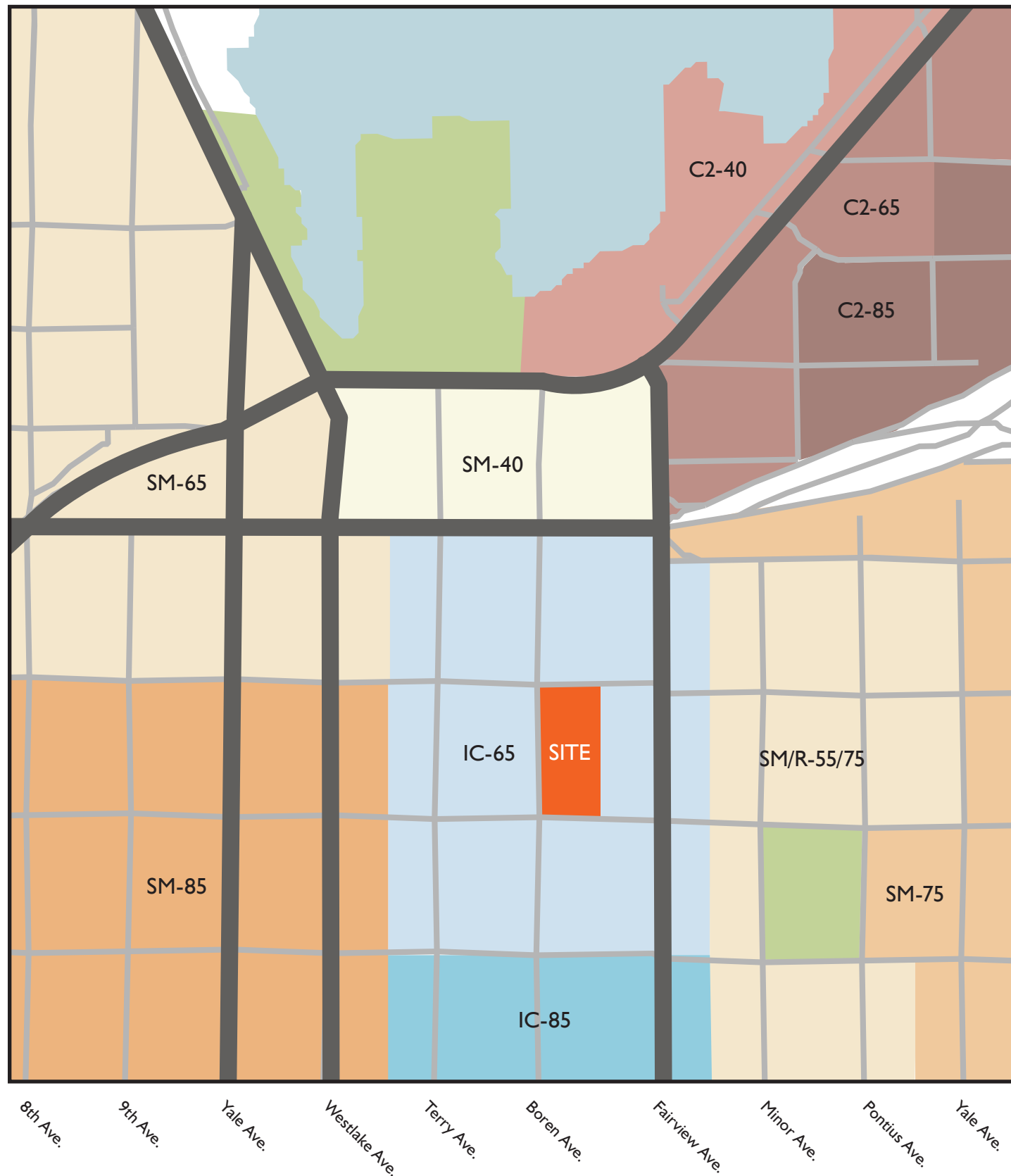
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Ward St.

Aloha St.

Valley St.

Mercer St.

Republican St.

Harrison St.

Thomas St.

## PROJECT SITE

The site is an entire 43,200 SF half-block bounded by Boren Ave North to the west, alley to the east, Republican to the north and Harrison to the south. Frontage on Boren is 360' and 120' on both Republican and Harrison. The northernmost portion of the site is a surface parking lot, while on the south 2/3 of the site exists one and two-story buildings and one small surface parking lot. The site is currently zoned IC-65 and is within the South Lake Union Urban Village. We are requesting a rezone of the property to SM-85'.



ZONING ANALYSIS

DPD (MUP) PROJECT NUMBER	3013013
PROJECT DESCRIPTION	Five Story Type VA residential building over two story Type IA residential, with two levels of below-grade parking. The building will be fully sprinklered. All existing construction and on-site landscaping is to be demolished.
KING COUNTY ASSESSOR 'S PARCEL NUMBERS	1983200635, 1983200645, 1973200655
LEGAL DESCRIPTION	LOT 7, BLOCK 108, DT DENNY'S FIRST ADDITION TO NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME I OF PLATS, PAGE 79, IN KING COUNTY, WASHINGTON.
	<b>TOGETHER WITH</b> LOTS 8, 9 AND 10, BLOCK 108, DT DENNY'S FIRST ADDITION TO NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME I OF PLATS, PAGE 79, IN KING COUNTY, WASHINGTON.
	<b>TOGETHER WITH</b> LOTS 11 AND 12, BLOCK 108, DT DENNY'S FIRST ADDITION TO NORTH SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME I OF PLATS, PAGE 79, IN KING COUNTY, WASHINGTON.
LOT AREA	120.00' X 360.00' = 43,200 SF
EXISTING ZONING DESIGNATION	IC-65'
PROPOSED CONTRACT REZONE DESIGNATION	SM-85'
PEDESTRIAN STREET	Boren, Harrison, and Republican are not designated Pedestrian I or II streets
URBAN CONTEXT	Site is located in the South Lake Union Urban Center. Adjacent properties are zoned IC-65'.

APPLICABLE DPD DESIGN GUIDELINES	South Lake Union Design Guidelines (effective May 26, 2005) South Lake Union Urban Center Neighborhood Plan (09/2007)
PERMITTED USES (23.48.004)	Mixed-use, residential, live-work, office, commercial
PROPOSED USE	Residential use containing residential apartments (R2) with accessory parking (S2) <ul style="list-style-type: none"><li>85'-0" Maximum to top highest main flat roof plane</li><li>85'-0" + 4'-0" For parapets, open railings, planters, skylights, clerestories, greenhouses</li><li>85'-0" + 15'-0" For stair/elevator penthouses, solar collectors, and screened mechanical equipment (provided features do not exceed 20% of roof area, or 25% with stair/elevator penthouses, and are setback 10' from the roof edge)</li></ul>
BUILDING HEIGHT LIMITS (23.48.010F)	
UPPER-LEVEL SETBACK REQUIREMENTS (23.48.012)	None required per Map A
GENERAL FAÇADE REQUIREMENTS (23.48.014)	<ul style="list-style-type: none"><li>Primary building entrance required from street or street oriented courtyard no more than 3' above or below sidewalk grade.</li><li>Minimum façade height of 15' feet</li></ul>
FLOOR AREA RATIO (23.48.016)	There is no FAR limit for residential in the SM-85 zone.
RESIDENTIAL AMENITY AREAS (23.48.020)	5% of total residential gross square footage is required as amenity space. Must be accessible to all residents at or above grade level. A max 50% of amenity area may be enclosed (atrium, greenhouse, solarium). All amenity areas min 15' horizontal dimension and be min 225 SF.
VEHICLE PARKING CALCULATIONS (23.54.015)	Multifamily Residential uses within an Urban Center = No requirement



SITE ANALYSIS

- South Lake Union Streetcar
- Pedestrian Walk
- Bus Stop
- Commercial
- Low-rise Commercial
- Retail
- Residential
- Parking





Ward St.

Aloha St.

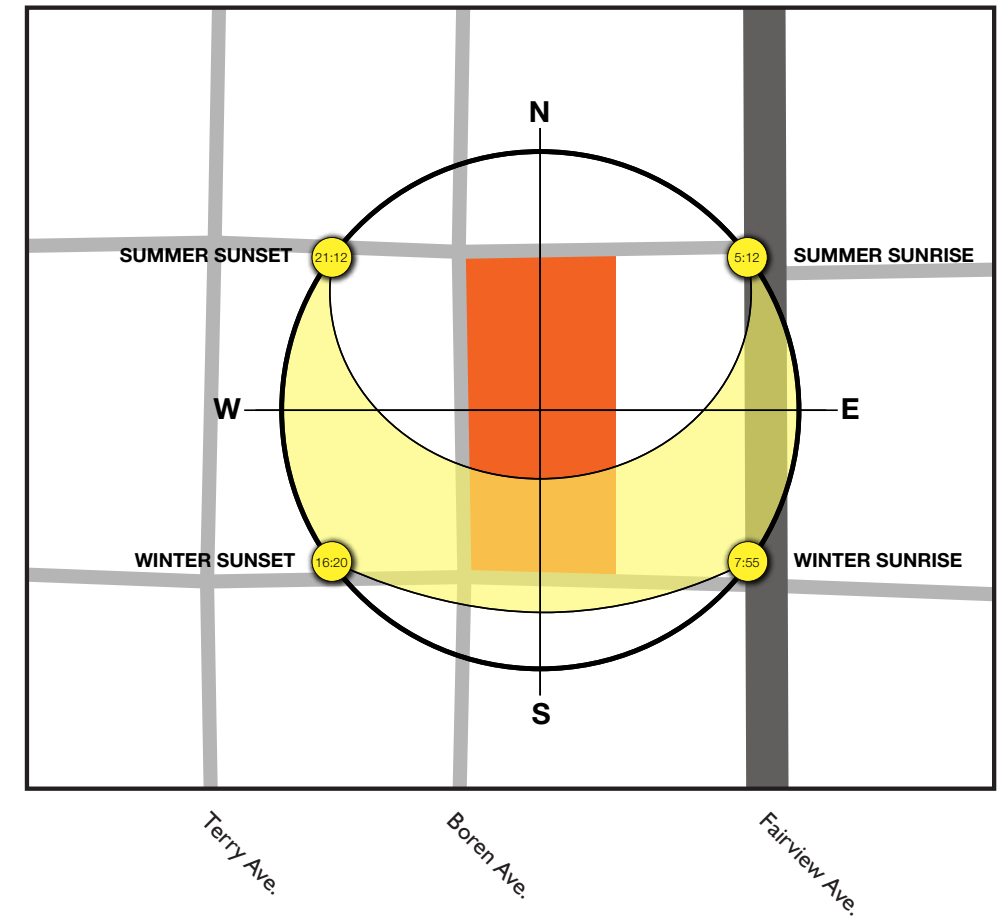
Valley St.

Mercer St.

Republican St.

Harrison St.

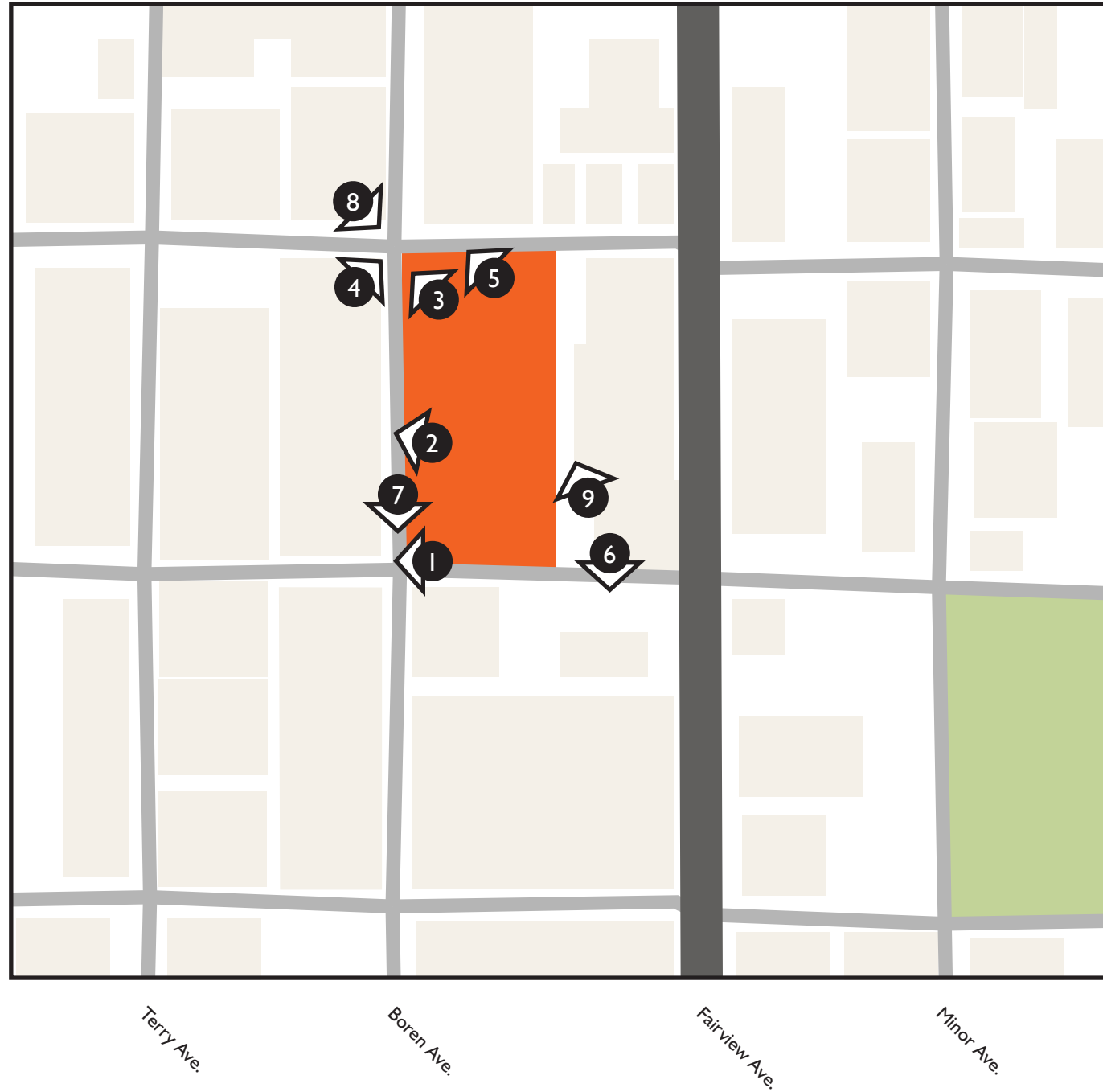
Thomas St.



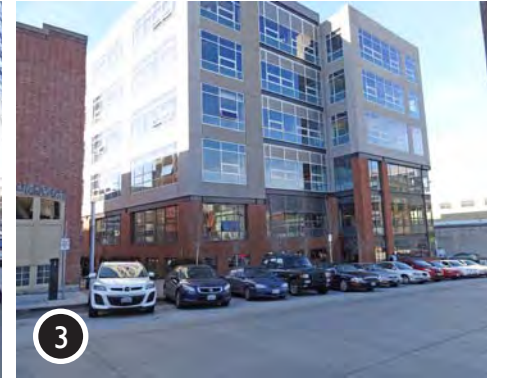
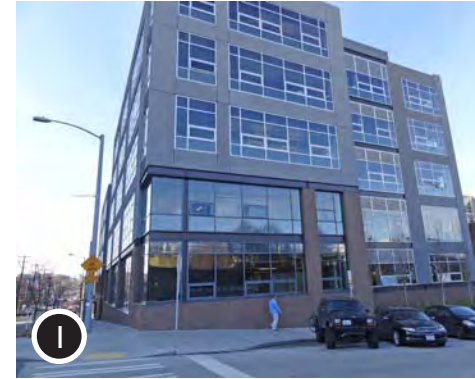
Republican St.

Harrison St.





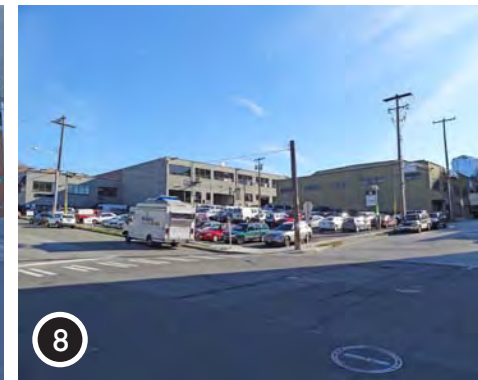
Republican St.



Harrison St.



Thomas St.





VIEW EAST TO SITE – ALONG BOREN AVE NORTH



SITE

VIEW NORTH TO SITE – ALONG HARRISON ST.



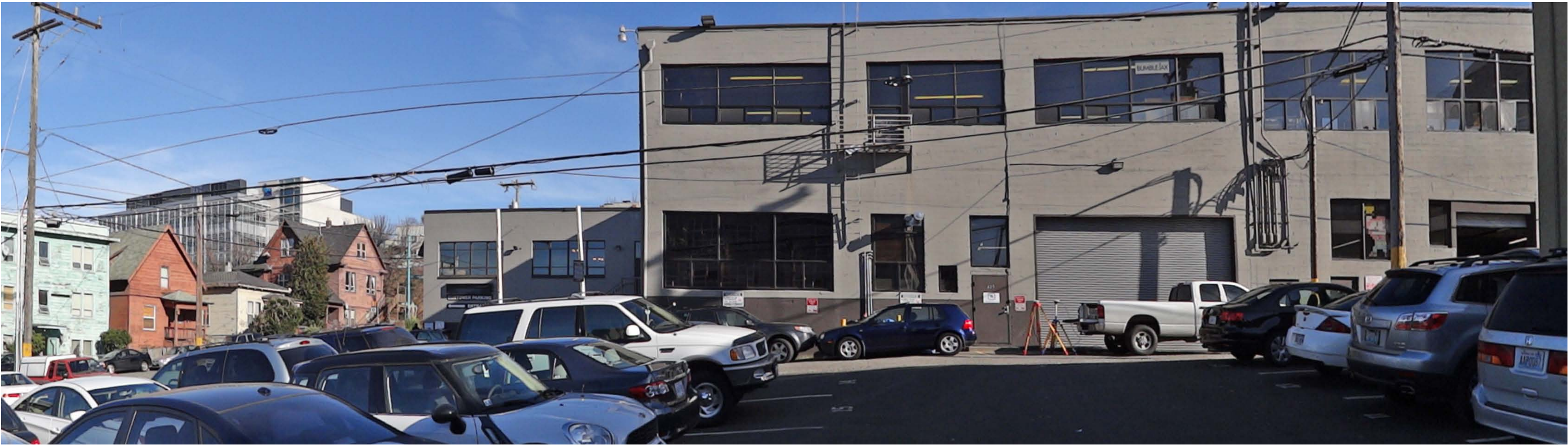
SITE



VIEW NORTH TO SITE – ALONG REPUBLICAN ST.



VIEW EAST TO SITE – ALONG ALLEY





## "North Court"

- FURTHER REMOVED FROM STREET (ALLEY)
- INWARD & QUIET

## "South Court"

- CLOSER TO ALLEY ELEV
- GRASSY PLOTTED TERRACES (LIKE NORTH COURT)

## "URBAN QUARTER"

- ENGAGE STREET, CITY, AMAZON
- LOTS OF SUN
- ACTIVE, URBAN

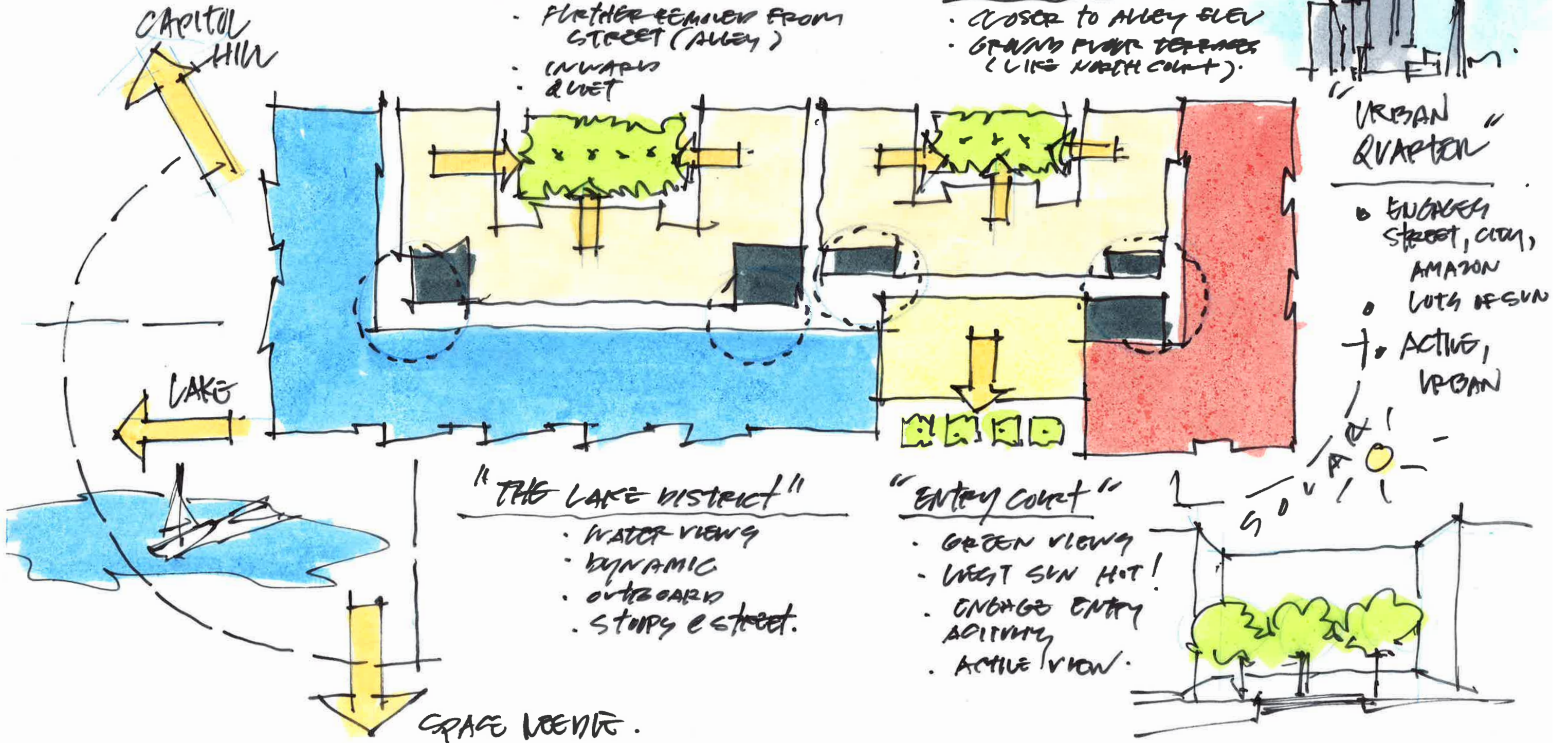
## "THE LAKE DISTRICT"

- WATER VIEWING
- DYNAMIC
- OUTBOARD
- STOPS E STREET.

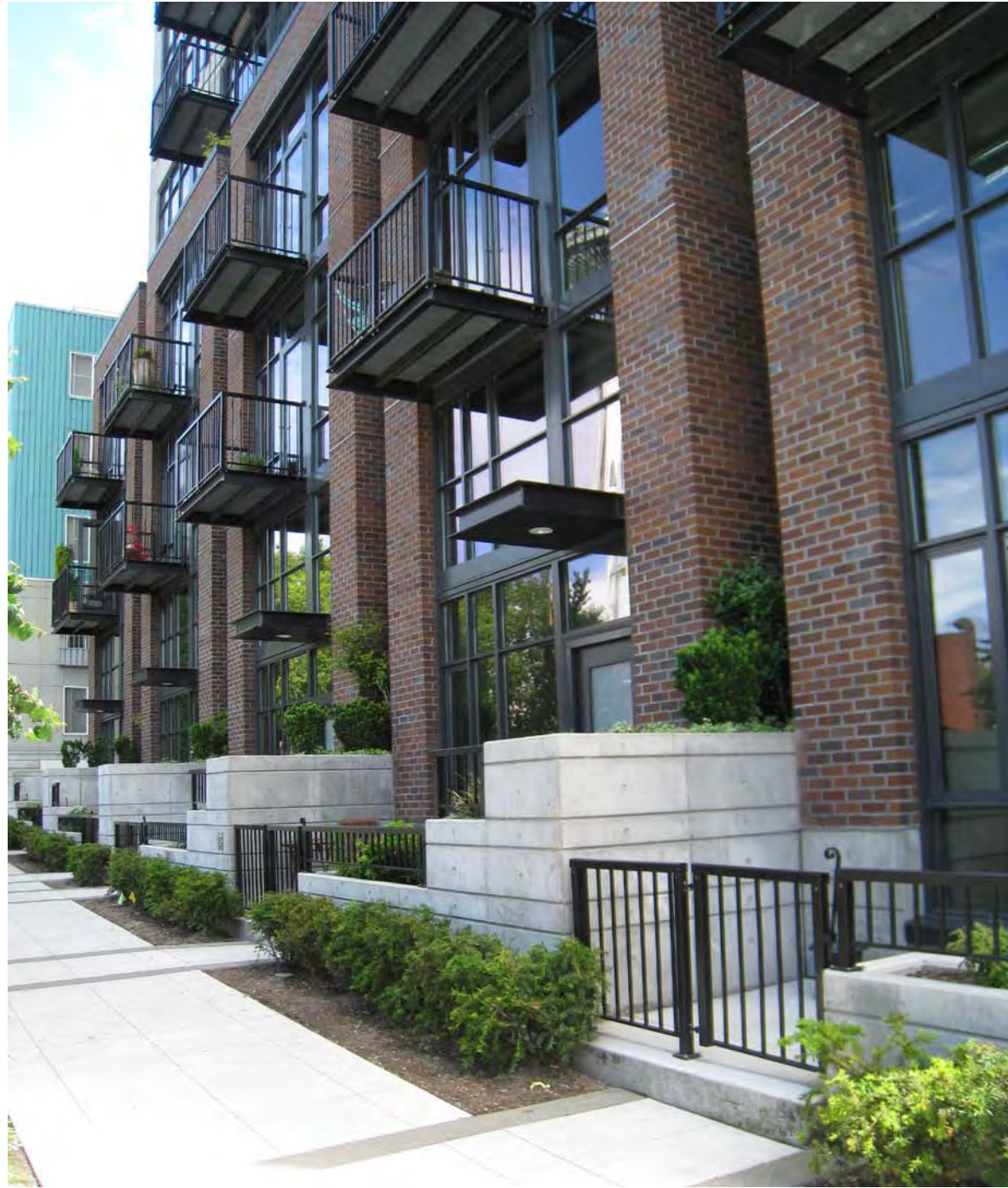
## "Entry Court"

- GREEN VIEWING
- WEST SUN HIT!
- ENGAGE ENTRY ACTIVITY
- ACTIVE VIEW.

SPACE MOVING.













## PROPOSED DESIGN

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# DESIGN NARRATIVE

400 Boren will provide a multi-family residential use to what has been a primarily commercial neighborhood. The project is comprised of 282 residential units, amenity space and below-grade structured parking. Unlike Westlake, Terry and Fairview Avenues, Boren Ave. N is not commercially oriented. As a response to the viability of retail/commercial uses, a well detailed base of residential entries, stoops, and terraces is proposed along Boren, Harrison and Republican. The 12% sloped site has a very different N-S orientation. From Republican Street on the site's north side views open to Lake Union while tighter urban views look south to downtown from Harrison Street.

The overall building massing is a classic “E” plan which is expressed along the Alley façade (east) and provides crenellation for light and air as well as two generous courtyards for the adjacent units. Along Boren Ave. N (west) the building’s massing is broken down into two major pieces each having different massing and articulation based on their orientation. The piece to the north is called the “Lake District” and is highly articulated with upper level terraces and vertically proportioned bay windows to cant views northward to Lake Union. Oriented south to downtown the “Urban Quarter” is more vertically oriented and taut with a prominent corner element, accented roofline and decks for architectural expression. Between these two pieces along Boren is the recessed entry court.

While these major moves scale the building down and help transition almost 30’ of grade drop between Harrison and Republican, the lower two floors of the project are treated carefully to ensure the residential units will be successful. Extensive landscaping from curb line to the building façade runs along all streets. Well-scaled landscape walls, private terraces and stoops will help transform the character of the neighborhood. Additionally, materials used at the base such as masonry, board formed concrete, custom handrails, entry gates, lighting and benches will lend patina and residential scale to the neighborhood adjacent to 400 Boren.







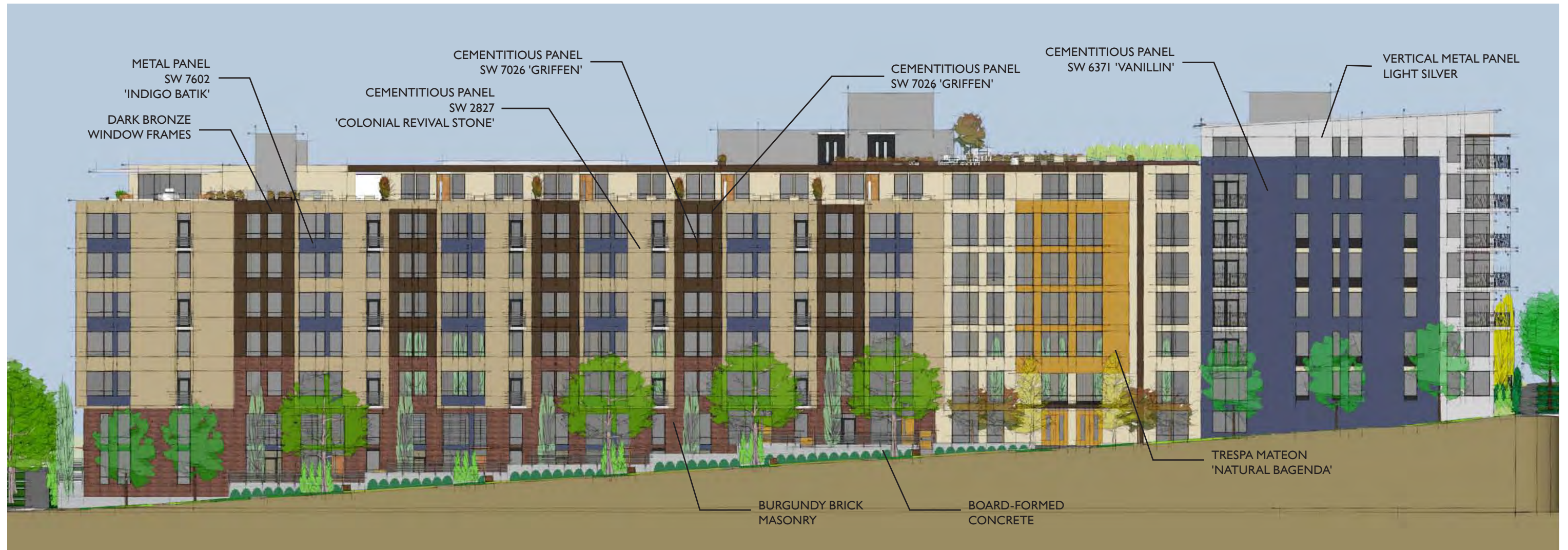




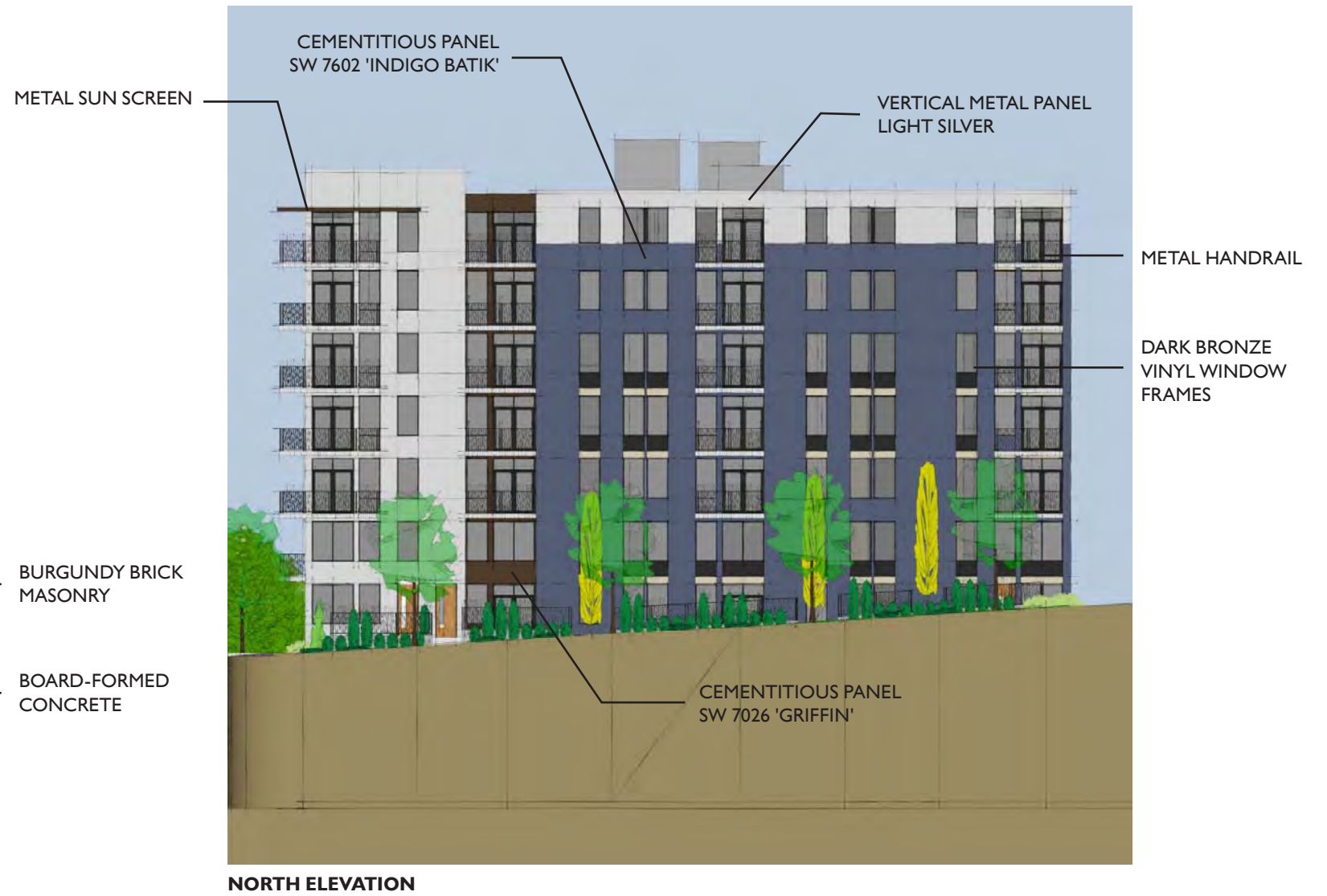
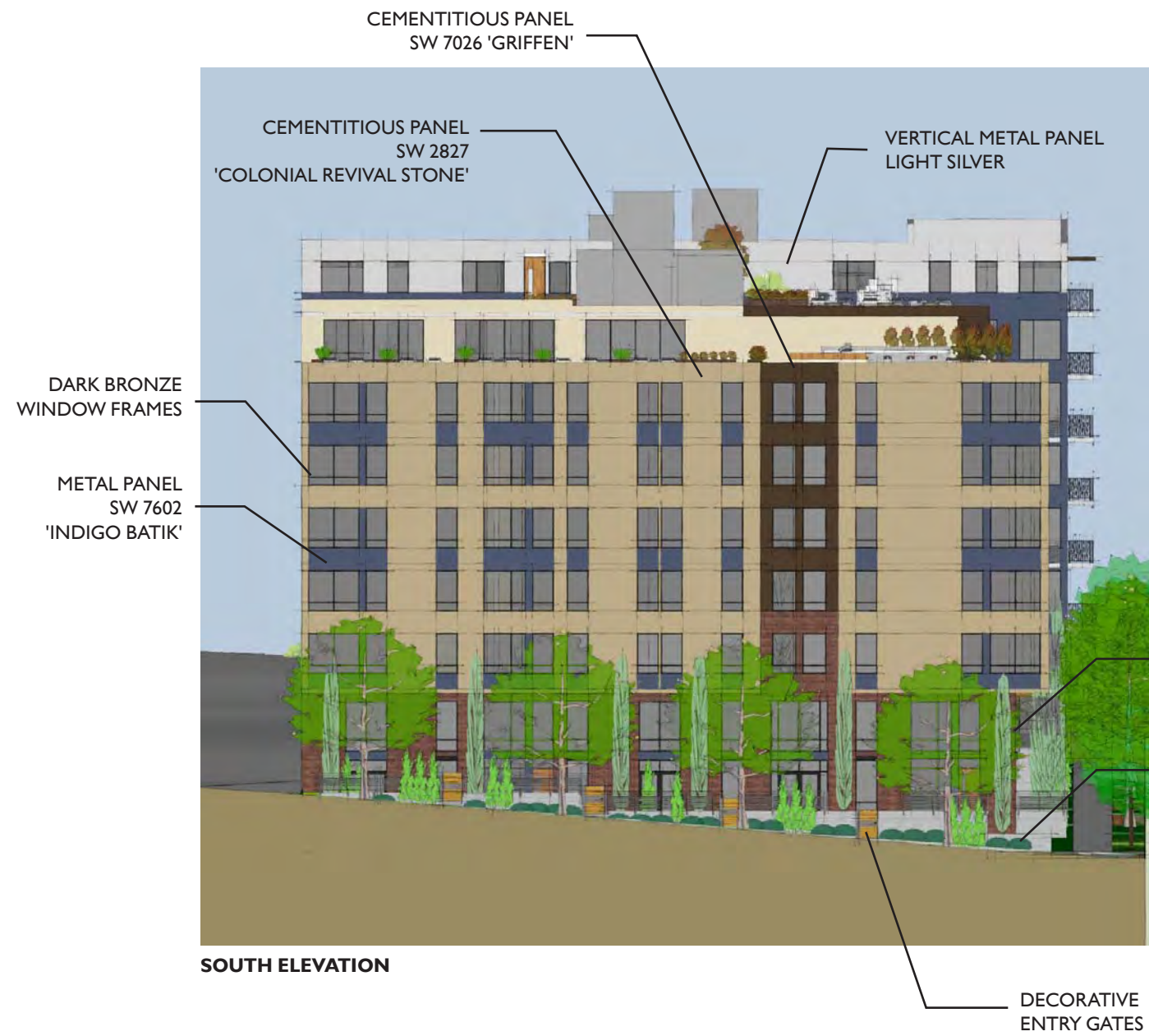










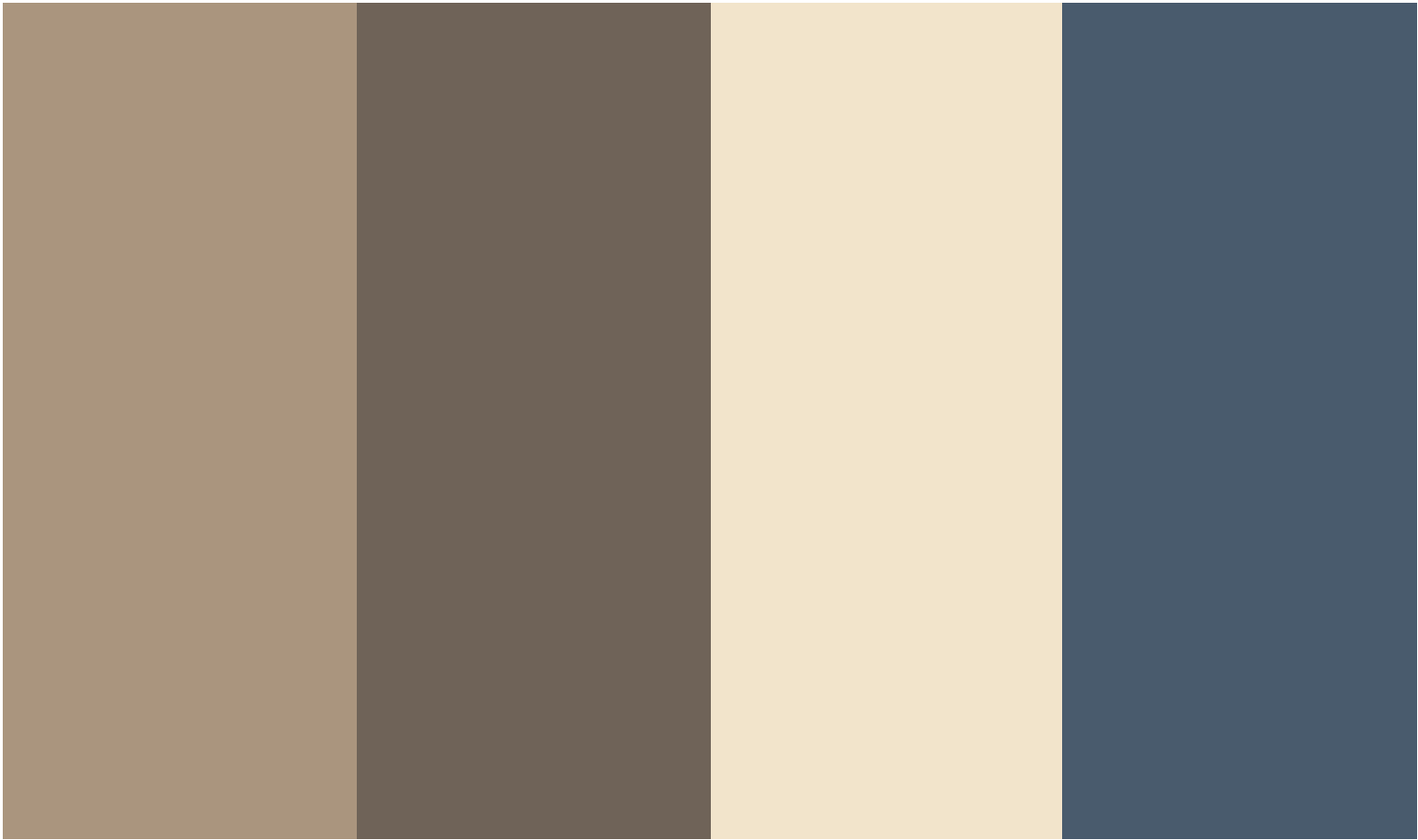








EXTERIOR MATERIALS



SW 2827 'Colonial Revival Stone'      SW 7026 'Griffen'      SW 6371 'Vanillin'      SW 7602 'Indigo Batik'



Wood Veneer  
'Light Oak' Color



Metal Panel  
Light Silver Color



Pier-mount light



Step Lighting



Board-formed concrete



Burgundy Brick



Partially-shielded sconce



Directional Light  
(Hunza)



1st Level Residential Blinds





ALLEE ELM



GOLDEN DAWN REDWOOD



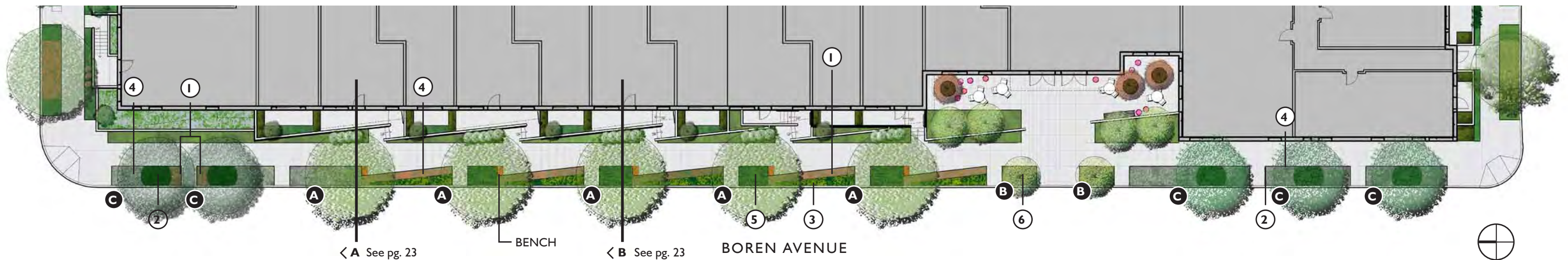
BELLE TOWER SUGAR MAPLE



GULF STREAM HEAVENLY BAMBOO



MT. VERNON LAUREL



RUSSIAN JUNIPER



SUNSHINE DAISYBUSH



PRIVET HONEYSUCKLE



SPREADING YEWE







RESIDENTIAL ENTRY CROSS-SECTION (A)  
See page 22 for location



RESIDENTIAL ENTRY CROSS-SECTION (B)  
See page 22 for location



1 SILVERVEIN CREEPER



2 OAKLEAF HYDRANGEA



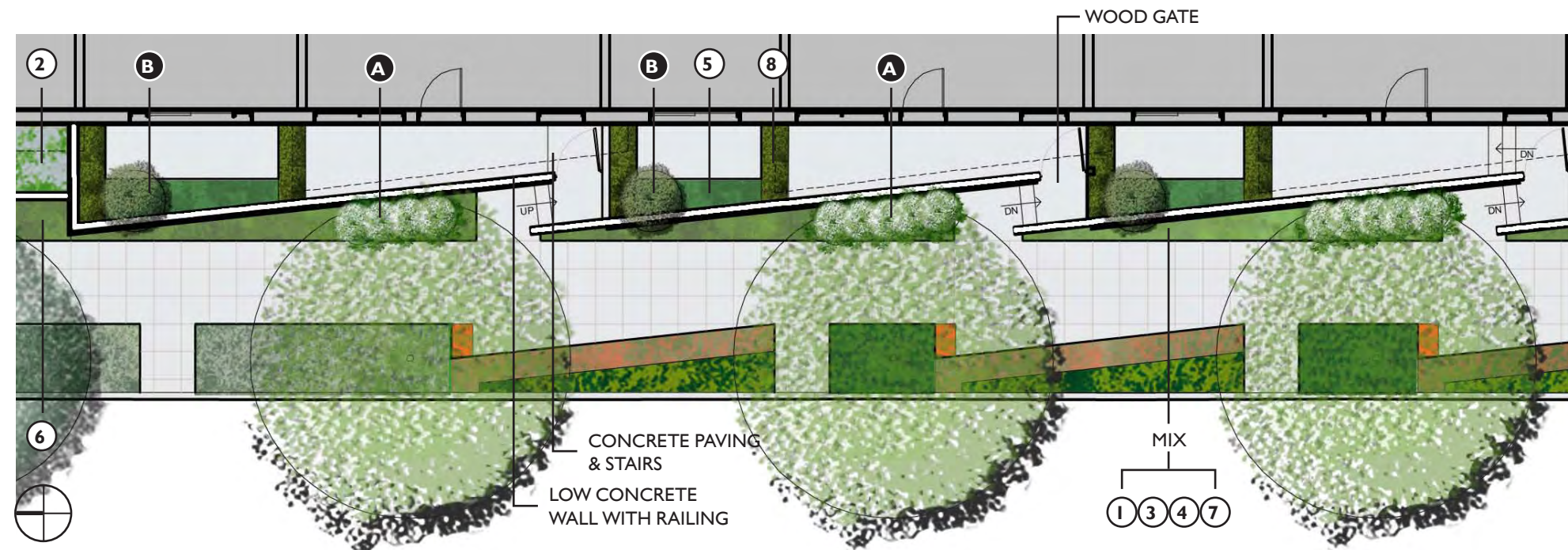
3 PAGE HEBE



4 GOSHIKI FALSE HOLLY



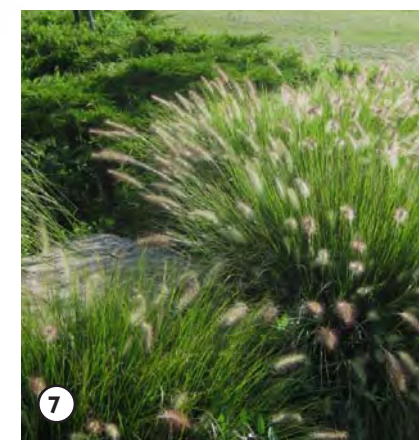
A COLUMNAR SIBERIAN CRABAPPLE



5 FRAGRANT VALLEY SWEETBOX



6 AZTEC PEARL MEXICAN ORANGE



7 ACCENT GRASSES



8 COLUMNAR YEW HEDGE



B SWEDISH ASPEN



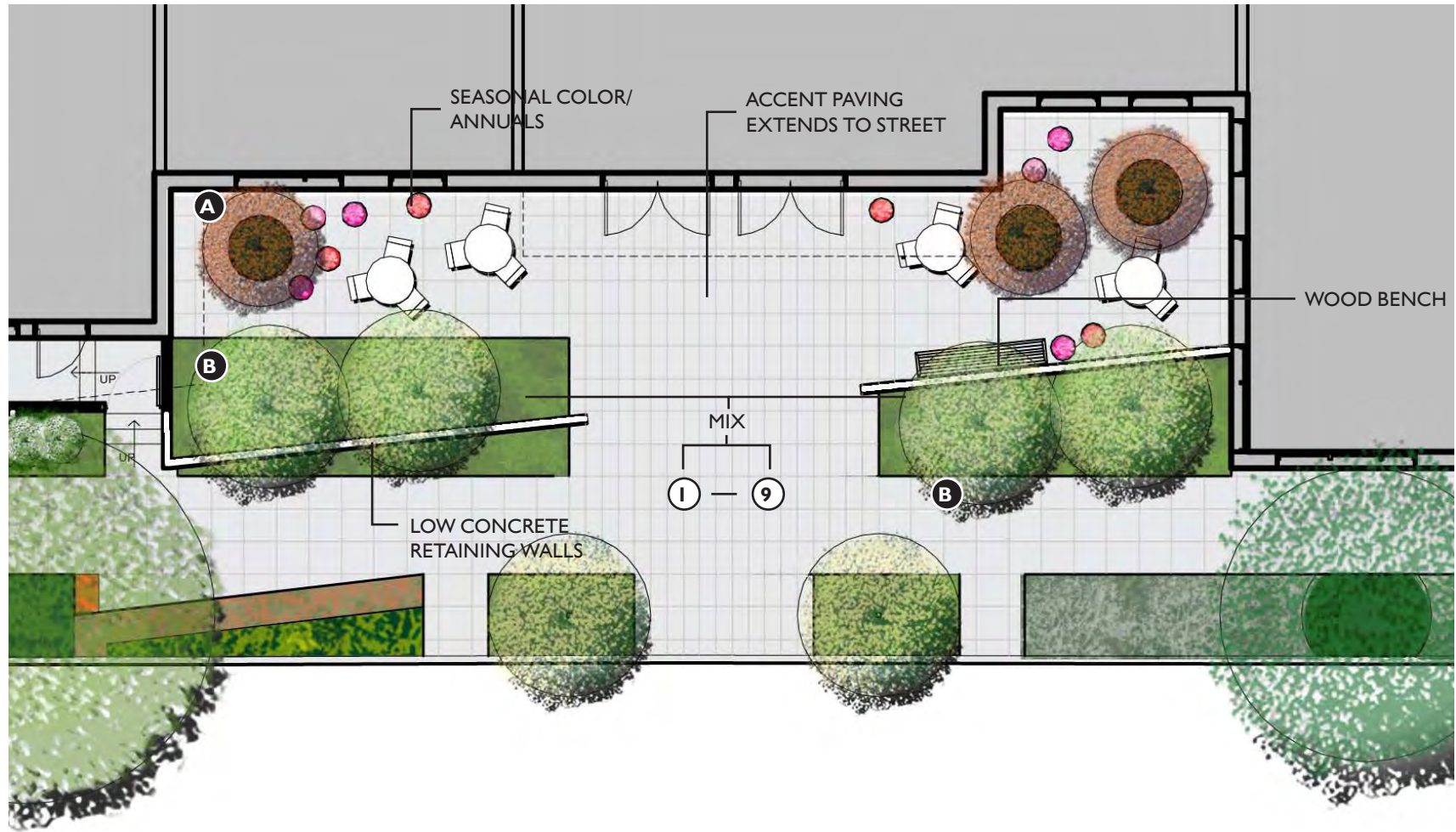




PURPLE SMOKE BUSH



PERSIAN PARROTIA



TASSEL FERN



SPINY BEARS BRITCHES



HOSTA HALCYON



ARNOLD'S PROMISE WITCH HAZEL



JACK FROST BUGLOSS



EVERGREEN HUCKLEBERRY



BOWLES GOLDEN SEDGE



AUTUMN FERN











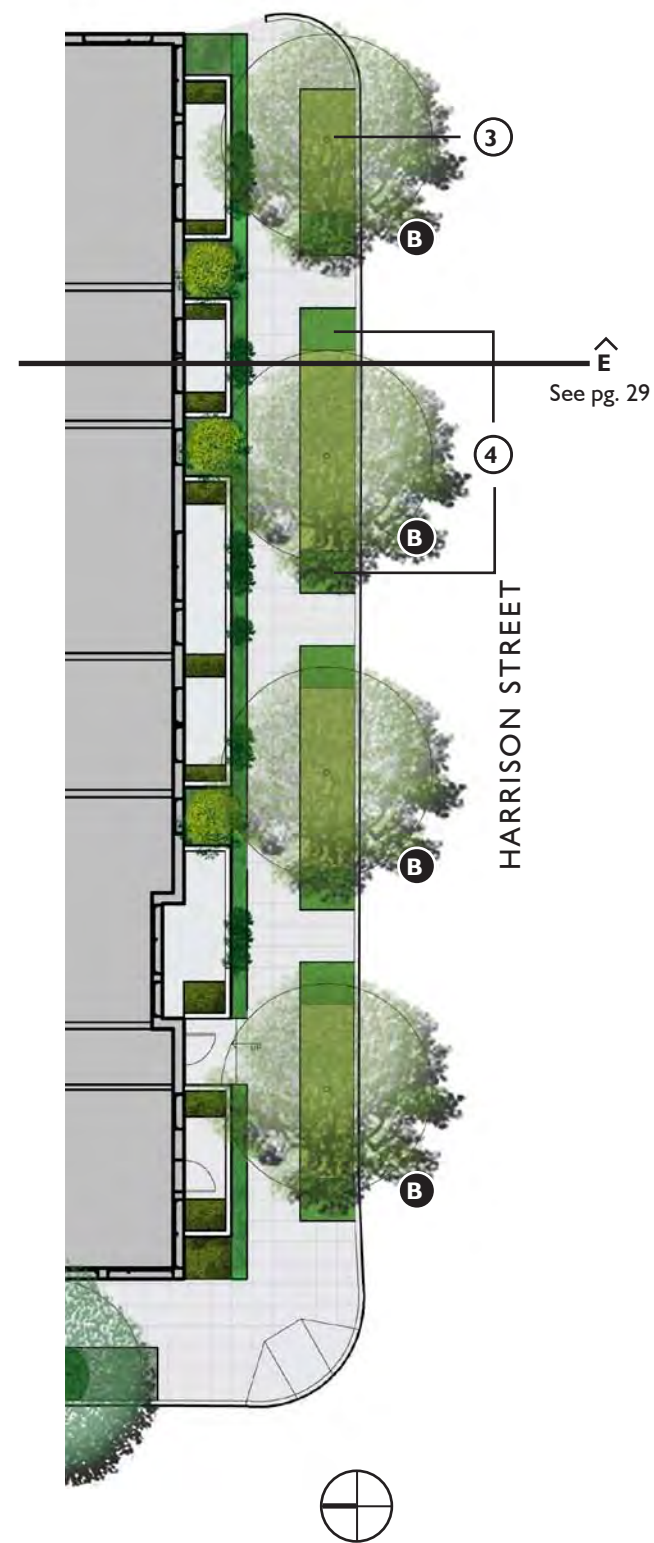
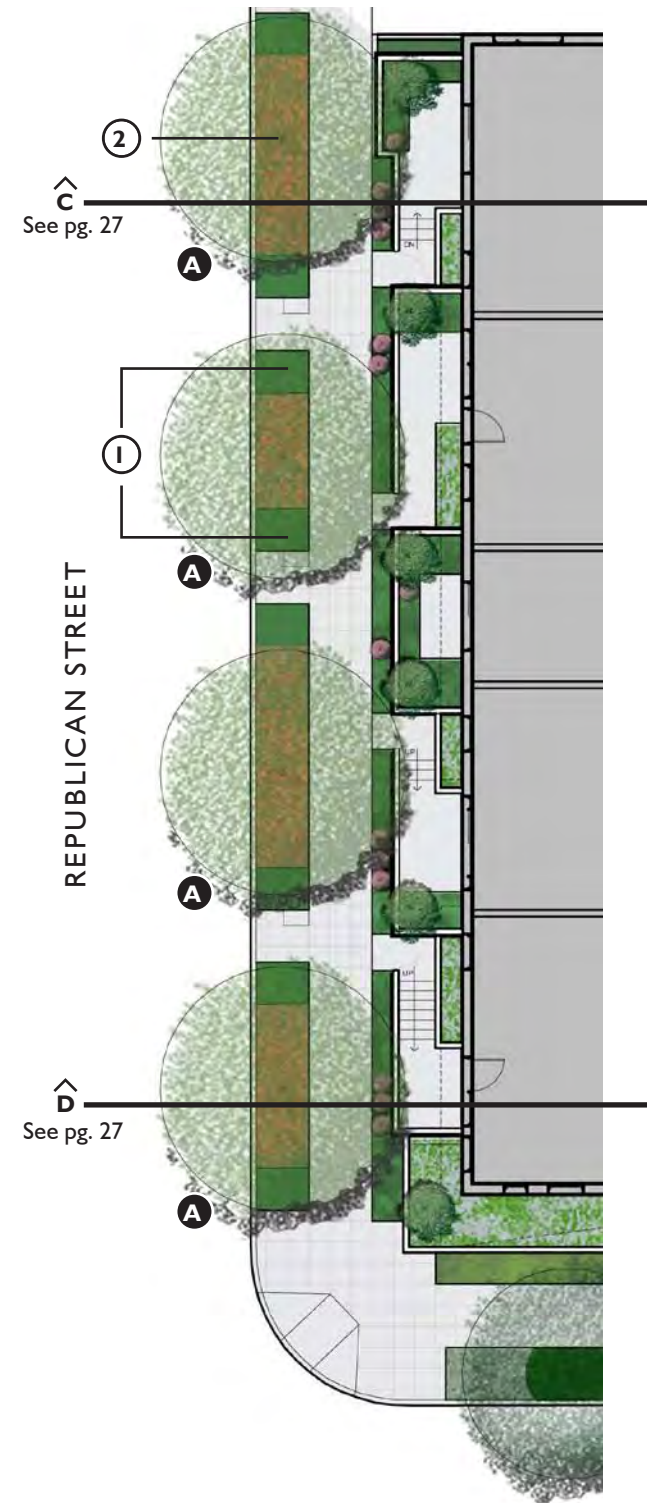
① PRIVET HONEYSUCKLE



② GULF STREAM HEAVENLY BAMBOO



Ⓐ ALLEE ELM



③ JAMES STIRLING WHIPCORD HEBE



④ WHEELERS DWARF JAPANESE MOCK ORANGE



Ⓑ GALAXY MAGNOLIA







**1**  
AZTEC PEARL MEXICAN ORANGE



**A**  
SWEDISH ASPEN



**B**  
DREAMWEAVER CRABAPPLE



**2**  
FRAGRANT VALLEY SWEETBOX



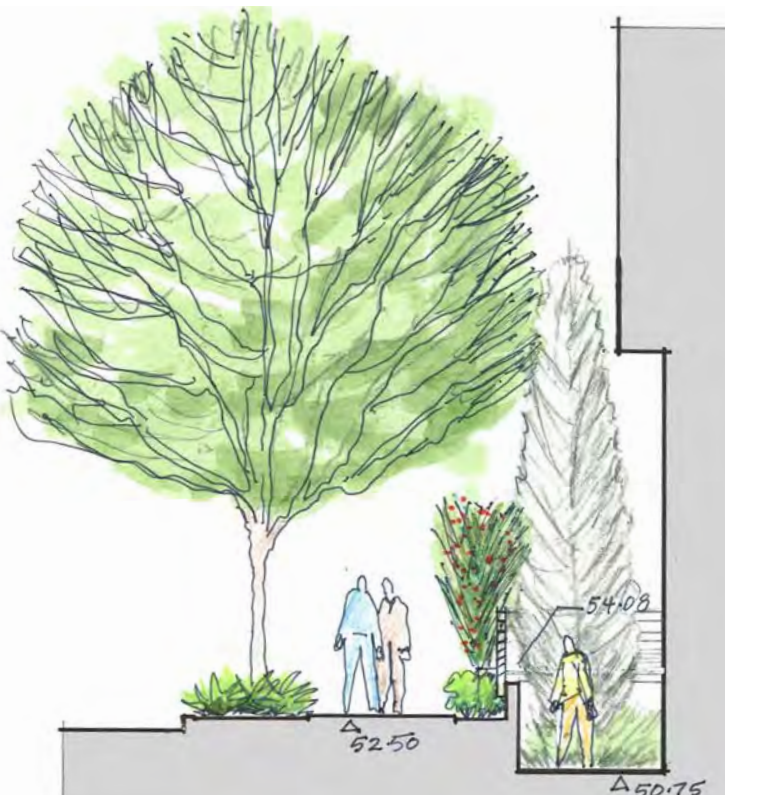
**3**  
GREEN SPIRE EUONYMUS



**4**  
OAKLEAF HYDRANGEA



RESIDENTIAL ENTRY CROSS-SECTION (D)  
See page 26 for location



RESIDENTIAL ENTRY CROSS-SECTION (C)  
See page 26 for location







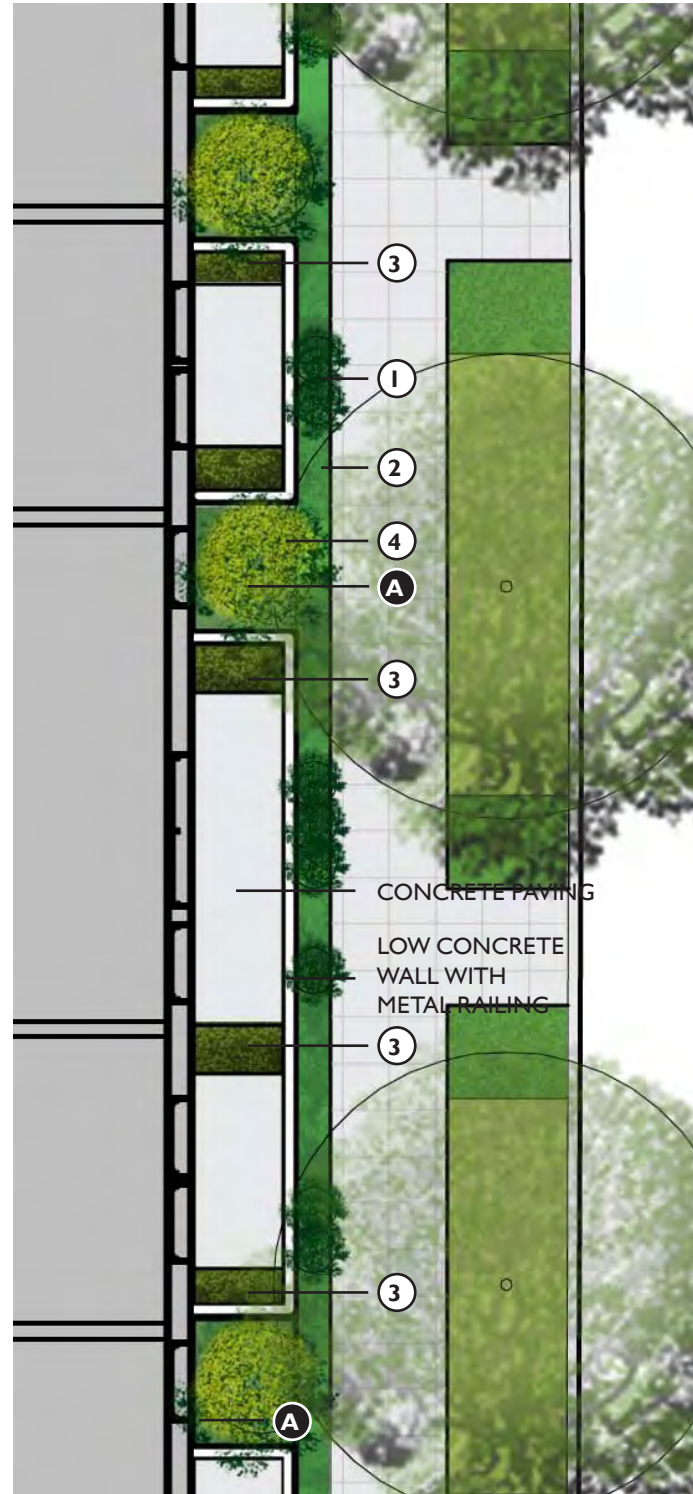




1  
COLUMNAR YEWE



A  
COLUMNAR TULIP POPLAR



2  
GREEN GEM KOREAN BOXWOOD



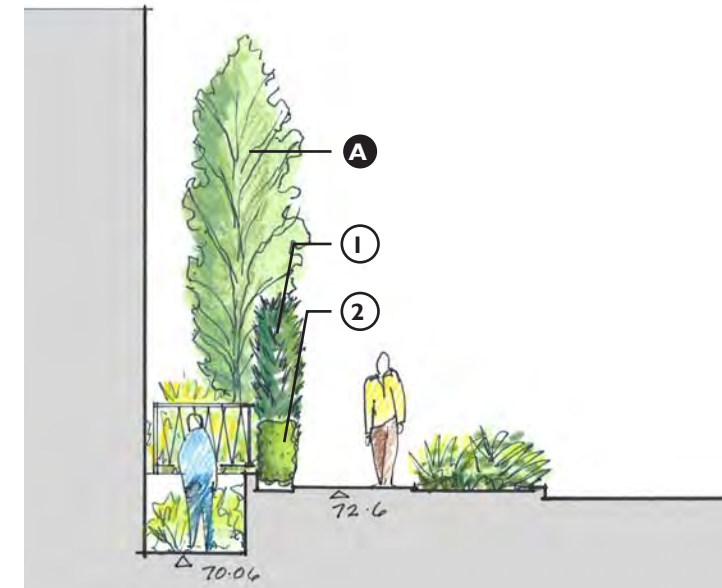
3  
GREEN SPIRE EUONYMUS



4  
FRAGRANT VALLEY SWEETBOX



5  
SILVERVEIN CREEPER



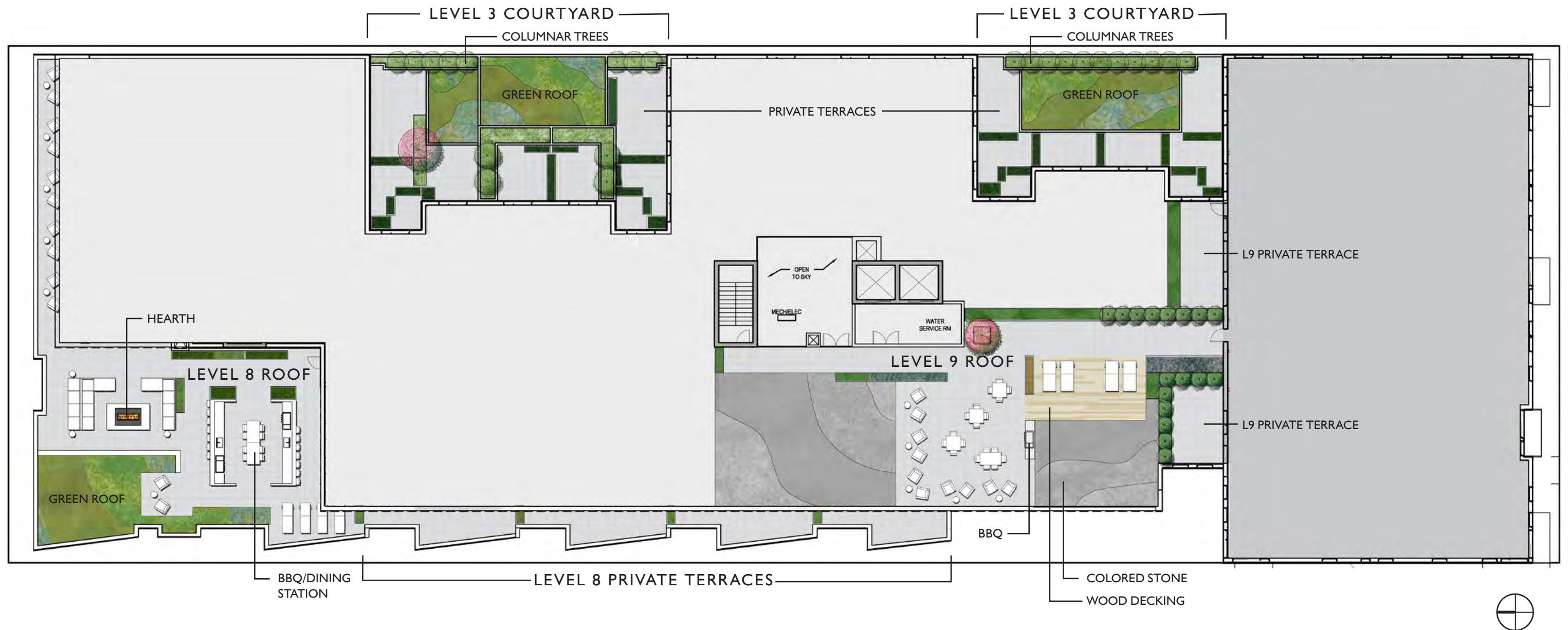
RESIDENTIAL ENTRY CROSS-SECTION (E)  
See page 26 for location













EDG PRIORITIES & RECOMMENDATIONS

1. Explore the proposed right of way design with S-DOT. The 4’/6’/2’ pattern proposed would help to increase the useable space at the stoop and patio depth for ground level units on Boren Ave. N
- Response:** The building has been set back 8’ from the property line along Boren Ave. The dimensions within the proposed right of way are a 5’ landscaping strip, 6’ sidewalk and a varying width landscape buffer including an additional 6” over the property line.
2. Use the grade changes across the site to create a greater buffer for privacy of residences at grade. Landscaping and sight lines should be designed to provide privacy for residences at grade, to encourage use of stoops and minimize closed blinds at the street level.
- Response:** Privacy and buffering for residences at grade is accomplished in several ways: through low retaining walls, through changing grade elevations from the sidewalk, through layers of planting, and through railing design and entry gates. The arrangement strikes a balance between engaging the streetscape and providing comfort for the residents. Please refer to the elevations, plans, sections and perspective views for specific conditions. Typically the walls are not above eye-level but high enough to create privacy and defensible space for the residents as well as to partially obscure the line of site between residents and pedestrians.
3. The board agreed that massing option C presents the best massing option to the Guidelines, with the 1/3 south module and 2/3 north module.
- Response:** Project has been developed based on massing Option C.
4. Explore setting the building back further from the property line in order to create larger stoop areas that would encourage residential outdoor use of stoops.
- Response:** Setback of building along Republican Street is 8’, Setback of building along Boren Ave. E is 8’ and Setback along Harrison St. is 6’. All stoops and landscaping are on-grade as opposed to over below grade parking to ensure robust landscaping for privacy.
5. Consider shifting a proportion of the building from the public right of way to activate the street level with furniture, landscaping, or other elements to encourage privacy.
- Response:** In addition to the required 2’ setback along the alley, the facades at all streets are set back varying amounts to accommodate landscaped terraces for privacy. At the main building entry along Boren the building is setback an additional 17’ to accommodate additional seating and landscaping.
6. The board encouraged the applicant to include street trees on both sides of the sidewalks as shown in the concept drawings.
- Response:** Trees have been included on both sides of the sidewalks.

7. Design the permanent planters and hardscape between the residential units and with the sidewalk to be more defensible
- Response:** Defensible space is created through a layered, dynamic entry sequence including steps, locked gates and angled walls and handrails. Where there are entries from the sidewalk, the entry to the unit is offset, so as to create more privacy and security for the resident. The angled walls mimic the angled bays and create an interesting streetscape.
8. Pull the north and south facades back as shown on the concept drawings to enhance pedestrian crossing safety, and include low landscaping and clear sightlines for pedestrians.
- Response:** The south façade along Harrison has been pulled back 6’ with low landscaping as there are no residential entries at this façade. The north façade along Republican has been pulled back 8’. Planters along the north façade are higher to provide privacy for residential stoops and have been minimized in height to provide sightlines for pedestrians where possible. All planting within the right of way will meet SDoT standards for height to allow a clear line of sight between the sidewalk and the street.



EAST ELEVATION (9)

9. The east elevation should be well-designed with some fenestration and treated as a fourth primary building facade. This facade is highly visible from surrounding development and shouldn’t be treated as a ‘back of house’ facade.
- Response:** The East façade is composed of three individually articulated pavilions, two at the corners and one in the middle of the site and expresses the basic “E” shaped building parti. Two large well landscaped courtyards are framed between the pavilions, including tree planting that will be visible to the neighbors. Each pavilion has a unique color palette and window pattern. In addition, the facades at the courtyard have will a more extensive and unique window pattern.
10. Windows should be designed to maximize light penetration at the alley and for the ground level residential units. One technique includes windows and mullions leaving the lower 2/3 of the window fully glazed

- Response:** Windows at the alley will be frosted/translucent to allow light penetration and privacy at this condition. Typically all units’ primary orientation along the alley is into courtyard or to the street. We have no units that are “landlocked” with an alley view only.
11. Ground level residential units should include a design plan to provide privacy while maintaining a sense of transparency and activation at the street front. The applicant should provide information about this strategy and demonstrate how the design will avoid creating street front composed of ‘closed blinds’.
- Response:** Residential units at the ground floor will open to generous outdoor landscaped terraces to provide privacy for the residents. Because the terraces are designed to be a visual/functional extension of the interior space they will be activated by the tenants. Views between the street and terrace will be layered through planting, low retaining walls and railings. Additionally, the tenant windows will be equipped with “bottom-up” blinds to discourage the “closed blinds” streetfront look.
12. The building entry at the divisions between the south 1/3 and the north 2/3 of the building should be distinct and emphasize the differentiation between the north and south portions of the building.
- Response:** This portion of the building, while being the most recessed to help provide a clear separation between the adjacent portions, will also be clad in a darker panel color to help it recede. The window pattern and rhythm will also be distinct from the adjacent portions.
- In addition, the main building entry bay will be highlighted with distinct color and illumination.



BUILDING ENTRANCE (12)





A-1 RESPONDING TO SITE CHARACTERISTICS

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

- Encourage provision of “outlooks and overlooks” for the public to view the lake and cityscapes. Examples include provision of public plazas and/or other public open spaces and changing the form or façade setbacks of the building to enhance the opportunities for views.

**Response:** The larger 2/3 portion of the building is set back 8’ from Boren allowing views north to Lake Union from the entry plaza as well as from the bay windows of the units above. Pulling back the street wall elevation along Boren will also provide a larger “aperture” for pedestrians along Boren to view Lake Union.

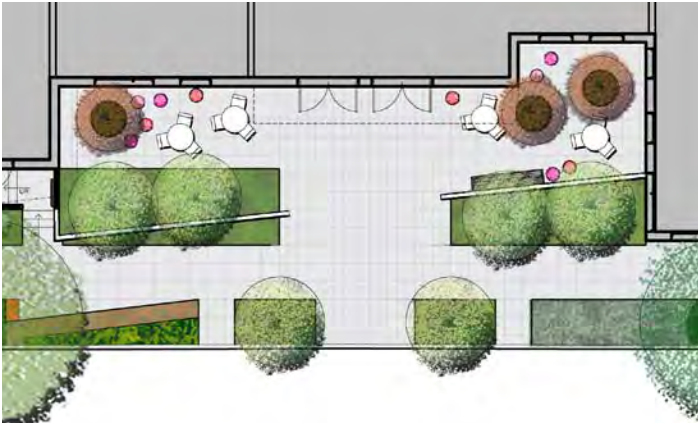
- Minimize shadow impacts to Cascade Park  
**Response:** According to shadow studies the project will not impact Cascade Park
- New Development to accomplish sustainability goals  
**Response:** The project is attempting a LEED Homes Silver Rating.



A-2 STREETSCAPE COMPATIBILITY

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way

- Provide pedestrian-friendly amenities such as tree grates, benches and lighting  
**Response:** The pedestrian/landscaping amenities for the project will include decorative/security site lighting, new street trees, benches and extensive planting at the right of way.



Building Entrance

- Encourage provision of spaces for street level uses that vary in size, width and depth. Encourage use of awnings and weather protection along street fronts to enhance the pedestrian environment.  
**Response:** All residential entries at street level will have overhead canopies for weather protection. The canopies will also provide a level of residential scale and interest to the building’s base.
- Where appropriate, consider a reduction in the required amount of commercial and retail space at the ground level.  
**Response:** The specific site for 400 Boren is not as conducive to retail/commercial as other streets in South Lake Union neighborhood



Residential entries off Boren





**A-4** HUMAN ACTIVITY  
New Development should be sited and designed to encourage human activity on the street.

- Create graceful transitions at the streetscape level between the public and private uses.

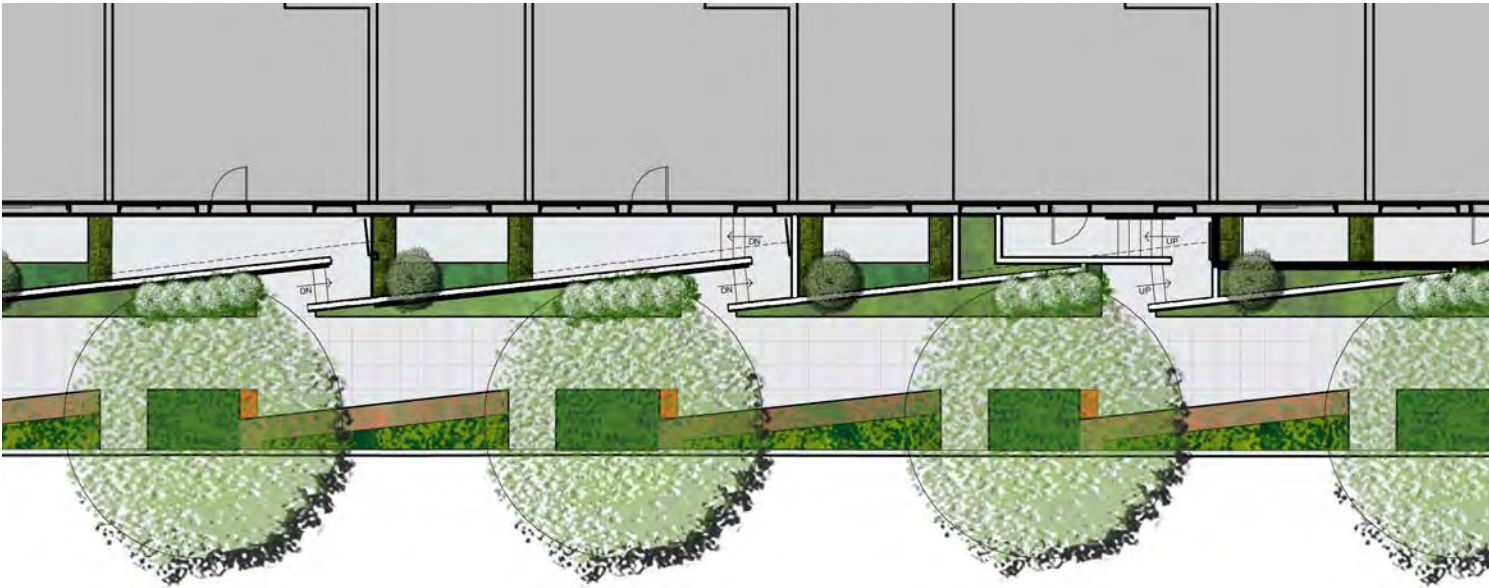
**Response:** A series of low board formed/textured concrete walls, thoughtful landscaping, privacy gates, terraces, stoops, stairs, and pedestrian scale lighting will provide a graceful transition from the public sidewalk to residential uses.

- Design for a network of safe and well lit connections to encourage human activity and link existing high activity areas

**Response:** 400 Boren will reinforce existing linkages along Boren, Republican and Harrison by transforming the existing pedestrian realm through an entirely new right of way configuration featuring new landscape, lighting and benches.



Streetscape Inspiration



Streetscape Design



Residential Entry Inspiration

**A-6** TRANSITION BETWEEN RESIDENCE AND STREET  
For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

- Consider designing the entries of residential buildings to enhance the character of the streetscape through the use of small gardens, stoops and other elements to create a transition between the public and private areas.

**Response:** The various stoops, entries and landscaping proposed will provide a strong identity and character for all residents. The residential terraces will provide opportunities for residents to enjoy exterior space, overlook the street and create a sense of community.



## B-I

### HEIGHT, BULK, AND SCALE COMPATIBILITY

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scaled between anticipated development potential of the adjacent zones.

- Encourage stepping back an elevation at upper levels for developments taller than 55' to take advantage of views and increase sunlight at street level.

**Response:** There are major setbacks along Boren and Republican Streets at the northern 2/3 building upper level terrace which help step the building back in section as well as the stepping back of the facades in the plan.

- Relate proportions of building to the width and scale of the street

**Response:** The overall project massing is designed to relate to the overall context. The southern 1/3 portion is of a higher scale and more vertically proportioned to relate to the larger scale Amazon development and potential future Troy Laundry Block development directly south. The northern 1/3 is stepped to reduce the height, emphasize the horizontal proportion and open the views north to the lake.

- Articulate the building facades vertically or horizontally in intervals that relate to the existing structures or existing pattern of development the vicinity

**Response:** The major building break at the entry on the Boren façade coincides with a pedestrian walkway system to the south of the Van Vorst Building across Boren. The two story, horizontally-scaled, brick base and vertically oriented window bays along Boren relate to the lower floors and articulation found on nearby residential and commercial development.

- Consider using architectural features to reduce building scale such as: landscaping; trellis; complementary materials, detailing; accent trim.

**Response:** Extensive planting, at various heights, is used along all lower terrace walls to reduce and soften their scale at the base of the building, to provide privacy and delight. The lower terrace walls will be board formed/ textured and complement the masonry used at the lower two floors of the building. The residential entries will be detailed with entry canopies, custom lighting, railings and entry gates to help relate the building to human scale.





## C-I ARCHITECTURAL CONTEXT

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the character and siting pattern of neighboring buildings.

- Support the existing fine-grained character of the neighborhood with a mix of building styles.
- Respond to the history and character in the adjacent vicinity in terms of patterns, style and scale.
- Respond to the working class, maritime, commercial and industrial character of the Waterfront and Westlake areas

**Response:** Because the building spans an entire half block from Republican to Harrison in plan and a 30' fall in elevation, we have the ability to respond to a variety of contextual influences.

The northern 2/3 "lake district" building will have a series of finely detailed bays, balconies and corner glazing along Boren. Masonry will be used at the lower two level residential stoops and will reflect both the historical and current use of brick in the neighborhood. Smaller scale building components such as railing, gates and lighting will reflect nautical and industrial aspects of the neighborhood.

The southern 1/3 "urban quarter" building will have a more vertical urban scale with large areas of glazing alluding to the industrial loft aesthetic. The corner of Boren and Harrison will be detailed in metal panel and wrap around decks to provide strong vertical emphasis.



Brave Horse Tavern on Terry



Van Vorst Building across the street on Boren







## C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.

- Design the “fifth elevation” – the roofscape – in addition to the streetscape. As this area topographically is a valley, the roofs may be viewed from locations outside the neighborhood such as the freeway and Space Needle. Therefore, views from outside the area as well as from within the neighborhood should be considered, and roof-top elements should be organized to minimize view impacts from the freeway and elevated areas.

**Response:** The “lake district” portion and the “urban quarter” have distinctive roofscapes reflective of their proportions and massing strategy. The “lake district” building top is set back and defined by a unique “eyebrow fin” element that frames the entry court and continues up and over to define the level 8 setbacks. This element will provide a distinctive, visible and unique termination.

The “urban quarter” building top and SW corner is clad in metal panel and will be sloped to recall the sloping grade along Boren. The metal panel cladding will terminate the rooftop along the Harrison and east facades as well.





## D-I PEDESTRIAN OPEN SPACES AND ENTRANCES

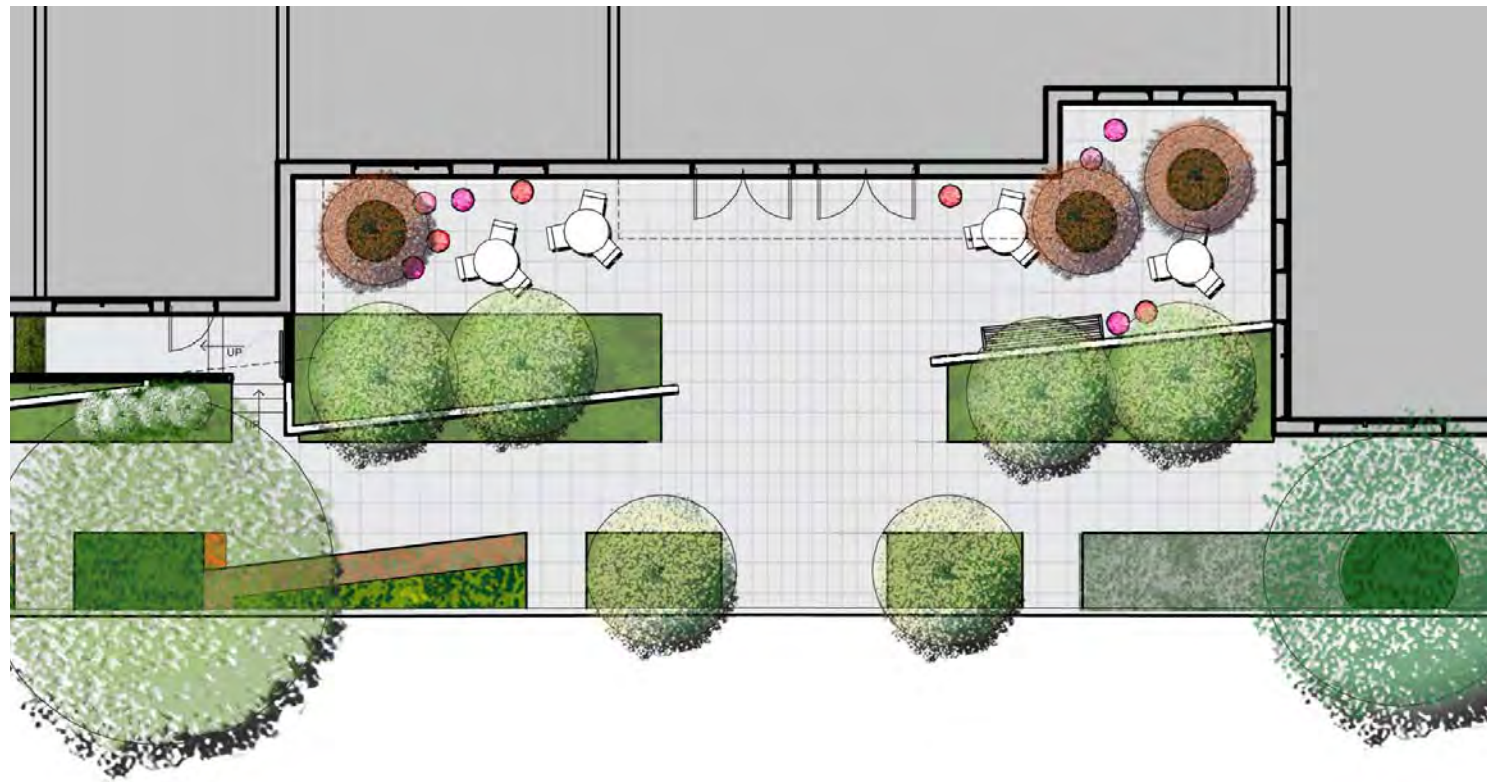
Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths, and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

**Response:** The main building entry along Boren will be recessed to create a signature landscaped plaza along Boren Ave. N. The plaza will be well lit and furnished to provide seating areas near the building entry and entry to the leasing office. A large entry canopy will provide weather protection.

## D-7 PERSONAL SAFETY AND SECURITY

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

**Response:** Lighting will be provided throughout the ground plane of the project and especially at the alley and all garage entries. At the residential stoop entries all entry doors and approaches to gates and stairs will be illuminated for trip hazard and personal safety. All building entries will have clear site lines and be visible from adjacent neighbors. Further, principles of CPTED were employed in the landscape.



FULL LIGHTING PLAN IN APPENDIX



COURT SEATING EXAMPLE





## E-2

### LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

**Response:** The right of ways for all streets will be effectively rebuilt with new street trees, extensive landscaped groundcover and seating benches. As mentioned previously the building is setback from the property line above and below grade to provide heavy landscaping at all site walls and residential stoops. All building landscaping will be irrigated and maintained by building management, though material will be selected for drought tolerance. Further, the plant material selected will provide seasonal color and variations in height and texture. Tall, narrow, columnar trees will punctuate the space between the overhead bays.

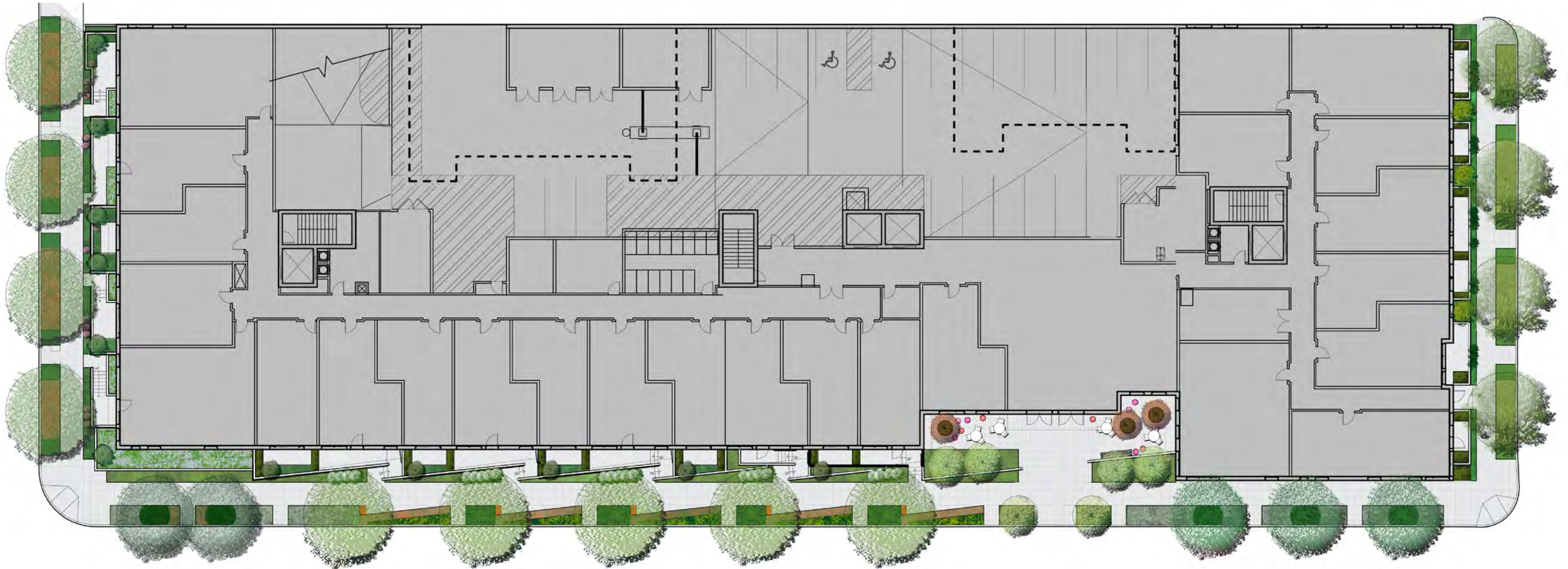
## E-3

### LANDSCAPING DESIGN TO ADDRESS SPECIAL SITE CONDITIONS

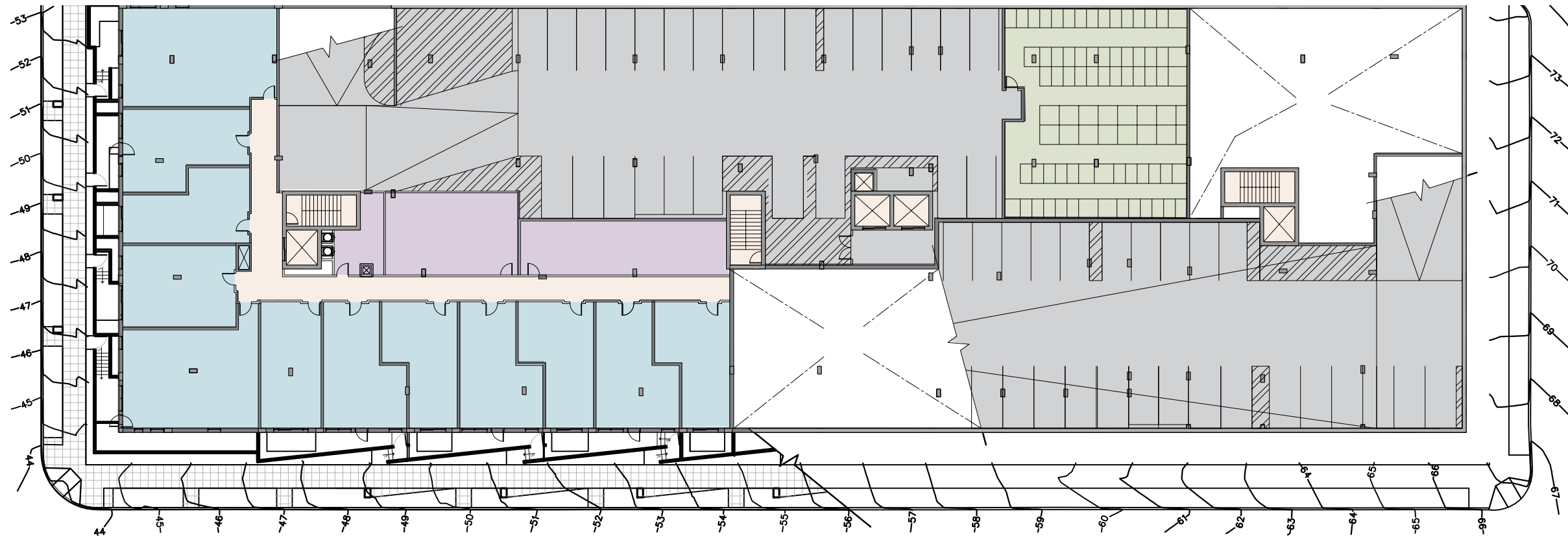
The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas and boulevards.

- Landscaping should be designed to take advantage of views to the waterfront and downtown Seattle.

**Response:** The site slope provides a unique opportunity to terrace all landscape features down the hillside along Boren and help open the view north to Lake Union. This will add a high level of dynamic visual interest at the residential stoop walls which are angled in plan to match the residential bays above, and provide different views when walking uphill versus down. Roof top landscaping will maintain views to the lake and elsewhere.

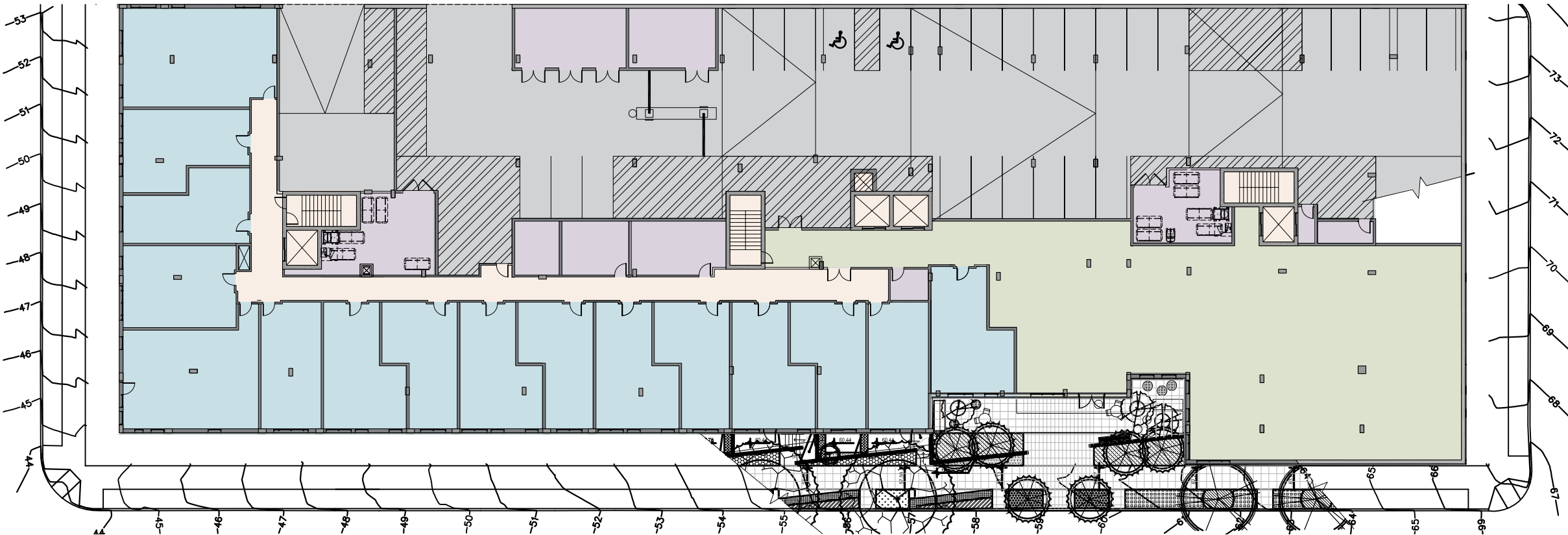




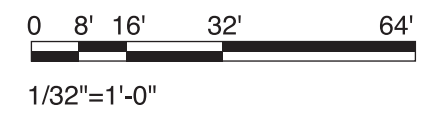


LEVEL 1

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- AMENITY
- B.O.H.
- PARKING
- VERTICAL TRANS/  
CORRIDOR



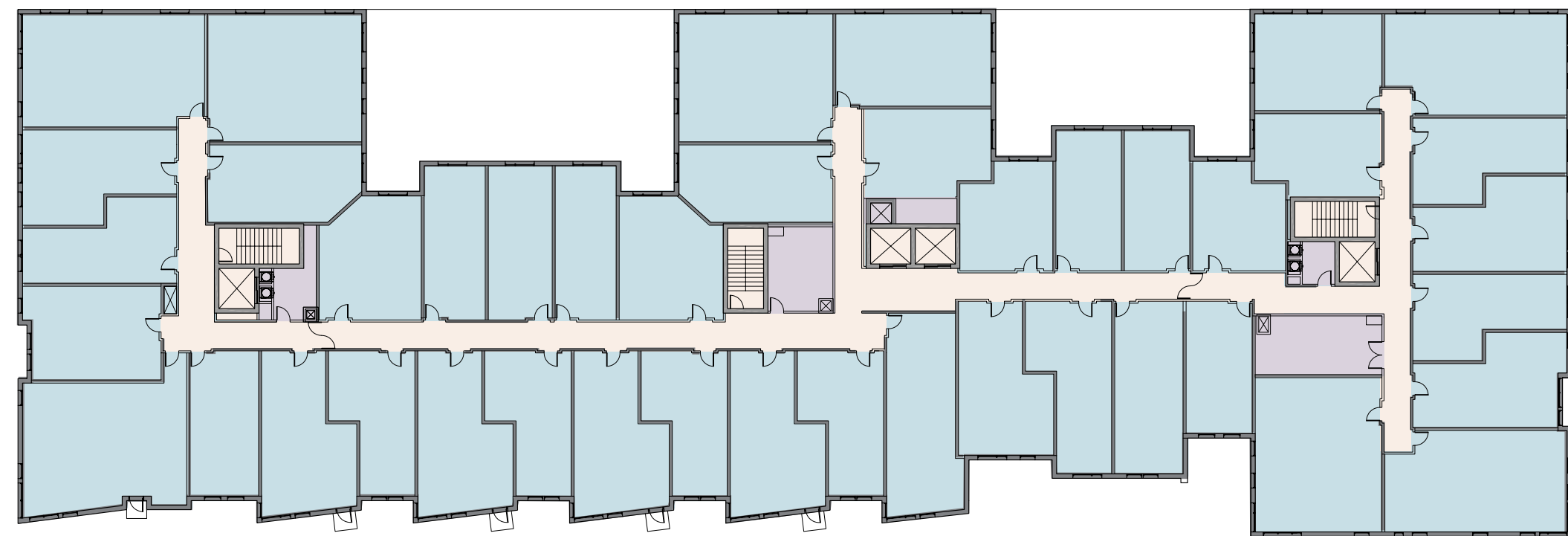
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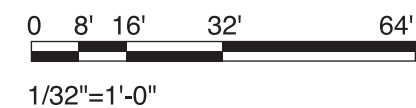


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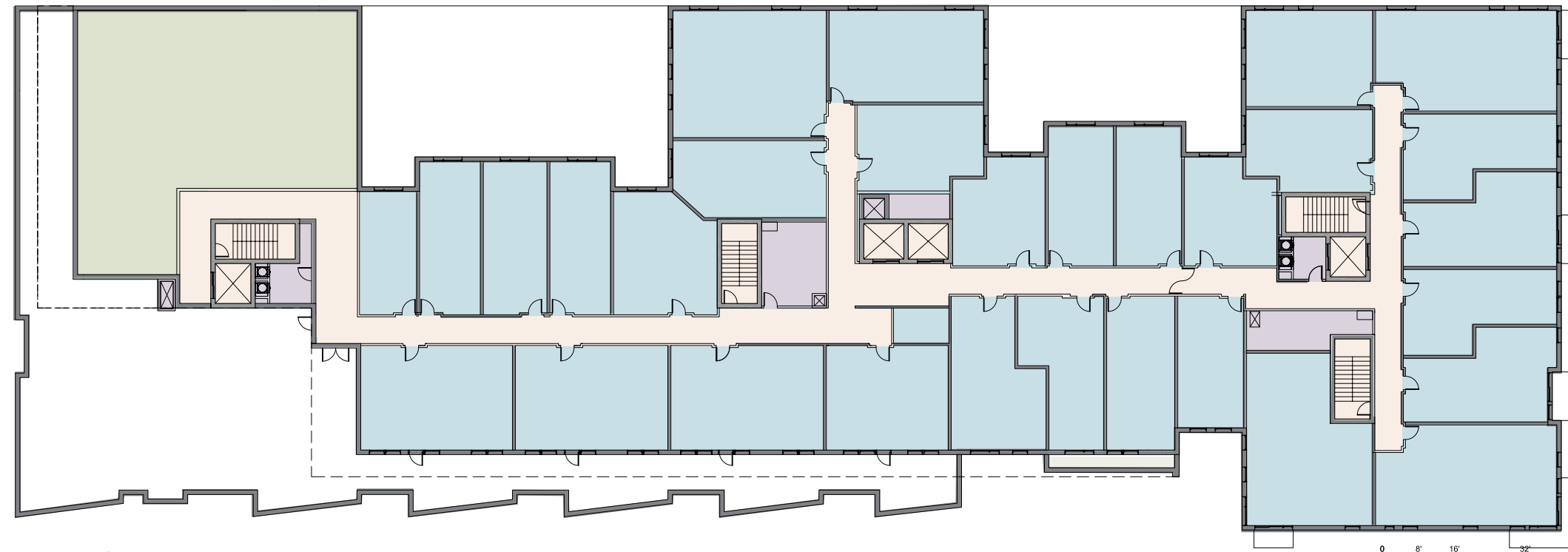


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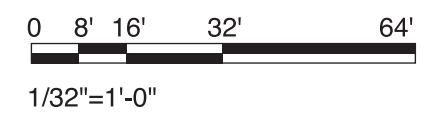
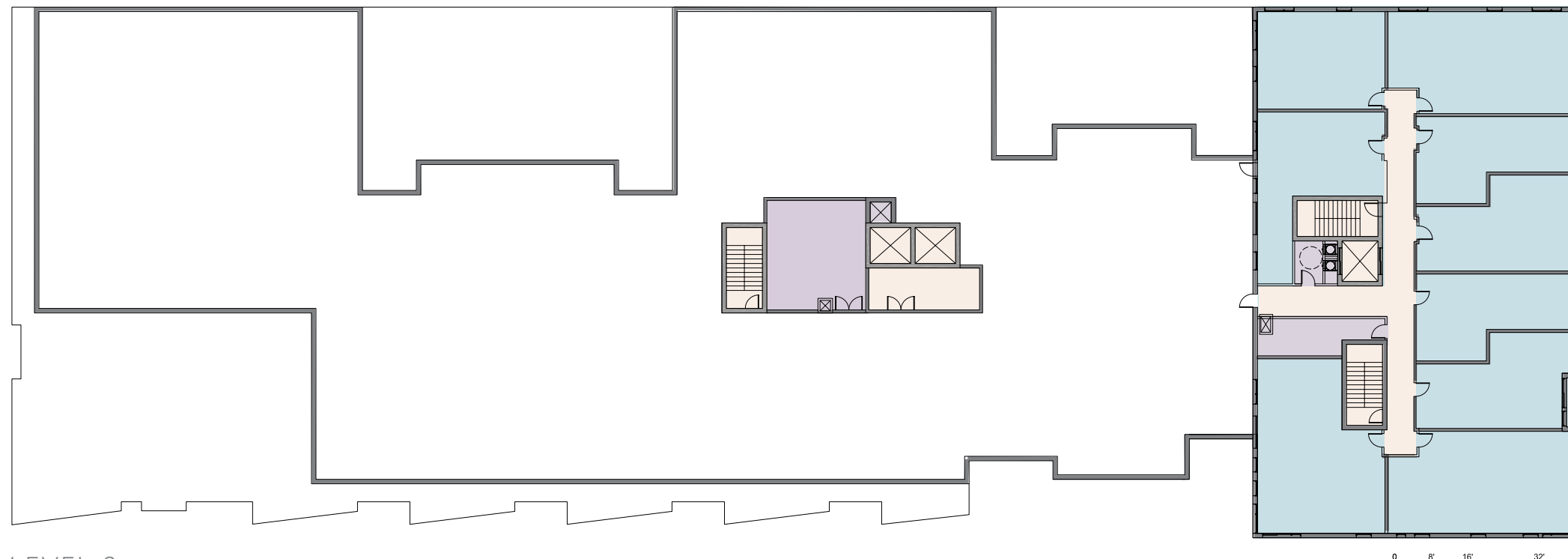
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- PARKING
- VERTICAL TRANS/  
CORRIDOR



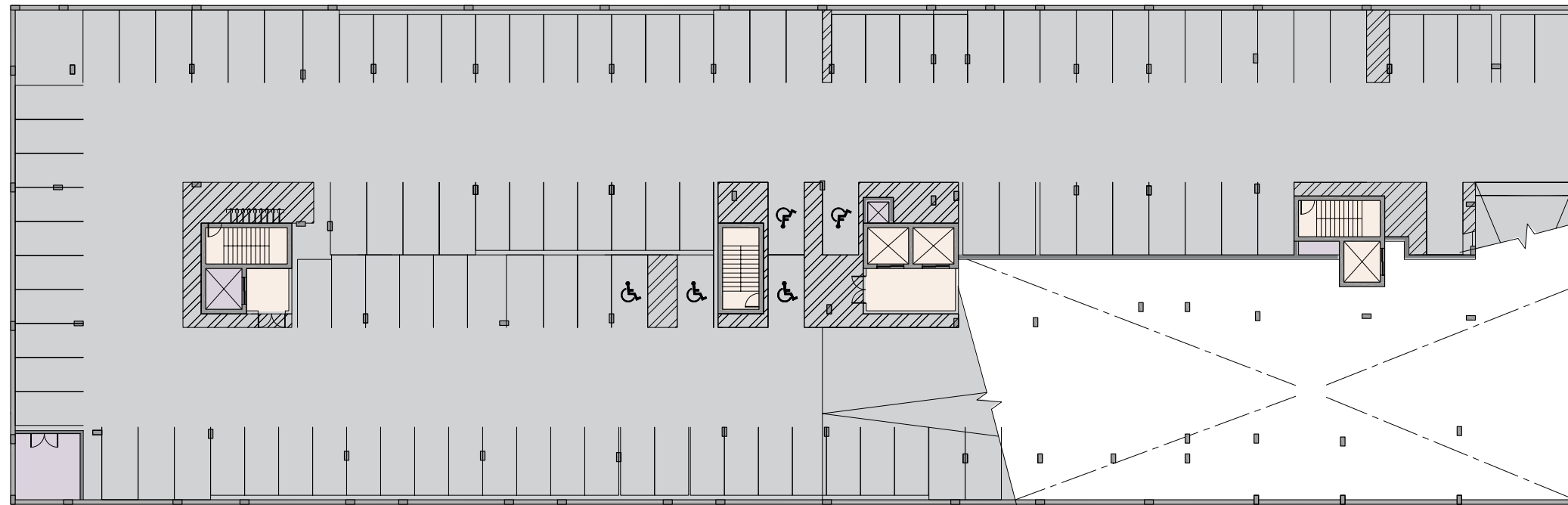




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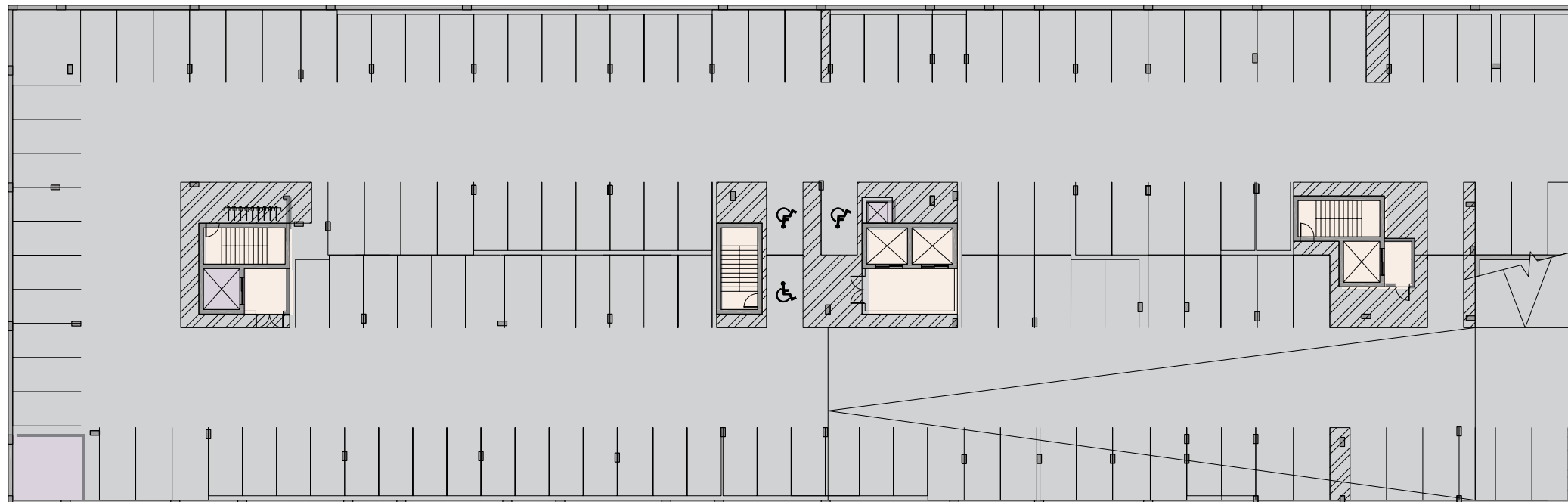




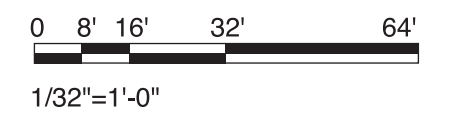


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- PARKING
- VERTICAL TRANS/  
CORRIDOR

PARKING LEVEL 1

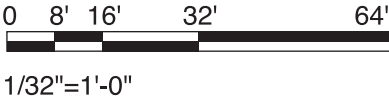
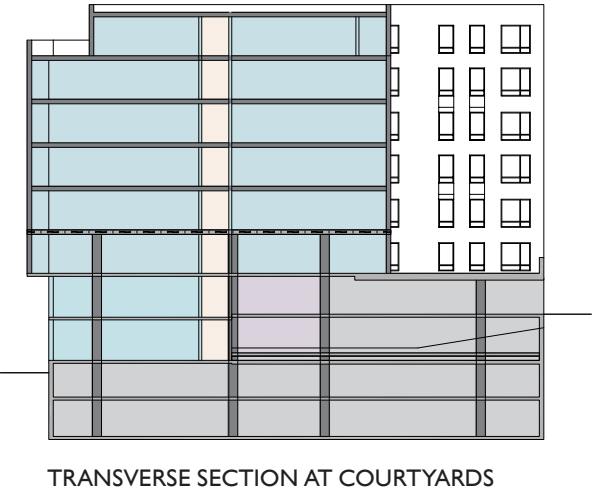
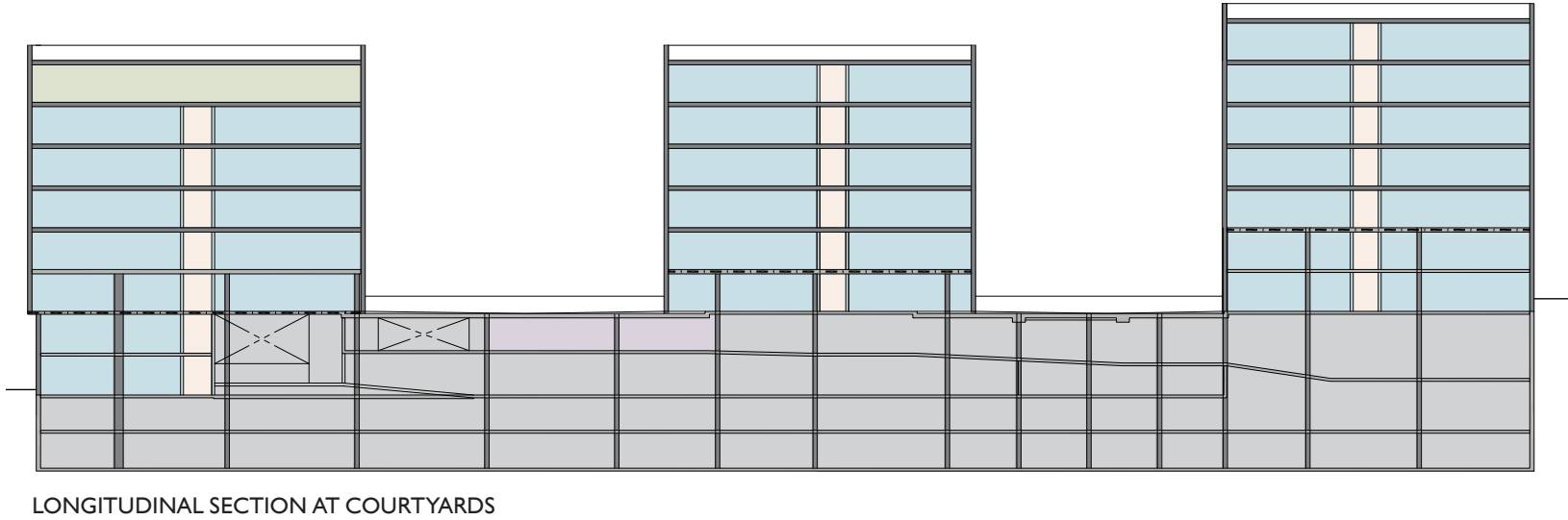
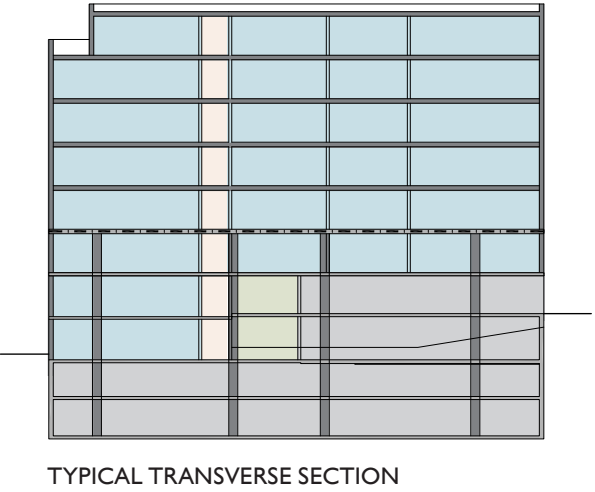
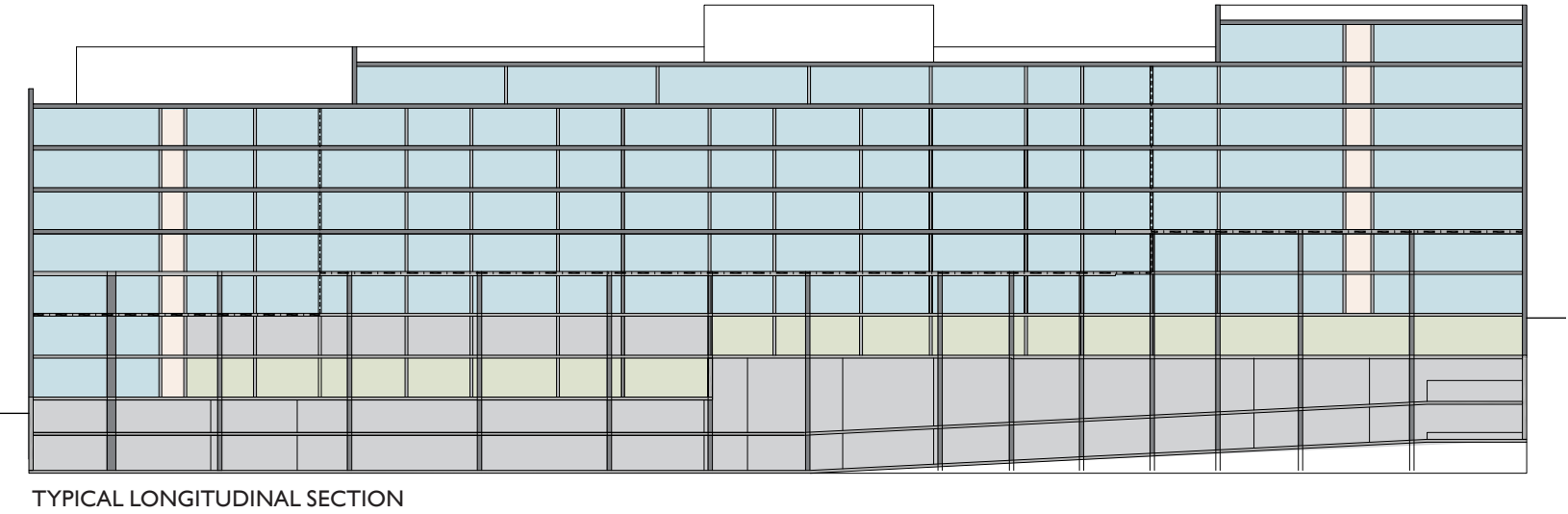


PARKING LEVEL 2





- RESIDENTIAL
- AMENITY
- B.O.H.
- VERTICAL TRANS.
- PARKING







VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM NORTHEAST



VIEW FROM SOUTHEAST









