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**DESIGN REVIEW**

***LAVITA APARTMENT***

**4055 8th Ave NE**

**DPD Project # 3012892**

# DEVELOPMENT OBJECTIVES

## DEVELOPMENT OBJECTIVES

### Project information

Project address: 4055 8th Ave NE  
DPD project # 3012892  
Property Owner: Cheng Nan Lin  
Architect / Contact: CHC Architects / Chaohua Chang

### General description

The proposed project is to demolish the two existing single family and duplex houses, and construct a new apartment building with studio-type dwelling units and several parking stalls. The project is intending to provide students and young professionals good quality accommodations with:

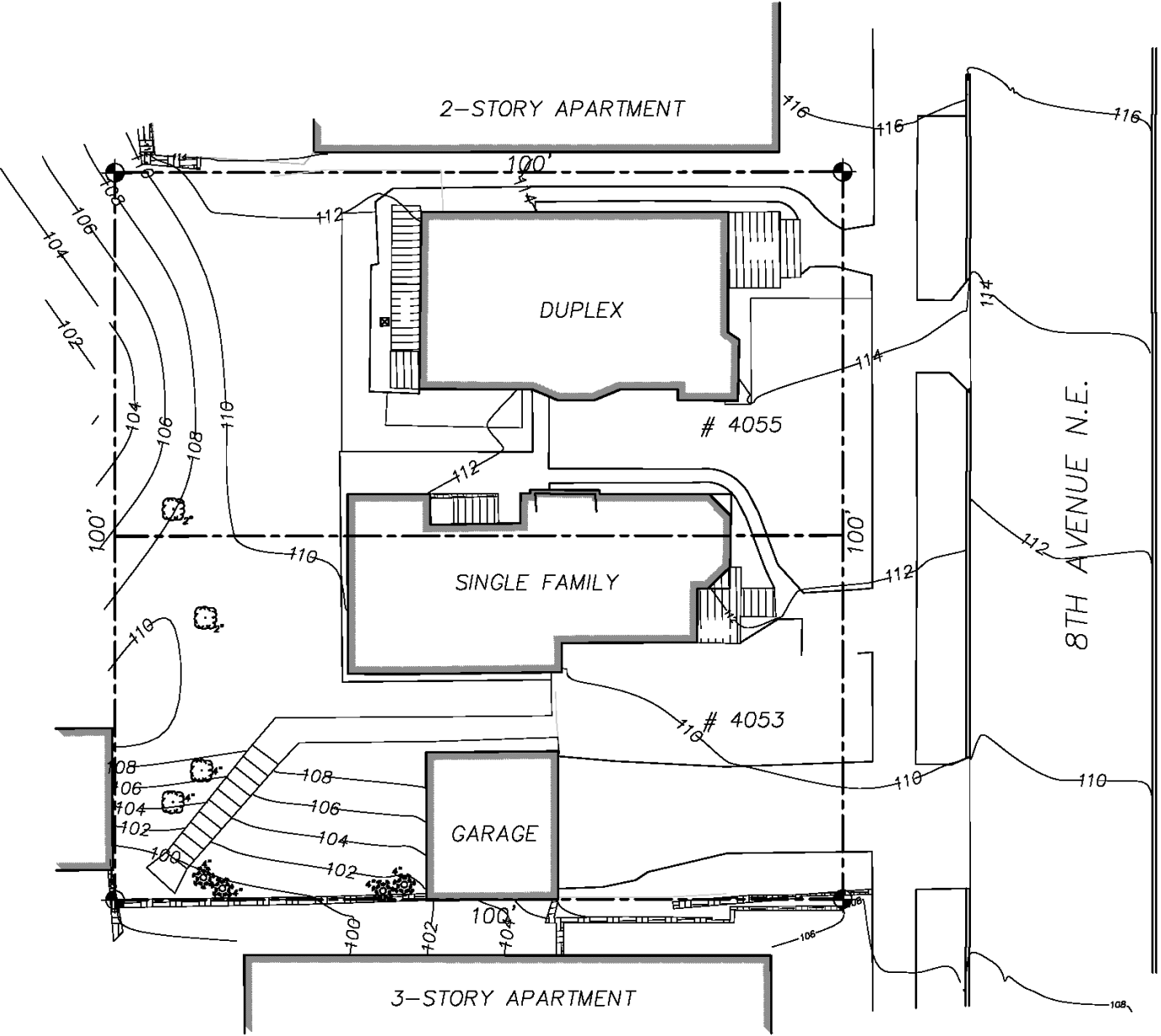
- 1) Affordable rent
- 2) More-functional dwelling units (sleeping /cooking / bathing / studying)
- 3) Usable and spacious amenity areas
- 4) Privacy between the project and adjacent properties
- 5) ‘Green’ design for healthier living and energy saving

### Program summary

Site Area: 10,000 s.f. (100’ x 100’)  
Site topography: Approximate 16’ elevation difference between the highest NE corner to lowest SW corner  
Building height: Approximate 40’ with four above-grade stories and a basement  
Number of dwelling units: 60  
Number of parking stall: 10 (underground)  
Gross floor area: 19,633 s.f.

### Design Departures

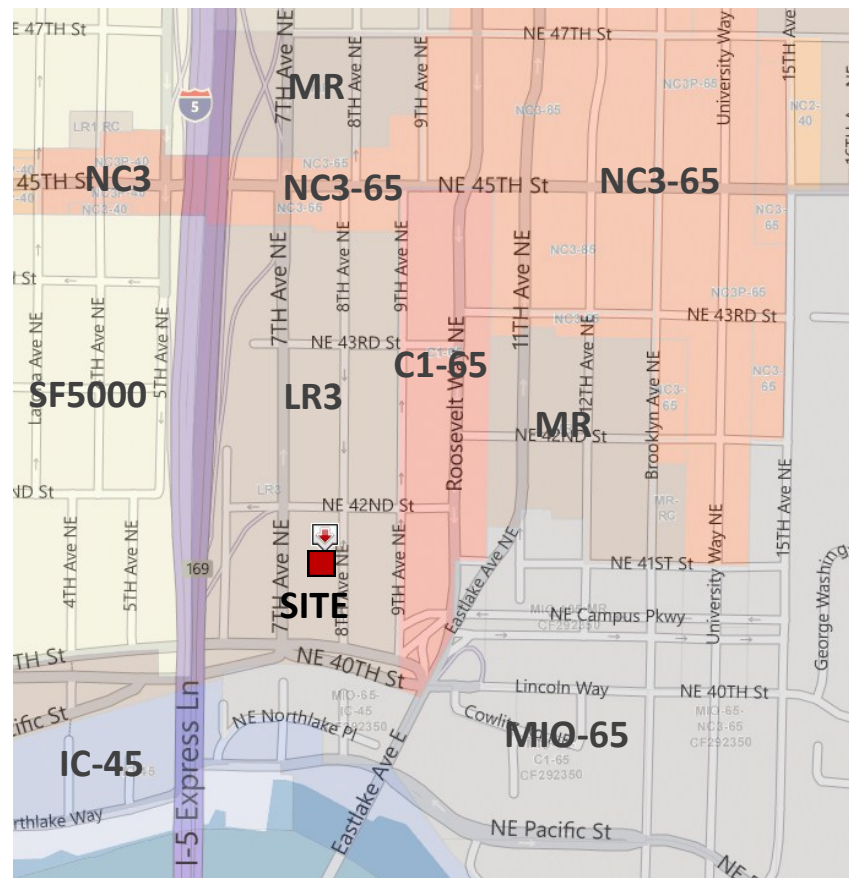
No design departure is requested on any design options.



EXISTING SITE PLAN



## URBAN DESIGN ANALYSIS



## ZONING MAP

The project site is zoned for 'LR3' which contains 9 blocks area., surrounded by commercial zones at north and east, University of Washington at south, and highway I-5 & single family zone at west. Within this 'LR3' area, mostly are of single family homes, townhouses, and 3 to 5-story apartments, with a telephone utility building across the street and a u-district p-patch community garden at south.

## **ACCESS OPPORTUNITIES AND CONSTRAINTS**

### Vehicular Access

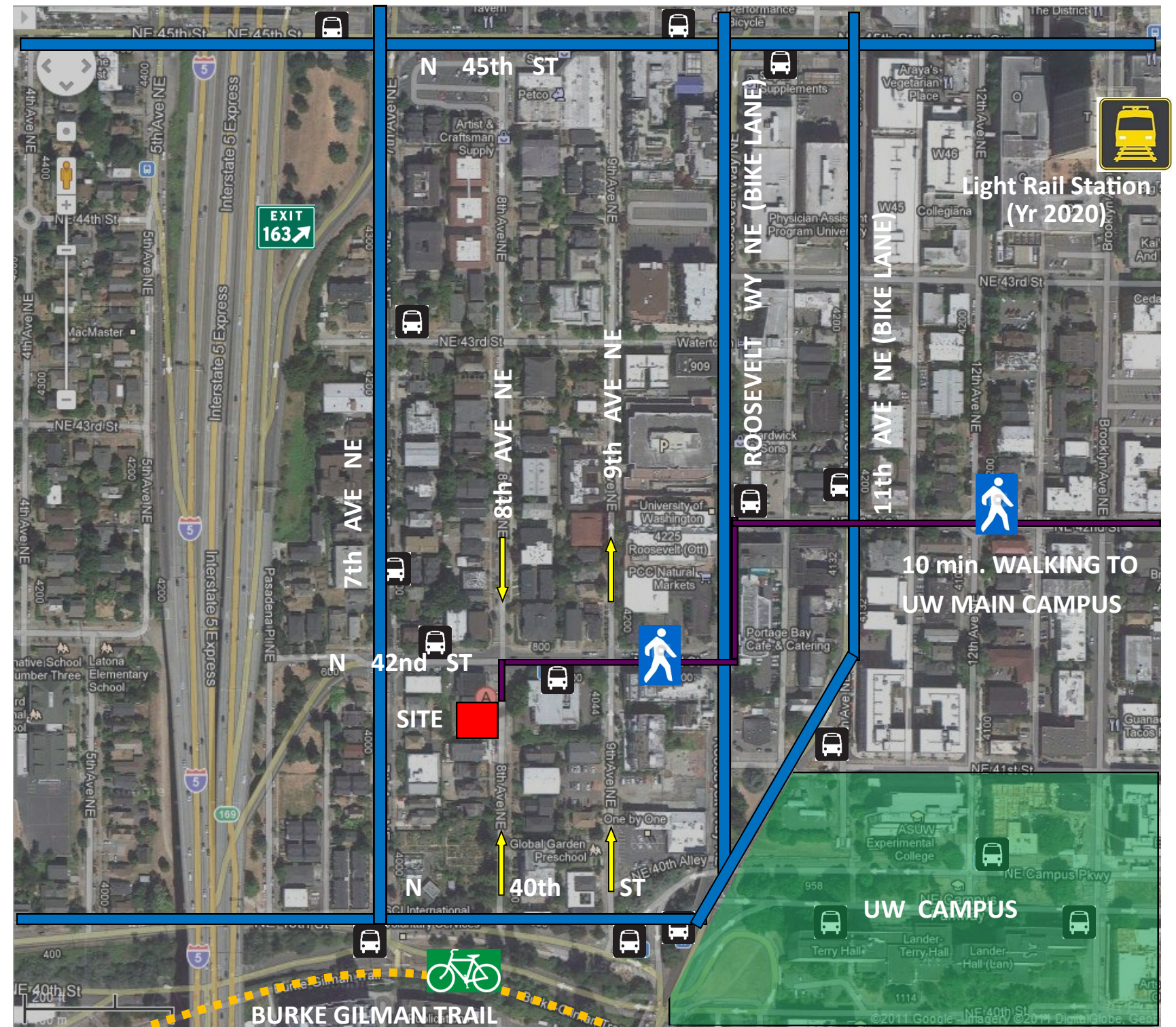
I-5 exits at N 45th street, and the site is accessible through surrounding arterial streets. Yet, all vehicles have to enter 8th Ave NE through N 40th St. due to the one-way traffic designation. Street parking is allowed on west side of 8th Ave NE.

### Transit Access

Bus stops connecting to Seattle metro area are very well distributed within 10-min. walking distance. Light rail station is also within 10-min. walking yet won't open until year 2020.

### **Bicycle Access**

Burke-Gilman trail is right at south side. There are bike lanes on Roosevelt Way and 11th Ave NE. other secondary streets are also commonly used by bicycles.



### Pedestrian Access

10-min. walking distance to UW main campus (15th Ave NE), and 10-min. walking to commercial / retail district (N 45th St. and University Way). Sidewalks are built on both sides of most streets. All grade slopes are gentle and easy for walking.



**NINE BLOCK AREA**

Three blocks at south are University of Washington. The other six blocks are mixed with old and new structures, including the 2-yr old apartment at adjacent lot (#12), and the newly proposed 70-unit apartment on 7th Ave NE (#4) . Photos shown are some multi-family projects within the area.



**URBAN DESIGN ANALYSIS**



**1. Rooming House**



**5. Apartment Building**



**9. Portage Bay Apartments**



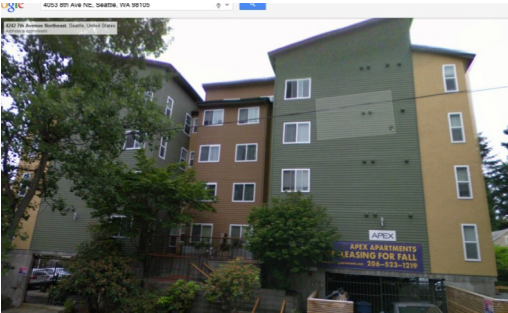
**2. Cedar Apartments**



**6. Townhouse**



**10. Apartment Building**



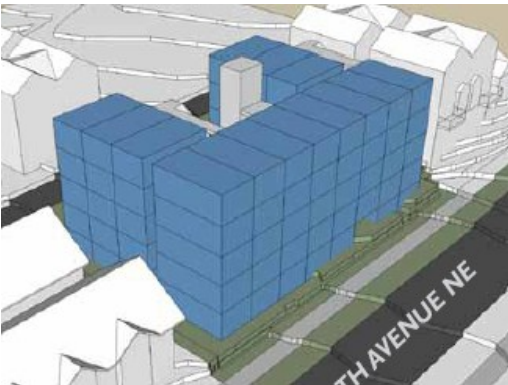
**3. Apartment Building**



**7. Townhouse**



**11. Kelsey Apartments**



**4. Apartment Building**



**8. Townhouse**



**12. Rooming House**



**STREETSCAPE**



**PROJECT SITE**



**URBAN DESIGN ANALYSIS**



**A. 8th Ave NE (Looking West)**

30' ~ 40' front facades with mostly pitch roof



**B. 8th Ave NE (Looking East)**

Large flat façade and some elevated entries



**C. NE 42nd St. (Looking North)**

Larger scale structures



# LAND USE CODE SUMMARY

- Zoning :** LR3
- Urban Village Overlay:** University District Northwest (Urban Center Village)
- ECA:** No
- SMC 23.45.510 Floor area ratio (FAR) limits**  
Base: 1.5 FAR  
Maximum: 2.0 FAR (LEED-Silver rating or a Built Green 4-star rating is required.)
- SMC 23.45.512 Density limits -- Lowrise zones**  
No limits.
- SMC 23.45.514 Structure height**  
Base height: 40'  
Pitched roof: 5'  
Ground floor above street: 18" minimum
- SMC 23.45.518 Setbacks and Separations**  
Setback: Front: 5' / Rear: 15' / Side: 5'(façade <40') / average 7'(facade > 40')
- SMC 23.45.522 Amenity area**  
Minimum 25% of the lot area  
Minimum 50% of amenity area at ground level  
Minimum common amenity area: 250 s.f. & 10'
- SMC 23.45.524 Landscaping standards**  
Green Factor score: 0.6 or greater
- SMC 23.45.527 Structure width and façade length limits in LR zones**  
Maximum structure width: 150'  
The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.
- SMC 23.45.529 Design standards**  
If the street-facing façade of a structure exceeds 750 square feet in area, division of the façade into separate facade planes is required. A portion of the street-facing façade shall have a minimum area of 150 square feet and a maximum area of 500 square feet, and shall project or be recessed from abutting façade planes by a minimum depth of 18 inches.
- SMC 23.54.015 Required parking**  
No minimum requirement within urban center.  
Bicycle parking: (1) bicycle parking / 4 units  
Barrier-free parking is required if parking is provided.  
Sight triangle is required if parking is provided.
- SMC 23.54.030 Parking space standards**  
Driveway width. Driveways less than 100 feet in length that serve 30 or fewer parking spaces shall be a minimum of 10 feet in width for one-way or two-way traffic.



Existing houses on site



View to southwest



View to northwest

## SITE ANALYSIS

The site is surrounded by apartments at north and south, and single houses at west. The noise of highway I-5 comes from west, yet, the view of Seattle downtown is toward the similar direction as noise.

The 3-story apartment at south is newly built, thus, the pattern of solar exposure and view may be fixed for south façade..

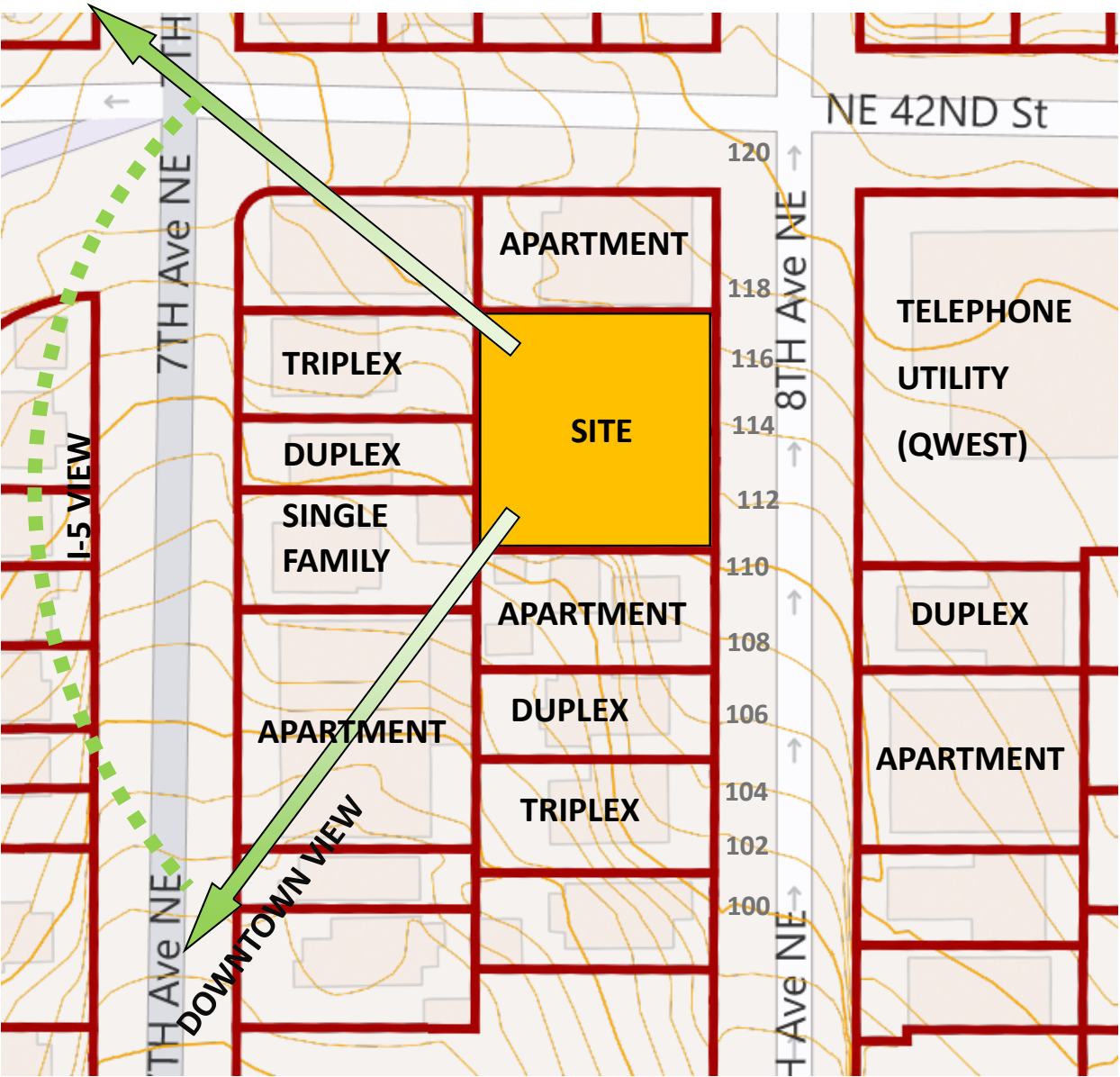
The street parking is at the west side of 8th Ave NE,. This may somewhat affect the view of drivers exiting the driveway from underground garage, yet, the one-way street and 'T'-end at south of 8th Ave NE make vehicle traffic flow relatively small.

The square-shape of project site provide more opportunities for arranging building and open space.

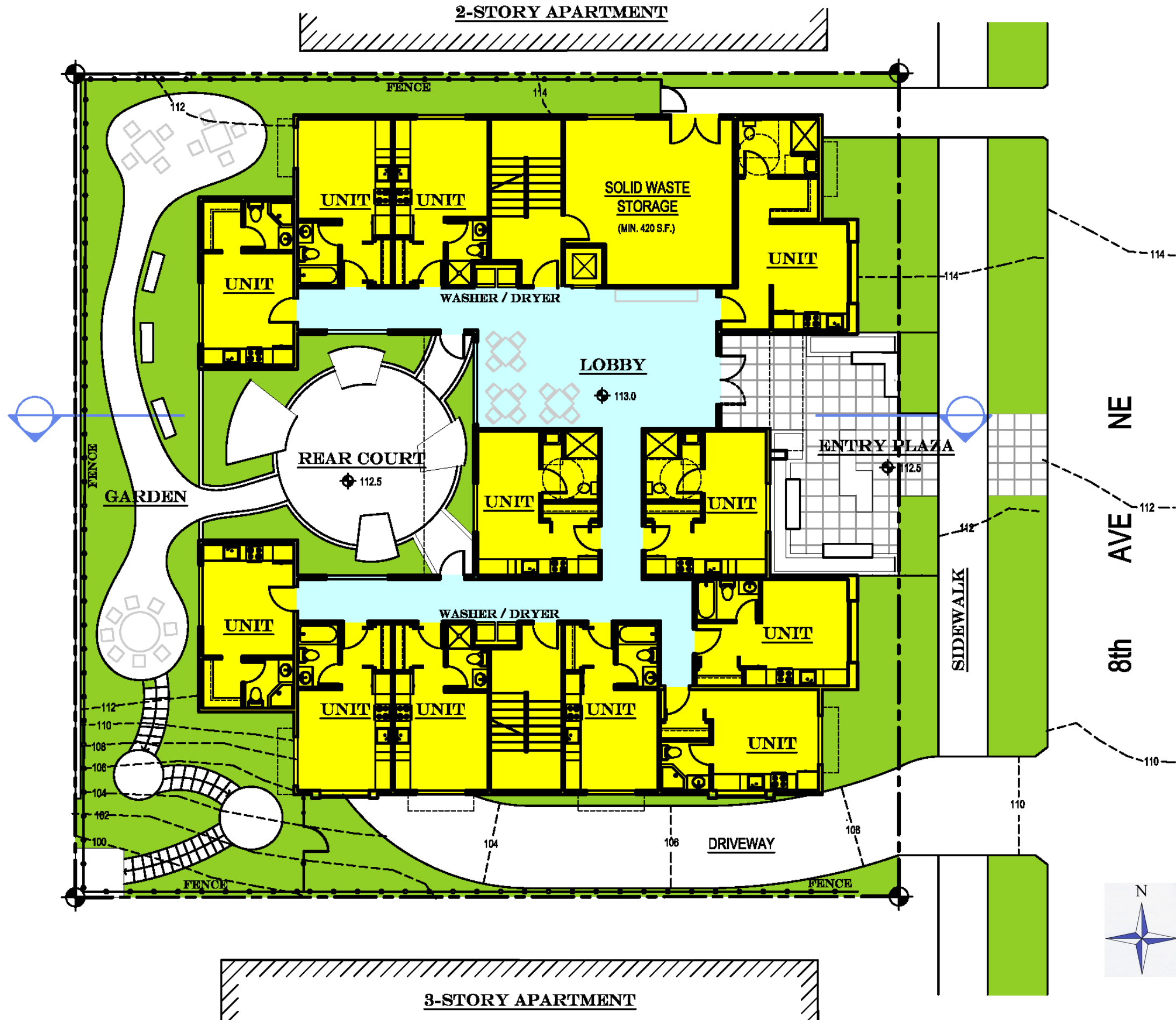
The site is approximately 10' higher than parcels at west, and the exiting structures at west are 2-story, thus, the west façade design is somehow important as well due to its largely exposure to 7th Ave NE.

There is no existing significant tree on site.

**SMC 23.54.040 Solid waste and recyclable materials storage and access**  
51-100 dwelling units: 375 square feet plus 4 square feet for each additional unit







## BOARD RECOMMENDATIONS

### A-6

The Board praised the revisions to the open spaces and their flow or sequence from one to another. The architect and landscape architect ought to contact SDOT to decide whether the planter boxes in the right of way (adjacent to the sidewalk) will be allowed.

Response:

The planter boxes on the right of way have been replaced by landscaping on grade.

### C-1

The spacing of the south and north facing windows conveyed the architect's sensitivity to the neighbors' privacy. The Board, noting the substantial distance between the proposed south façade and the adjacent structure, urged the addition of windows for two of the corner units.

Response:

Windows have been added on South façade for two corner units. See floor plan and south elevation.

### D-7

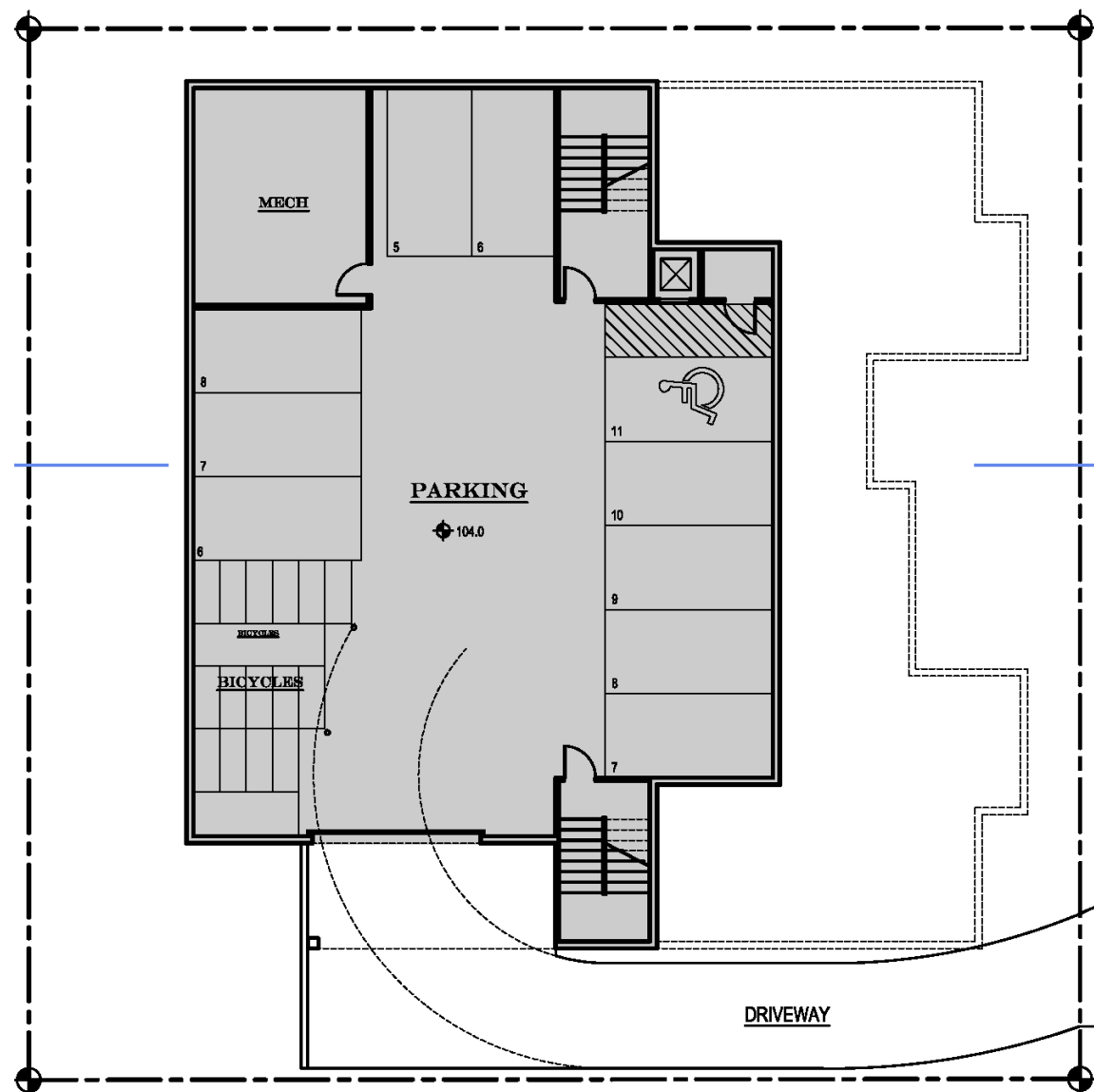
In order to ensure building security, the Board suggests 1) installing fencing along the lower portion of the driveway to prevent people wandering into the rear open space and 2) placing a gate between the north property line and the northeastern most unit. The Board did not think it necessary to provide security fencing around the entry patio.

Response:

Fence and gate location has been shown on ground floor plan and it prevents the non-residents' access to rear

## SITE PLAN & 1st FLOOR PLAN





**BASEMENT PLAN**

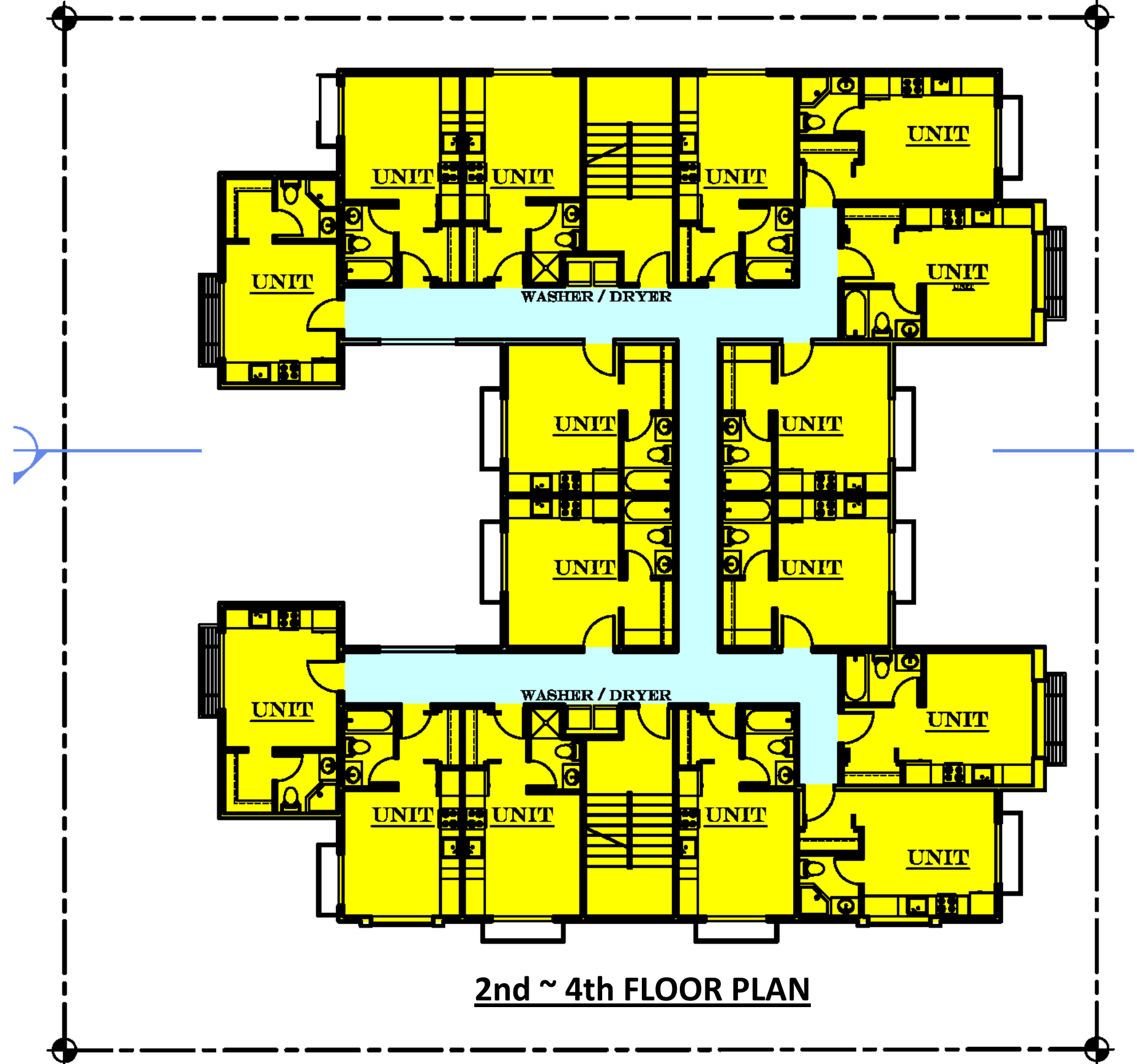
## BOARD RECOMMENDATIONS

### D-6

The change in location of the solid waste storage area from fronting onto 8<sup>th</sup> Ave NE to behind one of the units met with the Board's approval. The Board noted the harshness of the laundry room due to its size, lack of windows, and location with the garage. The architect ought to consider integrating the laundry room for this 60 unit apartment into the life of the building.

Response:

Two sets of washer and dryers are proposed to be along corridor on each residential floor for residents' convenience.



**2nd ~ 4th FLOOR PLAN**





## BEFORE



## AFTER

- 1) Stone veneer at ground level is removed.
- 2) Balcony railing style is modified to be horizontal.
- 3) Aluminum louver shade on front towers is shortened
- 4) Curved copper entry canopy is replaced with aluminum louver shade.
- 5) Central division wall is shortened
- 6) Windows are added for south-facing dwelling units.
- 7) Planters encroaching right-of-way is deleted.
- 8) Horizontal metal panel color changed, and vertical trims are added.
- 9) Remove parapet-top overhang
- 10) Re-arrange fiber-cement panel layout

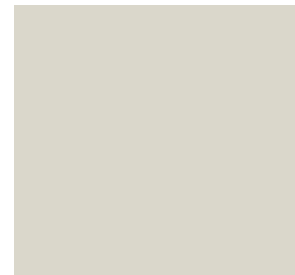




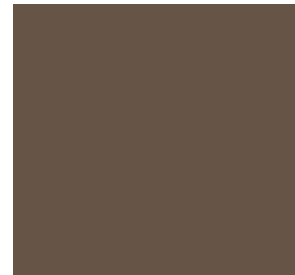
## EAST ELEVATION



Horizontal  
Metal Panel



Fiber-cement  
Panel



Fiber-cement  
Panel



Metal Balcony



Aluminum  
Shade



Vinyl Window  
(Dark Bronze)



Vinyl Window  
(White)

1	Fiber-Cement Panel	6a	Vinyl Window (Dark Bronze)
2	Fiber-Cement Panel	6b	Vinyl Window (White)
3	12" Horizontal Metal Panel (1" Reveal)		
4	Aluminum Louver-Shade		
5	Pre-Fabricated Metal Balcony		





**BOARD RECOMMENDATIONS**

**E-2**  
The proposed landscaping design received praise. However, the Board requested that the fencing along the perimeter of the site be changed from a cyclone or chain link to one possessing better quality and nicer design. Other types of fencing will accommodate vines.  
The size of the roof deck appears larger than the occupancy that one stair access will allow. The architect should consult the building code. Building code experts are also available to review this design at DPD’s public resource center. Instead of using fencing as means to achieve the department’s green factor requirement, portions of the roof (i.e. green roof) may be used to meet this zoning regulation. The Board notes the placement of a tree in a landscaping drawing in front of the fin.

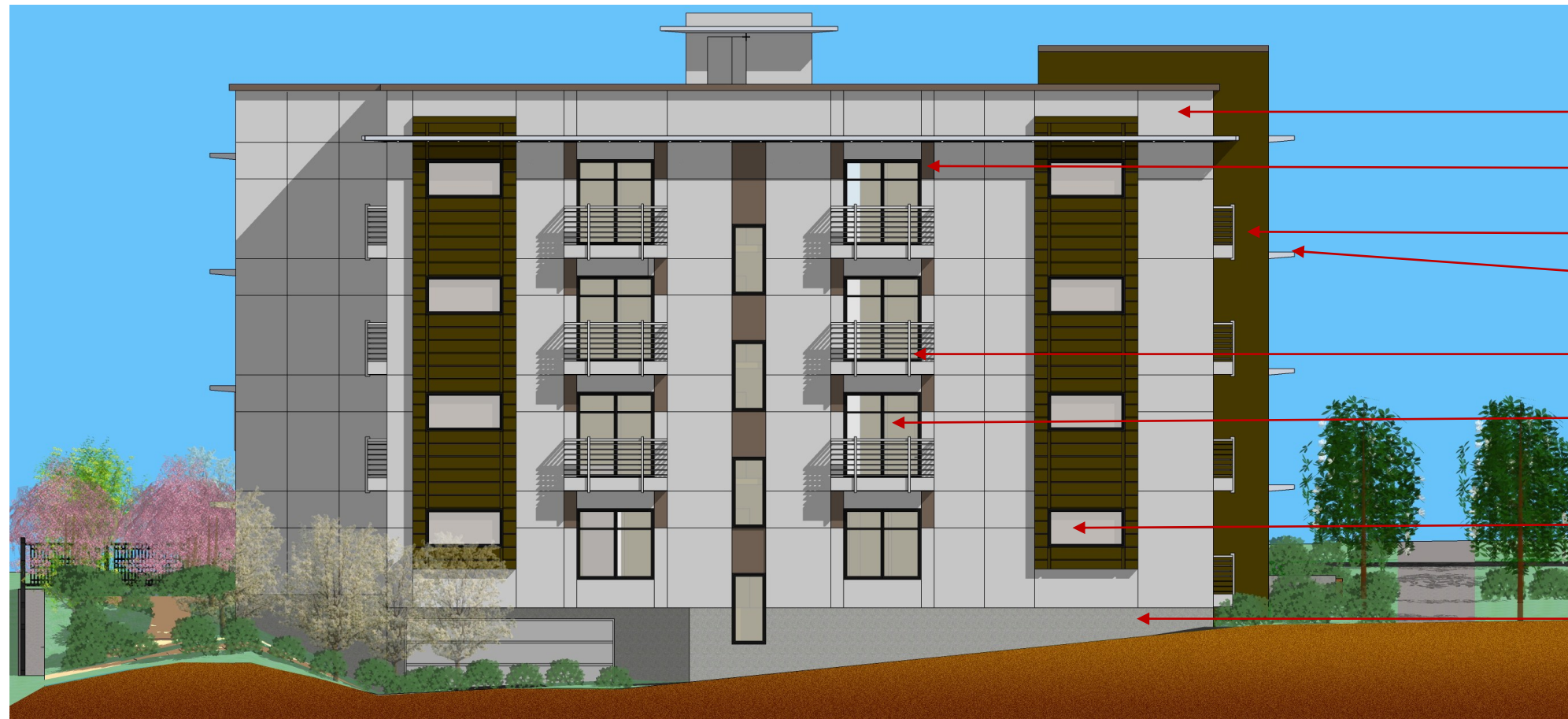
Response:

- Fence type has been changed.
- Roof garden design is modified for lower occupant load. (See both responses on landscaping plan as well)

**WEST ELEVATION**

1	Fiber-Cement Panel	6a	Vinyl Window (Dark Bronze)
2	Fiber-Cement Panel	6b	Vinyl Window (White)
3	12” Horizontal Metal Panel (1” Reveal)		
4	Aluminum Louver-Shade		
5	Pre-Fabricated Metal Balcony		





1  
2  
3  
4  
5  
6a  
6b  
7

**SOUTH ELEVATION**



1	Fiber-Cement Panel	6a	Vinyl Window (Dark Bronze)
2	Fiber-Cement Panel	6b	Vinyl Window (White)
3	12" Horizontal Metal Panel (1" Reveal)	7	Concrete
4	Aluminum Louver-Shade		
5	Pre-Fabricated Metal Balcony		

**NORTH ELEVATION**

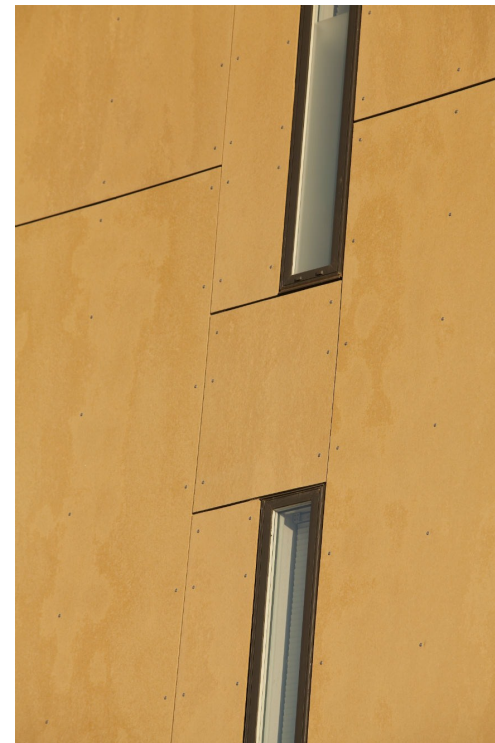




**Aluminum Louver Shade**



**Metal Panel & Trims**



**Fiber Cement Panels**



**Metal Balcony**

## BOARD RECOMMENDATIONS

### C-2

The Board questions the consistency of several elements of the design. The curve of the canopy appears unrelated to any other design element of the design. Should the architect desire to keep the canopy shape, he should relate it to another element of the overall design. The Board wants to see a detail of how rain is captured by the canopy (i.e. a gutter) so that it does not pour on people entering and exiting the building. Copper weathers and changes color. Show the canopy's appearance once it ages.

The diagonal struts on the balconies lack consistency with the other architectural elements and appears dated. The Board asks the architect to reconsider the design.

The sunscreens act as both a functional element and as an aesthetic device emphasizing the building's horizontality. The Board urges the architect to limit the application of the metal sunscreens to the areas above the windows.

The Board also questions the logic of the vertical fin on the east elevation but had not specifically request a change.

Response:

Curved entry canopy has been replaced with aluminum louver shade matching the same elements at other locations on the building. Entry wall is recessed for another 2' for better weather protection.

Diagonal railings of metal balconies have been replaced with horizontal struts with vertical supports.

Aluminum louver shades have been reduced in length. Vertical fin on the east elevation has been shortened for necessary separation function and integrated with entry louver shade.





**SW PERSPECTIVE**



**STREET BLOCK**



**ENTRY COURT**





ENTRY IMAGE



PLANTING IMAGE

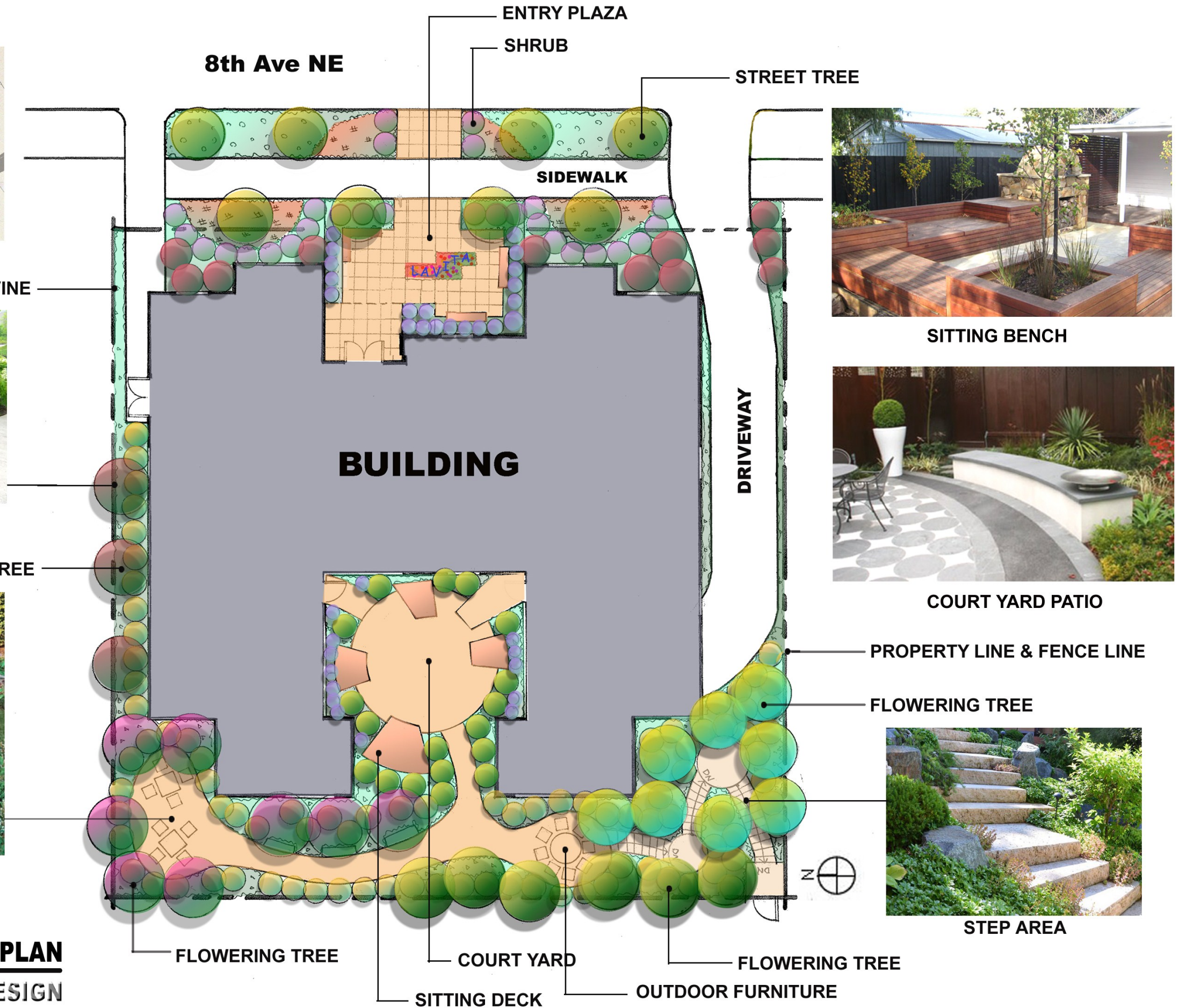


PATIO AREA



# LANDSCAPE DESIGN PLAN

## LOTUS LANDSCAPE DESIGN





## CENTER COURTYARD PLANTS PALETTE



Golden Sword Yucca



Rose Creek Abelia



Climbing Jasmine



Purple Gem Rhododendron

## NORTHWEST GARDEN PLANTS PALETTE



Strawberry Tree



Galaxy Magnolia



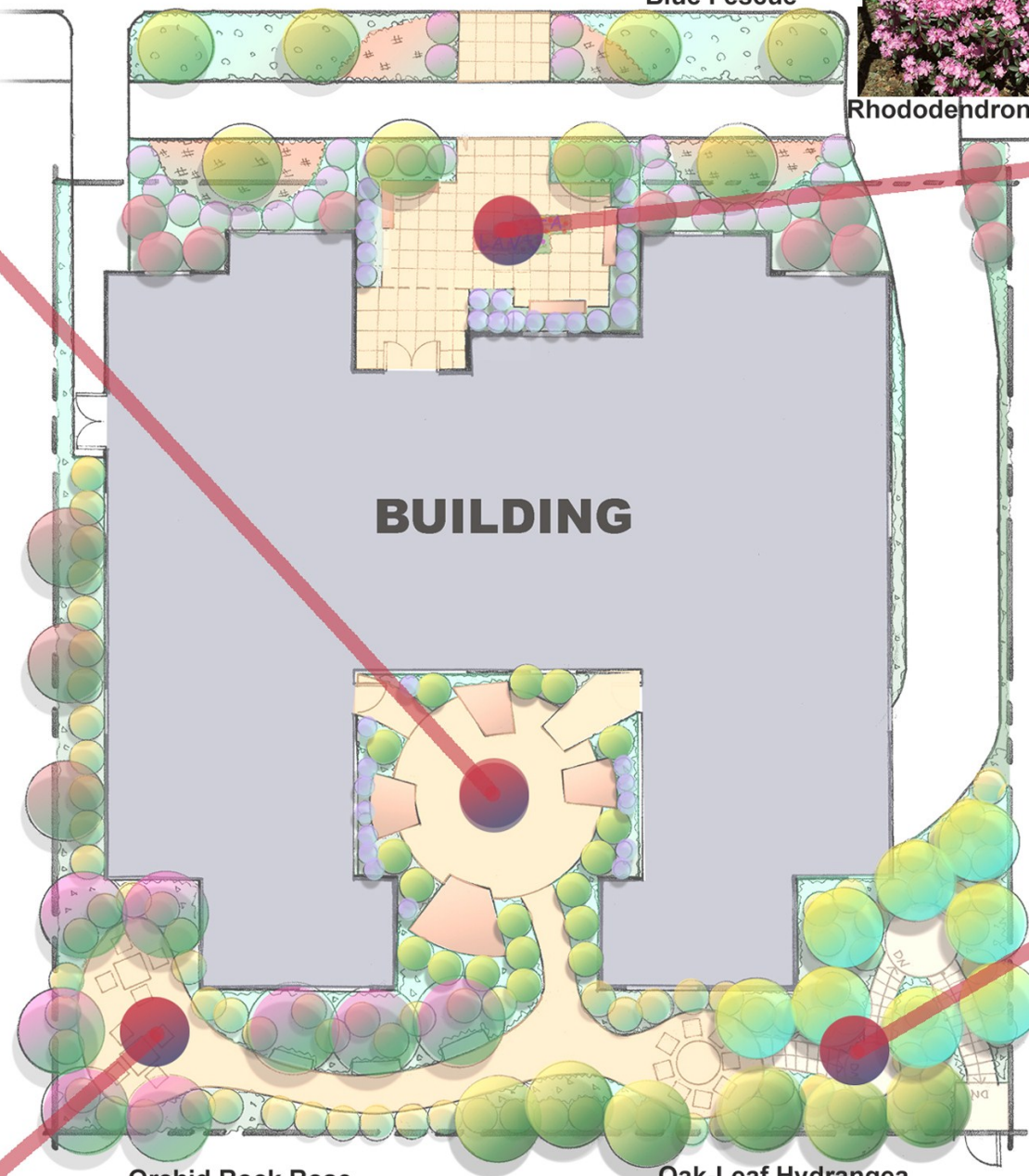
Lily Turf



Coral Bells



English Lavender



Orchid Rock Rose



Oak-Leaf Hydrangea

## ENTRY PLAZA PLANTS PALETTE



Blue Fescue



Rhododendron 'PJM'



Victoria Magnolia



Hebe



Pink Heath



Euonymus



Yuletide Camelia

## SOUTHWEST GARDEN PLANTS PALETTE



Capital Pear



Goldenrain Tree



Boxleaf Barberry



Cavatine Andromeda



Kinnikinnick



Clematis montana



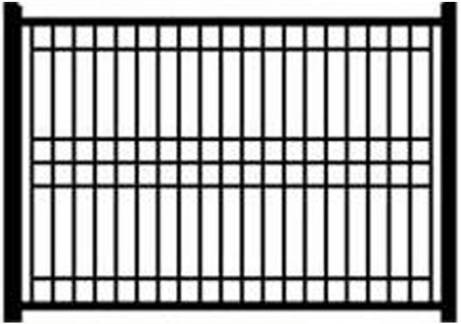
LOTUS LANDSCAPE DESIGN

**LAVITA PLANTING IMAGES**

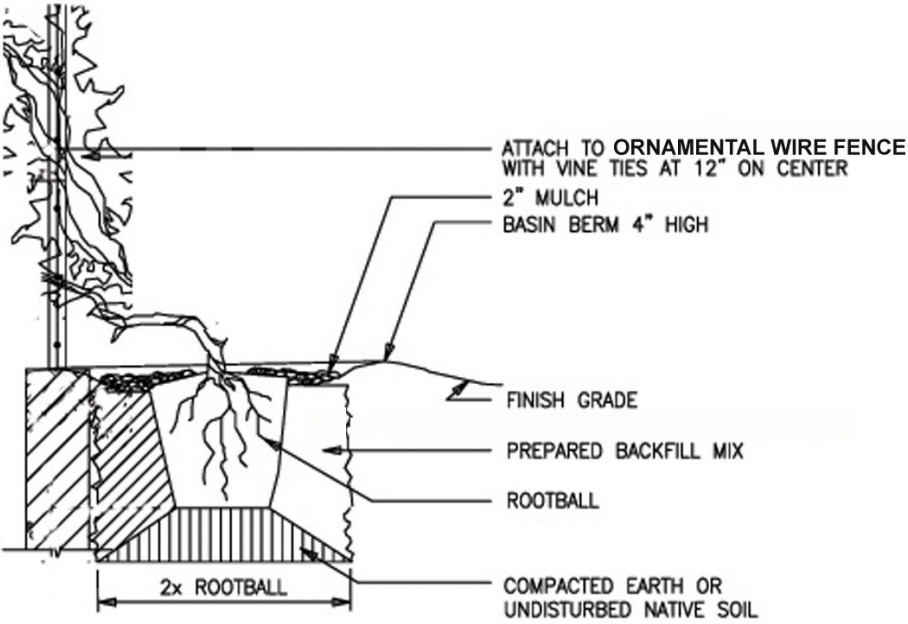
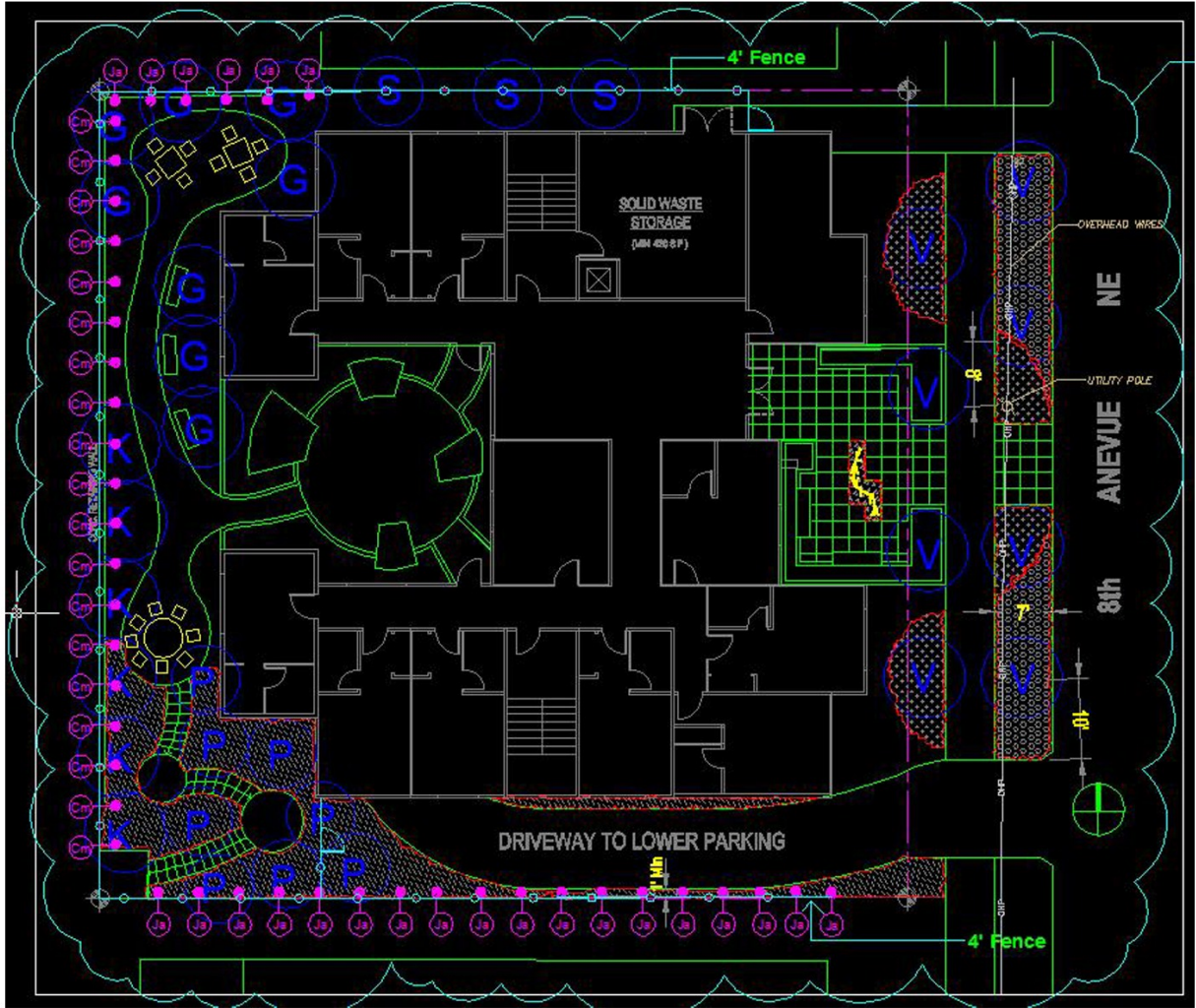




**CLEMATIS MONTANA**



**4' ORNAMENTAL WIRE FENCE**



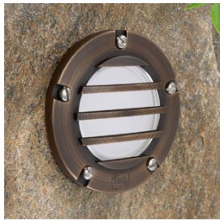
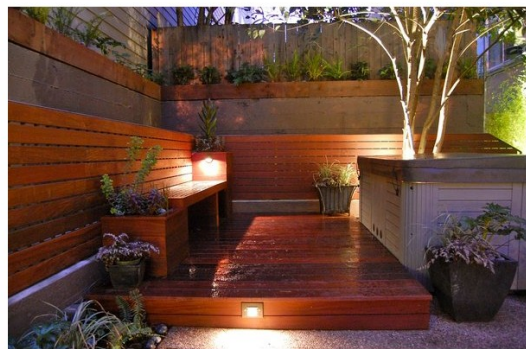
**CLIMBING JASMINE**



**VEGETATED WALL DESIGN**  
**LOTUS LANDSCAPE DESIGN**



**ENTRY AREA LIGHTING IMAGE**



**GARDEN LIGHTING IMAGE**



**WALL MOUNT LIGHTING**



**SPOT LIGHTING**

**TALL POST LIGHTING**



**DRIVEWAY LIGHTING IMAGE**



**WALL MOUNT LIGHTING**

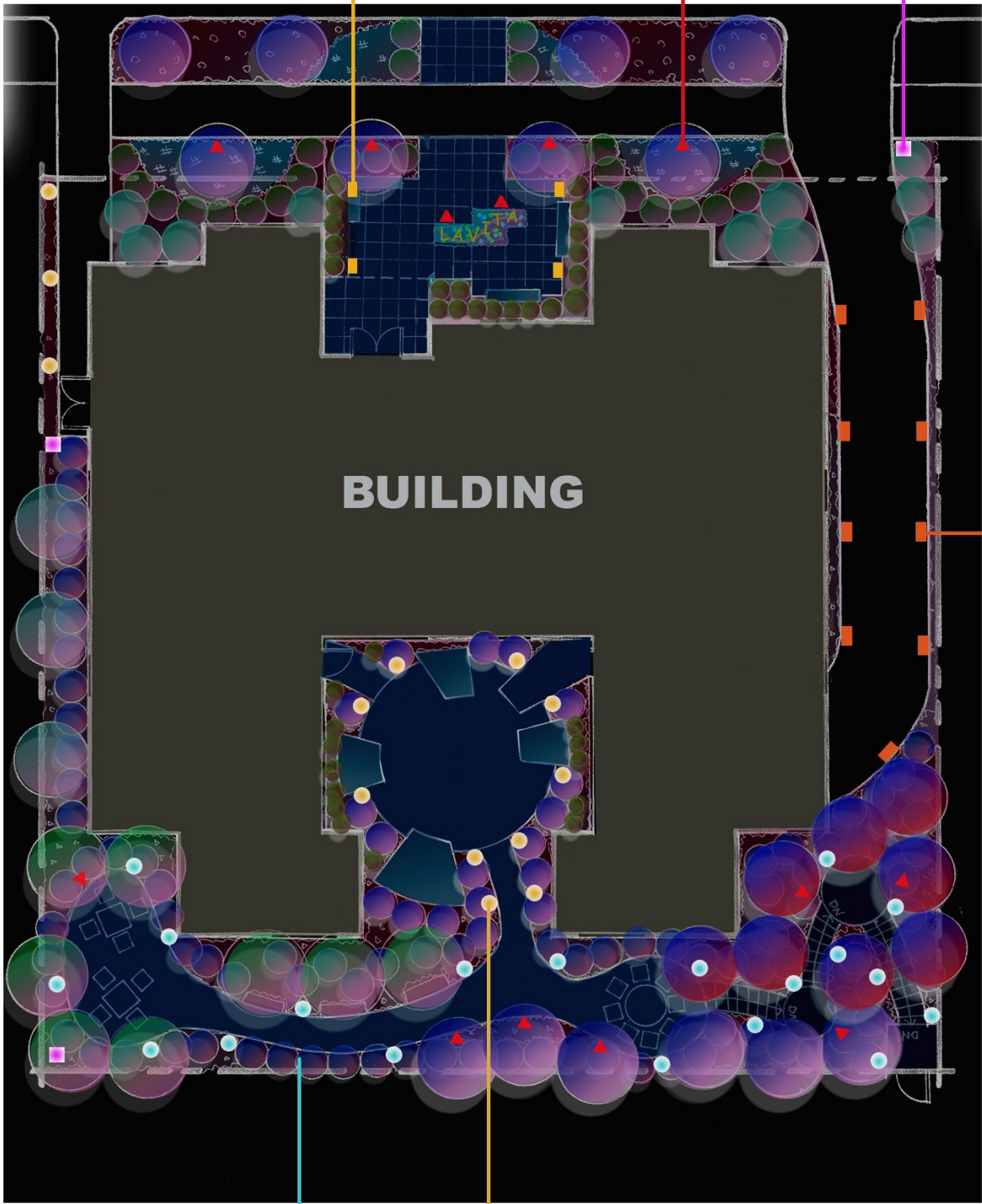
**STEPS & PATH LIGHTING IMAGE**



**GARDEN TYPE A**



**GARDEN TYPE B**



LOTUS LANDSCAPE DESIGN

**LAVITA LIGHTING PLAN & IMAGES**





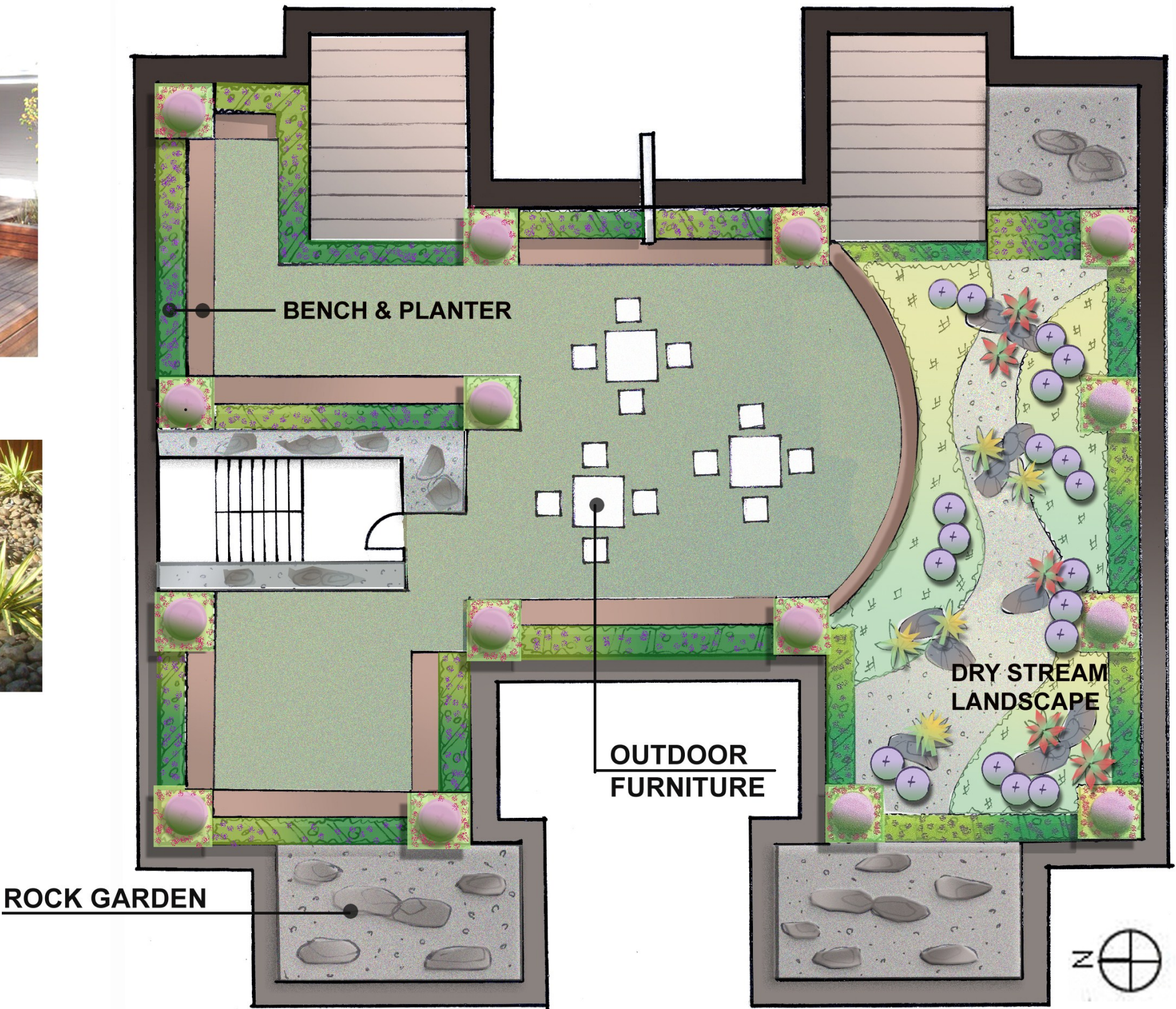
**BENCH & PLANTER IMAGE**



**DRY STREAM LANDSCAPE**



**ROOF GARDEN PLAN**  
**LOTUS LANDSCAPE DESIGN**



**ROOF GARDEN PLAN**