



DESIGN REVIEW RECOMMENDATION MEETING 07.11.2012 1711 12TH AVENUE **caron**

washington 2505 3rd avenue•suite 300C, Seattle, WA 98121 • california 1993 Santa Barbara Street, San Luis Obispo, CA 93401 • www.caronarchitecture.com

PROJECT DESCRIPTION

Address : 1711 12th Avenue
DPD Project Number : 3012848
Developer : Anderson View, LLC
Applicant : David Pruin
Contact : Radim Blazej, Caron Architecture
Zoning : NC3-40

The project is a 4 - story apartment building containing 35 residential units and 2 live - work units (37 total.) No parking is provided for the project. The existing 2 - story commercial building on the site will be demolished. The site is zoned NC3 - 40 in the Capitol Hill Urban Center overlay. The building mass on the site responds to the zoning context and multifamily projects on adjacent blocks.

Project History:
The Early Design Guidance meeting was held on February 8, 2012. The Master Use Permit submittal was on March 20, 2012.

- Site Plan Features:
- Immediate neighborhood context:
 - Apartment building in keeping with the neighborhood character
 - 4 stories matches height of recent developments
 - Landscaped courtyard facing south

- 12th Avenue:
- ♦ Live/work units at street level
 - ♦ Canopies over Live/work and residential lobby entrances
 - ♦ 16' floor to floor provides ample commercial space
 - ♦ Additional street trees buffer from the street
 - ♦ Secure bicycle parking provided inside the building
 - ♦ Garbage and recycling room is concealed inside the building
 - ♦ Breezeway to courtyard accessed from 12th Avenue sidewalk will include ornamental entry gate and mural

- Alley:
- ♦ The site is not accessible from the alley, however the four ground level apartments include decks facing west

- Amenities and Views:
- ♦ Landscaped courtyard, streetscapes and roof deck provide comfortable social gathering areas
 - ♦ Live/work units bring additional pedestrian activity

| FLOOR | USE | GROSS FLOOR AREA | NO. OF UNITS |
|-------|--|---------------------------------------|--------------|
| ONE | RESIDENTIAL CIRCULATION STORAGE BUILDING SERVICES | 3,095 sf 965 sf 63 sf 605 sf | 7 |
| TWO | RESIDENTIAL CIRCULATION STORAGE | 4,355 sf 714 sf 36 sf | 10 |
| THREE | RESIDENTIAL CIRCULATION STORAGE | 4,355 sf 714 sf 36 sf | 10 |
| FOUR | RESIDENTIAL CIRCULATION STORAGE | 4,355 sf 714 sf 36 sf | 10 |
| ROOF | CIRCULATION BUILDING SERVICES DECK (OPEN) | 378 sf 173 sf 675 sf | 0 |
| TOTAL | | 21,269 sf | 37 |

SCHEDULE B

| | | |
|-------|---|---|
| EDG 1 | The Board approved of the preferred massing scheme, but directed the applicant to design for maximum cross-ventilation opportunities in the units. | The architect reviewed cross ventilation opportunities and implemented them in SW Unit.. Other units do not allow this treatment under building code and furthermore this solution would significantly expand the surface of heated areas, leading to increased energy consumption. |
| EDG 2 | <p>Live-work spaces: Design the live-work spaces so they can be used as viable commercial space in the future, as the market demand shifts.</p> <p>The street level spaces should include viable commercial ceiling heights, commercially designed storefront transparency, facades to accommodate future signage, overhead weather protection, and commercial storefront lighting.</p> <p>The proposed street-level setback and landscaping should be designed to enhance the live-work units' potential for future retail spaces.</p> | <p>Live work spaces were detailed in such way that living functions on the ground level can be closed off during business hours and we provided privacy partial walls to address living and sleeping areas in upper lofts.</p> <p>We have removed planters in front of the units to provide expanded sidewalk for signage, outdoor display and direct access to the storefront display area. Each unit will have opportunity for both canopy mounted as well as blade signage identifying the business. The live-work spaces have been designed with a 16' floor-to-floor at the first floor level enabling the incorporation of a mezzanine for the sleeping area. Bathroom and kitchen are pushed to the rear of the unit giving the front of the unit the 15' ceiling and large open floor area.</p> <p>Street level spaces will include signage, lighting, and large areas of glazing.</p> <p>The setback has been designed to provide for a “wider sidewalk” to allow for the possibility for commercial use to spill out.</p> |
| EDG 3 | The applicant should demonstrate how the proposed design relates to examples of neighborhood architectural context. | The project is similar to size and massing to adjacent apartments, while providing commercial street front along 12 th Avenue. Material and colors reflect more recent developments in the area. |
| EDG 4 | <p>Breezeway and recycling/trash storage: The visual connection from the sidewalk through the breezeway to the landscaped courtyard is a positive aspect of the design and should be emphasized.</p> <p>The recycling and trash storage area will be screened from pedestrian and residents' views, and will keep staging areas off the sidewalk, which is positive.</p> <p>The breezeway will also function as trash and recycling staging on collection days, which will keep staging areas off the sidewalk.</p> <p>The recycling/trash storage area may result in a blank wall at the street front. The applicant should design the street front façade for maximum activity and visual interest. Consider extending the live-work area and fenestration to separate the recycling/trash wall from the street facing façade, and/or minimize the width of the blank wall at the street facing façade.</p> | <p>We have consolidated the trash area north of the breezeway to minimize dumpster travel on pickup day and eliminate it from courtyard. The current configuration was approved by SPU, but we request a Departure from the land use code requirement. Bike storage has been moved in proximity to the lobby enhancing security and convenience.</p> <p>Structural concrete wall next to garbage area will receive an artistic treatment, such as a mural, architectural concrete, metalwork, or mosaic tile. The width of the wall was minimized to the structural minimum and is outright code compliant. Area of the trash room reduced to from 416 SF to 195 SF. It accommodates 2 dumpsters, 2 recycle dumpsters and one compost cart.</p> |

| | | |
|-------------|---|--|
| EDG 5 | Departure: The subject site is higher than the site to the west, and the site to the west is zoned for residential use. The proposed departure would allow building structure closer to the west property line. The applicant should demonstrate that the proposed design responds to adjacent development and zoning, and that the proposed departure would better meet the intent of the Design Review Guidelines. | No departure is requested at this time. The building has been reconfigured to remove the need for the previous departure request. |
| Next Mtg. 1 | Demonstrate with elevations, plans, sections, and detailed graphics how the live-work design will maximize future viability as retail spaces. | Refer to graphic and space model of the units illustrating maximum commercial space. While the units can function as small retail spaces, the more likely use would be professional services. |
| Next Mtg 2 | Provide graphics showing how the proposed development fenestration and site plan responds to adjacent conditions. Provide graphics showing the existing adjacent building fenestration in relation to the proposed building fenestration, sections showing the proposed dimensions from all parts of the structure to the property lines, and graphics demonstrating any techniques to enhance the design of the building near adjacent properties. | Refer to color side elevations tracing the fenestration of the adjacent building. We propose several graphic options to treat the side façade for interest and increased light reflection. |
| A-2 | Streetscape Compatibility. The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way. | A street planting strip with street trees has been proposed along 12 th Avenue E, enhancing the streetscape from the deteriorated landscape strip along west side of 12 th avenue. |
| A-4 | Human Activity. New development should be sited and designed to encourage human activity on the street. | Majority of the street facing façade is 72% transparent to allow interaction and security. |
| A-5 | Respect for Adjacent Sites. Buildings should respect adjacent properties by being located on their sites to minimize disruption of privacy and outdoor activities of residents in adjacent buildings. | Site elevation is graphically treated to enhance interest and light reflection to the apartment to the south. |
| C-1 | Architectural Context. New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings. | Building is located at the street ROW property line to enhance 'street façade' and continue street level commercial use. Recessing building on street level provides for better commercial and pedestrian interaction. |

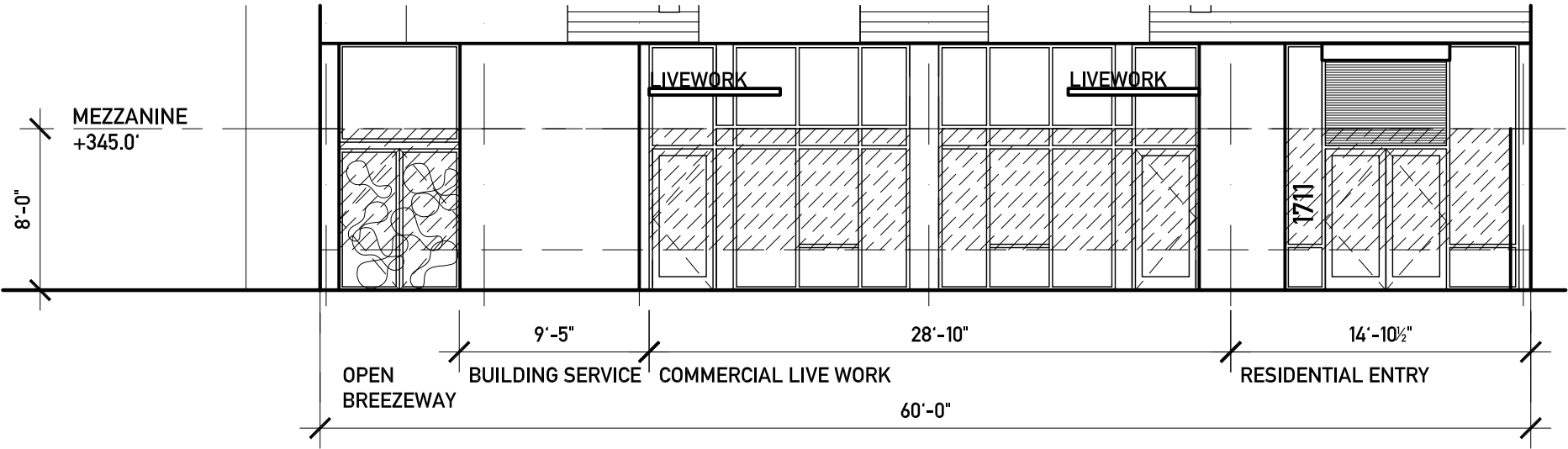
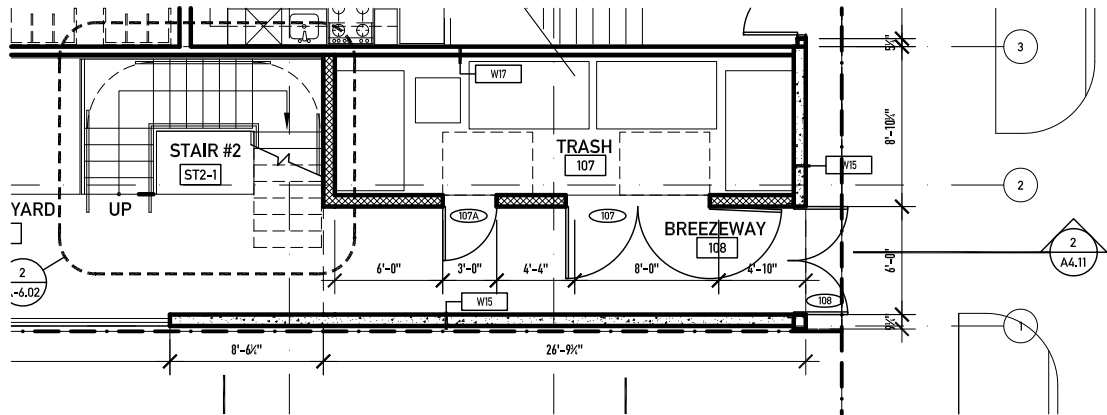
SCHEDULE B

| | | |
|-----|---|---|
| C-2 | Architectural Concept and Consistency. Building design elements, details, massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls. | Building is clearly defined with visual separation of the commercial base and residential upper stories. Visual and design elements separate residential entry from commercial units. |
| C-3 | Human Scale. The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale. | Street level includes canopies and signage which reduce the scale at the pedestrian level. Some of the texture and materials from residential lobby will extend to the sidewalk level. |
| C-4 | Exterior Finish Materials. Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged. | Combination of durable metal and prefinished cement fiber panels will provide lasting quality façade. On street level the panels are provided in smaller scale to relate to human size. |
| D-2 | Blank Walls. Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest. | The shear wall facing the street will an artistic treatment, see EDG 4. The wall is code compliant. |
| D-6 | Screening of Dumpsters, Utilities, and Service Areas. Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian ROW. | Trash is located within enclosed room in the structure. Electrical meters will be located within the structure. The gas meter will receive a decorative metal enclosure to screen it from the street. |

| | | |
|------|--|--|
| D-9 | Commercial Signage. Signage should add interest to the street front environment and should be appropriate for the scale and character desired in the area. | Unified signage opportunity exists of the top of individual space canopies, as well as in the blade signs incorporated into the canopy design. |
| D-10 | Commercial Lighting. Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscape areas, and/or on signage. | Lighting is incorporated into the overhead canopies for entry and signage lighting. The breezeway and courtyard will be lighted for security. All lighting will be shielded to minimize spillover to neighboring properties. |
| D-11 | Commercial Transparency. Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of the building. Blank walls should be avoided. | All commercial spaces are fully transparent along 12 th avenue |
| E-2 | Landscaping to Enhance the Building and/or Site. Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project. | Street level landscaping creates new planting strip and street trees. Vertical landscaping screens and plantings enhance the interior courtyard. Planters are incorporated into amenity space on the roof. |

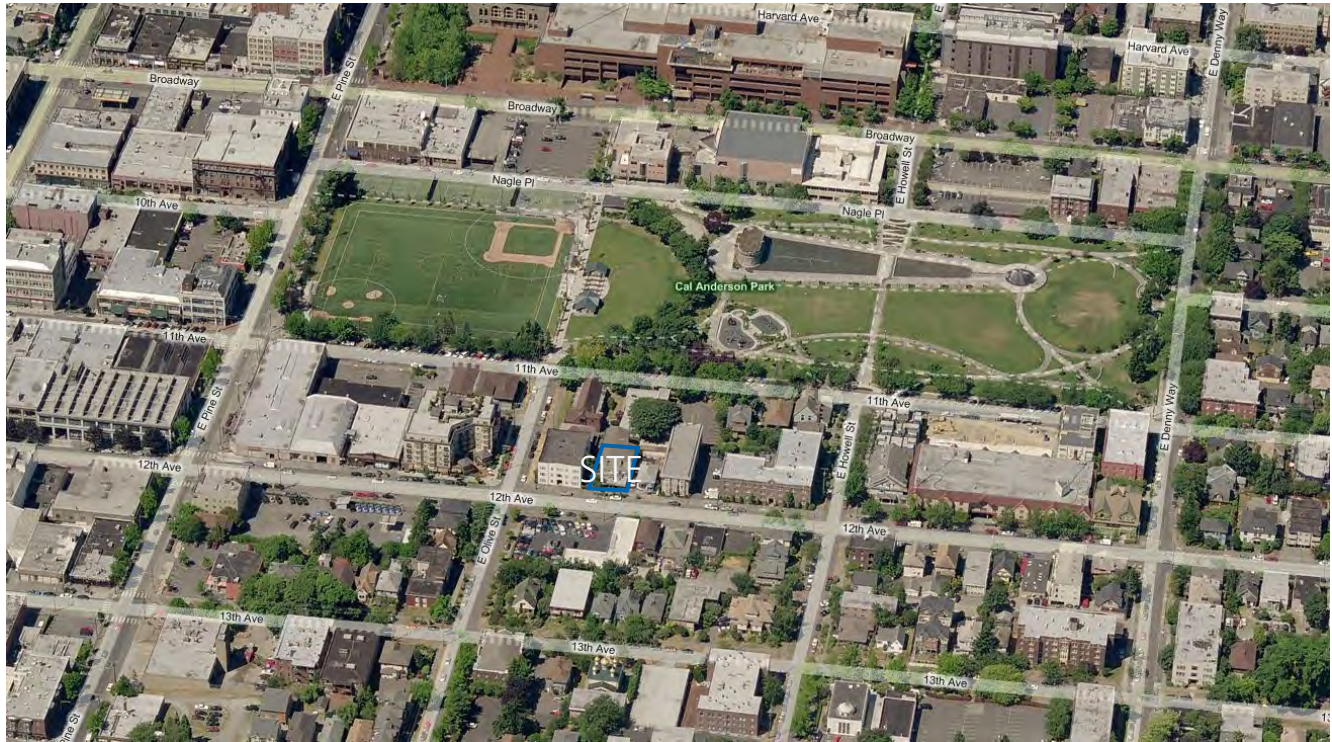
DEPARTURE REQUESTS

| CODE SECTION | Required | Proposed and justification |
|-------------------|---|--|
| SMC 23.47A.005 C3 | Residential use cannot, in aggregate, occupy more than 20% of street level uses. | An interior designer is developing plans to create an active, visually appealing front lobby. Proposed design features include blending flooring materials across the door threshold between the lobby, vestibule, and sidewalk to soften the transition between the public realm of the sidewalk and private realm of the building interior, comfortable seating, appealing lighting, and artwork displays. In creating a more visually appealing, comfortable lobby space, building residents would be encouraged to use the lobby as a waiting area or to meet guests, enhancing eyes on the street from the building as well as activity within the building when viewed by pedestrians on the sidewalk. |
| SMC 23.54.040 B | Solid waste required for the unit count and mixed use shall be 562 SF per Table A | Working with SPU and Waste Management, the trash room size has been reduced to minimize the area required to accommodate the trash dumpsters, recycling dumpsters, and compost bins. Reducing the size of the trash room has allowed the area for bicycle storage to be increased. Also, the proposed size and location of the trash room allows it to be fully enclosed but outside the heated building envelope, reducing the overall building envelope size and energy consumption. The proposed location with the reduced distance required to move the dumpsters from the trash room to the street creates a scenario in which the dumpsters and bins will not be left at the curb for staging. |



STREET USE REQUIREMENT (SMC 23.47A.005 C3): MAX 20% OF FACADE TO BE RESIDENTIAL USE
PROPOSED RESIDENTIAL LOBBY: 15'-0" 15'-0" / 60'-0" = 25%

SITE ANALYSIS



SITE AERIAL



SITE TREE CANOPY COVERAGE



SITE CONDITIONS

Situated near the top of Capitol Hill, this site is relatively flat, with a 10' drop-off at the west property line. In addition to views of Cal Anderson Park, upper levels have territorial views from the Olympic Mountains to the downtown city skyline. Just one block west of the site, the street grid is interrupted by the park, creating a dead-zone for vehicular traffic and keeping the neighboring areas relatively quiet. Beyond Cal Anderson Park, Broadway offers numerous shops, restaurants and entertainment options, providing close amenities to project occupants.

The neighborhood has an urban tree canopy which varies greatly in scale and quality from street to street. The park offers a mature canopy with quality trees. 12th Avenue is sparsely populated with trees that are primarily of low quality. Much of the neighborhood enjoys a mature canopy in and among single family residences and small multi-family buildings.

NEIGHBORHOOD ANALYSIS



VICINITY MAP



VIEWS FROM CAPITOL HILL TO DOWNTOWN

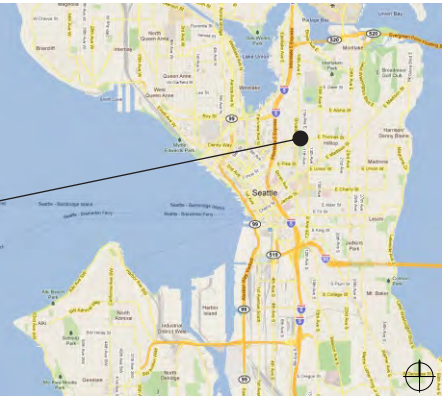
The proposed project is located on the west facing crest of Capitol Hill, just a block east of Cal Anderson Park, with views of the park and the downtown business district. The site is in a small finger of Neighborhood Commercial 40' zoning, surrounded by residential, commercial and religious uses zoned Low Rise 3.

The neighborhood is densely packed with low-rise apartments of various vintages, older commercial buildings and single family homes, many of which were built in the early 1900's. The development pattern along 12th Avenue consists of individual, small-scale structures broken and separated on lots with no apparent continuity at the street edge. Generally the neighborhood lacks consistent setbacks at property lines. Many lots in this portion of Capitol Hill lack an alley system, forcing services such as garbage and recycling to the street front.

The residents of Capitol Hill are served by a number of restaurants, bars, grocery stores and specialty shops. With more than a hundred years of developed density, the community enjoys open space at public parks and pedestrian friendly street-scapes. A well-regimented street grid and ample public transportation provides connectivity within Capitol Hill and the greater Seattle area.

- LEGEND
- MIXED USE
 - RETAIL
 - PROFESSIONAL
 - RESIDENTIAL
 - SURFACE PARKING
 - COMMUNITY AMENITY

CAPITOL HILL
URBAN CENTER
VILLAGE



SITE PHOTOS



12TH AVENUE - EAST



12TH AVENUE - WEST



VIEW OF EAST ELEVATION

SITE PHOTOS



VIEW LOOKING WEST



VIEW FROM SIDEWALK LOOKING NORTH



VIEW FROM SIDEWALK LOOKING SOUTH



WEST SIDE OF EXISTING STRUCTURE

③ ④ ②① ②② ②③ ②④

NO CORNICE

①⑦ ①⑨ ②⑦ ②① ②② ②③ ②④ ②⑤

MODULATED WINDOW PATTERN

④ ①⑧ ②③ ②④ ②⑤

VIVID COLOR PALETTE

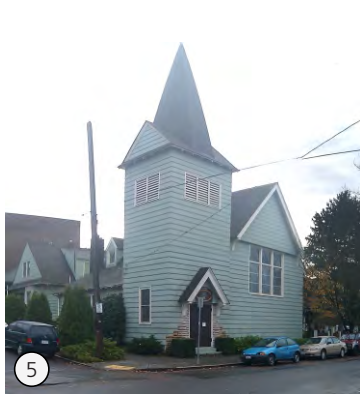
②① ②② ②③

RECESSED GROUND FLOOR RETAIL

*NOTE: REFER TO SITE CONTEXT
NUMBERED PHOTOS FOR
CATEGORY EXAMPLE.



SITE CONTEXT

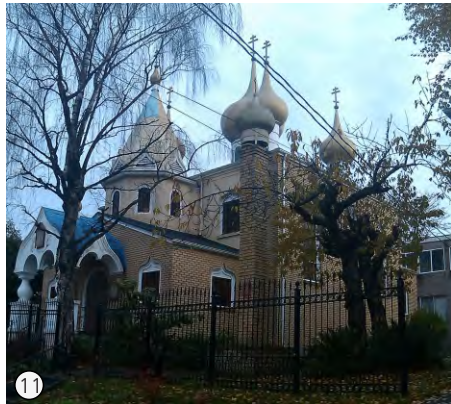


Reviewing projects in the vicinity of the proposed development revealed that many projects from different periods maintain very simple unadorned facades with regular window patterns.

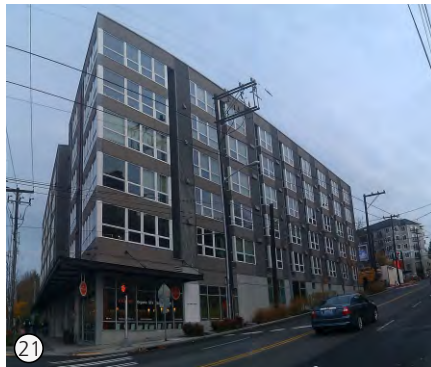
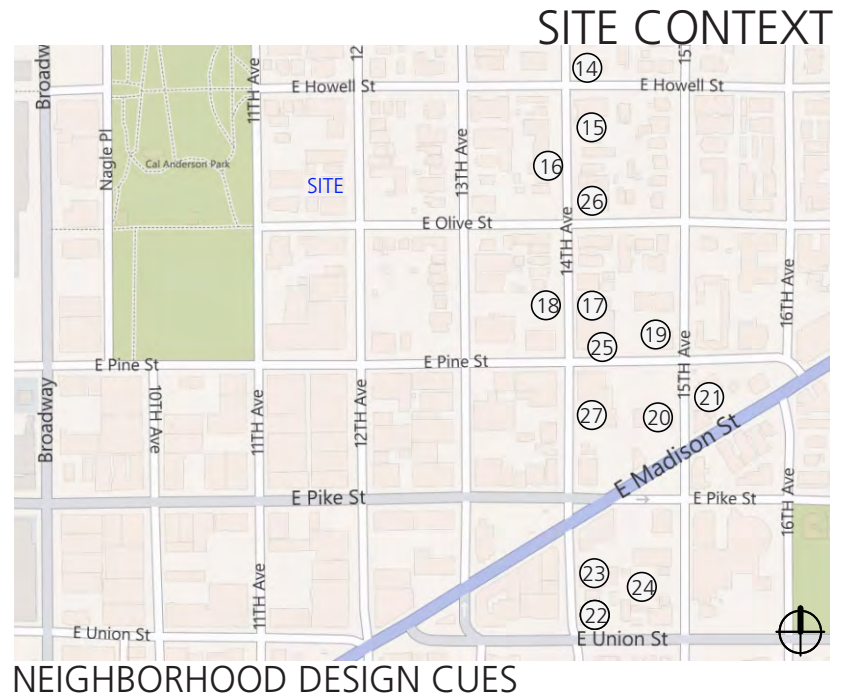
Generally, street-level commercial uses are visually distinguished from residential uses in mixed-use scenarios.



In newer projects, strong color combinations deliver the visual interest. Most projects do not have a cornice and instead rely on form and window patterns for architectural detail.



NEIGHBORHOOD CONTEXT



NEIGHBORHOOD CONTEXT



SHADOW STUDIES



DECEMBER 21 9AM



DECEMBER 21 12PM



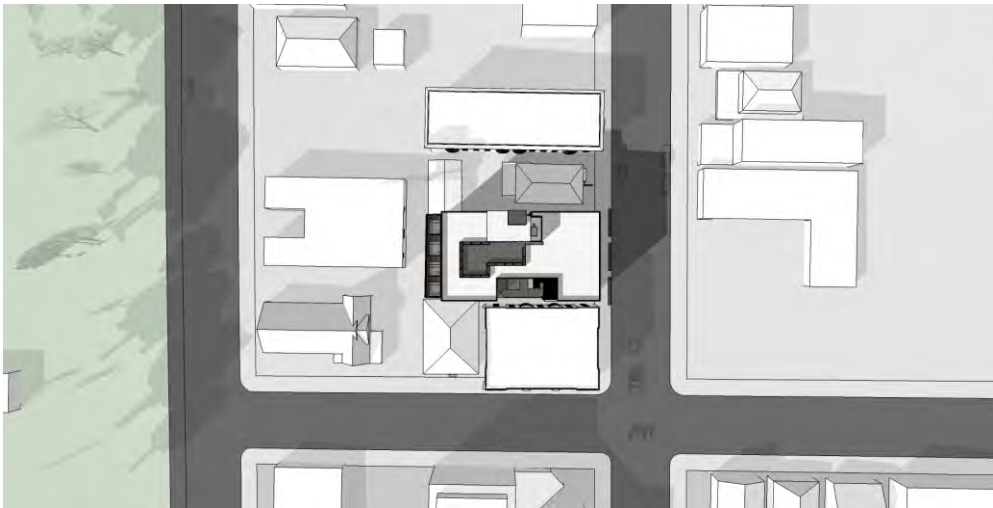
DECEMBER 21 3PM



MARCH 21 9AM



MARCH 21 12PM



MARCH 21 3PM



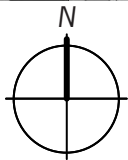
JUNE 21 9AM



JUNE 21 12PM



JUNE 21 3PM



AERIAL PERSPECTIVES



VIEW ALONG E. OLIVE ST.



VIEW ALONG 12TH AVE.



VIEW FROM SOUTH



VIEW FROM NORTH

STREET LEVEL



NORTH APPROACH



SOUTH APPROACH

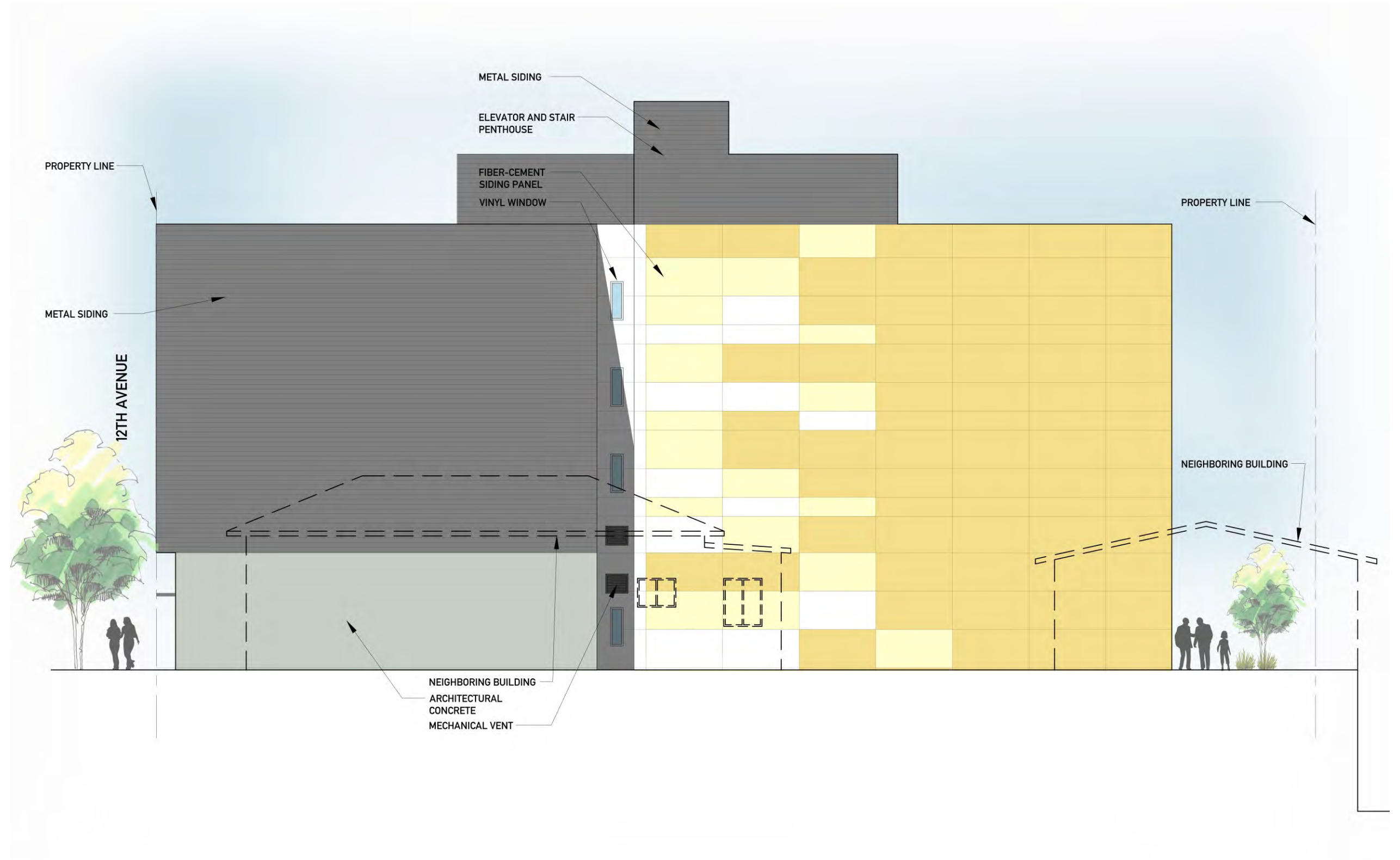
EAST ELEVATION (12th AVENUE)



SOUTH ELEVATION (SIDE)



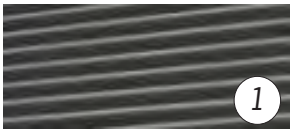
NORTH ELEVATION (SIDE)




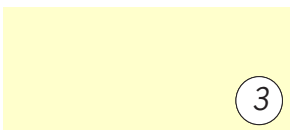
WEST ELEVATION (REAR)




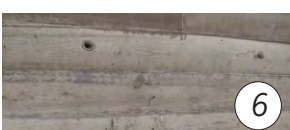
EXTERIOR MATERIALS


- 


1 AEP SPAN NU-WAVE CORRUGATED METAL SIDING : COOL ZATIQUE II COLOR
- 

2 FIBER-CEMENT PANEL : DARK YELLOW COLOR
- 

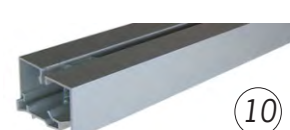
3 FIBER-CEMENT PANEL : LIGHT YELLOW COLOR
- 


4 FIBER-CEMENT PANEL : WHITE COLOR
- 

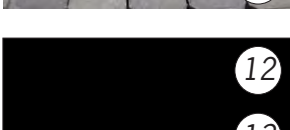
5 VINYL WINDOW : WHITE COLOR
- 


6 POSSIBLE ARCHITECTURAL CONCRETE*
- 

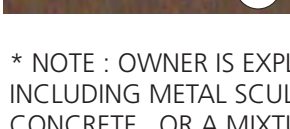
7 POSSIBLE ARCHITECTURAL SCULPTURE*
- 


8 LIVE / WORK SIGN LETTERS
- 

9 WOOD SIDING : CLEAR FINISH
- 

10 ALUMINUM STOREFRONT WINDOW : MILL FINISH COLOR
- 

11 PERVIOUS PAVERS
- 

12 DECORATIVE METAL : BLACK COLOR
- 

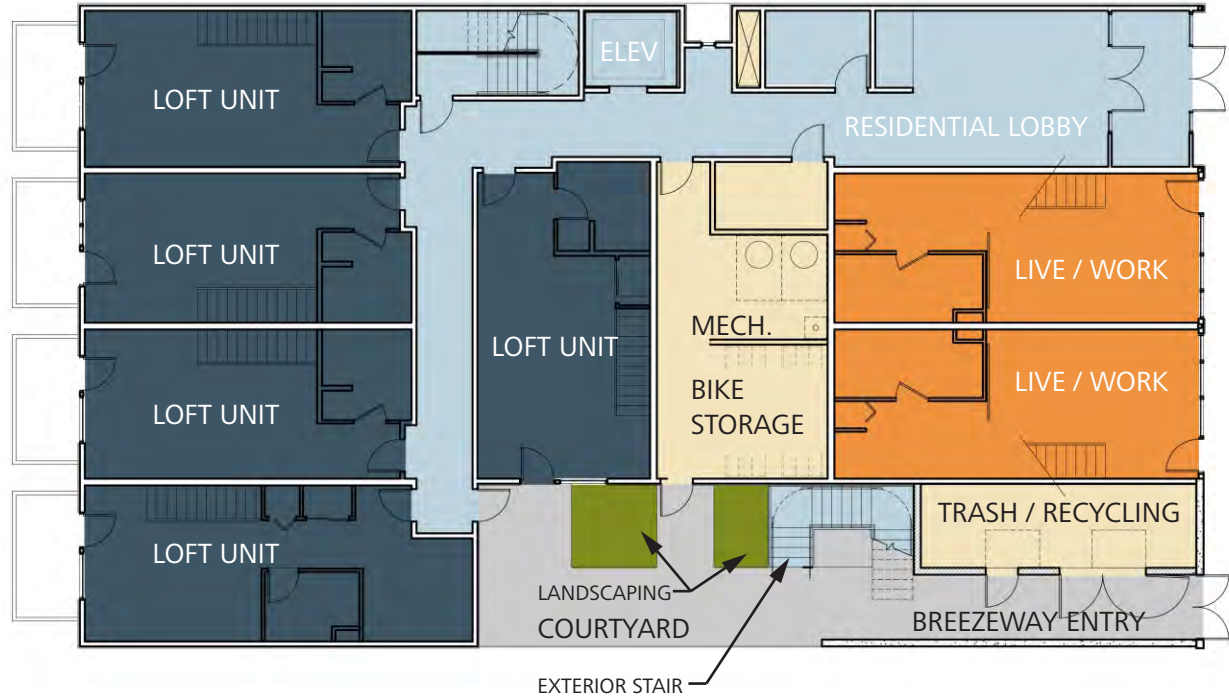
13 METAL GATE AND SCREENING: BLACK COLOR
- 

14 POSSIBLE STAINED CONCRETE*

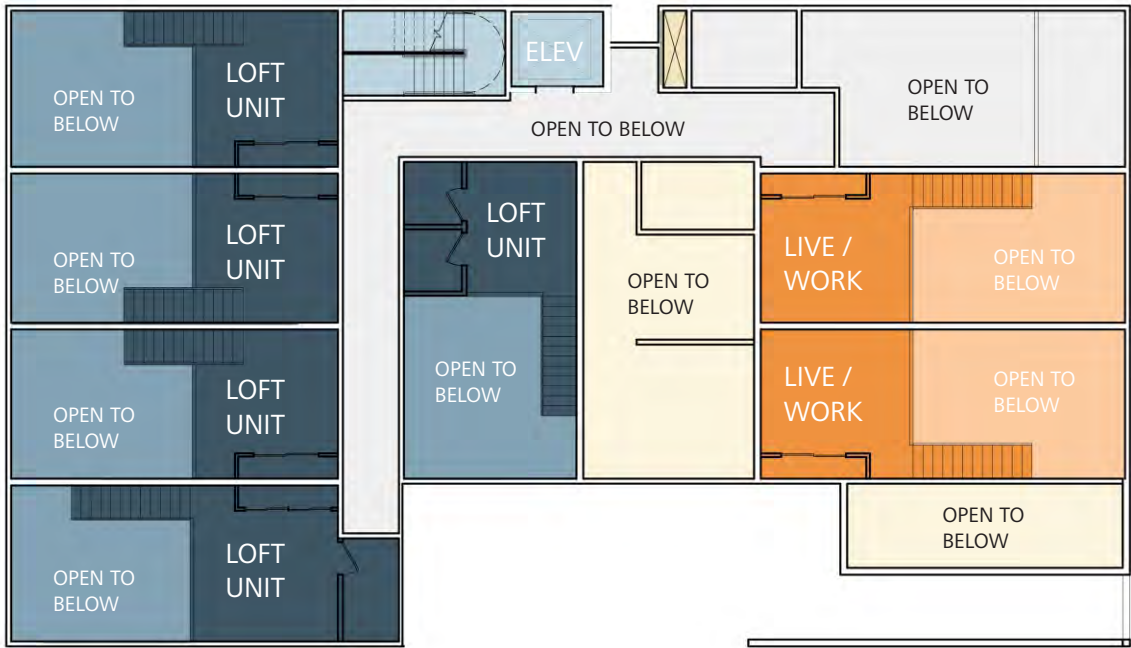


* NOTE : OWNER IS EXPLORING VARIOUS TYPES OF ARTISTIC WALL TREATMENT INCLUDING METAL SCULPTURE, MOSAIC TILE, STAINED CONCRETE, ARCHITECTURAL CONCRETE, OR A MIXTURE OF ARTISTIC DISCIPLINES FROM LOCAL ARTISTS INCLUDING PRATT INSTITUTE STUDENTS.

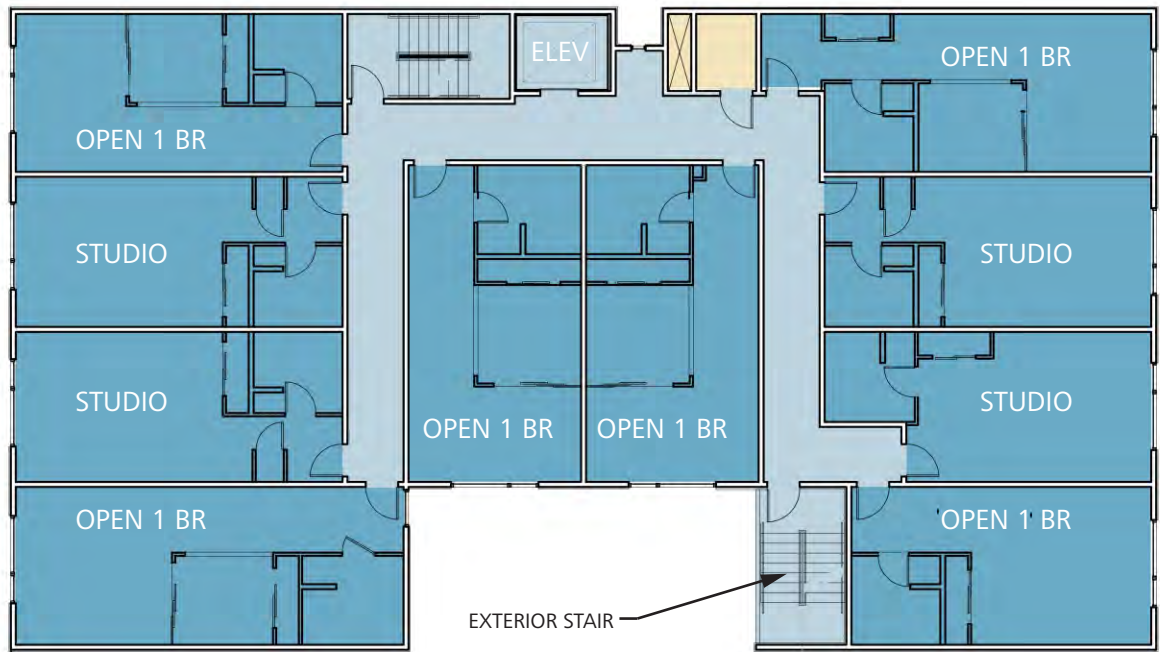
FLOOR PLAN



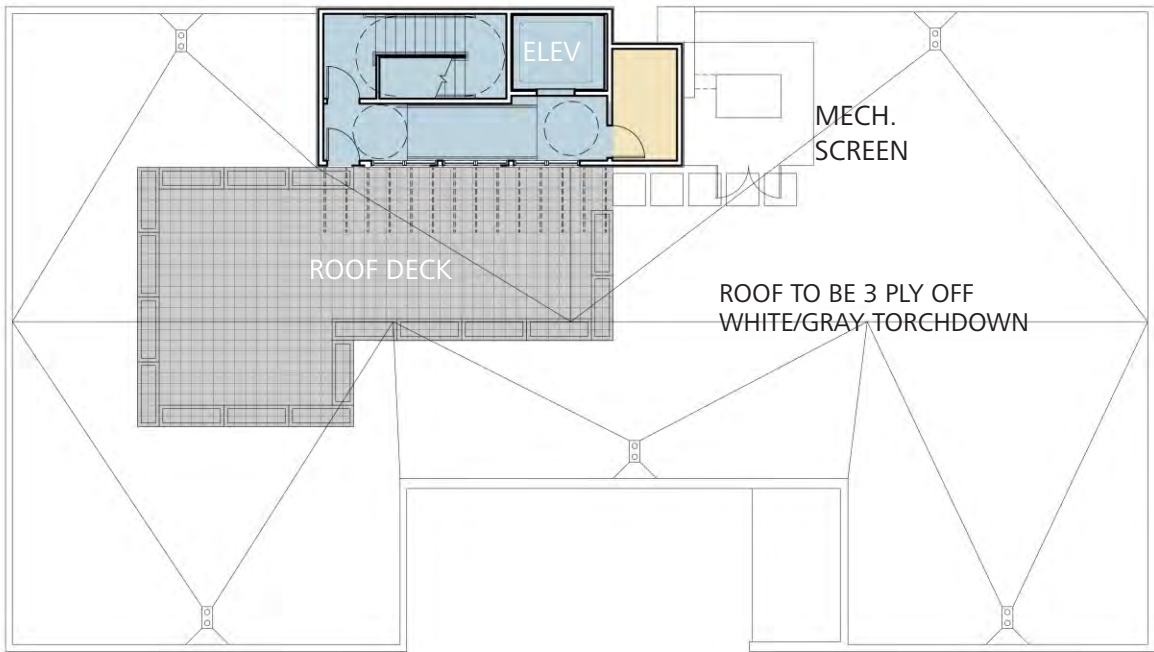
MAIN FLOOR



MEZZANINE LEVEL



FLOORS 2-4



ROOF

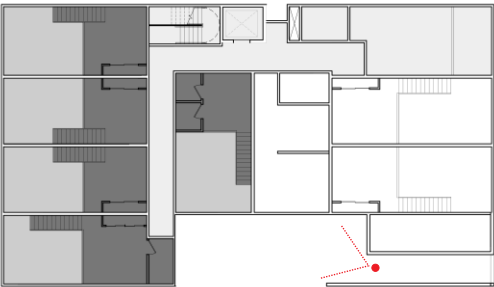
COURTYARD



VIEW OF COURTYARD FROM BREEZEWAY

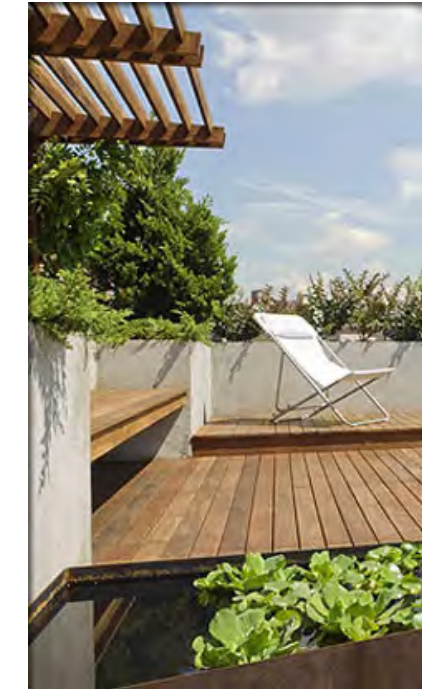
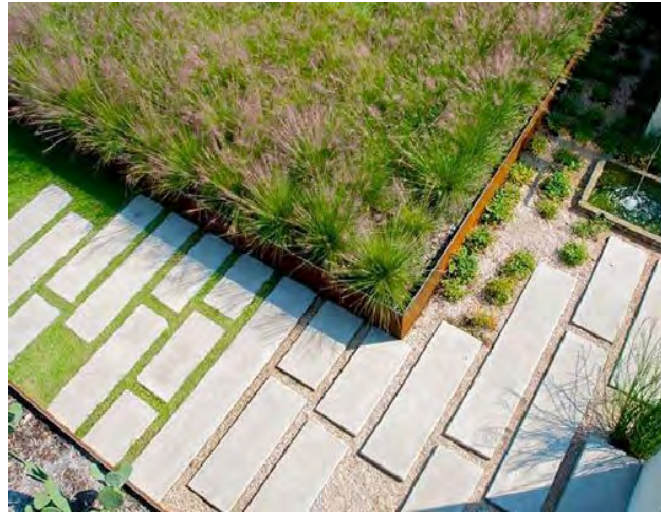
Amenities and Views:

- ◆ Landscaped courtyard, streetscapes and roof deck provide comfortable social gathering areas
- ◆ Live/work units bring additional pedestrian activity



PERSPECTIVE LOCATION

ROOFTOP AMENITIES

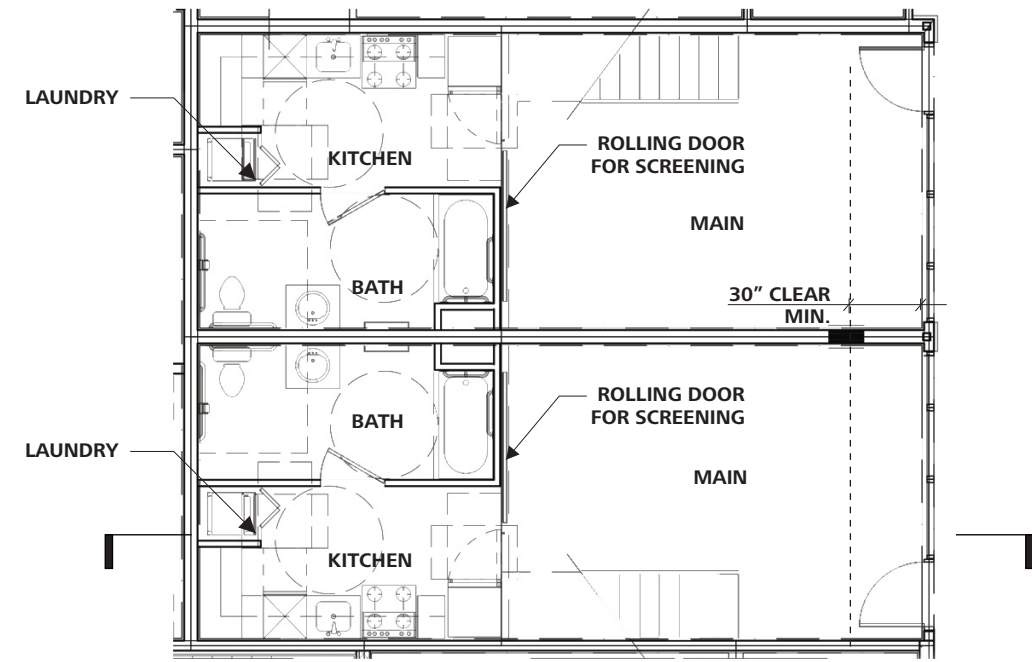


ROOFTOP AMENITIES

A portion of the roof for this project is intended to be used by all residents as an amenity space. Landscape and hardscape are proposed to create a comfortable and attractive urban roof garden. By making the roof occupiable, the tenants will be able to take in territorial views of downtown Seattle, Lake Union and the Olympic Mountain range. The roof will be served by both stairs and the elevator. A small portion of the roof will be devoted to mechanical equipment space.

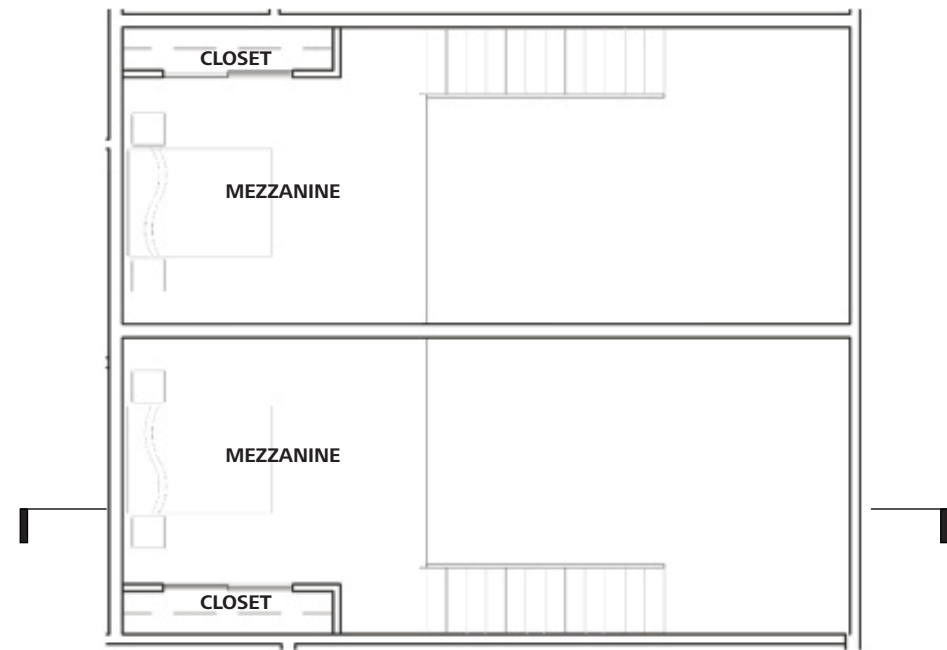


LIVE / WORK UNITS

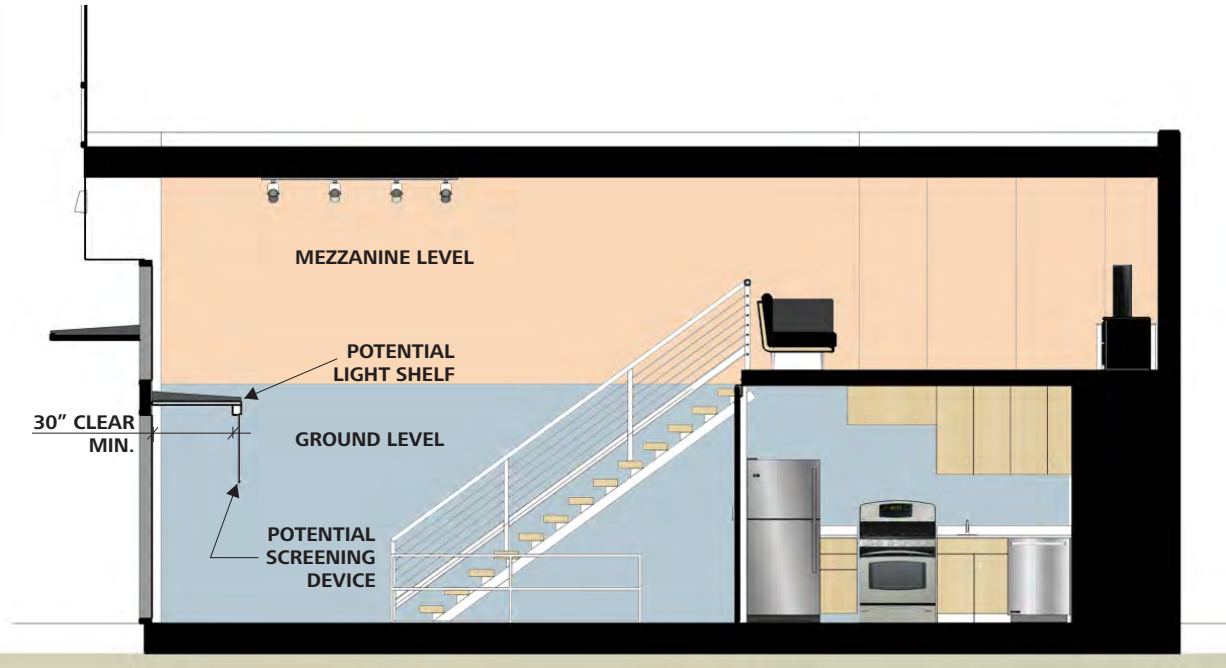


LIVE/ WORK GROUND FLOOR PLAN

The intent of the live / work units is to provide a combined living and business space. Future tenants may include a jeweler, architect, attorney, or tailor. The main floor integrates the working area in front and more public living functions, such as the kitchen, restroom, and living area, in the rear of the space. The sleeping and dressing area is upstairs on the mezzanine level with a partial height wall for privacy.



LIVE / WORK MEZZANINE PLAN

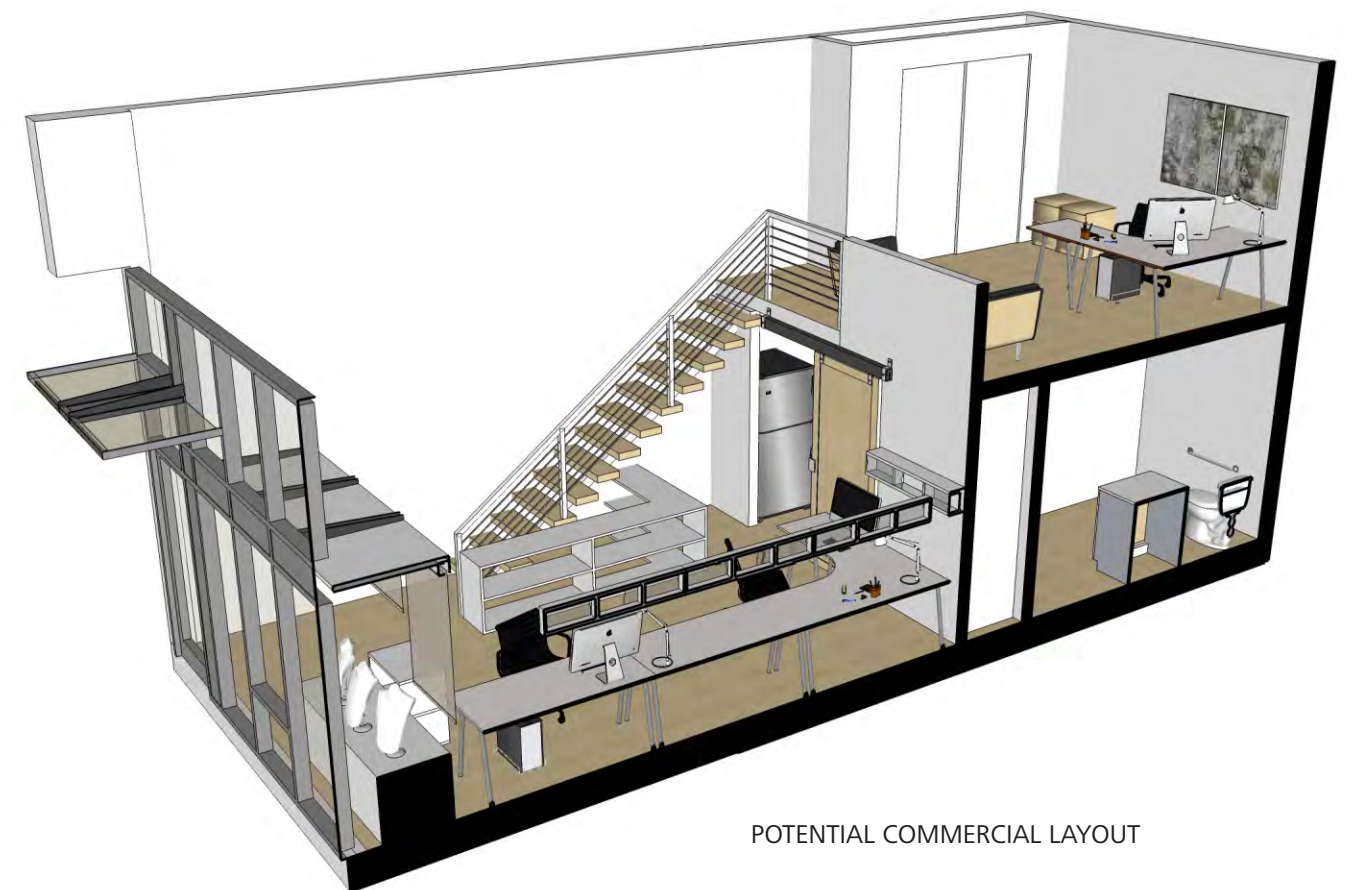


LIVE WORK SECTION

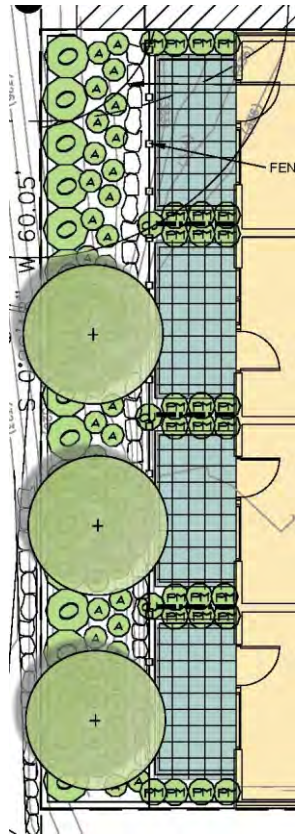
LIVE/WORK UNITS



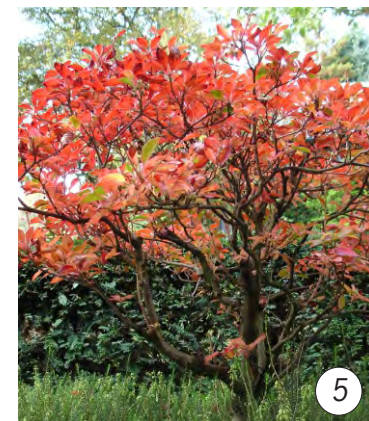
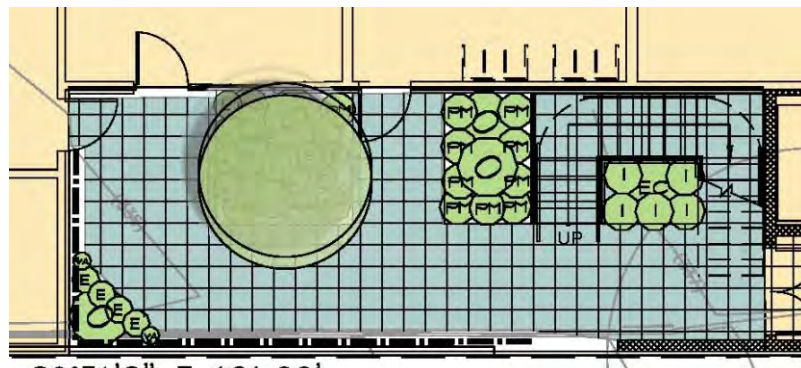
POTENTIAL RESIDENTIAL LAYOUT



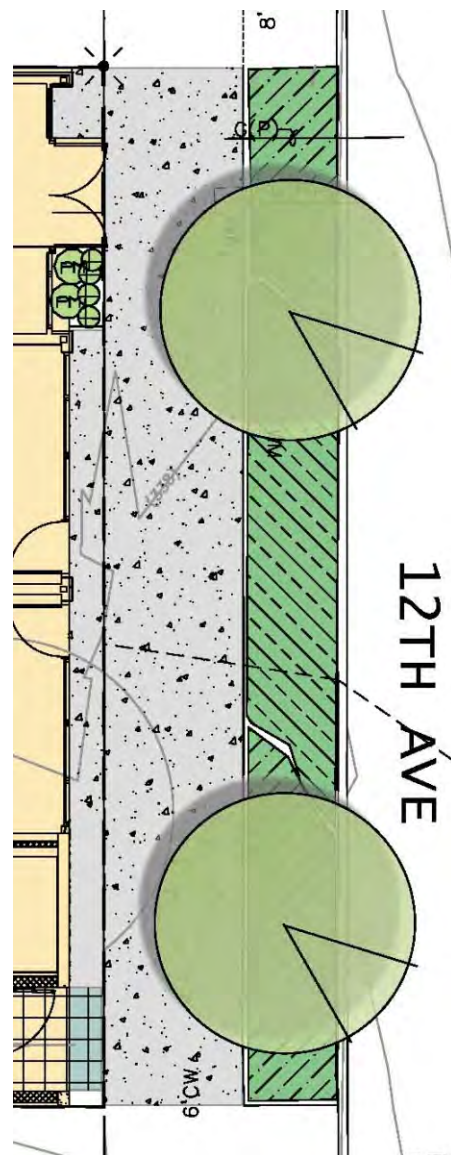
POTENTIAL COMMERCIAL LAYOUT



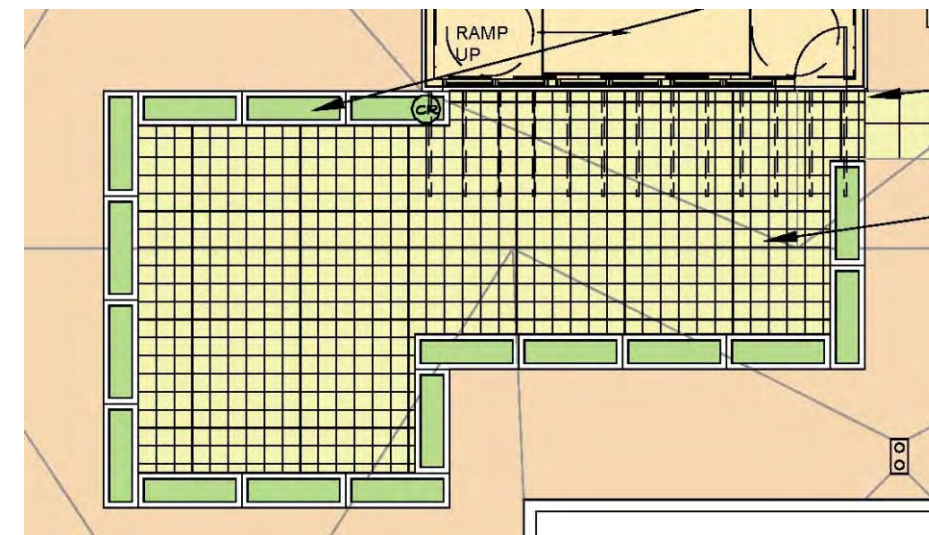
UNIT AMENITIES



ENTRY COURTYARD

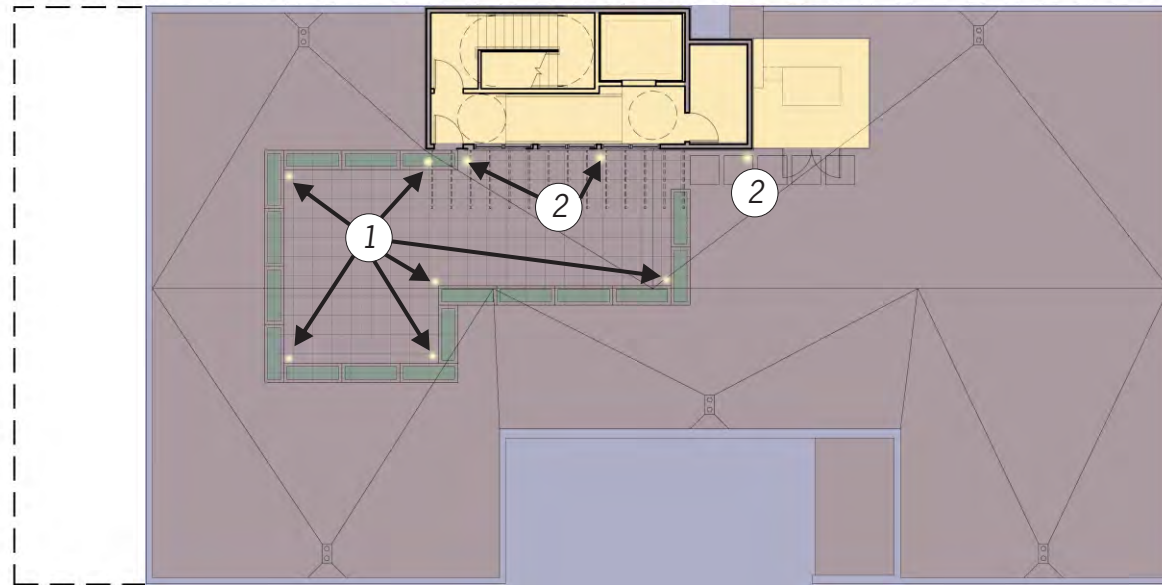


FRONT WALK



ROOF DECK





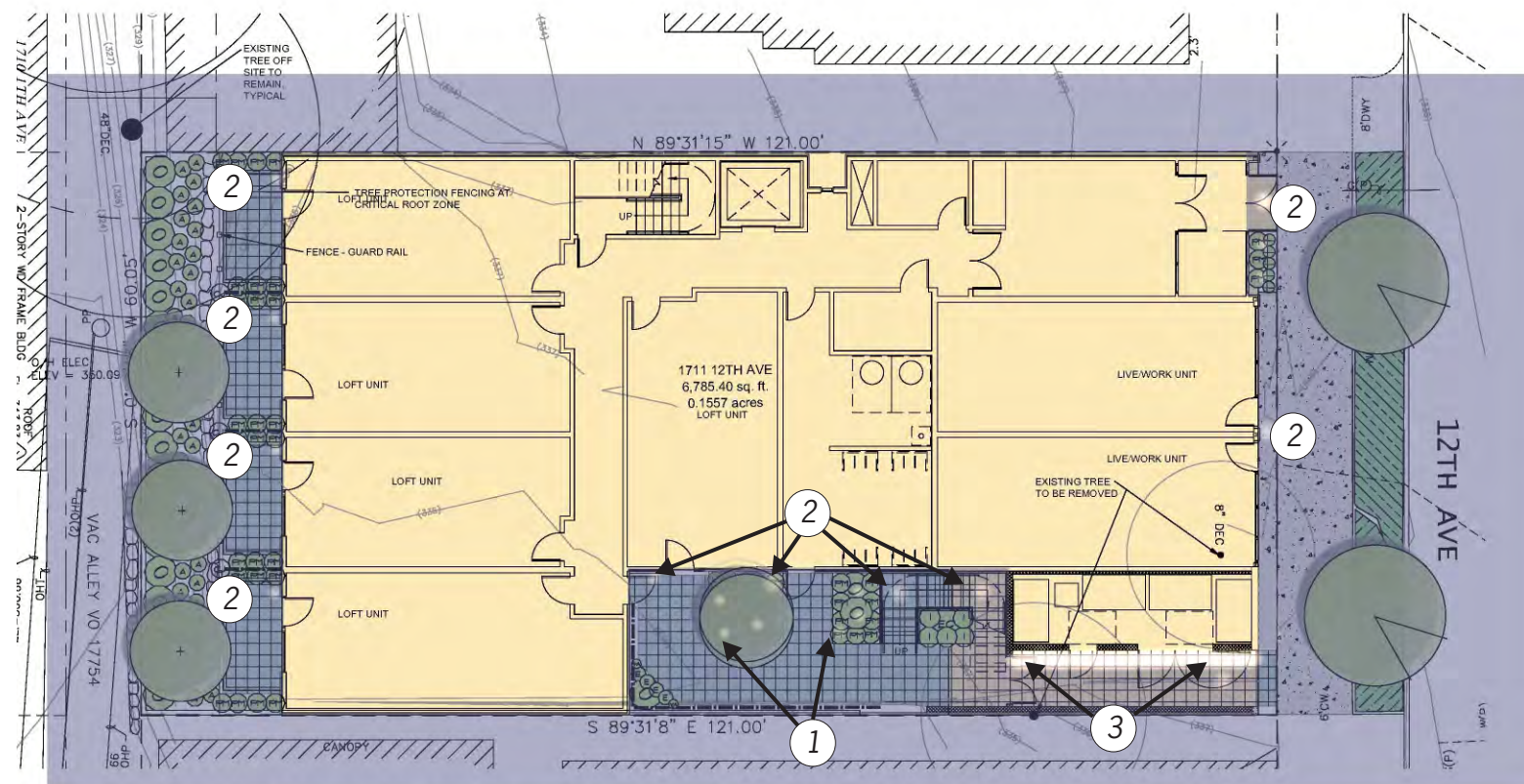
LIGHTING PLAN



PATH LIGHTING:
HINKLEY 1518tt



EXTERIOR: Y-LIGHTING
AXIS LARGE OUTDOOR
WALL SCONCE



ENTRY: Y-LIGHTING
ALLIGHT CLOSED
WALL SCONCE