

2014 NW 57TH STREET

Design Review Analytic Design
Proposal Packet

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GGLO Project Number: 2010040.00

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Construction Type: (5 Stories) Type VA wood frame over (1 Story) Type I concrete construction at-grade.

Residential Uses: 51 residential low income senior housing apartments, including studios, one bedrooms and (1) manager’s unit.

Non-Residential Uses: +/-2,171 sf of residential amenity space and +/-1,948 sf community center space.

Accessory Parking: No Parking Required

Use Distribution by Floor:

Level 1 (Street Level): Residential Ammenity Spaces/
Service Spaces/Community Center
(URS)/(1) One Bedroom Apartment

Level 2: 10 Apartments

Level 3: 10 Apartments

Level 4: 10 Apartments

Level 5: 10 Apartments

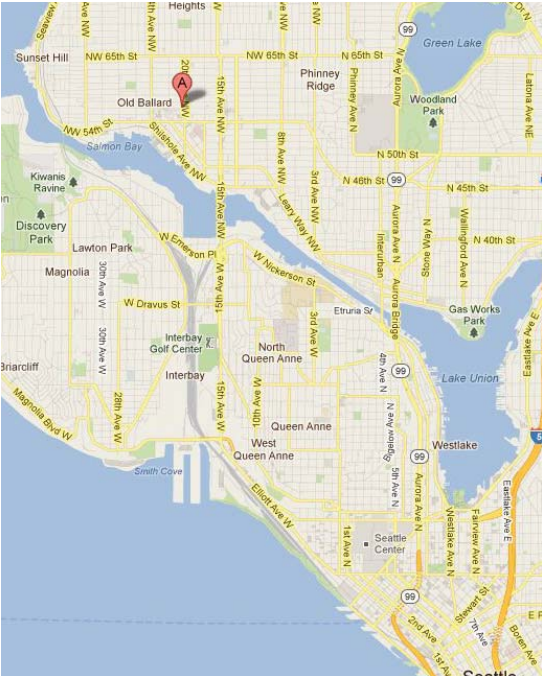
Level 6: 10 Apartments

Roof: Roof Deck, Elevator/Stair
Penthouse

Sustainability Goal: Evergreen Sustainable
Development Standards

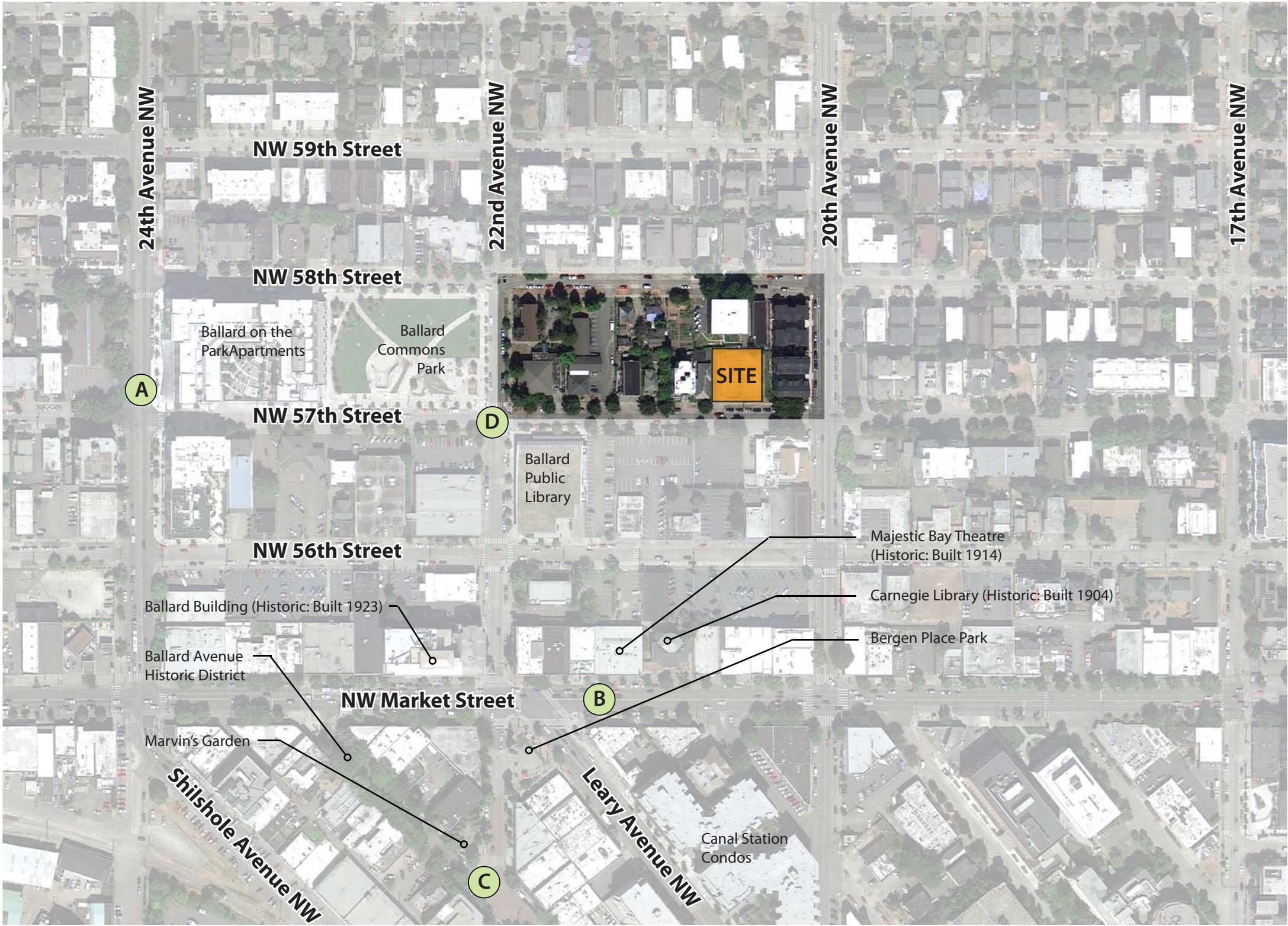
Residential SF: +/- 37,338 sf
Site Area: 9,994 sf

3 Urban Design Analysis Map



Vicinity Map

The site is located in the southwestern area of the Ballard Hub Urban Village. The site is located on NW 57th Street between and 20th and 22nd Ave NW, on the north side of the street.



Aerial Photograph



Grocery Stores and Coffee Shops

The site is located within walking distance from many amenities, like a full size grocery store, many coffee shops and restaurants, a drug store and other shops that the residents of the building can take advantage of everyday.



NW Market Street

NW Market Street is filled with many different types of businesses, from retail shops, restaurants, coffee shops and a movie theater, as well as summer street fairs that will offer the Senior population many different activities to do throughout the year.



Historic Ballard Avenue and Ballard Farmers Market

Ballard Avenue is located just a few blocks away and has many retail shops, coffee shops and restaurant options that are open every day. Also, the Ballard Farmers Market sets up along Ballard Avenue every Sunday from 10 a.m. to 3 p.m., which includes fresh organic produce from Washington State farms year-round.



Ballard Municipal Center

Linking recreation, government and the Ballard neighborhood, the municipal center is comprised of Ballard Commons Park, the Ballard Public Library and the Ballard Neighborhood Service Center.

Ballard Commons Park features a skate bowl, water feature, engaging public art, relaxing seating areas and lawns. The park forms part of the municipal center in Ballard, with the Seattle Public Library branch and Neighborhood Service Center located across the street in an award-winning building that all opened in 2005.

Site Address: <ul style="list-style-type: none">2014 NW 57th Street	the height of the parapet.	lot line;	
Site Area: <ul style="list-style-type: none">9,994 sf	<ul style="list-style-type: none">Mechanical equipment, greenhouses and penthouse pavilions may extend up to 15’ above the height limit.	Accessory structures shall be set back at least 7 feet from any lot line that abuts a street; and	
Tax Account #: <ul style="list-style-type: none">2767604915	23.45.518 Setbacks and Separations <ul style="list-style-type: none">Front setbacks from street lots lines: 7’ average setback; 5’ min. setback.Rear setbacks: 15’from a rear lot line that does not abut an alley.Side setback from interior lot line:<div>For portions of a structure: 42’ or less in height; 7’ average setback; 5’ minimum setback.</div><div>Above 42’ in height: 10’ average setback; 7’ minimum setback.</div>Projections into required setback and separations:<div>Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 2 feet if they are no closer than 3 feet to any lot line.</div><div>Bay windows and other features with floor area may project a maximum of 2 feet into required setbacks and separations if they are:<div>No closer than 5 feet to any lot line;</div><div>No more than 10 feet in width;</div><div>Make up no more than 30 percent of the area of the facade.</div></div>	Freestanding structures, signs and similar structures 6 feet or less in height above existing or finished grade whichever is lower, may be erected in each required setback or separation.	
Base Zone: <ul style="list-style-type: none">MR-RC		23.45.522 Amenity Areas: <ul style="list-style-type: none">Residential amenity areas are required to equal 5% of total gross floor area in residential use.<div>All residents must have access to at least one common or private amenity area.</div><div>No more than 50 % of the residential amenity area may be enclosed.</div><div>Common areas shall be larger than 250 sf and 10’ wide.</div><div>At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees.</div><div>Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.</div><div>The common amenity area required at ground level shall be accessible to all apartment units.</div>	
Applicable Code: <ul style="list-style-type: none">Seattle Municipal Code, Title 23 Land Use Code			23.45.536 Parking and Access in MR zones: <ul style="list-style-type: none">Parking may be located in a structure or under a structure, provided that no portion of a garage that is higher than 4 feet above existing or finished grade, whichever is lower, shall be closer to a street lot line than any part of the first floor of the structure in which it is located;Access to parking shall be from the street if the lot does not abut an alley.Screening of parking:<div>Parking shall be screened from direct street view by the street facing facade of a structure, by garage doors, or by a fence or wall.</div><div>If screening is provided by a fence or wall, the fence or wall shall not be located within any required sight triangle, and shall meet the following conditions:<div>The fence or wall shall be at least 3 feet tall measured from the elevation of the curb, or from the elevation of the street.</div><div>The fence or wall shall be set back at least 3 feet from the lot line.</div></div><div>Garage doors may be no more than 75 square feet in area;</div><div>Garage doors facing the street shall be set back at least 15 feet from the street lot line, and shall be no closer to the street lot line than the street-facing facade of the structure.</div>
Applicable Design Guidelines: <ul style="list-style-type: none">City of Seattle Design GuidelinesBallard Municipal Center Master Plan Area Design Guidelines			
Overlays: <ul style="list-style-type: none">Ballard Hub Urban Village			
23.45.504 Principal Uses Permitted Outright: <ul style="list-style-type: none">Multi-family Residential, Live-work, Retail Sales & Services, Institutions (child care centers, community centers,community programs for the elderly), among others.			
23.45.508.F Solid Waste and Recycling: <ul style="list-style-type: none">Storage space for solid waste and recycling shall be 200 sf for 51-100 units with front-loading containers.	<ul style="list-style-type: none">Structures in Required Setbacks or Separations<div>Detached garages, carports or other accessory structures are permitted in required separations and required rear or side setbacks, provided that any accessory structure located between a principal structure and the side lot line subject to the following requirements:<div>Any accessory structure located between a principal structure and a side lot line shall provide the setback required for the principal structure;</div><div>Any portion of an accessory structure located more than 25 feet from a rear lot line shall be set back at least 5 feet from the side</div></div>		
23.45.510 Floor Area Ratio <ul style="list-style-type: none">Base FAR of 3.2, but may be increased to 4.25Because the lot is located in an Urban Village and it meets the requirments for affordable housing, the larger FAR applies.			
23.45.514 Structure Height: <ul style="list-style-type: none">Base height of 60’Additional 15’ available because the lot is located in an Urban Village.Roofs enclosed by a parapet are allowed to exceed the height limit as long as the highest point of the slope does not exceed the height limit by more than 75% of			

- ZONING DESIGNATIONS:
[SMC 23.30.010]
- Residential, Single-family 5,000

SF 5000
- Residential, Multifamily, Lowrise Duplex/Triplex

LDT
- Residential, Multifamily, Lowrise 1

LR1
- Residential, Multifamily, Lowrise 2

LR2
- Residential, Multifamily, Lowrise 3

LR3
- Residential, Multifamily, Midrise

MR
- Residential-Commercial

RC
- Neighborhood Commercial 2

NC2
- Neighborhood Commercial 3

NC3
- Commercial 1

C1
- General Industrial 1

IG1
- Industrial Buffer

IB
- Industrial Commercial

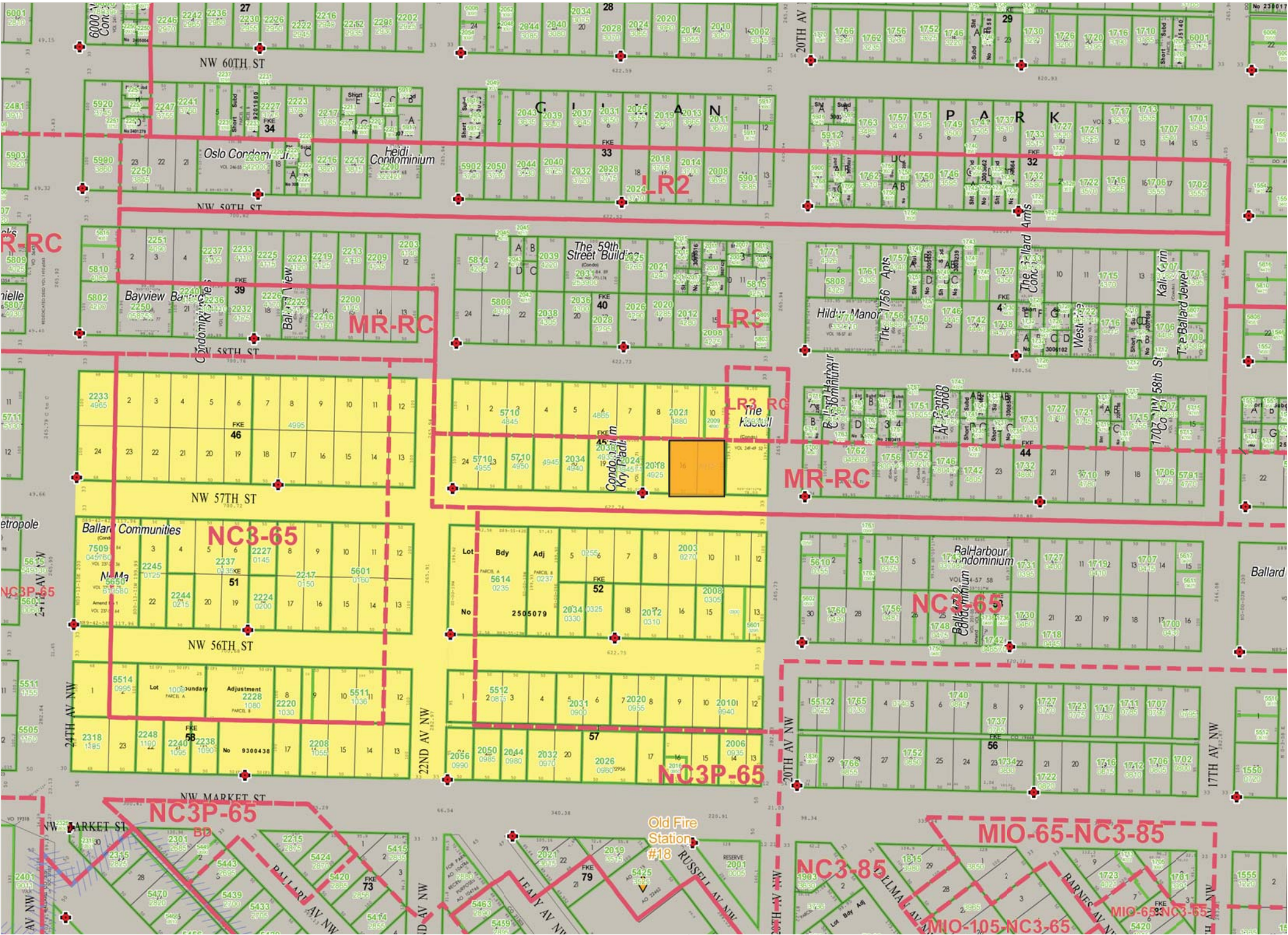
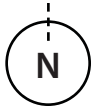
IC
- PRIMARY ZONING DESIGNATIONS:
[SMC 23.30.010]

Midrise Residential/Commercial

MR-RC

- OVERLAYS:
- Ballard Hub Urban Village

- Ballard Municipal Center Boundary
- Zoning Boundary
- Site Boundary



Transportation and Access
Site Analysis



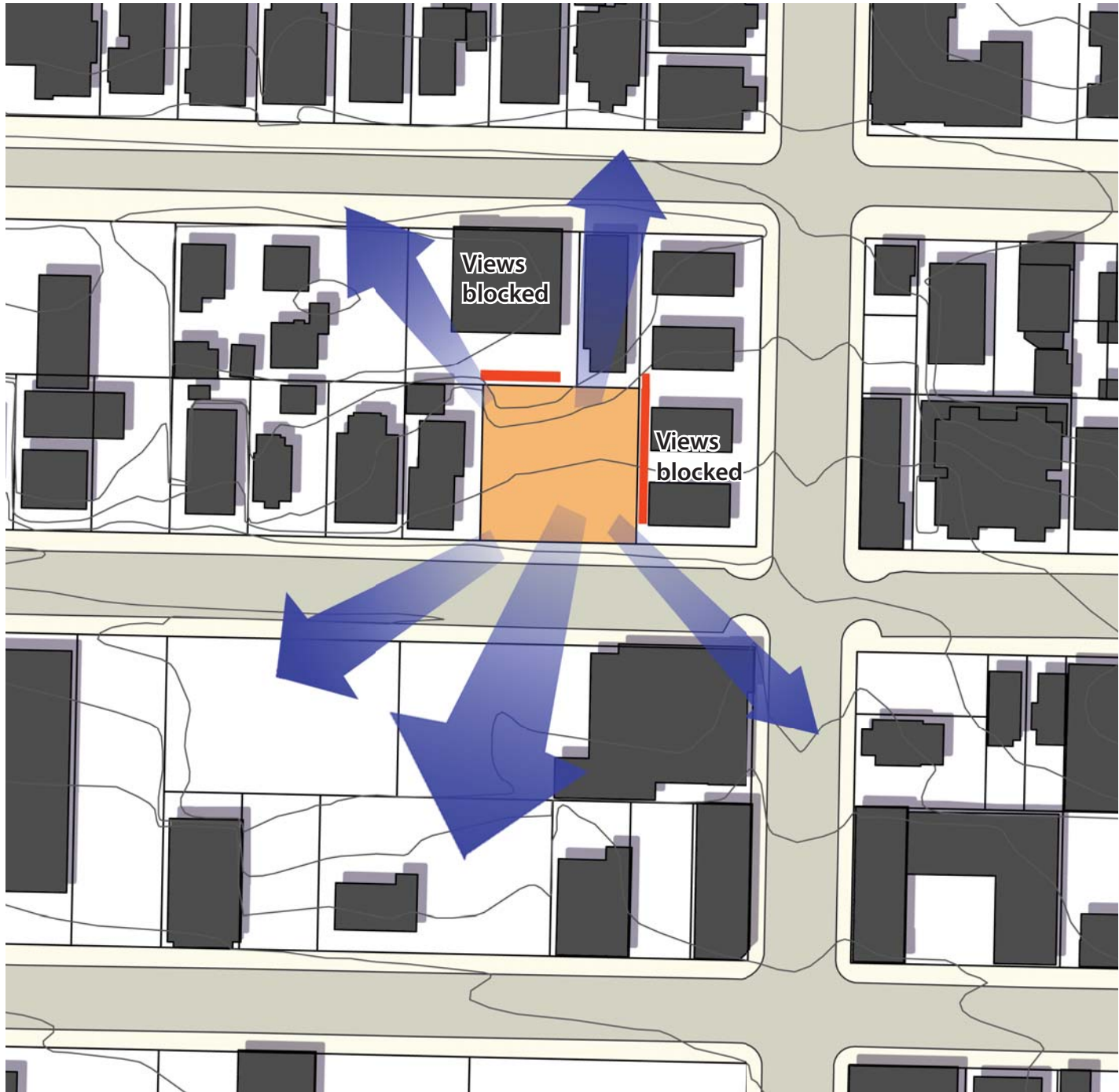
The site is easily accessible by bus, bicycle, pedestrian and auto. Five regular bus routes pass by the site within 1/4 mile on both NW Market Street and 24th Ave NW. Bus routes include 15, 17, 18, 44, 46, and 75. An on-street bicycle lane runs along 24th Ave NW.

- LEGEND:
- Scheduled Bus Route
 - Bicycle Route
 - Arterials

Solar Orientation and Views

Views and Barriers

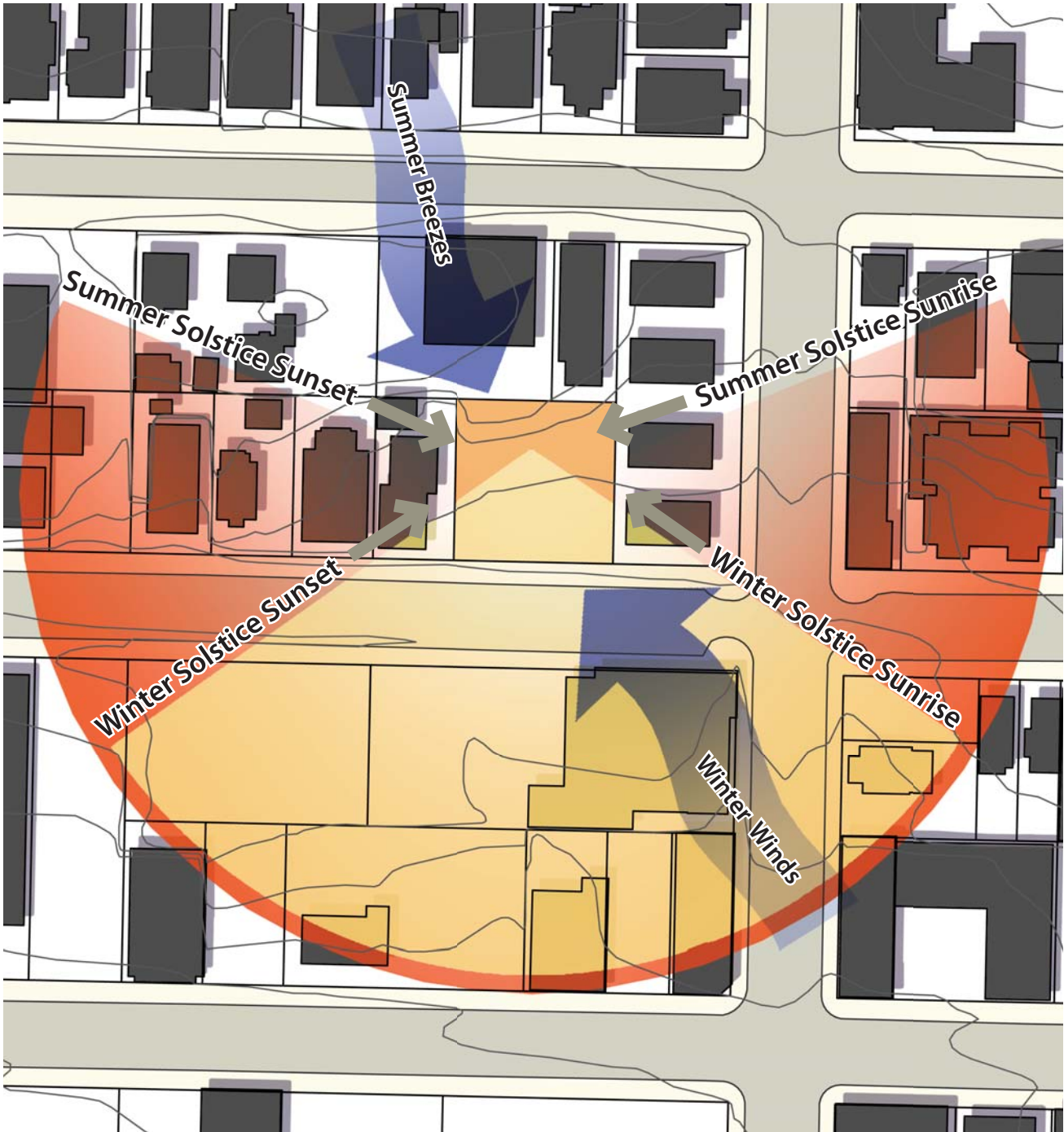
4 Site Analysis



Site Aerial with View Orientation

View Orientation

Views to the East are unobstructed above 40 feet and partially to the North by existing buildings, giving way to sights to the South towards Salmon Bay and Puget Sound.



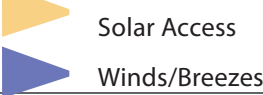
Site Aerial with Solar Orientation

Solar Orientation

Site had excellent southern solar exposure with 73 feet to the nearest obstruction. Site directly south has a new development (GreenFire) under construction with a maximum building height of 65 feet.

Views/Breezes

Views to the South/Southwest are unobstructed, giving way to sights of Salmon Bay and Puget Sound. To the Southeast: Downtown Seattle, the Space Needle, and Mount Rainier.

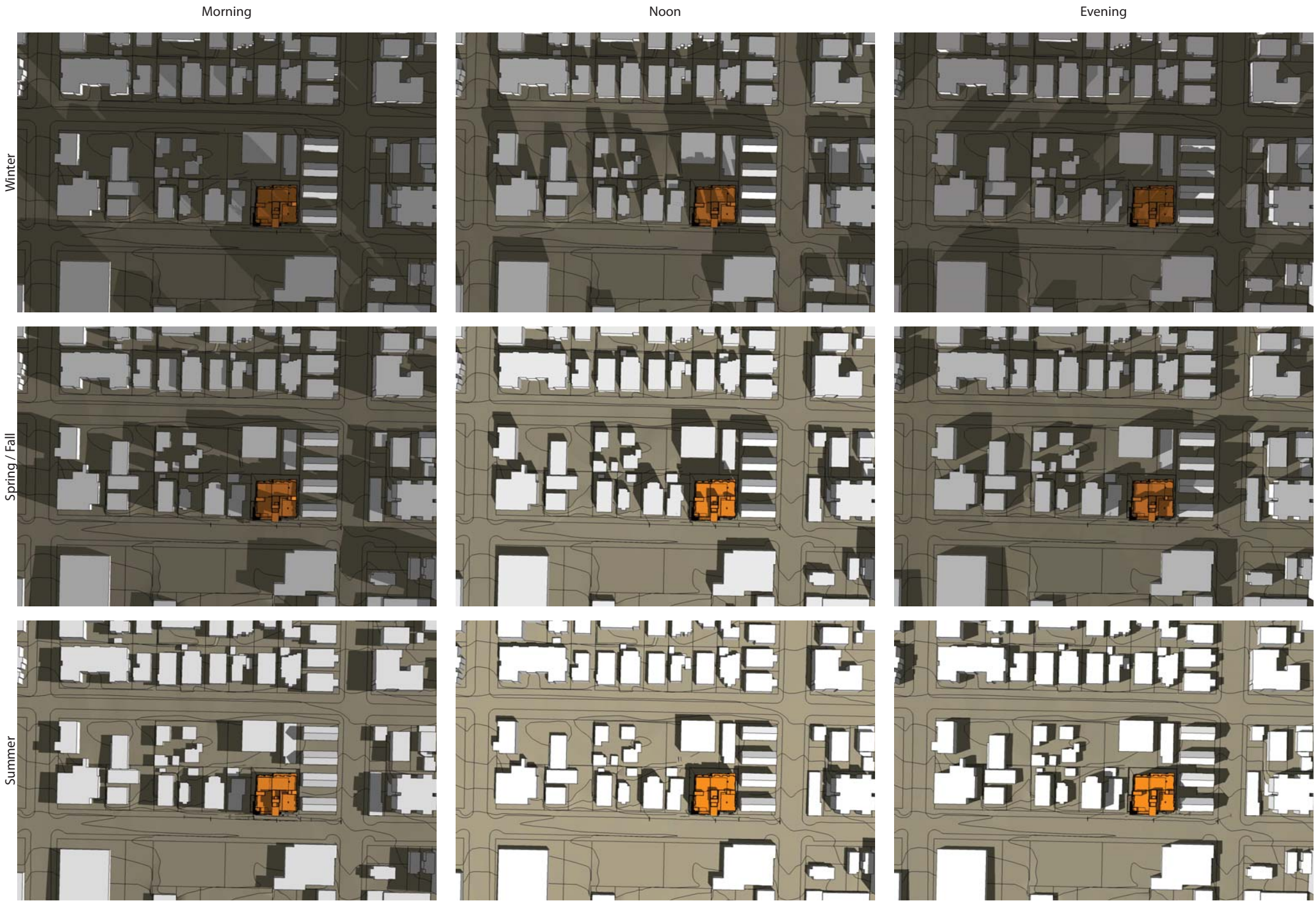


Sun Studies

Solar Access

All schemes provide only minimal schading of adjacent sites through spring and fall. Due to low sun angles any develop-
ment on this site will impact sites to the north in winter.

South facing community center and amenity areas will have full access to sunlight, even with the new development across NW 57th Street.



View to Site



View from Site



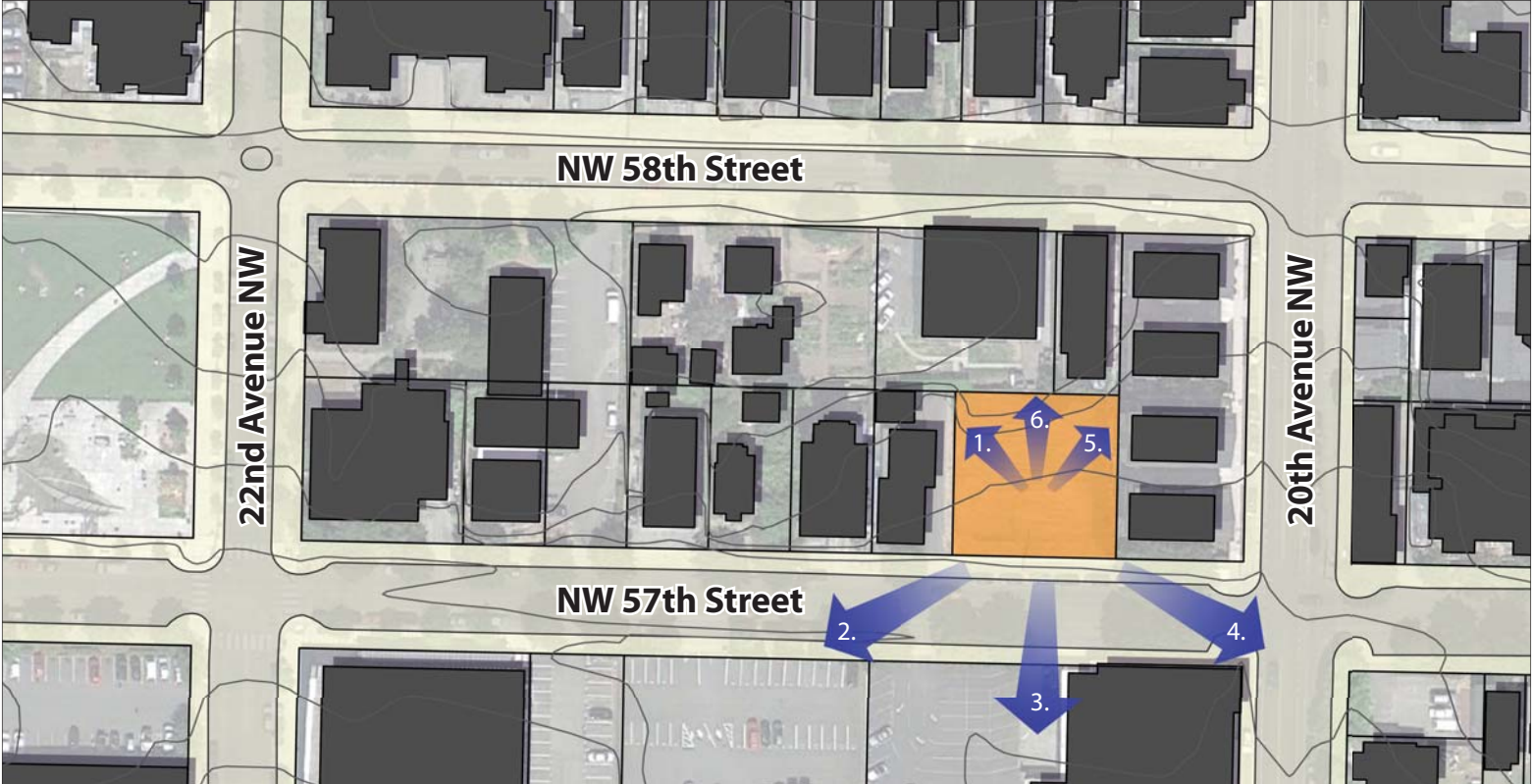
Views From the Site



6. View to the North



1. View to the Northwest



5. View to the Northeast



2. View to the Southwest

Primary Views from the Site

Views from the site are all territorial views, but as the building goes up in floors, Salmon Bay will become more visable.



3. View to the South

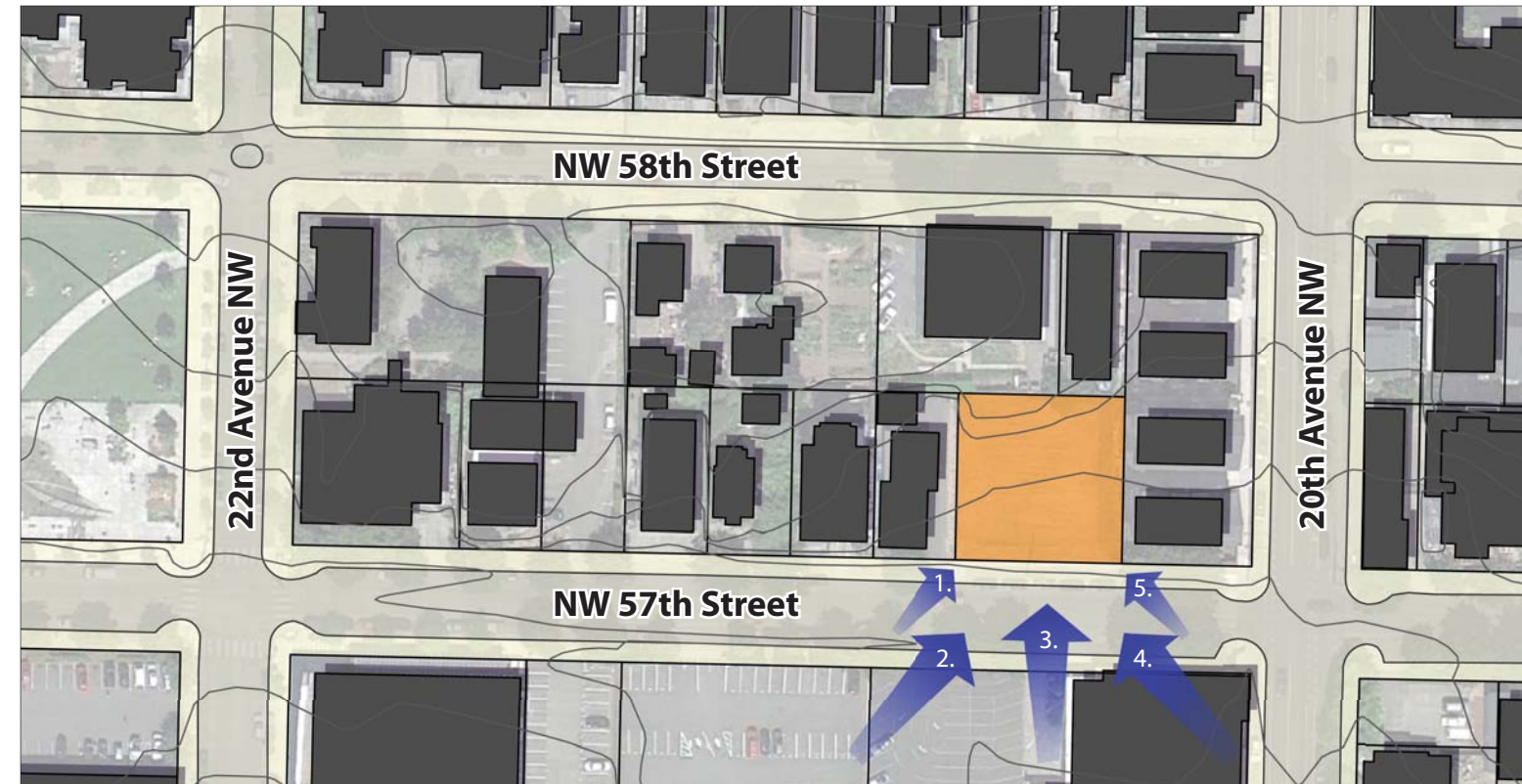


4. View to the Southeast

Views To the Site



1. Primary View from the the Northwest - North side of NW 57th Street



Primary Views into the Site

Views to the site are from NW 57th Street looking north. The adjacent sites surrounding are currently built up therefore views into the site from the neighboring buildings can be seen but are not documented here. The major views will be from NW 57th Street, both from across the street and to the west and east as one walks down the street or from the level of a vehicle.



5. Primary View from the Northeast - North side of NW 57th Street



2. Primary View from the Southwest - South side of NW 57th Street

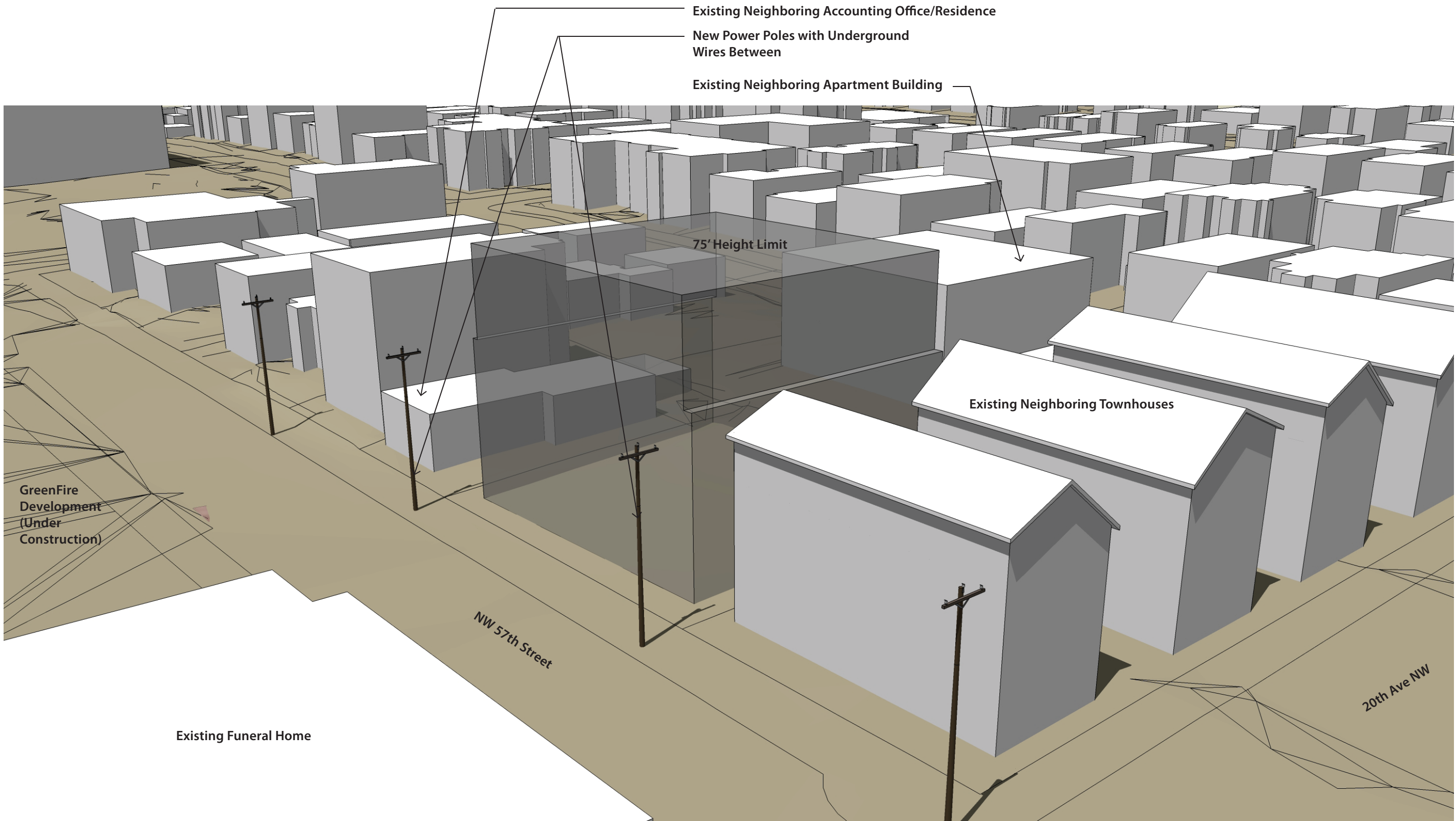


3. Primary View from the South - South side of NW 57th Street



4. Primary View from the Southeast - South side of NW 57th Street

Allowable Zoning Envelope





Typical Residential Level Building Plan

Roof Level Building Plan



Roof Level
Inspiration & Materials



Potting bench



Rain barrels



Comfortable covered space with lounge seating



Green screen on walls



Tumbled glass along edge of roof deck



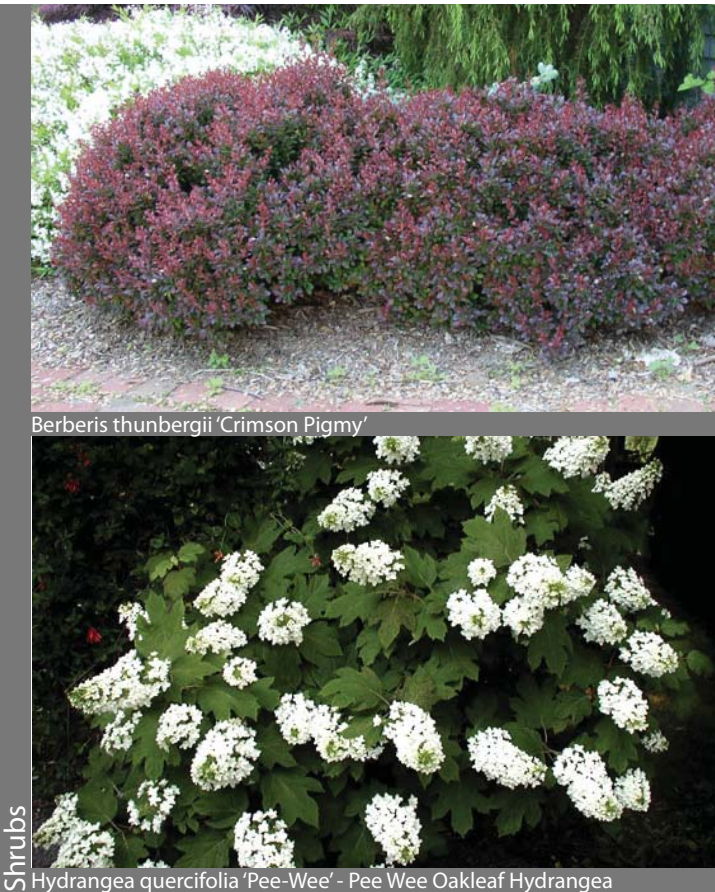
Sedum plantings around perimeter of roof deck



Open, airy feel for roof deck features



Galvanized stock tanks used to create raised vegetable gardens



URS Entry Plan

Storage Room w/ service door access

Overhead canopy

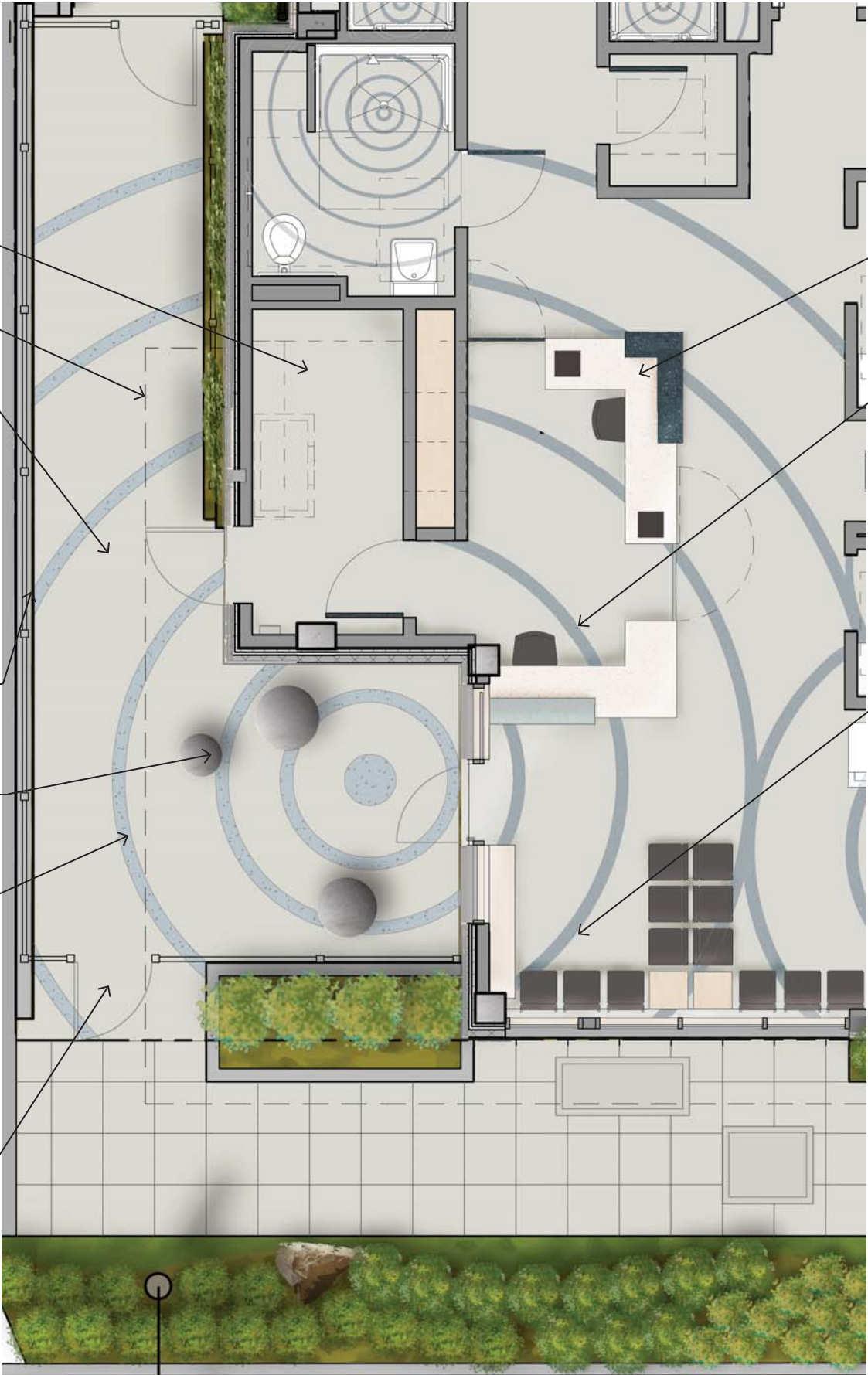
URS Terrace provides outdoor queing for 21 people with their belongings

6' high metal panel fence with 8' high trellis

Granite sphere seating stones

"Water Drop" paving pattern

6' high gate to be closed until 30 minutes before business opens



Shower Desk

Concierge Desk

Seating for 12 at interior waiting area. Standing room for 2 to 4 more people.

7 Enlarged Plans



Granite stone seating elements at URS terrace



Water droplets, inspiration for signage & metal panel fence



Water drop, inspiration for the URS terrace paving pattern



Signage at existing downtown URS

Residential Entry Plan



Water ripple wall panel at interior of residential lobby



Water ripples / water edge, inspiration for residential entry outdoor-indoor paving sequence



Inspiration image for the Front Porch



8 Lighting



LED Uplights at birches



Downlights under weather protection



Small solar powered bollard at roof garden

9 Finish Materials



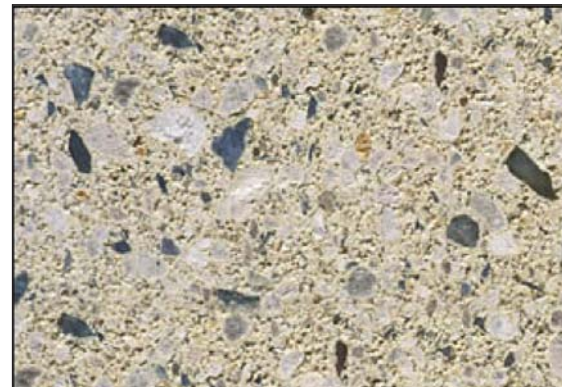
Fiber Cement Siding - Color 1



Fiber Cement Siding - Color 2



Fiber Cement Siding - Color 3



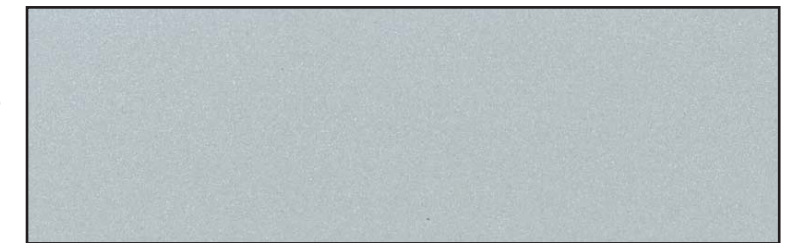
CMU @ Urban Rest Stop



Feature Trim - Color 4



Wood Color



Storefront Windows - Anodized



Vinyl Windows - White



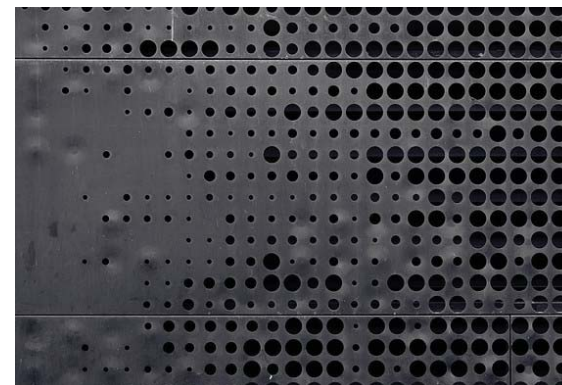
Metal Railings/Flashings - Color 1



Green Screen @ Exterior



Pervious Pavers @ Terraces and walkways



Perforated Metal Screen @ Trellis



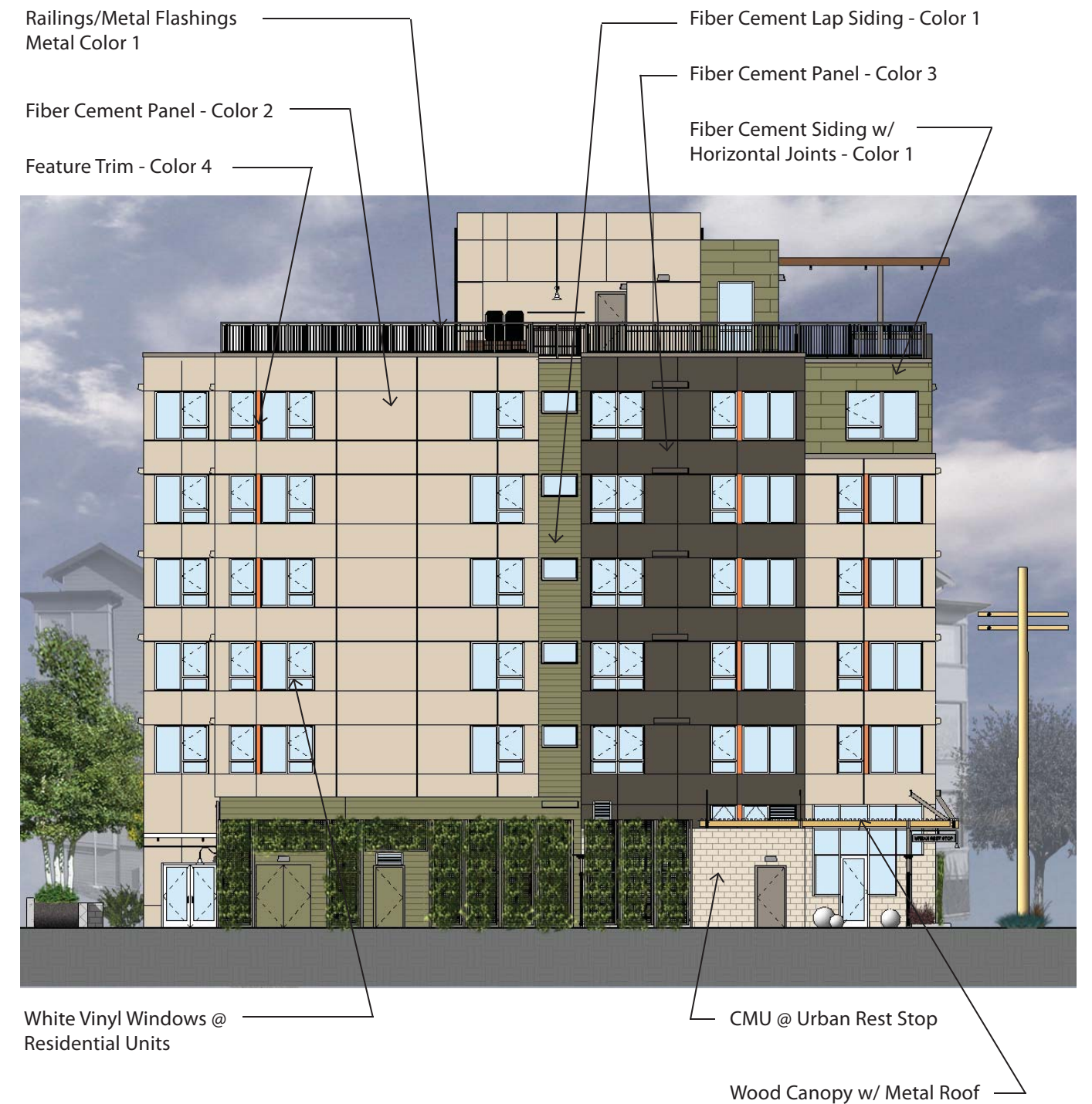
NW 57th Street Elevation



East Elevation

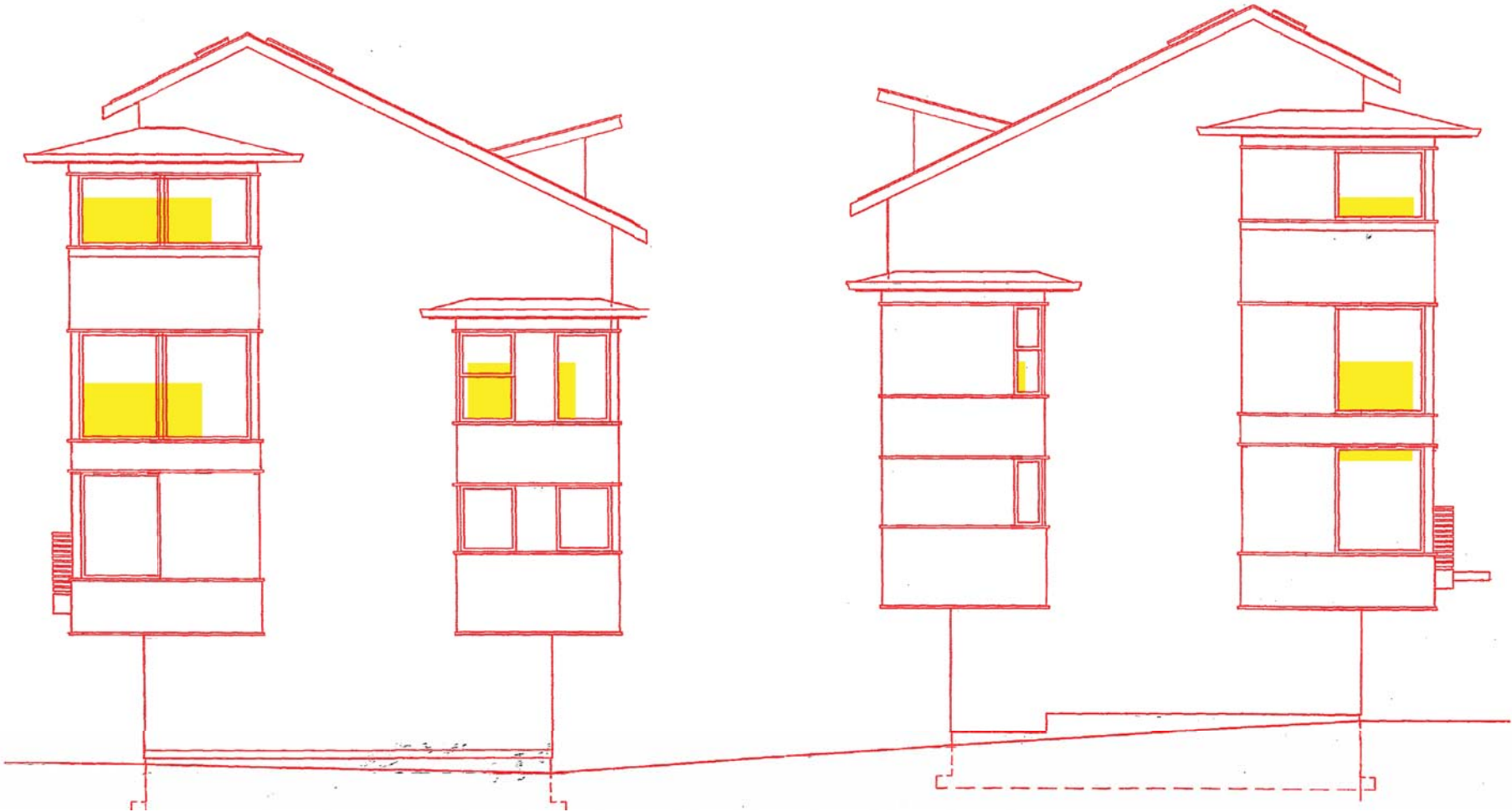


North Elevation (Back)

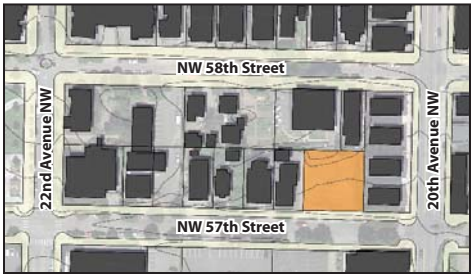


West Elevation

East Elevation Window Overlay



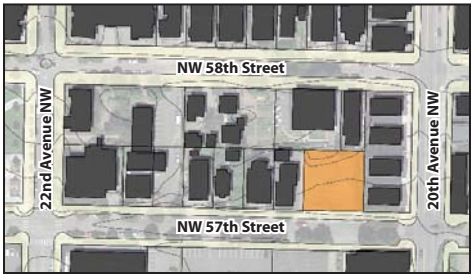




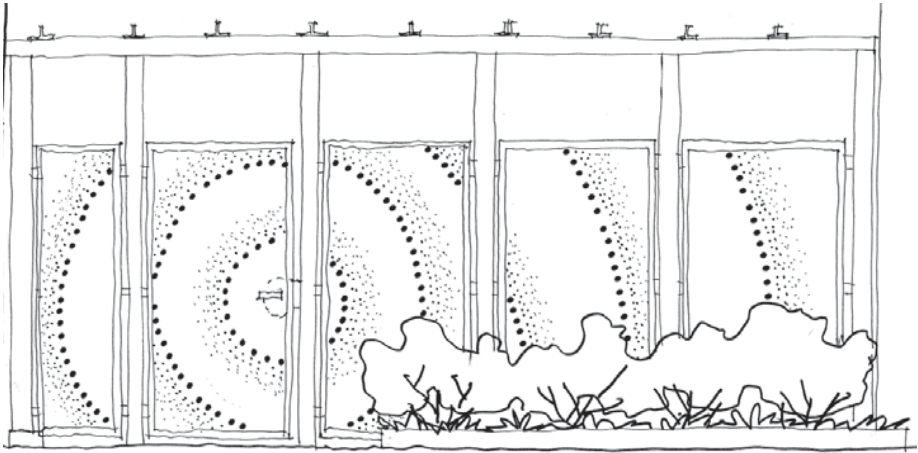
View of Residential Entry and Terrace from Sidewalk



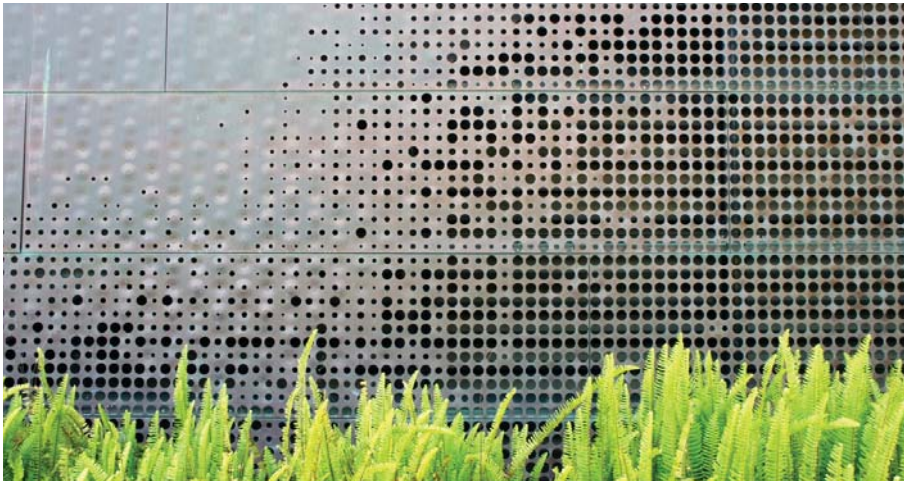
View from NW 54th Street - South West



View of Community Center (URS) entry



Design Sketch of Perforated Metal Screen Fence



Perforated Metal Screen Example

12 Studies at Street Level

Existing Street Character

Currently the street character along NW 57th Street is uninviting (the site is about 4' higher than the sidewalk), does not have street trees, and has a narrow sidewalk. The whole site is planted with lawn. The ROW has overhead power lines that affect street tree plant selection.



Site photo of existing street conditions, looking west



Site photo of existing street conditions, looking east



Inspiration Street Character

The simple materials, planting areas, and residential character of this scene are the inspiration for the design approach on NW 57th Street.

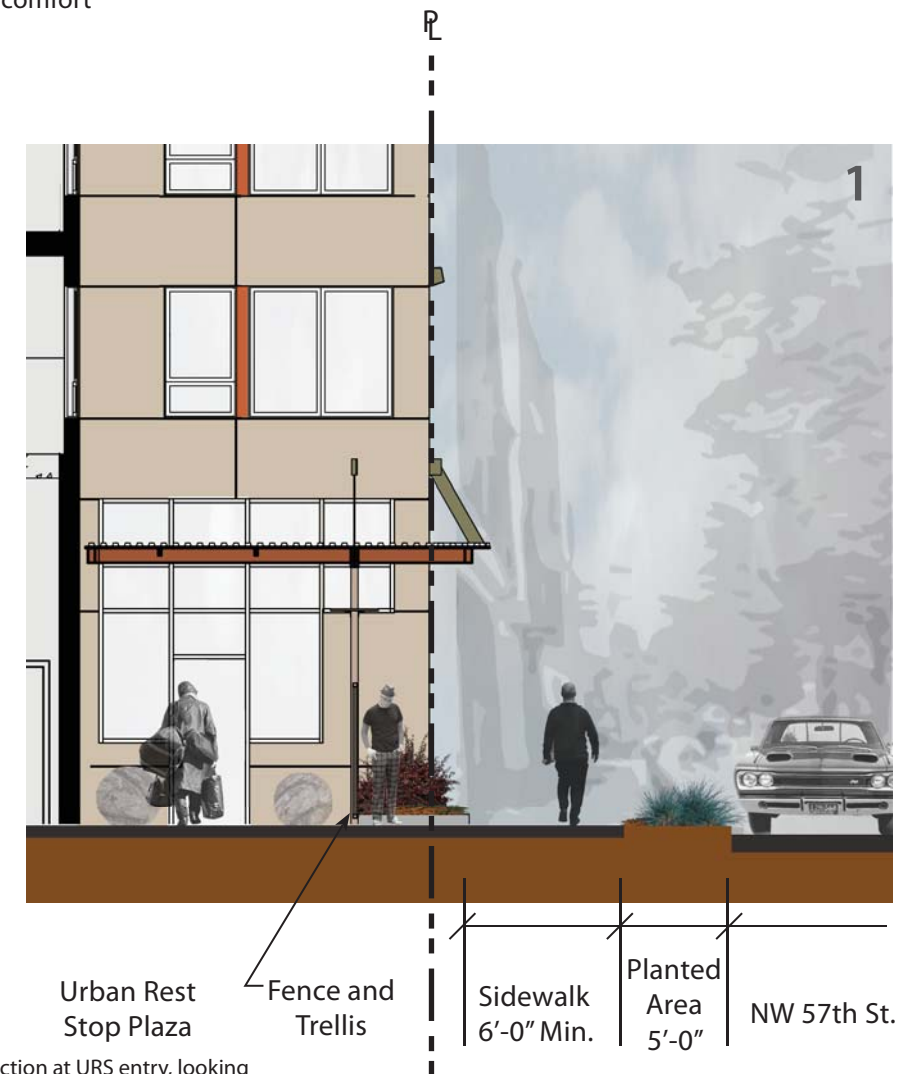


NW 57th Street Characteristics

The proposed design provides a sense of arrival and change of scale from what is existing.

Features include:

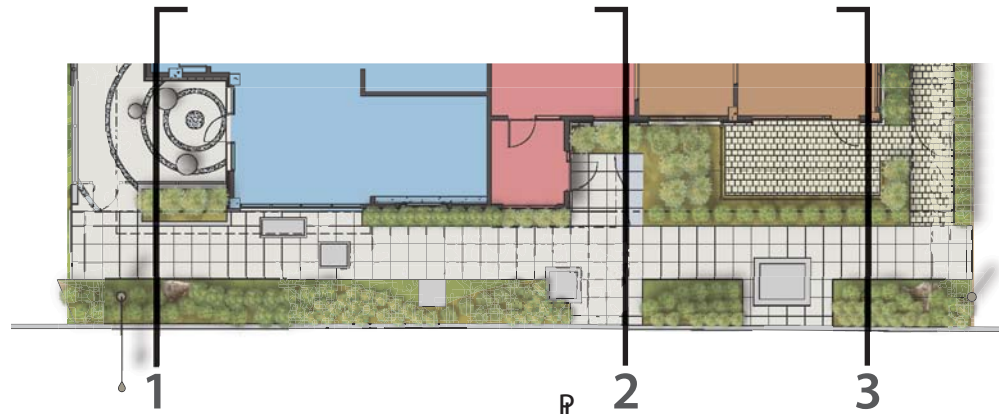
- Creating an inviting and human-scaled entry to the building
- Enhancing the pedestrian environment by increasing planted areas
- Enlarging the sidewalks to the standard 6' width.
- Creating a warm, welcoming environment at the street edge to ensure pedestrian comfort



Section: Curb to Sidewalk to URS Entry Plaza

The pedestrian environment along NW 57th Street is improved with a new planting strip and planters between the sidewalk and the building.

The metal screen fence and trellis separates the URS Plaza from the sidewalk to create a safe enclosure while having high transparency.



NW 57th St. Planted Area 5'-0" Sidewalk 6'-0" Min. Residential Main Entry

Section at main entry, looking

Section: Curb to Sidewalk to Entry

The building comes to the propertyline and has weather protections that protrudes into the right of way, engaging the pedestrian. Concrete paving at the entry will have texture and color, and will start the entry sequence that will extend into the lobby and common areas.



NW 57th St. Planted Area 5'-0" Sidewalk 6'-0" Min. Front Porch

Section at front porch, looking west

Section: Curb to Sidewalk to Front Porch

The pedestrian environment along is improved with a planting strip, a 24" height fence and plantings between the sidewalk and the building.

The front porch allows for "eyes on street" and an active pedestrian streetscape, while the low fence and plantings provide a boundary between public and private realms.

Guideline		Comment	Response
A-2	Streetscape Compatibility	The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.	
		<p>EDG Comment 1: The Board agreed that the perceived massing should be further broken down. Reduce the front setback to hold the street edge to develop a more urban condition. The area gained by encroaching into the front yard should be reflected with greater upper level setbacks. Suggested stepping back the after the first or second stories to reduce the scale and better relate to the pedestrian environment. Request departure if necessary.</p> <p>EDG Comment 10: The streetscape should be designed to enhance the pedestrian experience. All entries should be inviting, gracious, safe and respectful.</p>	<p>Response to EDG Comment 1: In order to further break down the massing of the building the west half of the building is pulled all the way to the south property line while the east half is set back 9’-5” from the south property line. The adjacency to the sidewalk at the west half of the building enhances the urban pedestrian environment. The upper floor of the west half of the building is further modulated with a setback. This upper level setback helps to define a top to the west half of the building and further balances the entire south facade.</p> <p>Response to EDG Comment 10: Each of the two building entries has a distinctly unique character. The Senior Building Residential Entry is set back from the sidewalk and is defined by an overhanging canopy with integrated building signage. The unique colored concrete accent in the exterior paving is an invitation to the axial view through the window into the lobby where the colored concrete accent continues. The Urban Rest Stop entry provides a defined queuing area that is partially protected from weather with a canopy. This entry is identified by its bold graphic ‘water-drop’ paving pattern and 6’ high metal screen fence with a trellis. The fence, while being a complimentary design feature of its own, also serves to provide enhanced privacy for the business and neighbor to the west and further defines the boundary for exterior queuing. The pedestrian experience along the entire sidewalk is enhanced with a gently undulating border of low and mid height plantings, a gracious extension of the main building entry paving across the planting strip to the back of the sidewalk, and boulder groupings to target canine marking.</p> <p>Response to EDG Comment 8: For the Senior Building the exterior lighting focuses on providing comfortable and safe lighting levels for the tenants and guests while they use the private terraces and roof top area year round. Most of the lighting for the Senior Building terraces is from small canopy mounted fixtures, with a feature wall mounted light at the BBQ station on the north terrace and at the potting bench at the roof. For the Urban Rest Stop the exterior lighting focuses on providing morning and overcast day illumination of the queuing area. LED strip lighting is incorporated into the trellis topped fence that circumnavigates the queuing area. Lighting levels in this zone are designed to avoid dark areas and to maintain adequate light levels for the security of the URS staff, URS clients, and pedestrians passing by, while minimizing light overspill on neighboring properties.</p>
A-3	Entrances Visible from the Street	<p>Entries should be clearly identifiable and visible from the street.</p> <p>EDG Comment 8: The streetscape should be designed to enhance the pedestrian experience. Provide an exterior lighting plan that provides safety and aesthetic enhancements.</p>	
A-5	Respect for Adjacent Sites	Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.	
		<p>EDG Comment 3: The Board noted the challenge of incorporating a variety of programming within a relatively small site; sensitivity towards neighbors and locating compatible functions together and away from less compatible ones is encouraged. The design of the Urban Rest Stop should include space for queuing/waiting to occur internally with an interior waiting room, so customers are able to avoid congregating in front of the building.</p> <p>EDG Comments 7 and 9: The streetscape should be designed to enhance the pedestrian experience. (7) Shift more trees and vegetation to the SE corner in the side yard to create better screening and privacy buffers between buildings. (9) Fenestration should be designed to avoid direct views into neighboring units. The next meeting should include a study of the window locations of adjacent buildings and demonstrate how this has informed the proposed design.</p>	<p>Response to EDG Comment 3: The Urban Rest Stop includes an interior waiting area for as many as 14 people (12 people seated and 2 people standing). The exterior queuing area is located off of the pedestrian sidewalk and accommodates 21 people. The fence and gate around the exterior queuing area allows for a physical separation between pedestrians and neighbors and the waiting URS clients. The URS queuing area gate will be opened 30 minutes before the URS opens. During those 30 minutes 21 people can comfortably congregate with their belongings in the exterior queuing area.</p> <p>Response to EDG Comments 7 and 9: Neighbors to the east have been considered with both the landscape design and window placement. A 6’ high cedar slat fence provides ground level privacy between to the two properties. At the north end there are also 3 vine maple trees, 1 birch tree, and dense shrubs to provide increased privacy for the neighbors to the east from the bedroom and living room of the one apartment on level one of the Senior Building. At levels 2 through 4 window locations were carefully considered to avoid direct eye level visual access from the Senior Building windows to the windows of the east neighbors. Please see the East Elevation Window Overlay diagram for analysis.</p>

Guideline

Comment

Response

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

EDG Comment 2: The Board agreed that the perceived massing should be further broken down. Suggested flipping the floor plan to soften impacts to the north and east.

Response to EDG Comment 2: The upper residential levels of the building have been flipped so that only 2 apartments per floor have windows facing the east rather than the 4 apartments per floor shown at the EDG meeting. On all facades, subtly projecting building masses are attached to the main volume of the building to help break up the large facade. Contrasting colors and reveal joints in the cladding help to further break down the scale of the facade.

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.

EDG Comment 12: The Board looks forward to further development of the early design concepts. The Board was pleased with the early direction of the architectural concept.

No Response need for EDG Comment 12

C-3 Human Scale

The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

EDG Comment 14: The Board looks forward to further development of the early design concepts. Include an overhead canopy at the front entry.

Response to EDG Comment 14: Overhead canopies have been introduced at both building entries. The canopies are detailed with stained veneer plywood soffit and paired 2x10 wood members to enhance the human scale. The entry canopy at the Senior Building not only provides a sheltered area while accessing the call box, but it also serves to signify the main building entry with integrated building signage and down-lighting. The Urban Rest Stop canopy extends partially over the exterior queuing area to provide rain cover for patrons. The overhead canopy also helps to further delineate the boundary of the queuing area.

C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

EDG Comment 13: The Board looks forward to further development of the early design concepts. The Board looks forward to reviewing detailed color and material board.

Response to EDG Comment 13: The exterior materials palette includes painted fiber cement panels with reveal joints, painted fiber cement lap siding with 7” reveal, ground face cmu, stained wood and corrugated metal roofing at the canopies, metal railings and coping, white vinyl windows, and metal storefront windows. The material palette is further enhanced with ornamental metal fencing, stained cedar fencing, colored concrete, permeable pavers, metal green screens, and granite sphere seating in the landscape design.

Guideline		Comment	Response
D-1	Pedestrian Open Spaces and Entrances	Convenient and attractive access to the building’s entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.	
		EDG Comments 5 and 6: The Board noted the challenge of incorporating a variety of programming within a relatively small site; sensitivity towards neighbors and locating compatible functions together and away from less compatible ones is encouraged. (5) It is critical that functions which are not compatible be physically separated. (6) In order to discourage outdoor storage of belongings, the design of the Urban Rest Stop should include secured space for the storage of belongings by customers while receiving services.	Response to EDG Comments 5 and 6: The entries to the Senior Building and the Urban Rest Stop are purposely separated to allow the URS’s day-use functions to occur without adversely affecting the privacy and comfort of the residential functions of the Senior Building. The Senior Building’s south facing terrace has a small railing and mid height planting to buffer the private terrace from the pedestrian sidewalk while still allowing the tenants to enjoy a view of the neighborhood. The Urban Rest Stop has a physical separation from the neighbor to the west and the pedestrians to the south with the 6’ high metal screen fence and gate. The URS outdoor queuing space can accommodate bicycles and small carts for clients that have them, but all other personal belongings remain with the clients.
		EDG Comment 10: The streetscape should be designed to enhance the pedestrian experience. All entries should be inviting, gracious, safe and respectful.	Response to EDG Comment 10: Each of the two building entries has a distinctly unique character. The Senior Building Residential Entry is set back from the sidewalk and is defined by an overhang-ing canopy with integrated building signage. The unique colored concrete accent in the exterior paving is an invitation to the axial view through the window into the lobby where the colored con-crete accent continues. The Urban Rest Stop entry provides a defined queuing area that is partially protected from the weather with a canopy. This entry is identified by its bold graphic ‘water-drop’ paving pattern and 6’ high metal screen fence with a trellis. The fence, while being a complimentary design feature of its own, also serves to provide enhanced privacy for the business and neighbor to the west and further defines the boundary for exterior queuing. The pedestrian experience along the entire sidewalk is enhanced with a gently undulating border of low and mid height planting, a gracious extension of the main building entry paving across the planting strip to the back of the sidewalk, and boulder groupings to target canine marking.
D-6	Screening of Dumpsters, Utilities, and Service Areas	EDG Comment 14: The Board looks forward to further development of the early design concepts. Include an overhead canopy at the front entry.	Response to EDG Comment 14: Overhead canopies have been introduced at both building entries. The canopies are detailed with stained veneer plywood soffit and paired 2x10 wood members to enhance the human scale. The entry canopy at the Senior Building not only provides a sheltered area while accessing the call box, but it also serves to signify the main building entry with integrated building signage and down-lighting. The Urban Rest Stop canopy extends partially over the exterior queuing area to provide rain cover for patrons. The overhead canopy also helps to further delineate the boundary of the queuing area.
		Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.	
		EDG Comment 4: The Board noted the challenge of incorporating a variety of pro-gramming within a relatively small site; sensitivity towards neighbors and locating compatible functions together and away from less compatible ones is encouraged. The service elements (trash, recycling) should be separate from the entry spaces.	Response to EDG Comment 4: The storage are for trash and recycling is located within the building at level one near the east exit stair. Trash dumpsters and recycle bins will be brought to the curb side pad near the southeast corner of the site via a 5’ wide service pathway with permeable pavers. The service pathway is separated from the sidewalk by a 6’ metal fence with a 4’ wide gate. The metal fence is enhanced and screened with flowering vines.

Guideline		Comment	Response
D-7	Personal Safety and Security	Project design should consider opportunities for enhancing personal safety and security in the environment under review.	
		EDG Comment 8: The streetscape should be designed to enhance the pedestrian experience. Provide an exterior lighting plan that provides safety and aesthetic enhancements.	Response to EDG Comment 8: For the Senior Building the exterior lighting focuses on providing comfortable and safe lighting levels for the tenants and guests while they use the private terraces and roof top area year round. Most of the lighting for the Senior Building terraces is from small canopy mounted fixtures, with a feature wall mounted light at the BBQ station on the north terrace and at the potting bench at the roof. For the Urban Rest Stop the exterior lighting focuses on providing morning and overcast day illumination of the queuing area. LED strip lighting is incorporated into the trellis topped fence that circumnavigates the queuing area. Lighting levels in this area are designed to avoid dark spots and to maintain adequate light levels for the security of all URS staff, URS clients, and pedestrians passing by.
E-1	Landscaping to Reinforce Design Continuity with Adjacent Sites	Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.	
		EDG Comment 11: The streetscape should be designed to enhance the pedestrian experience. The street trees should be continued and enhanced with an enhanced planting strip.	Response to EDG Comment 11: The pedestrian experience along the entire sidewalk is enhanced with a gently undulating border of low and mid height planting, a gracious extension of the main building entry paving across the planting strip to the back of the sidewalk, and boulder groupings to target canine marking. Though street trees are very desirable and would enhance the pedestrian experience along the sidewalk there are significant conflicts with required utility vaults, power poles, and guy wires associated with undergrounding of wires. After calculating required clearances from the aforementioned utilities there is no room remaining in the planting strip to accommodate new street trees.
E-2	Landscaping to Enhance the Building and/or Site.	Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.	
		EDG Comment 7: The streetscape should be designed to enhance the pedestrian experience. Shift more trees and vegetation to the SE corner in the side yard to create better screening and privacy buffers between buildings.	Response to EDG Comment 7: To establish privacy between the neighbors to the east and this development the landscape design incorporates 3 vine maple trees,1 birch tree, and dense shrubs near the bedroom and living room of the apartment in the northeast corner of level one. A 6’ high cedar slat fence provides ground level privacy between to two properties. In addition to the fencing there are locations where there are green screens in lieu of windows on the east facade at level one. The SE corner of the property has a ‘front porch’ area, a terrace adjacent to the Residents’ Lounge that has a low fence and planting around it. A canopy provides partial weather protection and completes the feel and character of the porch, provides space to sit and enjoy people-watching and to see neighborhood activity. These features do take some room, and there is not enough clearance for a tree to grow properly in that area.

14 Design Departures

Code Reference	Departure 1	Rationale
SMC 23.45.518 Table B - MR Setbacks Front setback - 7 foot average setback; 5 foot minimum setback	Front setback @ NW 57th Street - 5.66 foot average setback; 0 foot minimum setback	In response to EDG Comment 1 the western half of the facade is pulled all the way to the south property line in order to further break down the building massing. This building gesture is also in response to the Ballard Municipal Center Guidelines; this portion of the building contains a more retail oriented use and the facade creates a consistent street wall at the pedestrian level. By drawing the building forward the vitality of the street is enhanced with the overhanging canopy and ground related entry. This setback also allows for a larger terrace in the NW corner of the site, adjacent to the Residents’ Community Room. This location is ideal for a terrace as it is private and will have good western sun exposure. The upper floor on the west half of the building is further modulated with a 6” setback. This upper level setback helps to define the top of the building, allows the lower 5 floors to read as its own building mass, and creates a balanced composition of the entire south facade.
SMC 23.45.518 Table B - MR Setbacks Rear yard setback - 15 feet from a rear lot line that does not abut an alley	Rear yard setback - 15.64 foot average setback; 12.08 foot minimum setback	In response to EDG Comment 10 the east half of the building with the residential lobby is set back from the sidewalk to create a distinctly different building entrance from the Urban Rest Stop. The set back also creates a covered ‘welcome mat’ for the building tenants and further enhances the privacy at the south facing terrace (‘front porch’) off of the Residents’ Lounge. Also in response to EDG Comment 1, the eastern half of the south facade is set back a full 9’-6” at levels 1 and 2 while the western half of the south facade is pulled all the way to the south property line to further break down the building massing. Because the east half of the building is set back 9’-6” rather than the 5’ min, the east half pushes into the rear yard set back by 3’. However, when you calculate the rear yard setback across the entire north facade, there is a 15.64’ average setback.

Code Reference	Departure 2	Rationale
SMC 23.45.518.H - Projections permitted in all required setback and separations 1. Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.	The entrance canopy at the Senior Building projects 12” over the property line. The entrance canopy at the URS projects 2’-6” over the property line.	In response to EDG Comment 14 overhead canopies have been introduced at both building entries. The projecting canopies also respond to the Ballard Municipal Center Guidelines by further enhancing the consistent street wall at the pedestrian level and by contributing to the vitality of the pedestrian experience at the ground related entries. The canopies are detailed with stained veneer plywood soffit and paired 2x10 wood members to enhance the human scale. The entry canopy at the Senior Building not only provides a sheltered area while accessing the call box, but it also serves to signify the main building entry with integrated building signage and down-lighting. The Urban Rest Stop canopy extends partially over the exterior queuing area to provide rain cover for patrons. The overhead canopy also helps to further delineate the boundary of the queuing area.

Code Reference	Departure 3	Rationale
SMC 23.45.528.B - Structure Depth 1. The depth of principal structures shall not exceed 75 percent of the depth of the lot.	Maximum depth allowed= .75 x 100 feet = 75'-0" Overall building depth proposed = 87'-4"	The eastern half and the western half of the building have been fractured so that the west half abuts the south property line and the east half pushes away from the south property line. Because of this jog in the building massing, the overall building depth is 87'-4". The west half of the building is shifted south in response to EDG Comment 1 as a gesture to further break down the massing. This sidewalk adjacency at the western half of the facade enhances the urban pedestrian environment. Having the west half of the building at the property line also responds to the Ballard Municipal Center Guidelines; this portion of the building contains a more retail oriented use and the facade creates a consistent street wall at the pedestrian level. By drawing the building forward the vitality of the street is enhanced with the overhanging canopy and ground related entry. The east half of the building is shifted away from the south property line in response to EDG Comment 10 so that the Senior Building residential lobby is set back from the sidewalk to create a distinctly different building entrance from the Urban Rest Stop. The set back also creates a covered 'welcome mat' for the building tenants and further enhances the privacy at the south facing terrace ('front porch') off of the Residents' Lounge.

Code Reference	Departure 4	Rationale
SMC 23.54.040 Solid waste and recyclable materials storage and access D. The storage space required by Table A for 23.54.040 shall meet the following requirements: 1. For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 feet.	The main building trash room is 9'-7" x 17'-8".	The overall square footage of the main building trash room on level one is 180 sf which exceeds the required minimum of 144 sf (12' min x 12' min) by 36 sf. There are also 5 additional 7'-0" x 8'-10" trash rooms on levels 2, 3, 4, 5, and 6. These upper floor trash rooms each have three 65 gallon containers for recycle and access to the trash-only chute. The main building trash room on level one is primarily for storage of compacted trash, while the storage of recycling will remain in the upper floor trash rooms until janitorial staff brings it down on collection days.