

14TH

& REPUBLICAN

schacka+d
architecture+design

P: 206.790.0259
E: johns@schackad.com

3201 First Avenue South
Suite 207
Seattle, WA 98134

www.schackad.com

**2nd EARLY DESIGN GUIDANCE
DPD #3012837
March 21st, 2012**



revolve
DEVELOPMENT INVESTMENTS CONSULTING

SITE CONTEXT & ZONING.....	1
Aerial Photo	
Vicinity Map	
PATTERN ANALYSIS.....	2
Street Pattern & Density Analysis	
STREET SECTION: E REPUBLICAN ST	3
STREET SECTION: 14TH AVE E	4
CONTEXT: EAST/WEST CORRIDOR	5
CONTEXT: NORTH/SOUTH CORRIDOR	6
CONTEXT: MULTIFAMILY	7
NEIGHBORHOOD PRECEDENTS	8-9
EXISTING SITE.....	10
SITE CONSTRAINTS.....	11
SCHEME OVERVIEW	12
SCHEME 4	13
SCHEME 5	14
SCHEME 6 (PREFERRED).....	15
PREFERRED SCHEME COMPARISON.....	16
RESPONSE TO DESIGN GUIDELINES	17-19
A. Site Planning	
RESPONSE TO DESIGN GUIDELINES	20
B. Height, Bulk & Scale	
RESPONSE TO DESIGN GUIDELINES	21-22
C. Architectural Elements and Materials	
RESPONSE TO DESIGN GUIDELINES	23-24
D. Pedestrian Environment	
RESPONSE TO DESIGN GUIDELINES	25
E. Landscape	
APPENDIX A	26-28
Shadow Studies (Scheme 4-6)	
APPENDIX B	29-30
Departures & Clarifications	
APPENDIX C	31
Streetscapes	

SITE CONTEXT

PROJECT DETAILS

ADDRESS: 1406 East Republican Street
Seattle, WA 98112

DPD PROJECT NUMBER: 3012837

NUMBER OF RESIDENTIAL UNITS: 35
NUMBER OF PARKING STALLS: 19
RESIDENTIAL AREA: 19,352 SF
PARKING/BIKE/STORAGE AREA: 7,120 SF
TOTAL AREA: 26,472 SF

OWNER: 14th & Republican LLC

APPLICANT: SCHACK A+D llc
CONTACT: John Schack
3201 First Ave South
Suite 207
Seattle, WA 98134
P: 206.790.0259

ZONING DETAILS

PARCEL #: 3303700450
ZONING: LR-3
OVERLAYS: Capitol Hill Urban Center Village
LOT AREA: 10,183 SF

Floor Area Ratio:
Allowable FAR: 2.0 / 20,366 GSF
Project FAR: 1.9 / 19,352 GSF

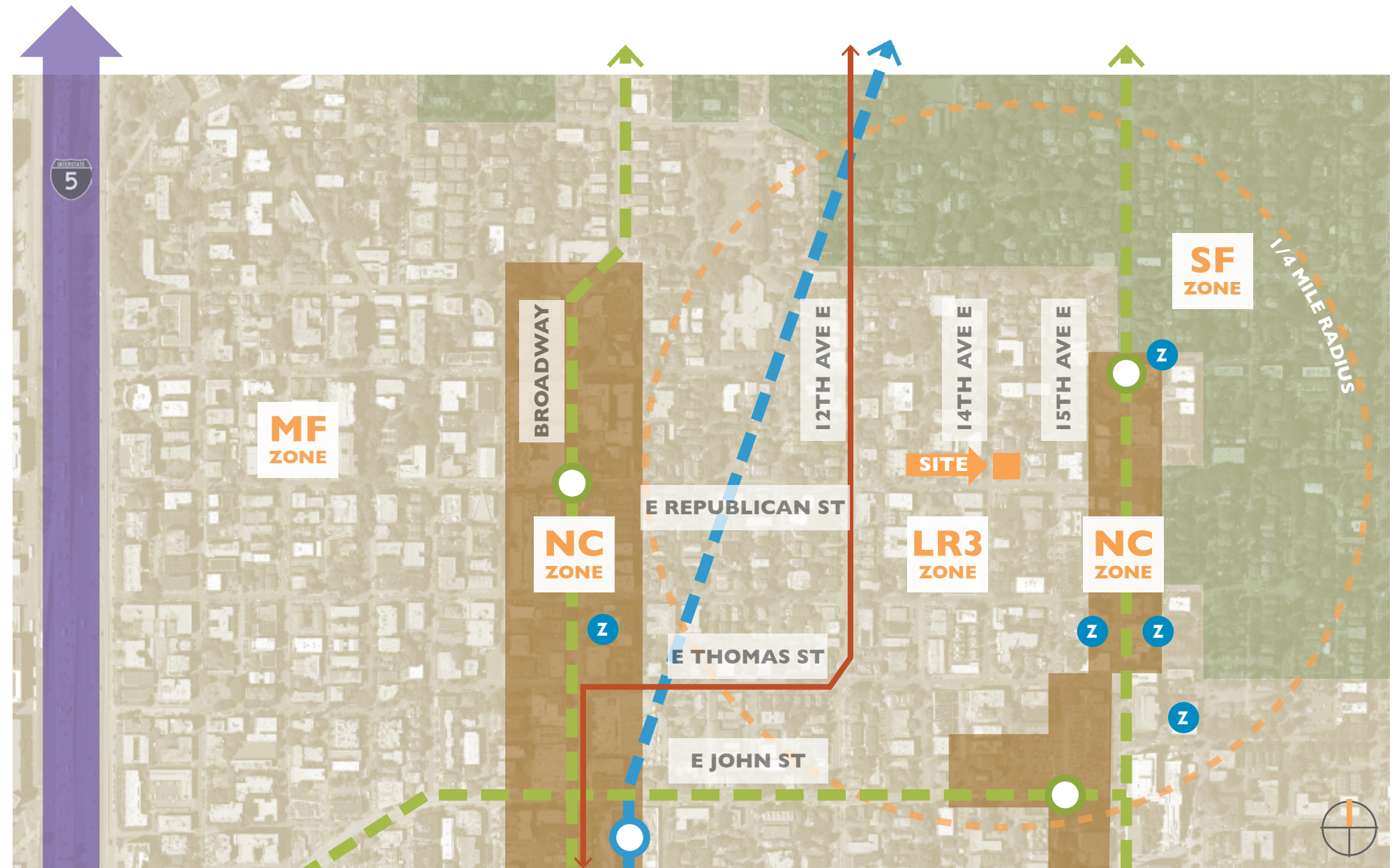
Density Limits:
No Limit

Structure Height:
Maximum Height: 40'
Additional Height: +4' for structures with a partially below grade story.

Landscape Requirements:
Required Green Factor Score: 0.6

Amenity Requirements:
25% of the site area; 50% of which must be located at ground level.
The amenity area must be common, not within a structure, a min. of 250 SF,
a min. of 10' wide in each direction. **Project amenity requirement: 2,546 SF**

Required Parking:
No minimum parking requirement for residential uses in multifamily zones
within urban centers.



- BUS ROUTES
- FUTURE LINK LIGHT RAIL
- BIKE LANE
- ZIP CAR LOCATION

VICINITY MAP



NEIGHBORHOOD PATTERN ANALYSIS



← STREET BLOCK PATTERN

Design cues for the building modulation are based upon an analysis of the neighborhood figure-ground study, illustrating the distinction between the two street patterns. Typical street blocks in the neighborhood are oriented with longer east-west dimension and shorter north-south dimension.

A typical pattern of larger multifamily buildings, located primarily on the corners of intersections, emerges.

Mid-block pattern consists of a mixture of smaller-scale multifamily, townhomes and some single family homes.

DENSITY ANALYSIS →

The proposed project will have a Floor Area Ratio (FAR) **below 2.0**.

The immediate neighborhood surrounding the site consists of a mixture of residential buildings of varying density.

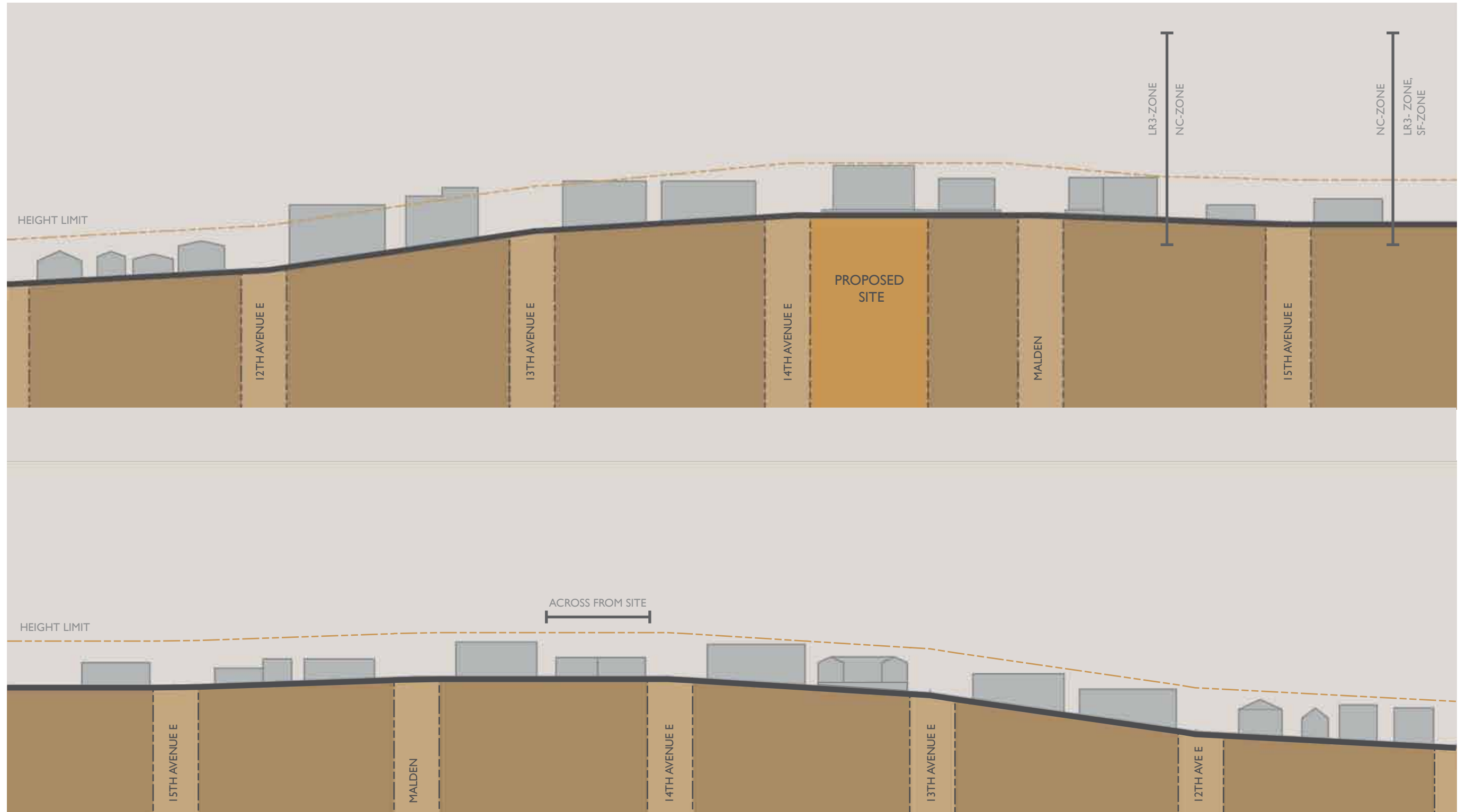
17 multifamily buildings can be found in the immediate vicinity with a FAR exceeding that of the proposed project.



- Apartment Building
- Small Multifamily & Single Family
- Multifamily Node
- Building not in Corridor

- Multifamily (FAR greater than 2.0)
- Multifamily (FAR greater than 1.5)
- Multifamily (FAR greater than 1.0)
- Commercial Property
- FAR less than 1.0, or outside Area of Study

STREET SECTION: EAST REPUBLICAN STREET



STREET SECTION: 14TH AVENUE EAST



NEIGHBORHOOD CONTEXT: EAST/WEST CORRIDOR



- 1. 14th & Republican (SW Corner)
- 2. Malden & Republican (SW Corner)
- 3. 12th & Republican (SE Corner)
- 4. 13th & Republican (NW Corner)
- 5. 13th & Republican (SW Corner)
- 6. 14th & Republican (NW Corner)

NEIGHBORHOOD CONTEXT: NORTH/SOUTH CORRIDOR



- 1. 14th & Mercer (SW Corner)
- 2. 14th & Republican (SW Corner)
- 3. 14th Avenue (midblock between Mercer and Republican)
- 4. 14th Avenue (midblock between Harrison and Thomas)
- 5. 14th & Mercer (NW Corner)
- 6. 14th & Republican (SE Corner)

NEIGHBORHOOD CONTEXT: MULTIFAMILY

Early 20th Century (Pre-War)

Primarily double-loaded corridor layouts, usually defined by a grand building entrance. Primarily masonry construction with punched openings and minimal facade modulation.



Mid-Century (Post-War)

Buildings typically have a horizontal expression, often with a single-loaded corridor layout and exterior unit entrances. Facades often utilize larger bands of glazing, which in some cases wrap the corners of buildings.



Contemporary (1970's, 80's - Recent)

An eclectic mix of buildings that utilize a wide range of materials including cedar, metal, composite, concrete block and brick. Buildings often have greater modulation, highlighted by the use of decks and expressive roof lines.



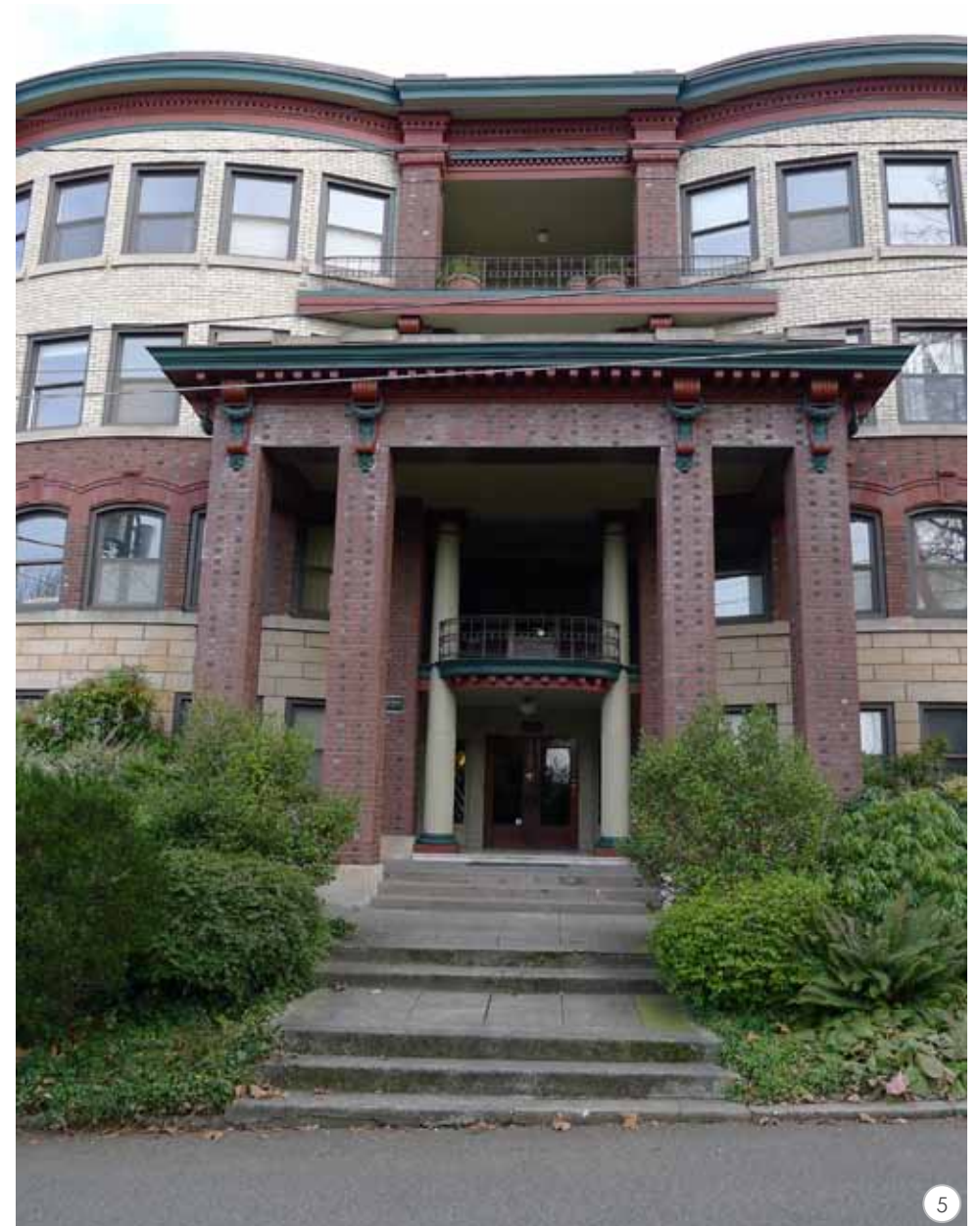
NEIGHBORHOOD PRECEDENTS: RAISED ENTRIES/COURTYARDS



- 1. 13th & Republican
- 2. 13th & Mercer
- 3. 14th & Mercer
- 4. Malden & Harrison
- 5. Malden & Mercer
- 6. Malden & Republican
- 7. 14th & Republican
- 8. Malden (midblock between Republican and Mercer)



NEIGHBORHOOD PRECEDENTS: ENTRY PORTAL



1. 13th Avenue (midblock between Harrison & Republican)
2. 14th Avenue (midblock between Mercer & Roy)
3. Malden & Republican
4. 14th & Harrison
5. 13th Avenue (midblock between Mercer & Roy)

EXISTING SITE



- 1. View of Southwest Corner
- 2. View of Southeast Corner
- 3. View looking down North Property Line
- 4. View looking down East Property Line
- 5. View Looking South on 14th Avenue
- 6. View Looking West on Republican Street

SITE CONSTRAINTS

Setback Requirements:

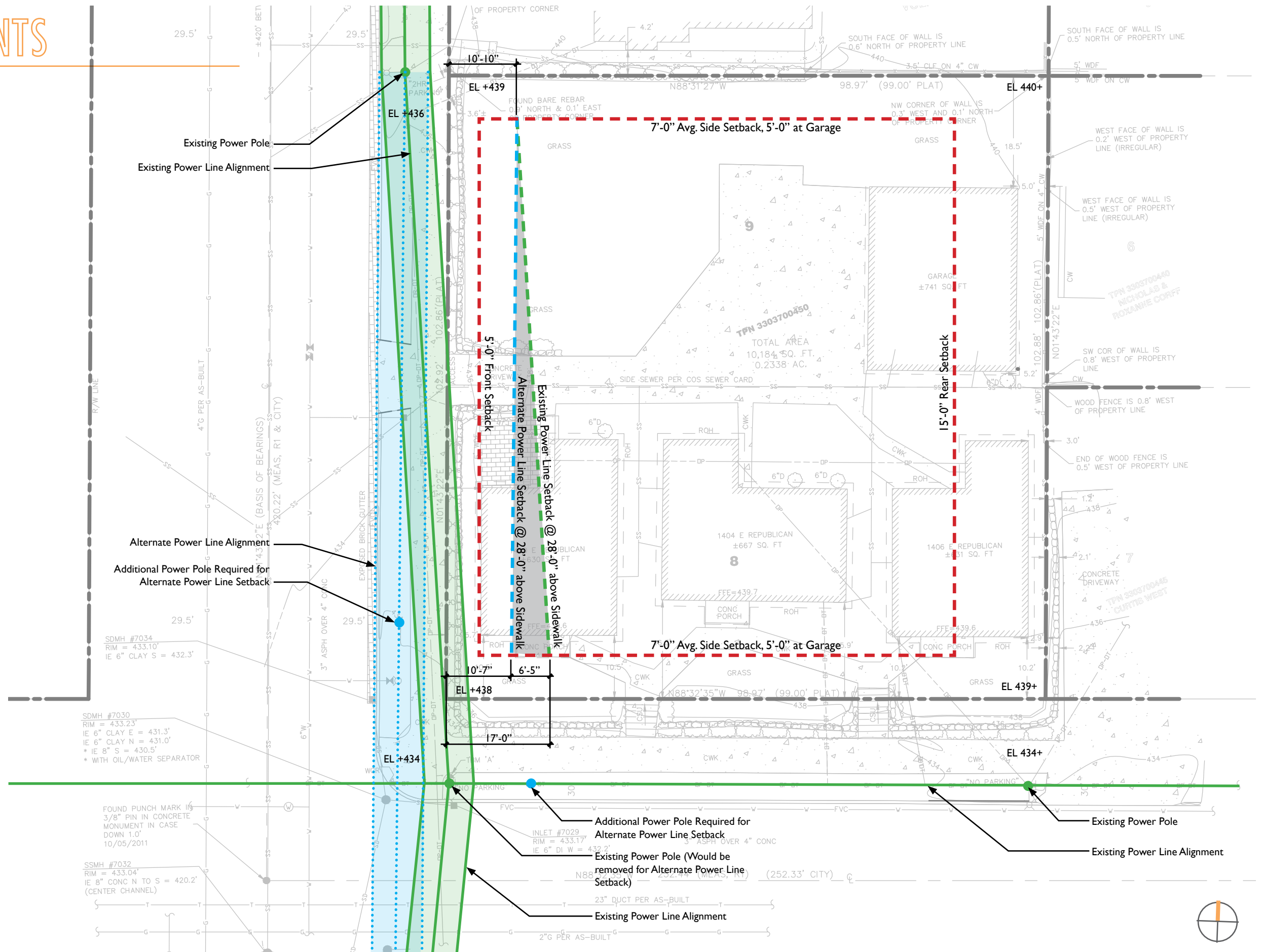
Front Setback: 5' min.
 Rear Setback: 15' min. with no alley
 Side Setback for facades 40' or less in length: 5'
 Side setback for facades greater than 40' in length: 5' min., 7' average.

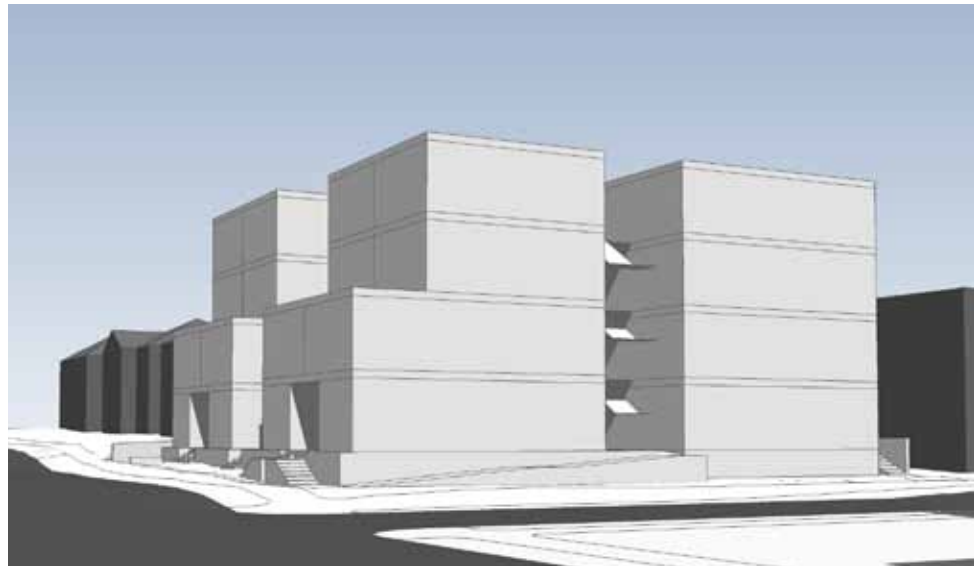
Existing Power Lines:

The existing power lines are located along both 14th and Republican. The power lines along 14th angle across the southwest corner of the site. Refer to diagram for the required setback and alternate powerline design. The power line can be straightened to run parallel with the street but would require the addition of a new pole on 14th and the replacement of the existing pole on Republican. The net result would be an additional pole near the street corner and the removal of two potential street trees (one on each street) in the preferred scheme.

Existing Lot Elevation:

Along Republican, the sidewalk sits 4'-5' below the site. Along 14th Ave, the sidewalk sits 4' below the site at the southwest corner, and slopes up to 2-1/2' below the site at the northwest corner. The entire site slopes up 2-1/2' from the southwest corner to the northeast corner.

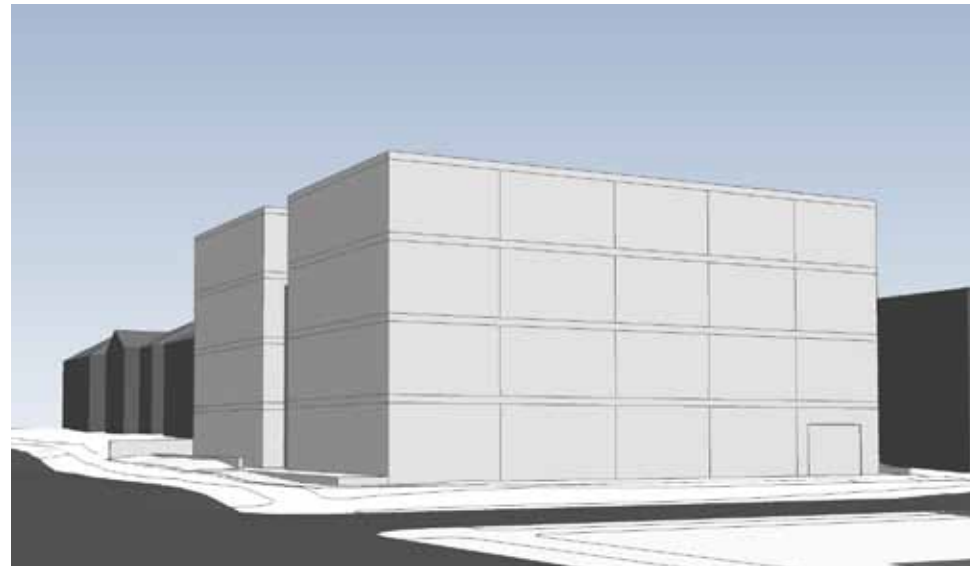
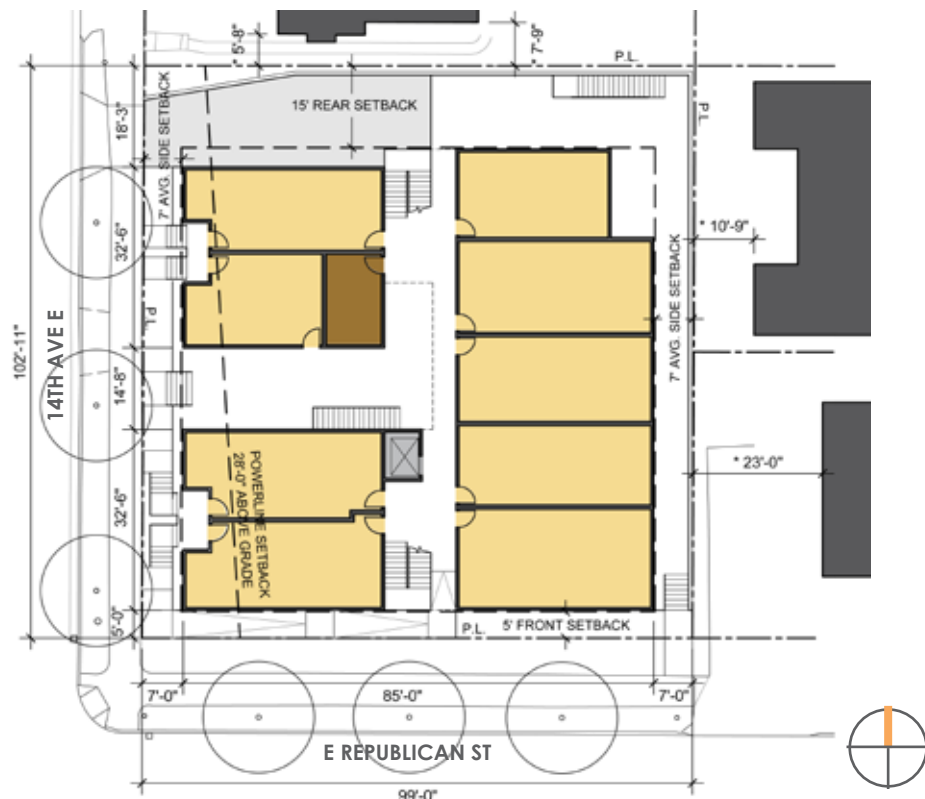




STEP-BACK SCHEME

- PLINTH: Building plinth height ranges between 2'-4'.
- REPUBLICAN ST: Break in facade.
- 14TH AVE: Upper two floor step-back, 7' building setback, private stoop entries at NW and SW corner.
- ENTRY: Mid-block along 14th, secondary accessible entry along Republican.
- AMENITIES: Narrow courtyard, allowing limited access to light in units and limited ground-level amenity space in rear setback.
- VEHICULAR ACCESS: in rear setback off 14th at NW corner.

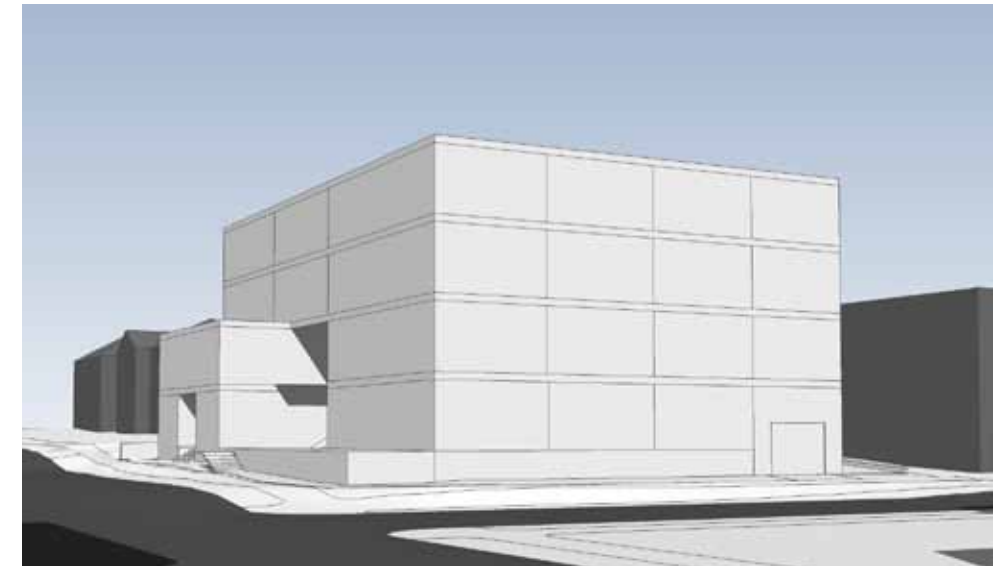
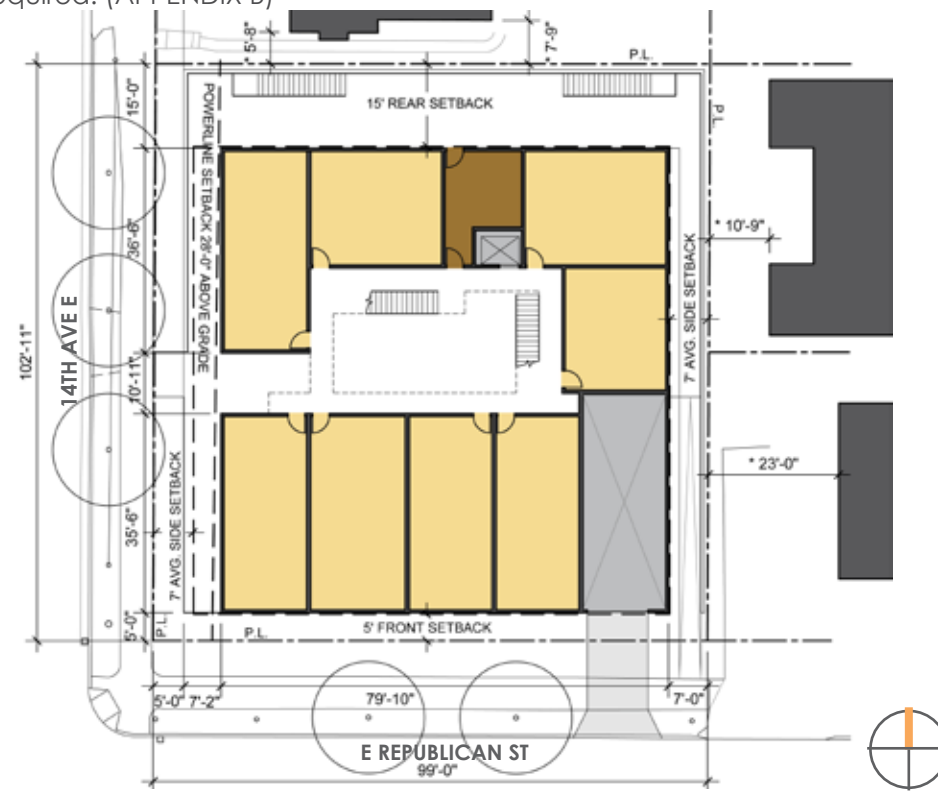
No Departures are required for this scheme.



"U" SCHEME

- PLINTH: Lowered plinth, allowing for at-grade entry at 14th Ave.
- REPUBLICAN ST: Uninterrupted facade.
- 14TH AVE: No upper level step-back, 12' building setback, SW corner setback insufficient for activity space.
- ENTRY: Single entry mid-block along 14th Ave.
- AMENITIES: Partially buried amenity space in rear setback, and more generous courtyard than Step-Back Scheme.
- VEHICULAR ACCESS: along Republican at SE corner.
- POWER POLES: Two additional street poles required, eliminating two potential street trees.

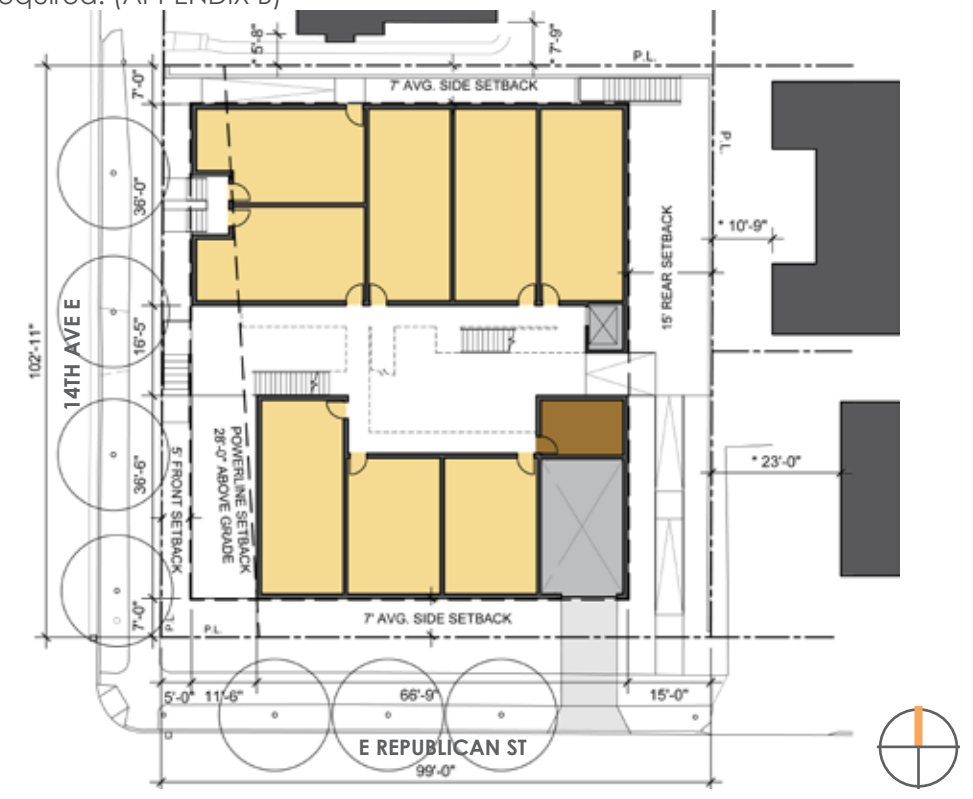
Departures concerning facade length, driveway slope, garage door are required. (APPENDIX B)



PREFERRED SCHEME

- PLINTH: Building plinth height ranges between 2'-4'.
- REPUBLICAN ST: Uninterrupted facade.
- 14TH AVE: Upper two floor step-back, 16' setback on SW corner, allowing for activity space, private stoop entries on NW corner.
- ENTRY: Prominent entries at both 14th and Republican.
- AMENITIES: Varied ground-level amenity space, activating the west and east lot line, and generous courtyard with east-west view corridor through the site.
- VEHICULAR ACCESS: along Republican at SE corner.

Departures concerning facade length, driveway slope, garage door are required. (APPENDIX B)

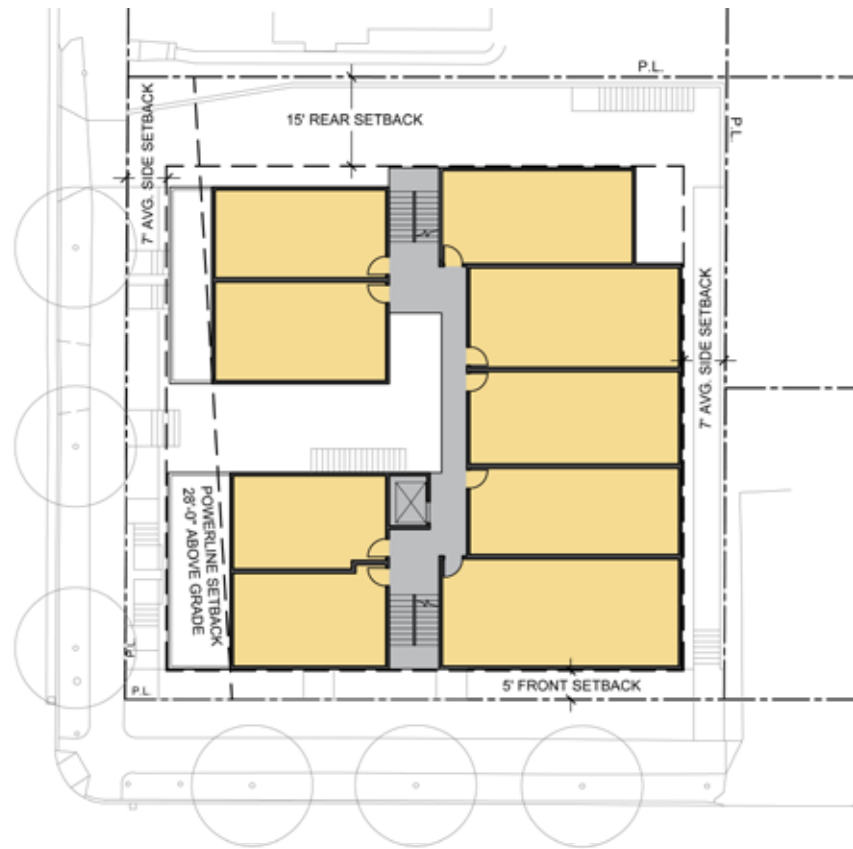


SCHEME OVERVIEW

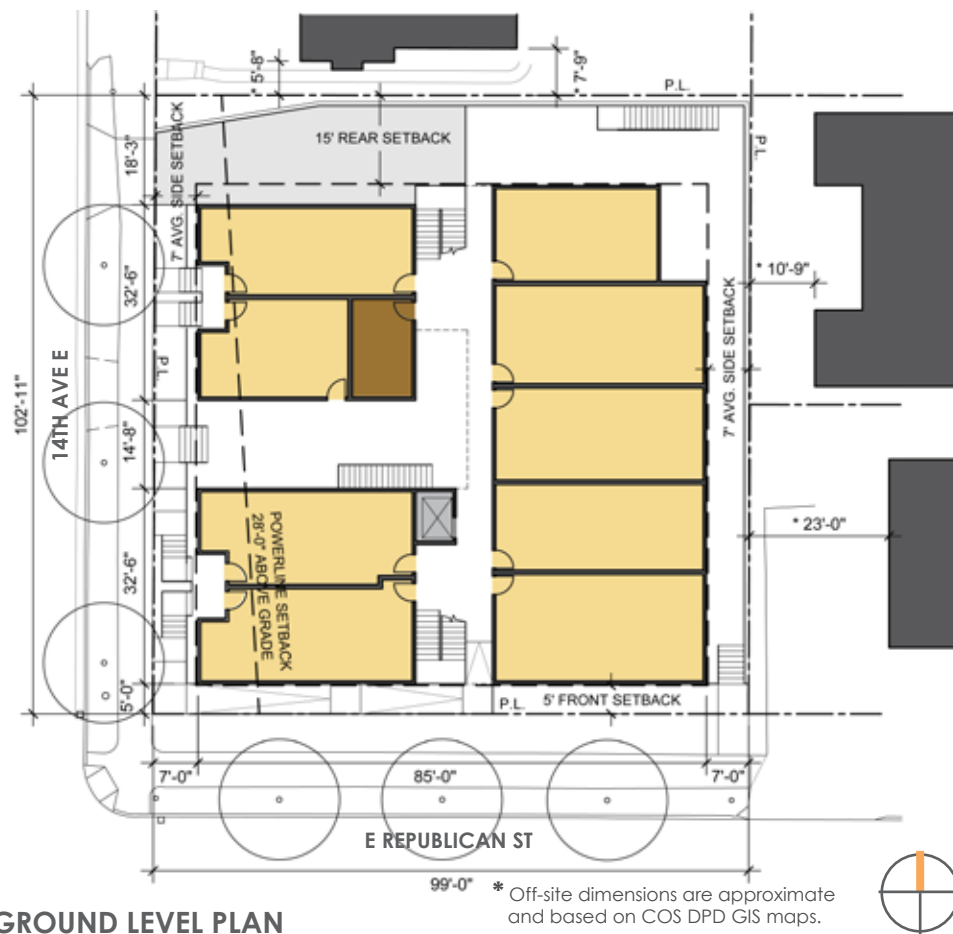
14TH & REPUBLICAN 03.21.12

12

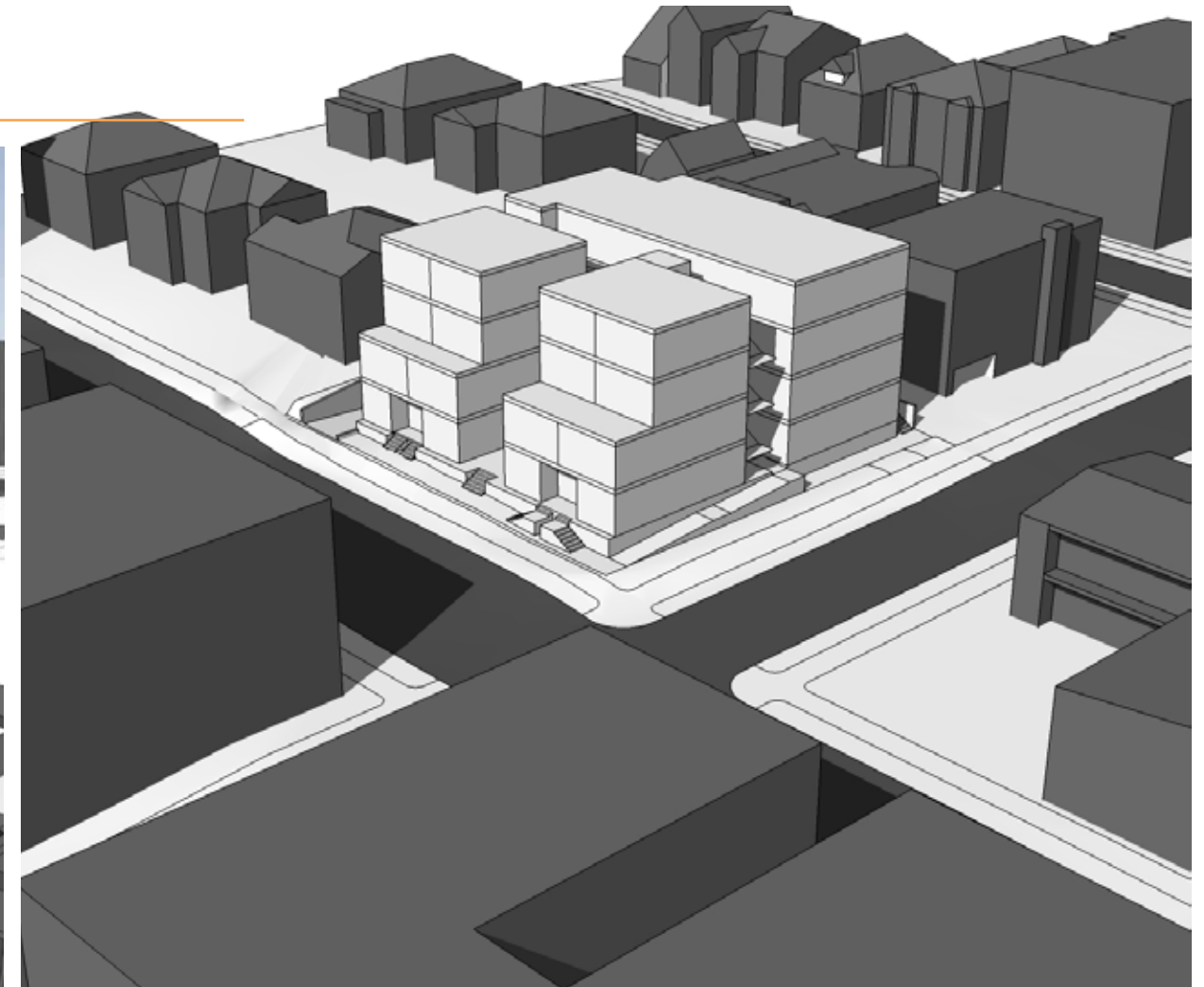
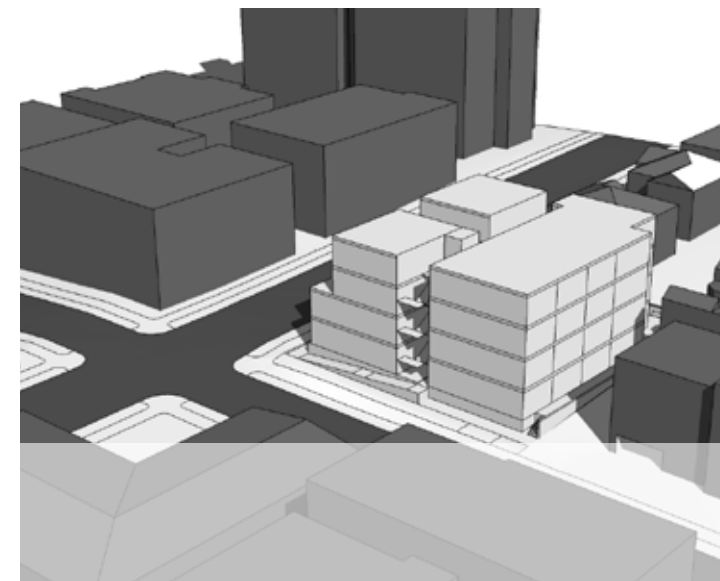
STEP-BACK SCHEME



LEVELS 3-4 PLAN



GROUND LEVEL PLAN



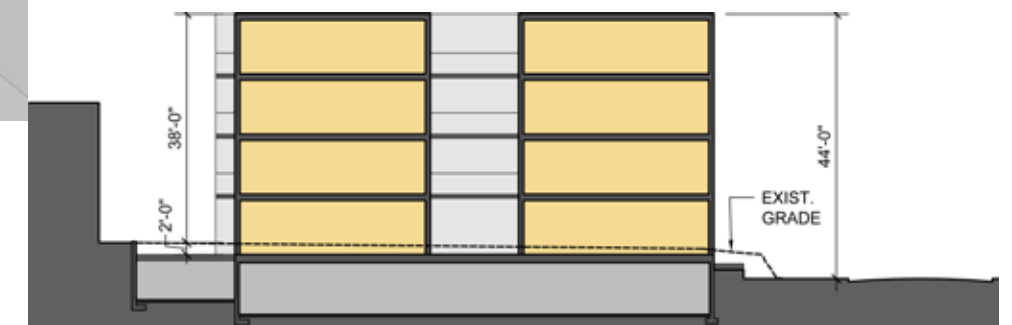
PROS:

- + Step-back at upper two floors along 14th address smaller buildings to the north.
- + Series of private unit entries off of 14th help activate the streetscape.
- + Code compliant design

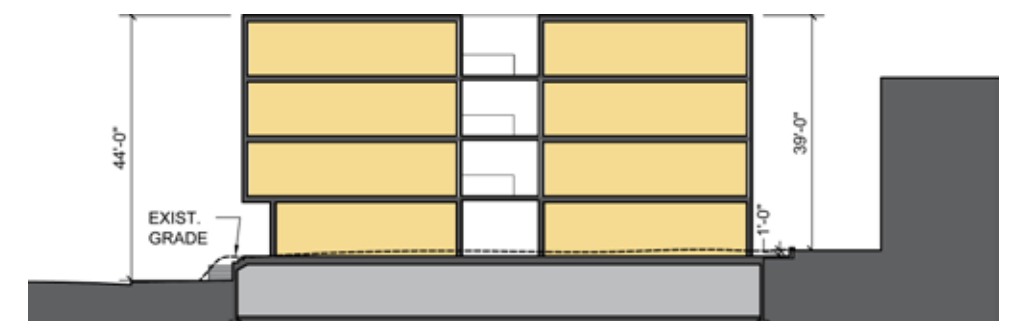
CONS:

- Exterior amenity spaces are too small and provide little opportunity for use and activity.
- The south building elevation breaks the typical street pattern along Republican.
- The rear amenity area is small and will be in constant shade.
- Garage entry along 14th doesn't fit with neighborhood pattern for vehicular access for corner apartment buildings.
- Accessible entry along Republican is secondary.

- Residential Units
- Amenity Room
- Circulation/ Driveway

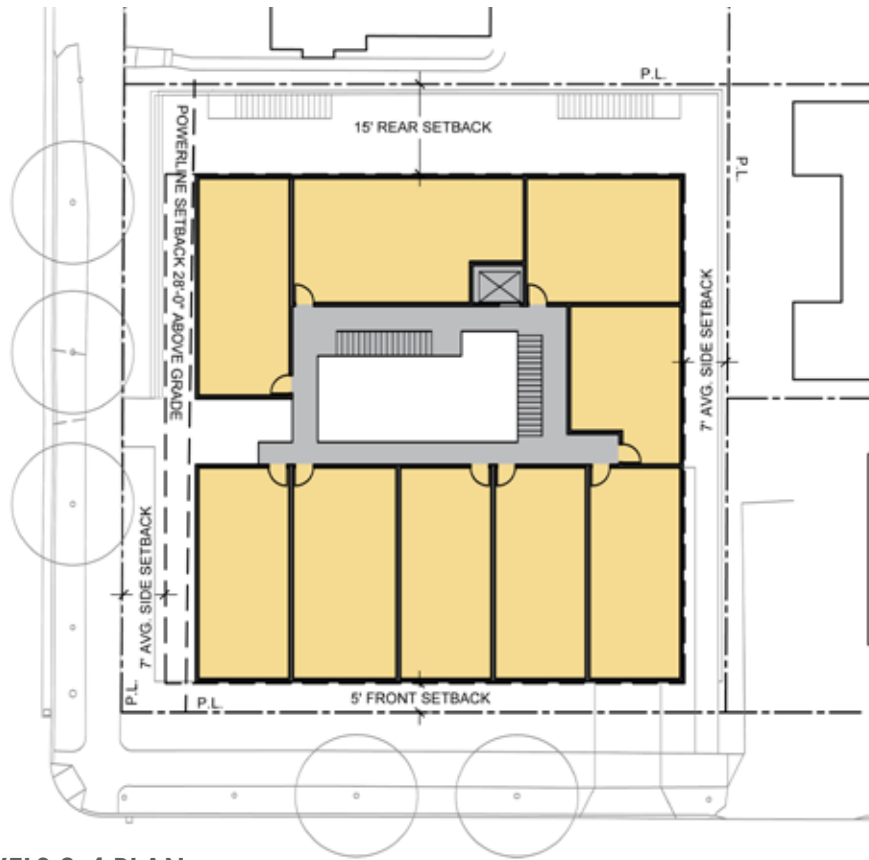


NORTH/SOUTH SECTION

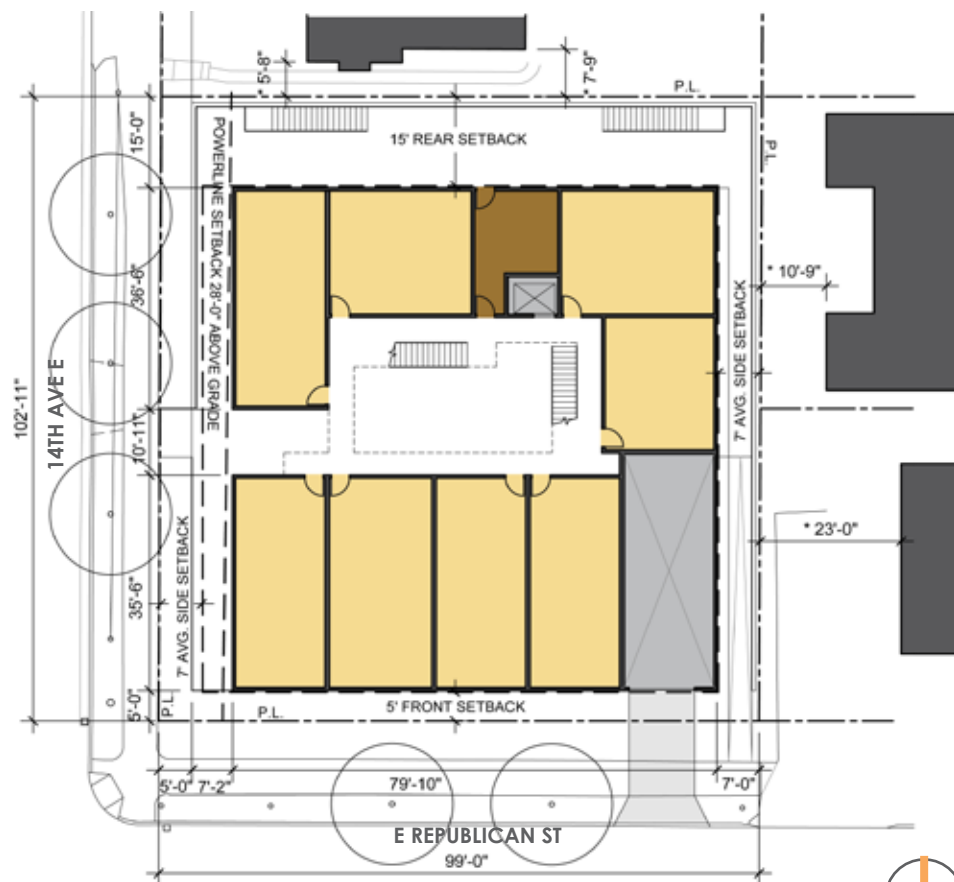


EAST/WEST SECTION

"U" SCHEME



LEVELS 2-4 PLAN

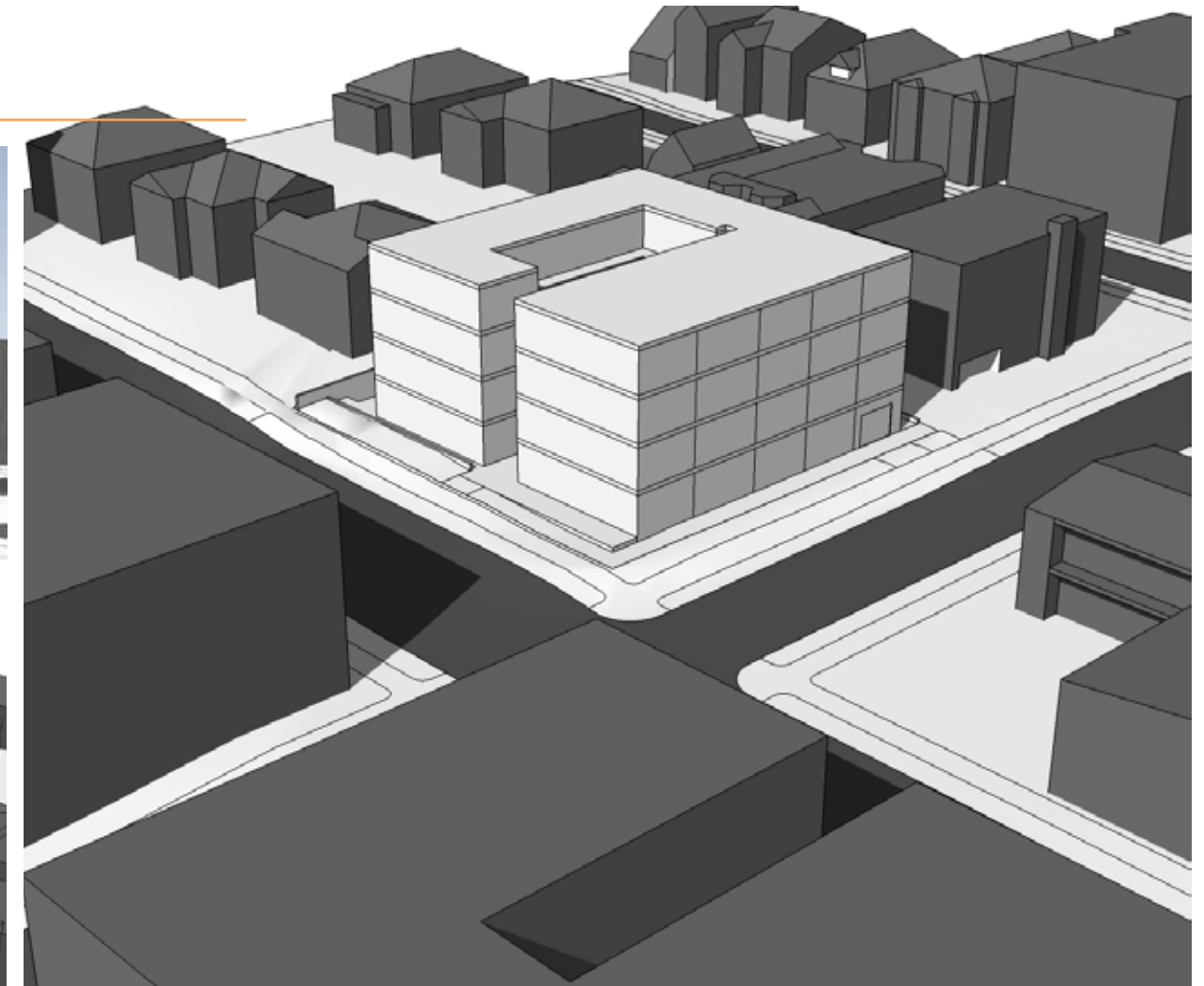
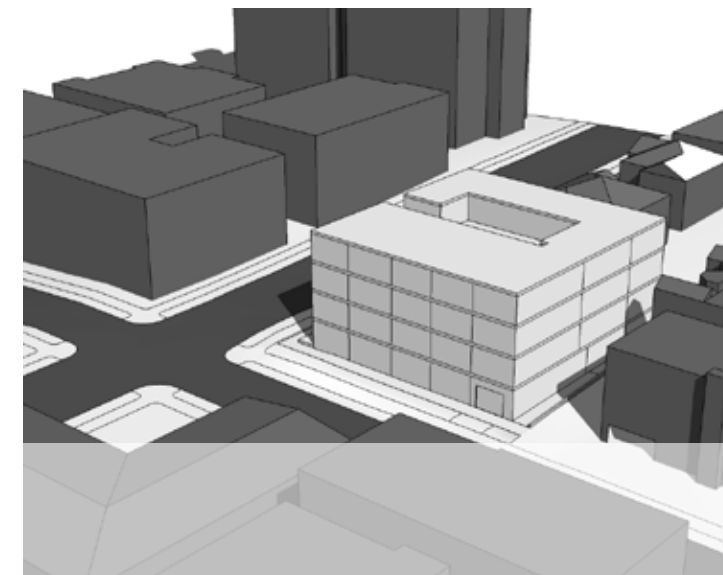
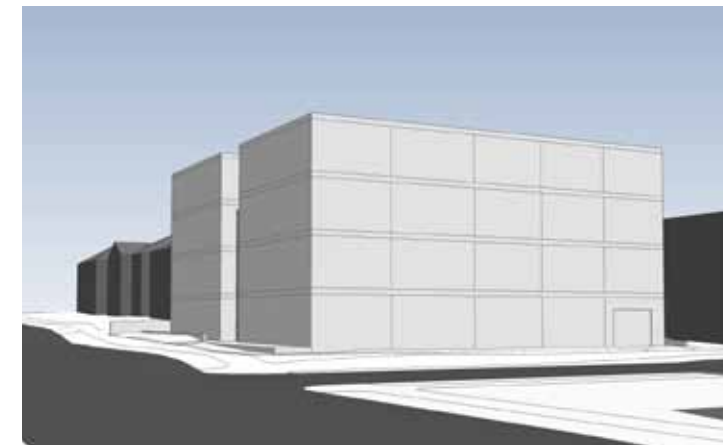


GROUND LEVEL PLAN

* Off-site dimensions are approximate and based on COS DPD GIS maps.



- Residential Units
- Amenity Room
- Circulation/ Driveway

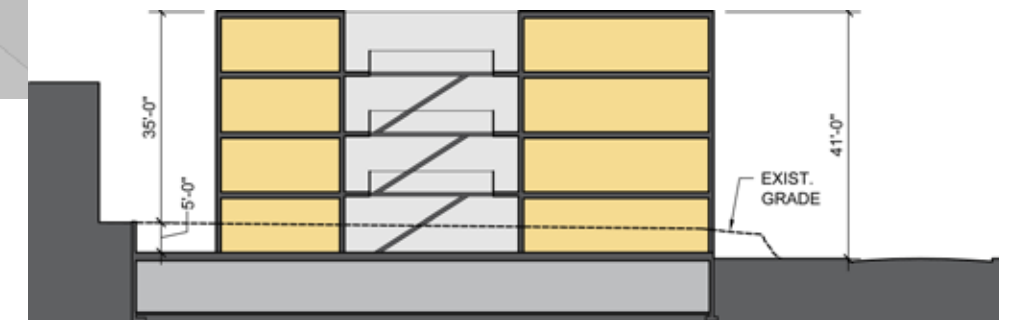


PROS:

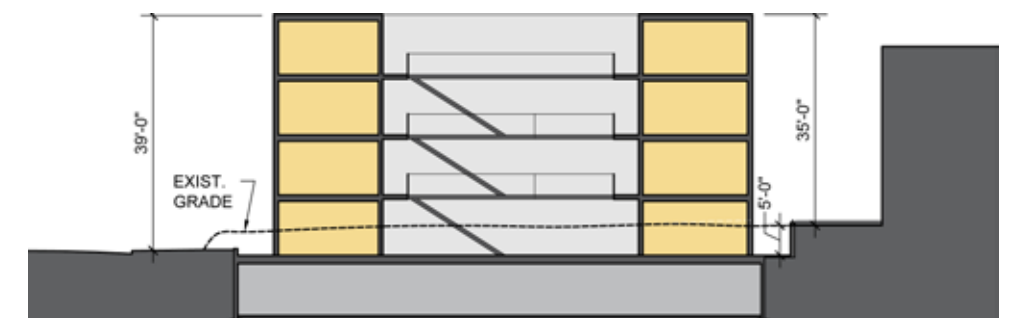
- + The interior courtyard area is large enough to provide area for use and interaction.
- + The south building elevation fits with street pattern along Republican.
- + At grade entry eliminates need for accessible ramp.
- + Garage entry along Republican fits with neighborhood pattern.

CONS:

- Reduced privacy for ground floor units as they site either at or below sidewalk grade.
- The rear amenity area along the north edge of the property will be in constant shade. Also, it will sit 1 foot below street level and 5-6 feet below the neighboring property.
- The at-grade exterior amenity area along 14th is no longer a semi-private area for the tenants but a middling semi-public area likely to see little use or activity.
- No building entry along Republican.
- Design would require the addition of a street pole along 14th as well as Republican near the street corner and thereby eliminate two potential street trees.

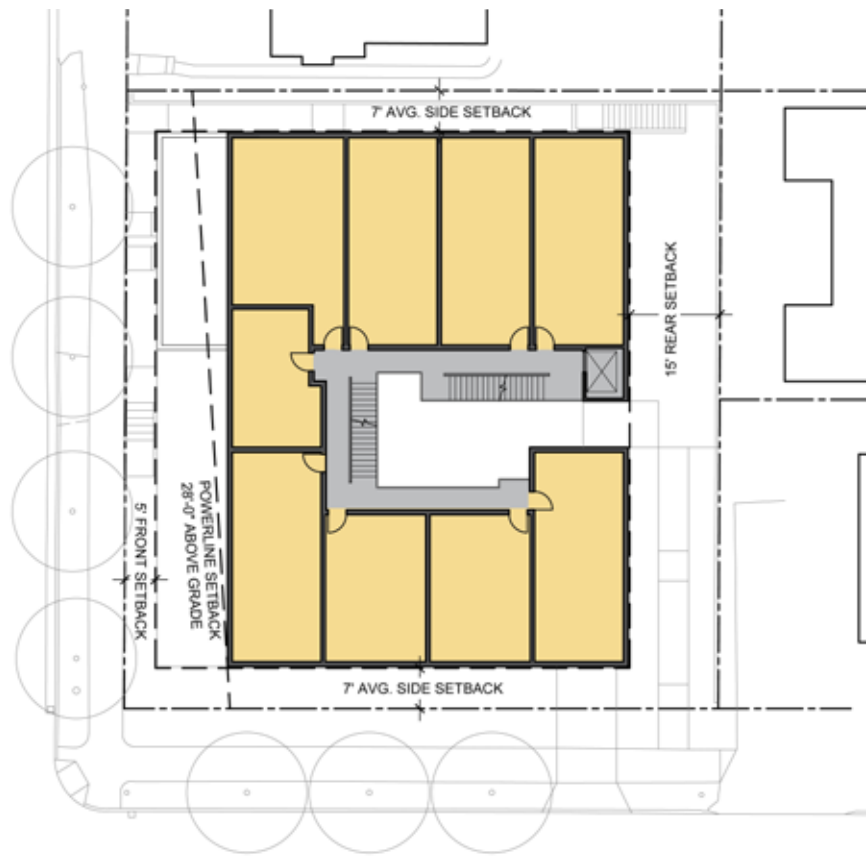


NORTH/SOUTH SECTION

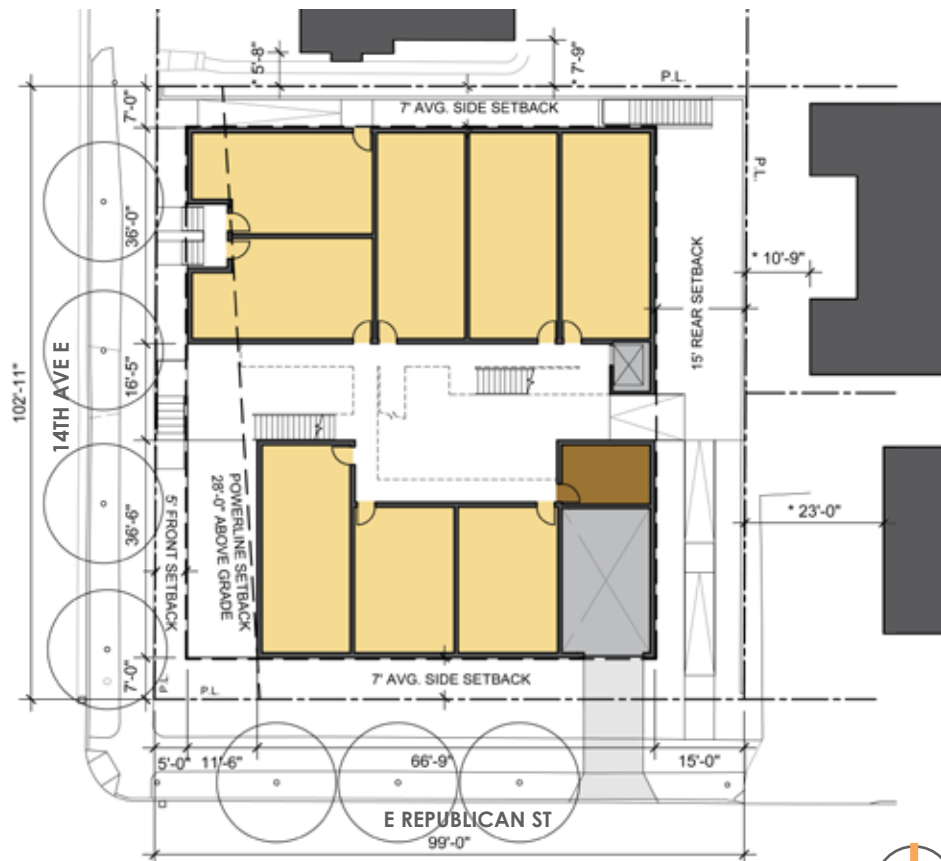


EAST/WEST SECTION

PREFERRED SCHEME

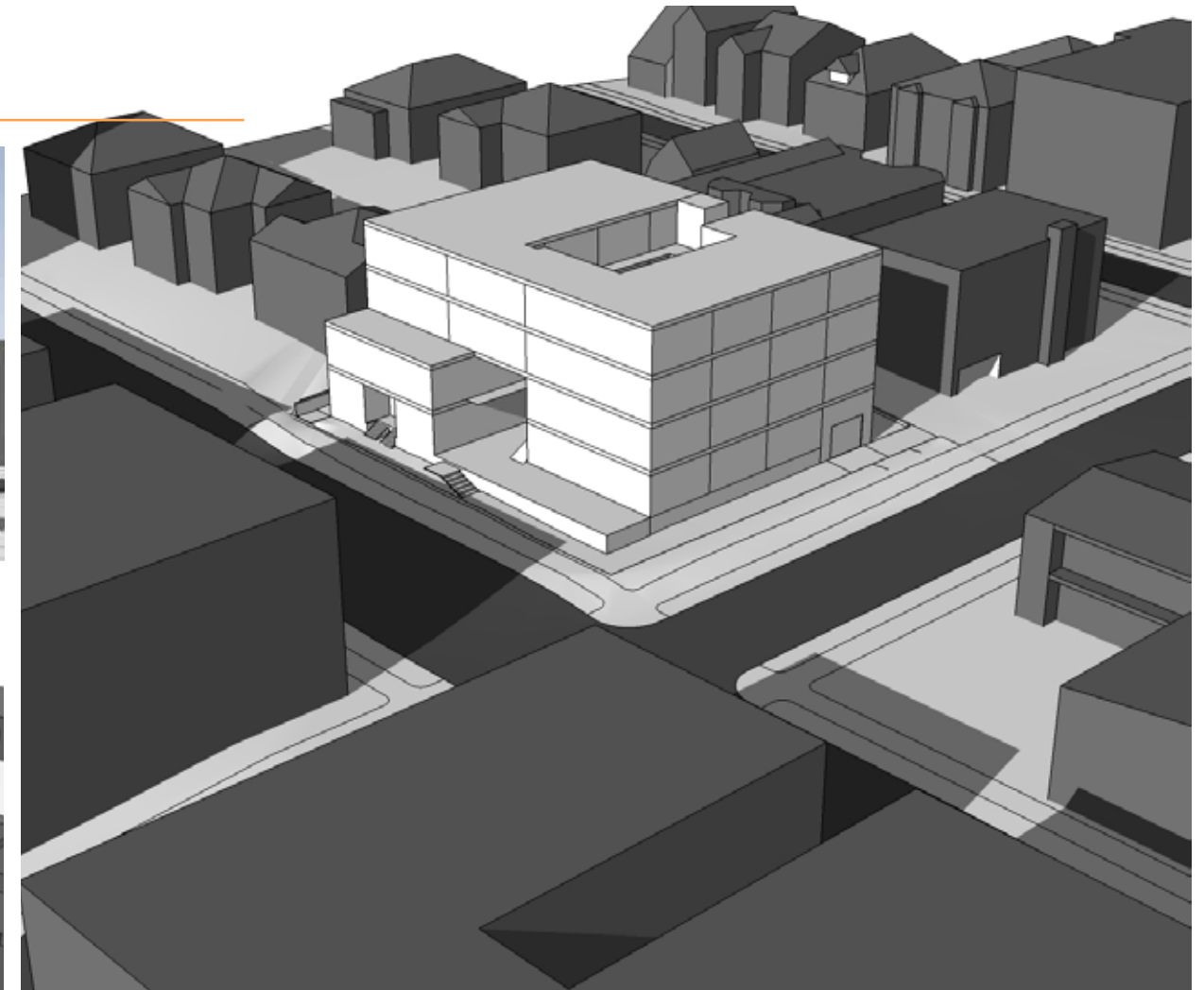
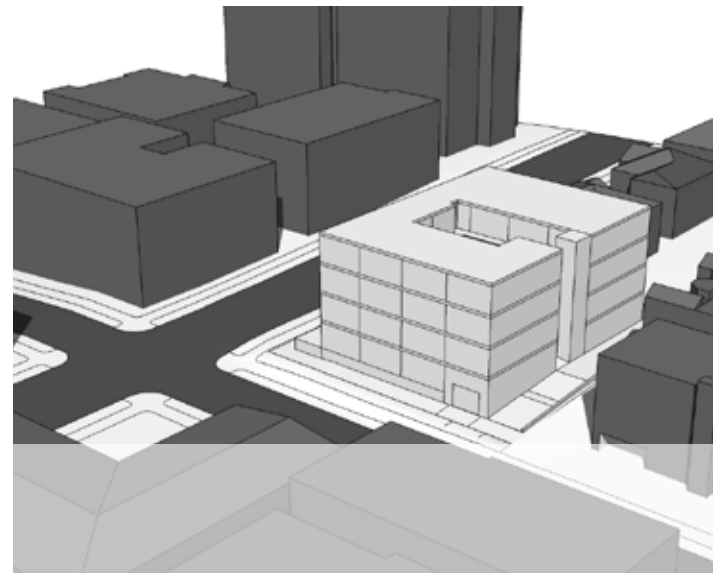


LEVELS 3-4 PLAN



GROUND LEVEL PLAN

* Off-site dimensions are approximate and based on COS DPD GIS maps.



PROS:

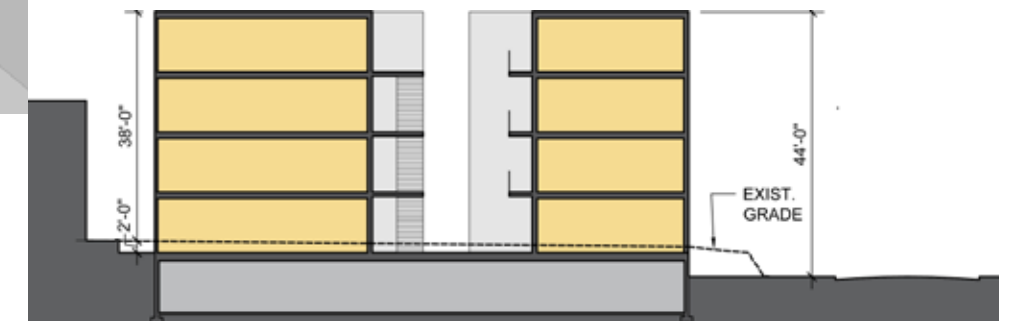
- + The overall massing addresses the street patterns along both 14th and Republican.
- + The interior courtyard area is large enough to provide area for use and interaction.
- + The setback at the southwest corner increases access to light for the public pedestrian environment along 14th and neighboring property.
- + Creates quality exterior amenity areas at the street corner and the along east edge of the building.

- + The step-back at the northwest corner of the building along with the stoop entries address the street pattern to the north along 14th.
- + Garage entry along Republican fits with neighborhood pattern.
- + The design allows for two prominent building entries at both 14th and Republican.
- + The raised plinth defines semi-private exterior amenity areas for the building tenants, as intended by the new Lowrise code revisions.

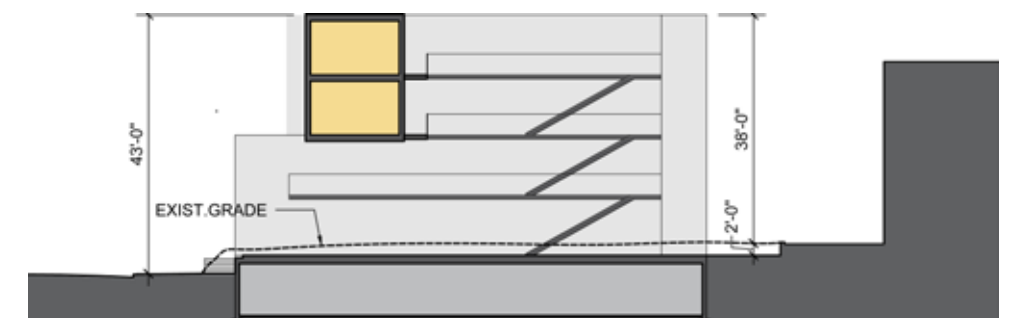
CONS:

- The north façade will have minimal modulation.

- Residential Units
- Amenity Room
- Circulation/ Parking

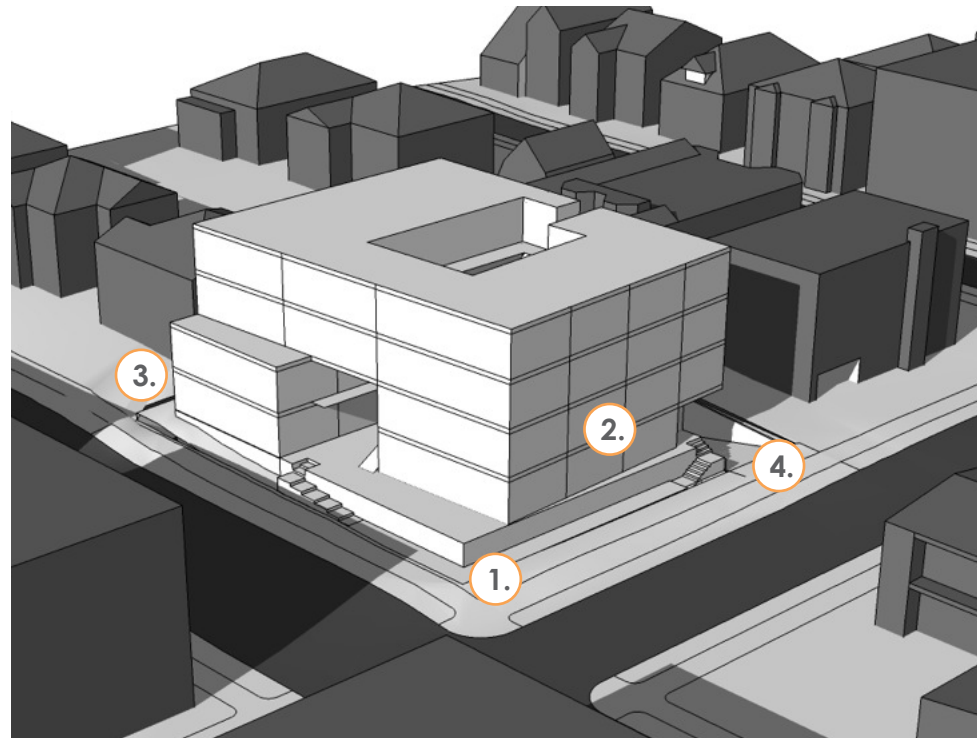


NORTH/SOUTH SECTION

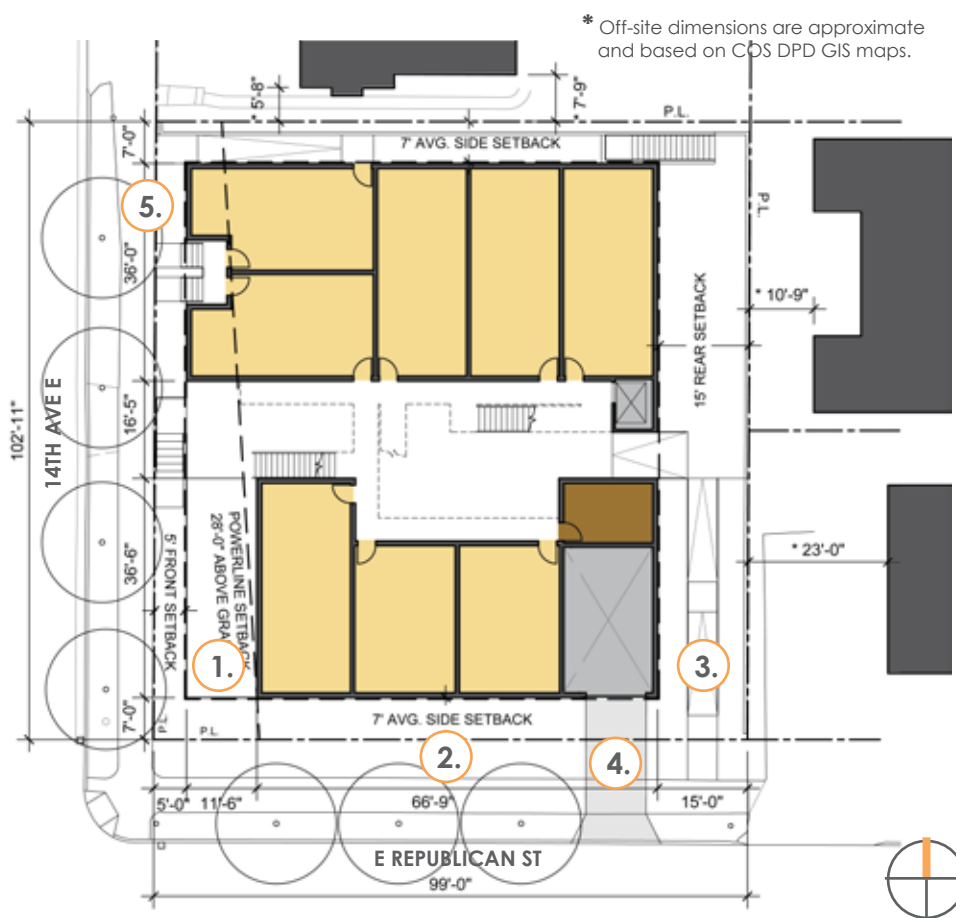
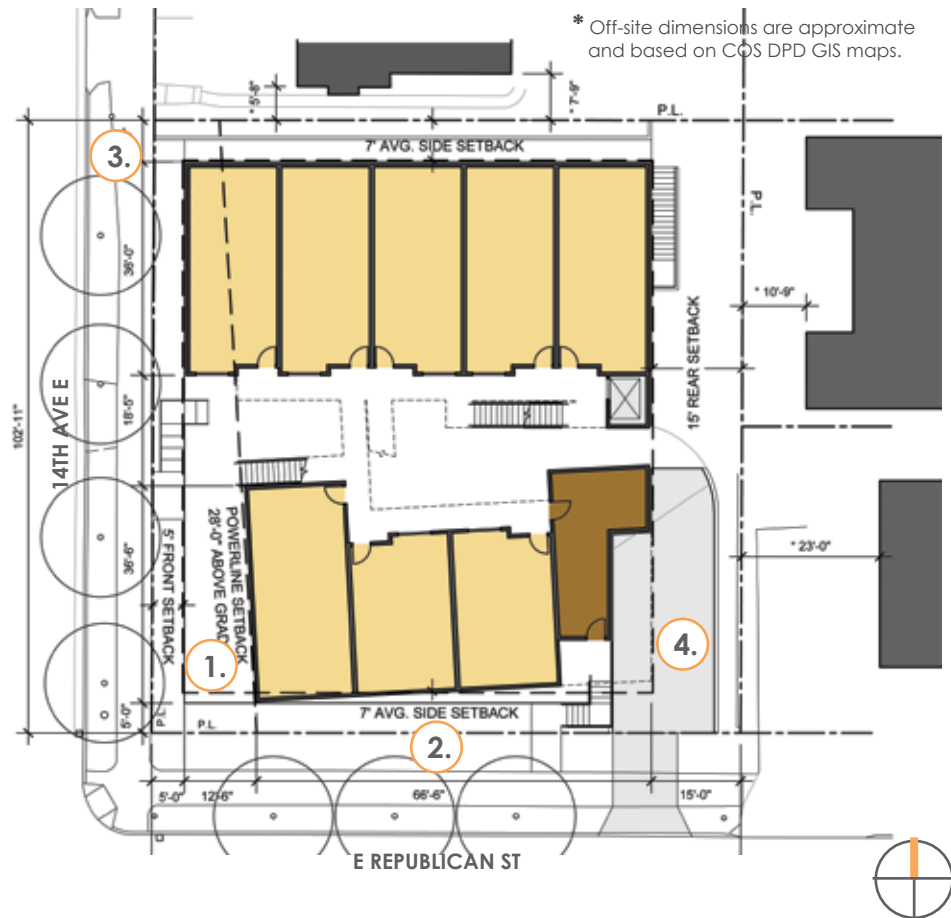
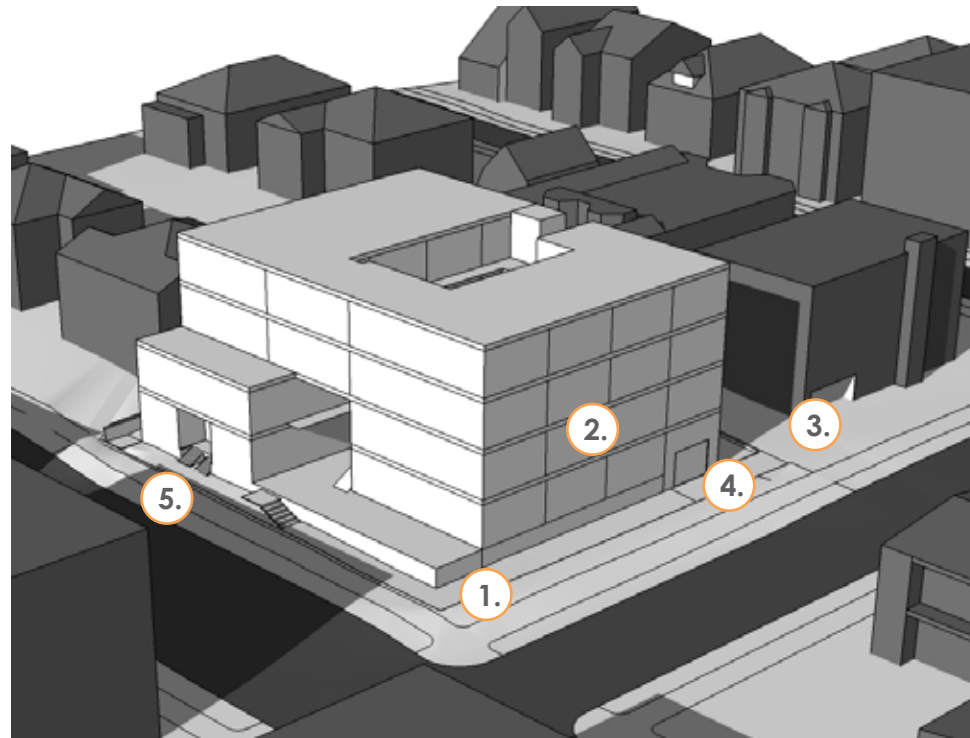


EAST/WEST SECTION

OLD PREFERRED SCHEME



NEW PREFERRED SCHEME



PRIMARY CHANGES TO PREFERRED SCHEME:

- 1. BUILDING PLINTH:**
The garage plinth has been lowered by 1'.
- 2. SOUTH & WEST FACADE**
The South and West facades have been rotated to be orthogonal with the street grid.
- 3. ACCESSIBLE BUILDING ENTRY**
The accessible building access ramp has been co-located with the Republican Street entrance.
- 4. VEHICULAR ACCESS**
The garage access has been relocated to be directly off the street, eliminating the building cantilever.
- 5. STOOP ENTRIES**
Individual stoop entries have been added to engage 14th Avenue to the north.

A. SITE PLANNING

A-2 Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of way. (see A4, A7, C1, C3, D1, D3)

A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.

A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

A-5 Respect for Adjacent Sites

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

A-6 Transition between Residence and Street

For residential projects, the space between the building and the sidewalk should provide security and privacy for residence and encourage social interaction among residence and neighbors.

A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Capitol Hill- Specific Supplemental Guidance:

1. Create substantial courtyard-style open space that is visually accessible to the public view.
2. Set back upper floors to provide solar access to the sidewalk and/or neighboring properties.

A-8 Parking and Vehicular Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

A-10 Corner Lots

Building on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Board Recommendation:

The Board noted the Capitol Hill supplemental guidelines, which are supportive of substantial courtyard-style open space, and asked the applicant to pay special attention to the activation of the courtyard and how it will relate to the street. (A4, A7)

The Board noted the Capitol Hill guideline addressing set-back on upper floors to provide solar access to the sidewalk and/or neighboring properties and requested new concept schemes, as well as shadow studies for all schemes, addressing these concerns. (A5, A7)

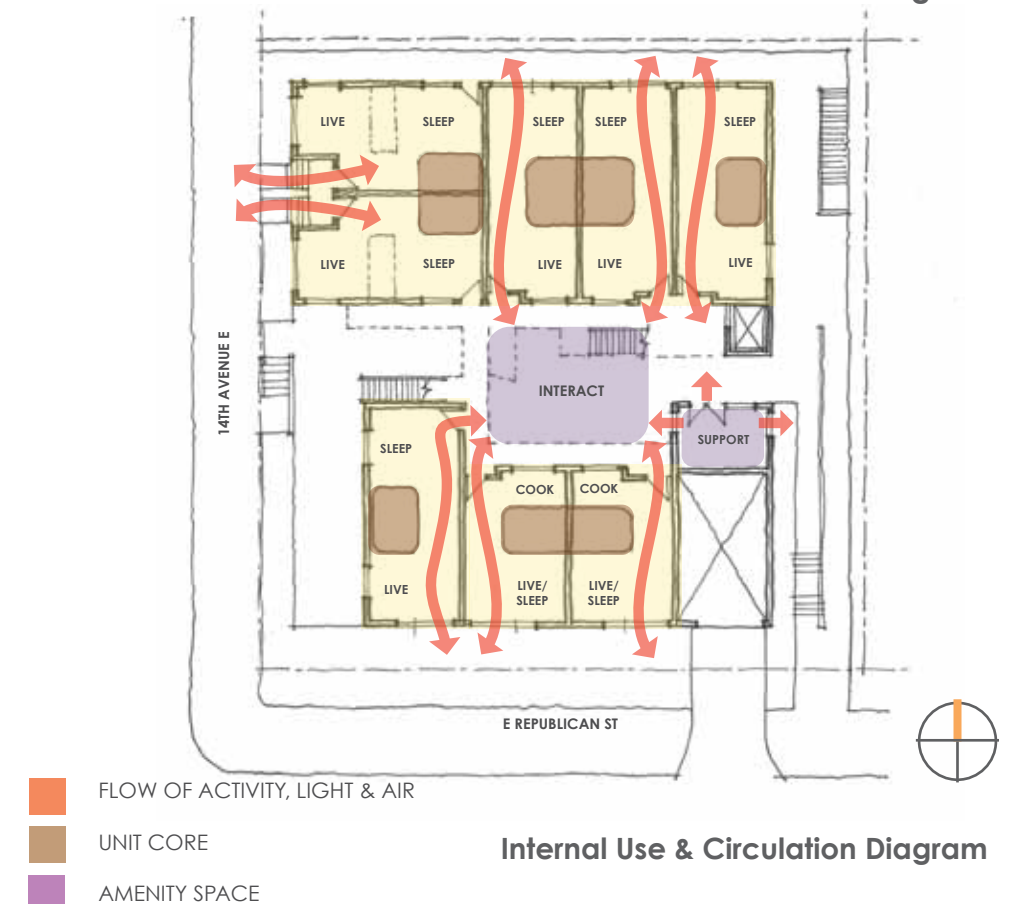
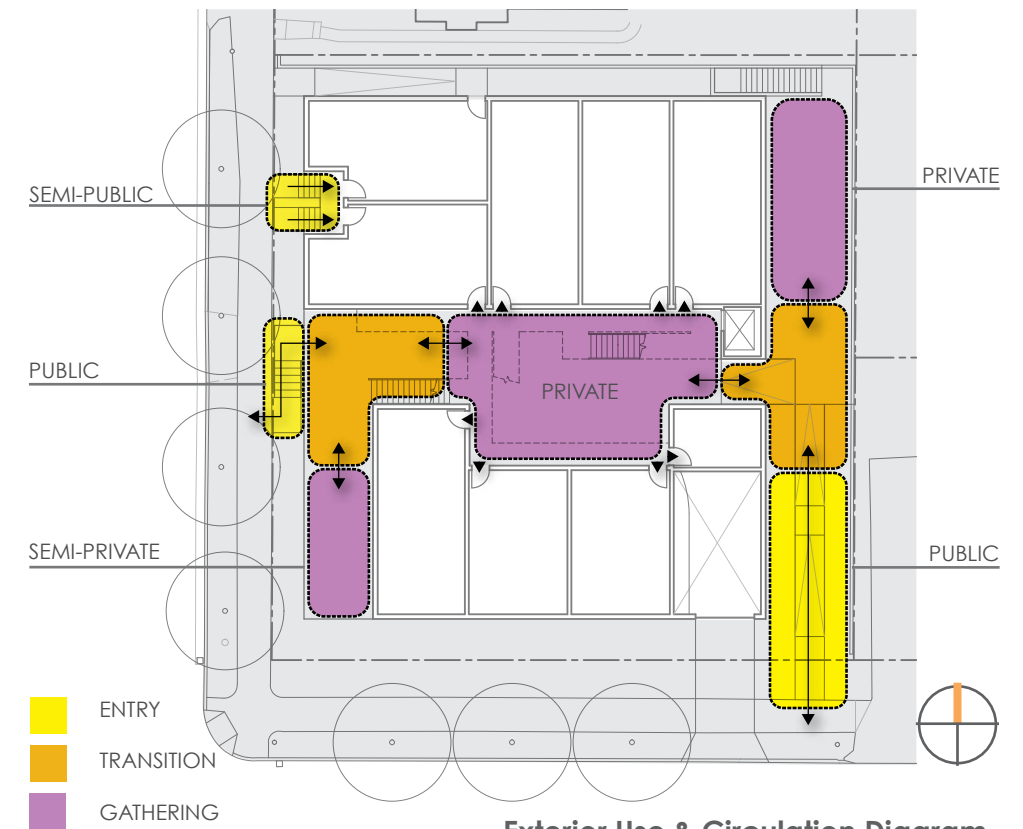
Response:

The proposed building design will be centered around a **landscaped courtyard, acting as a central community amenity** to tenants. The individual unit entrances are exterior, allowing living spaces to open out onto the courtyard, facilitating tenant interaction. Access paths to the site lead through a succession from public through semi-public to private spaces, providing a gradual transition from the streetscape.

Locating **access points, both along 14th and Republican**, will connect the site to both streets. In order to further encourage human activity at streetlevel, ground-floor units will have **stoop entries** directly engaging the street to the north. A setback on the SW corner of the lot will provide a **corner amenity space**, allowing activity to spill from the courtyard to the streetscape. The facade will feature large windows visually connecting the building to the streetscape and units facing the street will have main living spaces located on the street side.



Locating a generous **corner setback and two-story volume along the west property edge will increase access to light** for the pedestrian environment along 14th Avenue, as well as neighboring properties to the north. (Refer to APPENDIX A for shadow studies.)



LANDSCAPE PLAN



CORNER AMENITY STUDY



B. HEIGHT, BULK & SCALE COMPATIBILITY

B-1 HEIGHT, BULK & SCALE COMPATIBILITY

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

Board Recommendation:

The Board asked the applicant to better address the neighborhood context and to consider techniques to reduce the perceived building scale, such as a step back in height near neighboring properties. The Board was specifically concerned about the parking plinth adding unnecessary height and felt that the neighborhood pattern has a closer relationship to grade. The Board noted that features, such as a driveway cantilever and the courtyard portal, augment the buildings scale. The board would like the applicant to pay close attention to the grand entrance to the courtyard and how it can promote a greater sense of intimacy.

Response:

The proposed building design will feature **major modulation along 14th Ave E.**, visually dividing the facade into three volumes, responding to the shorter facades along the north-south corridor. A two-story volume with individual stoop-entries will help to reduce the perceived mass of the building and create a pedestrian friendly row-house feel towards the northwest corner.

The **courtyard portal creates a well defined entry area** and marks the transition from public to private.

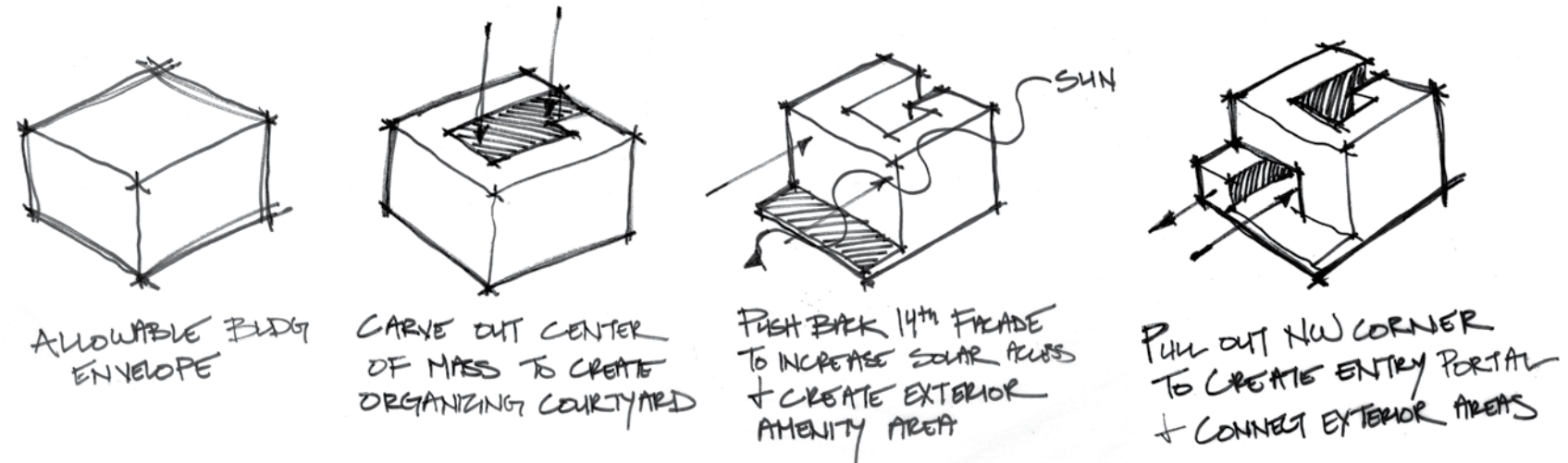
Along Republican, the proposed design will hold the property edge, consistent with the uninterrupted facades of existing multifamily buildings prevalent along the east-west corridor.

A large setback to the east will provide a buffer zone to the neighboring properties.

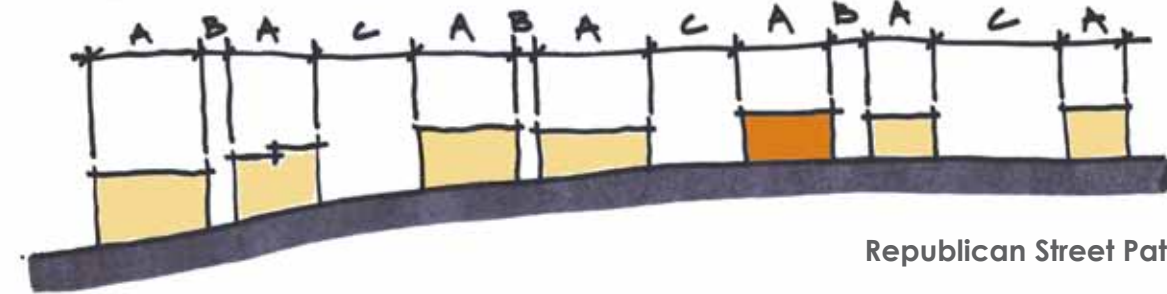
The proposed design shows the **plinth lowered to a height of 4' along Republican sloping back to 2' along 14th Ave. E.** The raised exterior amenity area is consistent with the existing neighborhood pattern and will create a distinction from public to private as it pertains to ground-level amenity space, as well as enhance tenant privacy and security. This raised ground-level space provides a protected exterior amenity area, as intended by the new Lowrise code revisions.

(Refer to Page 8 for neighborhood precedents.)

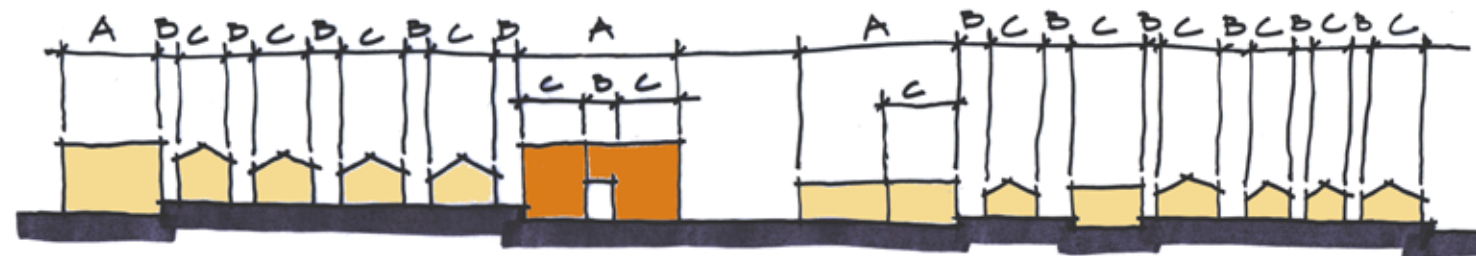
The building's **garage access will be directly off the street**, eliminating the cantilever and allowing for a landscaped entrance path to the courtyard along the east setback. The garage entry off Republican fits the pattern of existing buildings in the neighborhood.



Massing Study



Republican Street Pattern Study



14th Ave Street Pattern Study

C. ARCHITECTURAL ELEMENTS AND MATERIALS

C-1 Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

C-3 Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

C-5 Structured Parking Entrances

The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

Board Recommendation:

The Board felt that the neighborhood pattern was not sufficiently addressed and requested that the applicant provide a more detailed analysis and new design options responding to the analysis of the existing context, as well as the design guidelines. (C1)

The Board expressed concern over the general scale being imposing in contrast to the neighborhood character and felt the plinth augmented the sense of monumentality. (C3)

The Board felt that the corner amenity space and skewed facade, detach the structure from the intimacy of the streetscape, and noted that the courtyard pushes the structure closer toward the north property line. The Board observes that the portal and driveway cantilever, lack the desired sense of intimacy. (C3,C5)

The Board was in support of the proposed modern interpretation of historic precedent and the proposed use of high quality materials in a contemporary application. (C4)

Response:

An analysis of the neighborhood pattern illustrates the **prevalence of multifamily buildings with comparable bulk and scale**, especially on corner lots along the east-west corridor. (Refer to Pages 2-6)

A detailed analysis of the neighborhood context, illustrates examples of **neighborhood precedents for framed portal entries, as well as raised building entrances and courtyards**, consistent with the proposed entrance/courtyard height of the development. (Refer to Page 8,9)

The entry portal along 14th Avenue is a contemporary response to the traditional vernacular of framed grand entries and lends the courtyard a mews-like quality. The **portal also serves as a distinguishing element of the transition from public to private** while maintaining an eye-level view corridor through the site and into the active courtyard space.

Major **modulation along 14th Ave and an uninterrupted facade along Republican**, address the respective street pattern. Finer-scale elements of modulation such as movable screens and stoop entries, will enhance the buildings human scale. Vehicular access will be directly of the street, eliminating the cantilever and allowing for a pedestrian friendly access point along Republican.

Going forward, the design team will stay committed to the use of high-quality materials in a contemporary manner.



14th AVENUE ENTRY STUDY



D. PEDESTRIAN ENVIRONMENT

D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lit and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

D-3 Retaining Walls

Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where higher retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscapes.

D-7 Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

D-12 Residential Entries and Transitions

Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

Board Recommendation:

The Board noted that the courtyard, with exterior unit entries could function like a mews, but questioned the placement of the lobby at the east end. The Board asked the applicant to relocate the accessible entry path from the proposed location along the north edge, to provide a more direct access route to the courtyard. (D1)

The Board felt that the site grade, along with the garage plinth, places the building too high above sidewalk grade and requested the building garage plinth to be lowered to create a better relationship between building and streetscape. (D3)

The Board also noted that all pathways should be well-lit. (D7)

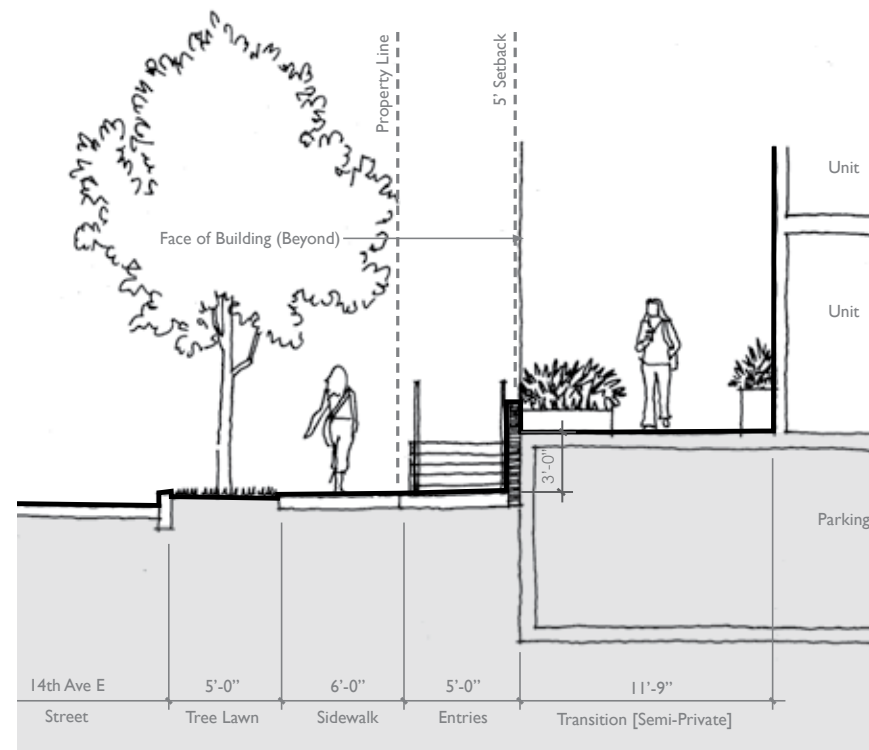
Response:

The entry along 14th Ave will feature a gradual transition from the sidewalk to the elevated courtyard, with an emphasis on **creating a procession through lively exterior amenity spaces**. Residential stoop entries and large windows will further connect the building to the street.

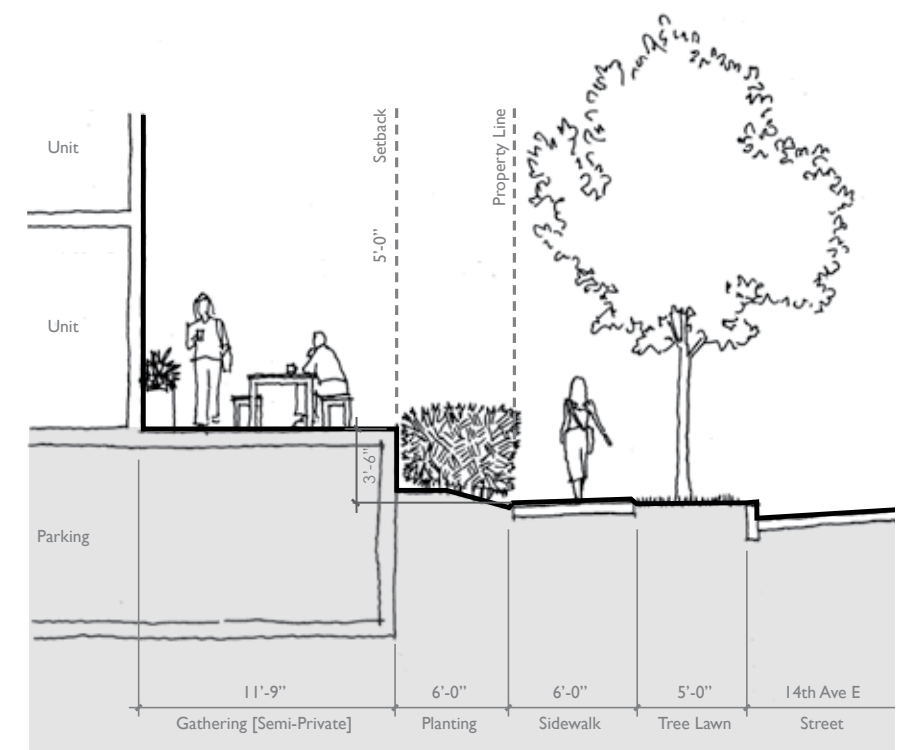
The design will feature a **prominent entry along Republican**, which will be co-located with the accessible entry ramp, providing direct access to the courtyard and elevator.

The **garage plinth has been lowered** to a height of 4' along Republican sloping back to 2' at the NW corner of the site along 14th Avenue. The plinth is an opportunity to create an attractive mix of greenscape and hardscape elements that will add visual interest to the streetscape, yet be at a proper height that will enhance privacy and security for ground level units, as well as exterior amenity areas.

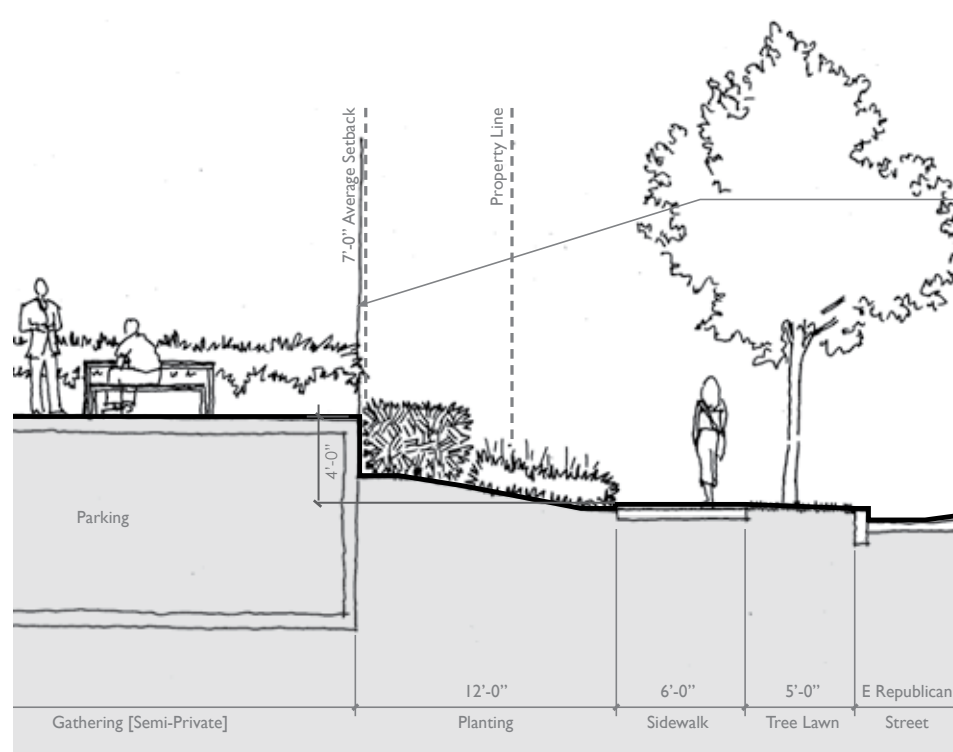
Going forward, the design team will pay special attention to the landscape and lighting treatment of these transitional spaces.



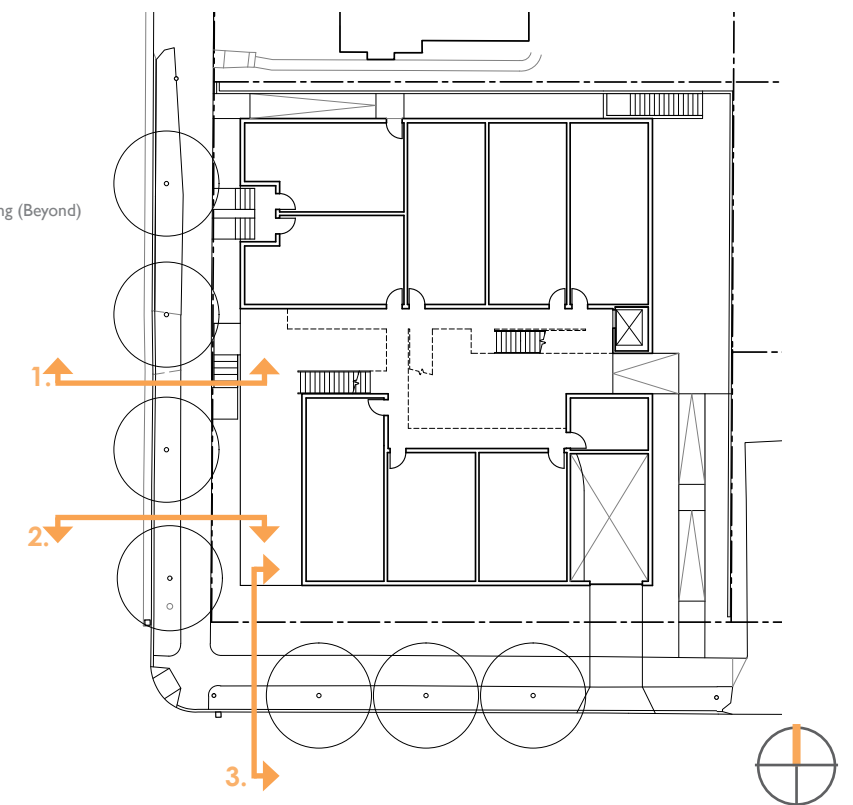
1. Section - 14th Ave E (Looking North)



2. Section - 14th Ave E (Looking South)



3. Section - E Republican St (Looking East)



REPUBLICAN ENTRY STUDY



E. LANDSCAPING

E-2 Landscaping to Enhance building and/or Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

E-3 Landscape Design to Address Special Site Conditions

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

Response:

Landscape will define a **collection of public and private spaces** supporting a vibrant, yet restrained, streetscape and maximize varied opportunities for indoor-outdoor living by residents.

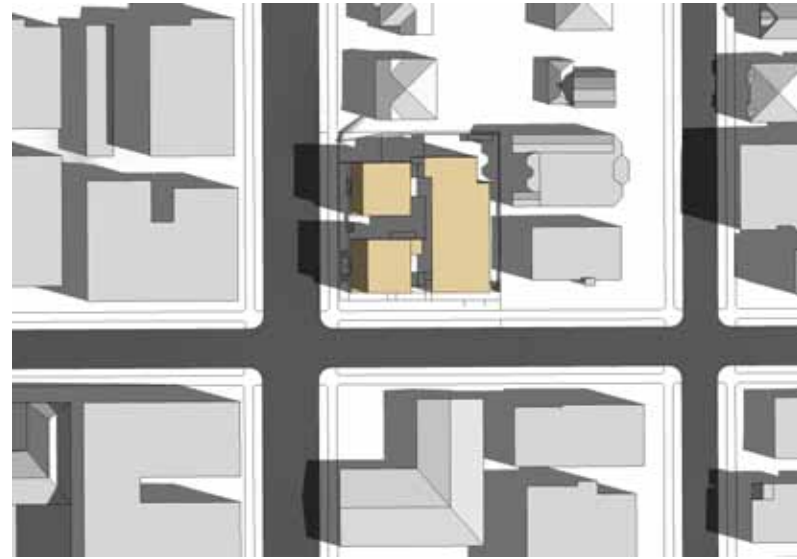
An **ordered arrangement of streetscape elements will ground and define the building structure** within the neighborhood scale via street trees, evergreen hedge, massed understory plantings, and intuitive entry points. Ground floor exterior space, though private, will be visually accessible to the pedestrian. This relationship creates eyes on the street, while retaining a comfortable sense of privacy and separation.

In the private gathering areas, landscape elements will define both private and collective space for building residents. The **central courtyard is the heart of the building community and provides a dynamic gathering space**, while also creating pockets for individual activities. The **porch at the SW corner maintains a balance between public and private space**, creating space for smaller gatherings and taking advantage of solar access. The **backyard gamecourt provides a flexible space for outdoor activity**.



SUMMER SOLSTICE

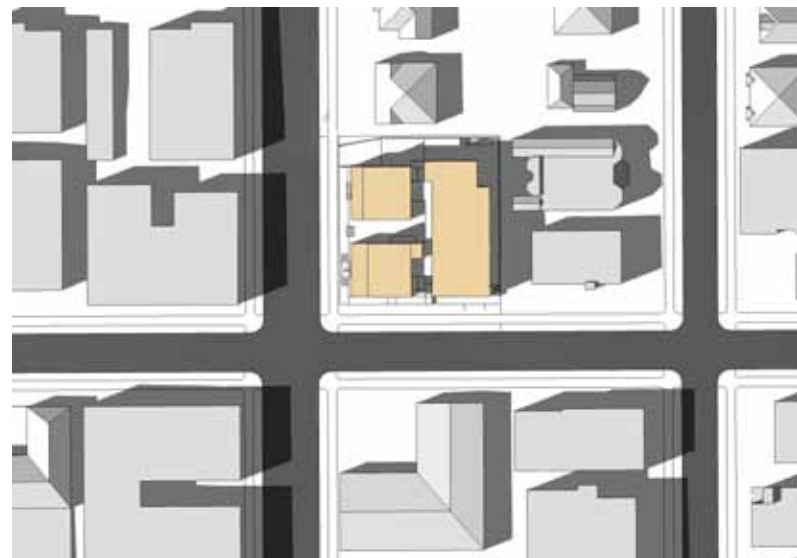
9 AM



NOON

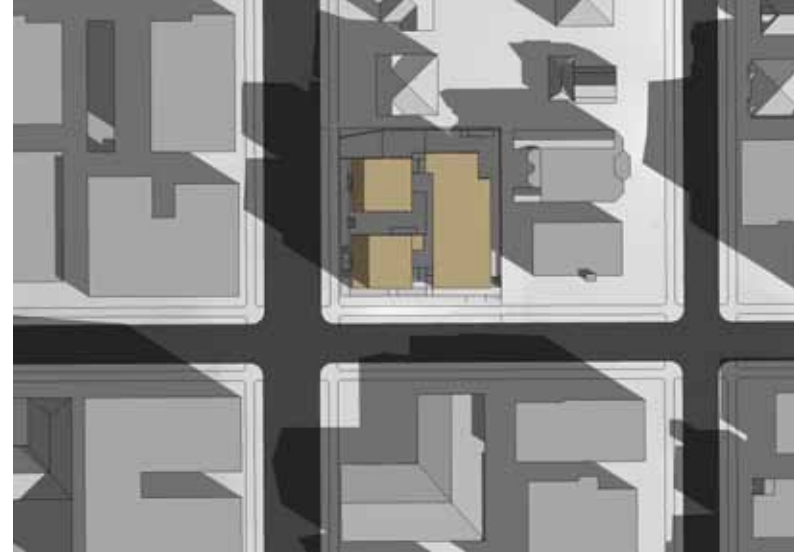


3 PM



EQUINOX

9 AM



NOON



3 PM



WINTER SOLSTICE

9 AM



NOON

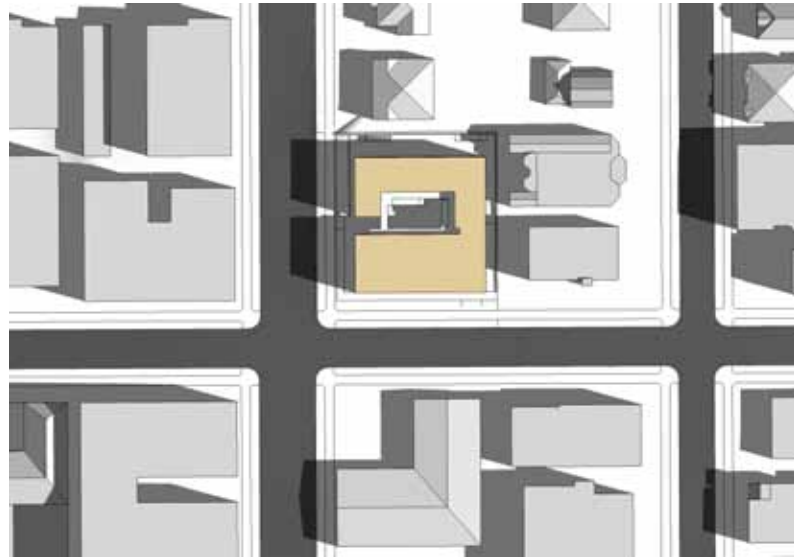


3 PM

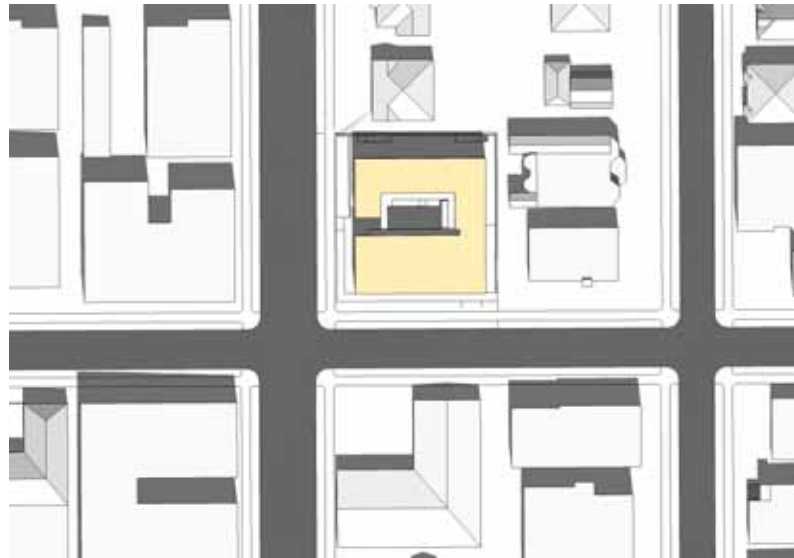


SUMMER SOLSTICE

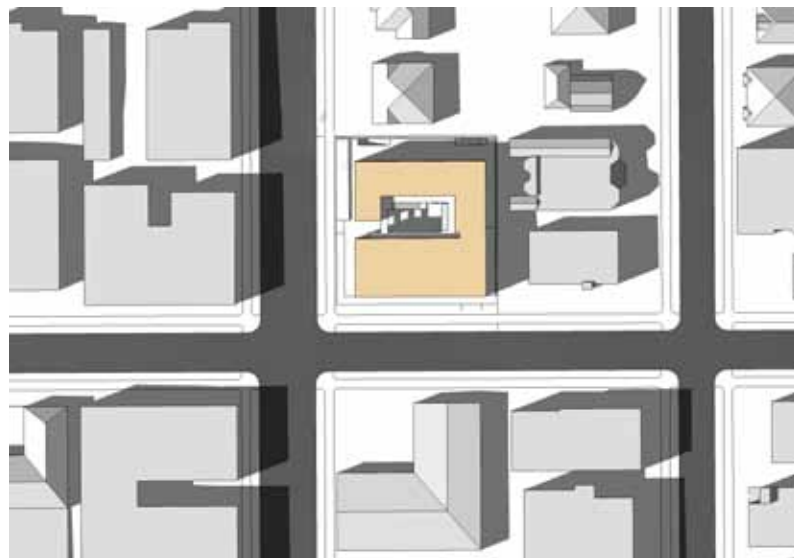
9 AM



NOON

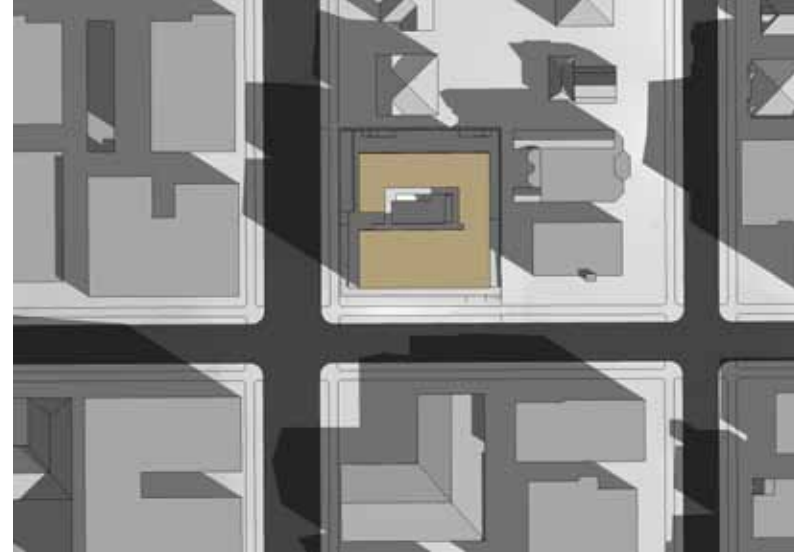


3 PM



EQUINOX

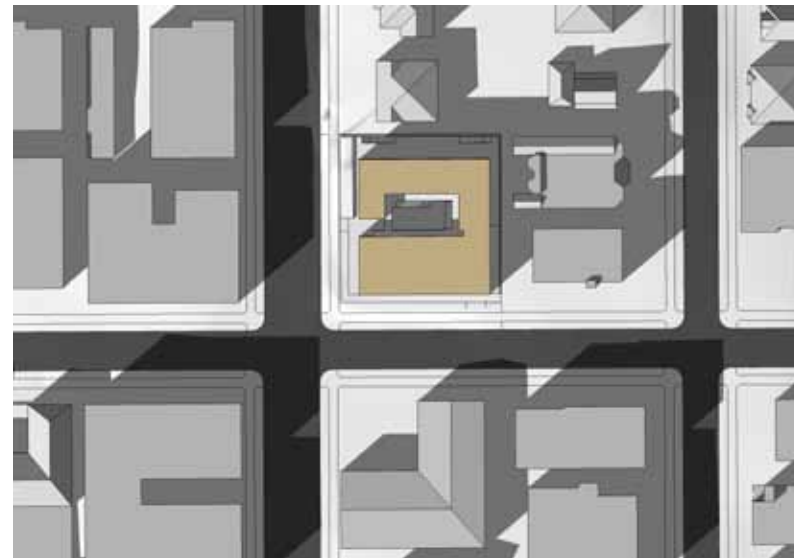
9 AM



NOON



3 PM



WINTER SOLSTICE

9 AM



NOON

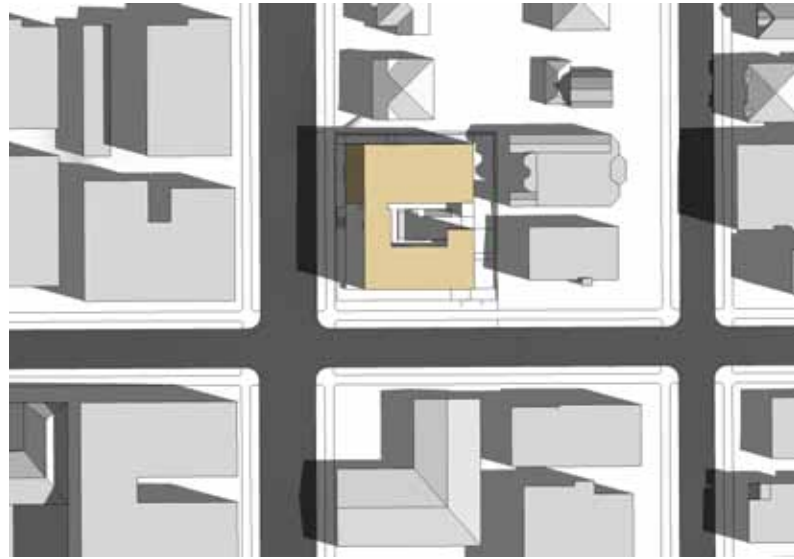


3 PM



SUMMER SOLSTICE

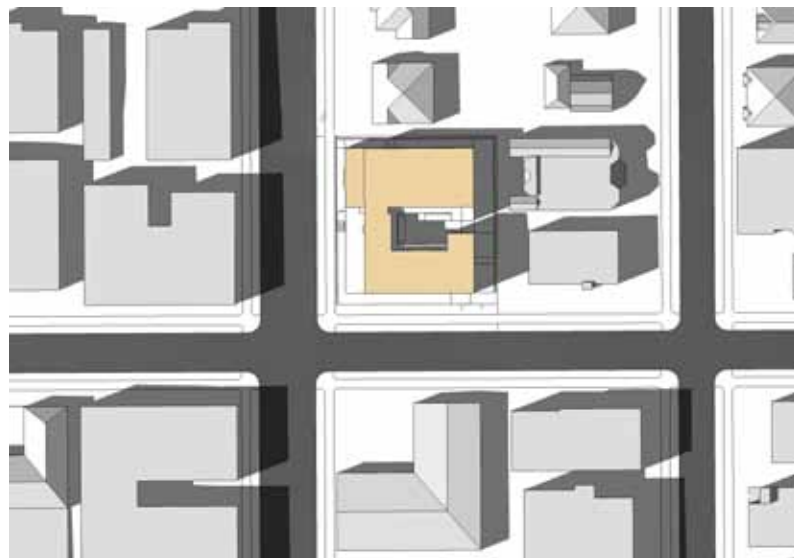
9 AM



NOON

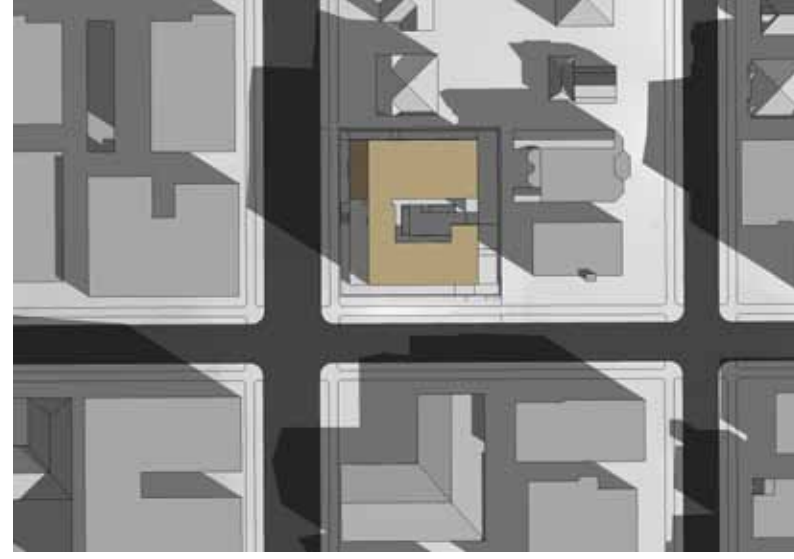


3 PM



EQUINOX

9 AM



NOON



3 PM



WINTER SOLSTICE

9 AM



NOON



3 PM



DEPARTURE REQUESTS:

The design team will be requesting three departures.

1. STRUCTURE WIDTH AND FAÇADE LENGTH LIMITS (SMC 23.45.527)

Requirements:

The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.

Request:

An additional 14 percent (13'-6") of façade length along the north edge of the site; for a total of 79 percent.

Rationale:

The design departure will allow the project to maximize the amount of usable exterior amenity space and allow the courtyard to flow into the amenity space at the NE corner. It also maintains a view corridor through a break in the eastern façade, which follows the neighborhood pattern, aligning with the gap between the neighboring buildings to the east.

2. DRIVEWAY SLOPE (SMC 23.45.527)

Requirements:

No portion of a driveway, whether located on a lot or in a right-of-way, shall exceed a slope of 15 percent.

Request:

Increase the allowable slope to 20 percent, as was previously allowed before the recent code revisions.

Rationale:

The design departure allows us to have a deeper garage and thereby minimize the height of the building plinth. A shorter driveway ramp also allows the project to maximize the amount of usable exterior amenity space as a longer ramp would take up a greater portion of ground floor area.

3. GARAGE DOOR (SMC 23.45.536.D.3.b)

Requirements:

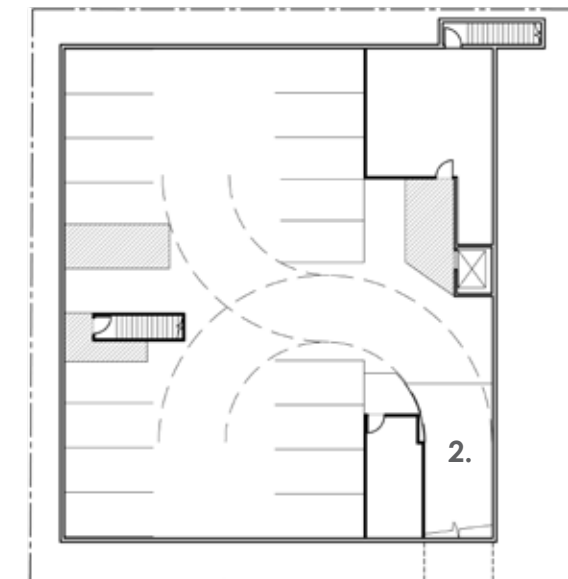
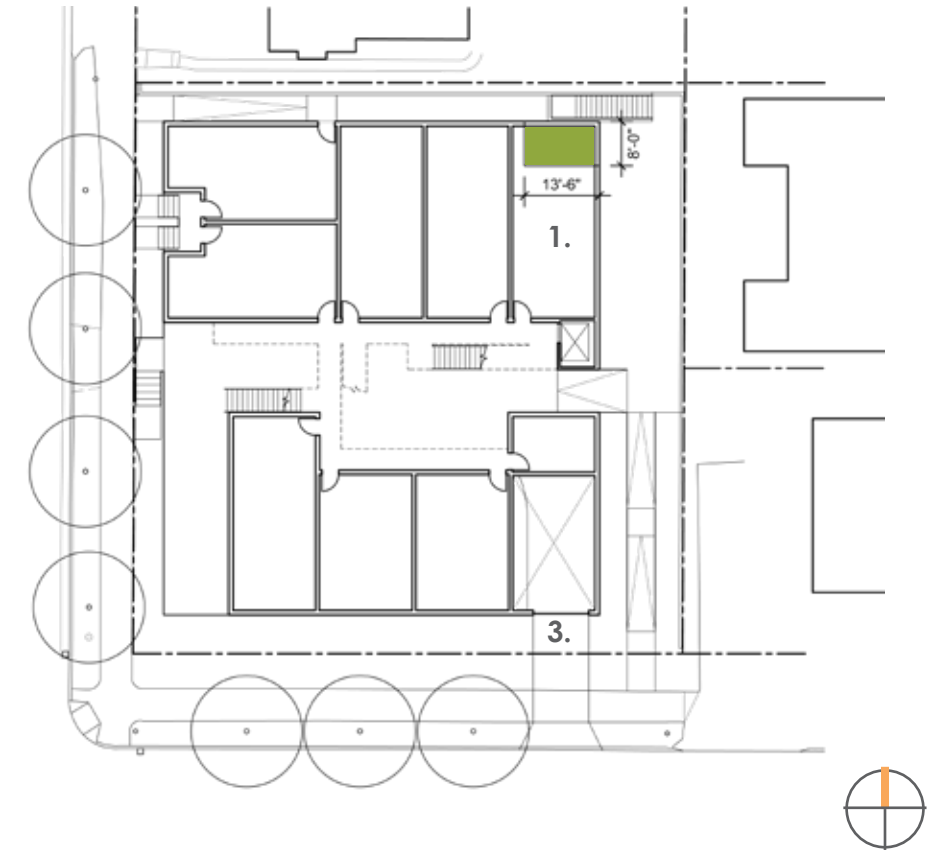
Garage doors facing the street shall be set back at least 15 feet from the street lot line.

Request:

Allow the garage door to be 7 feet back from the street lot line.

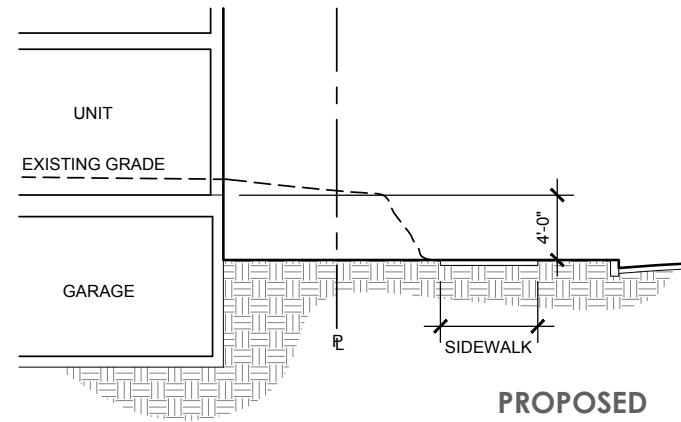
Rationale:

The design departure creates a cleaner facade by eliminating the need to cantilever over the driveway and prevent a tunnel-effect that would be created if the garage door were pushed 8' back from the face of the building. In addition, a buffer of 13' will be provided between the sidewalk and building face.

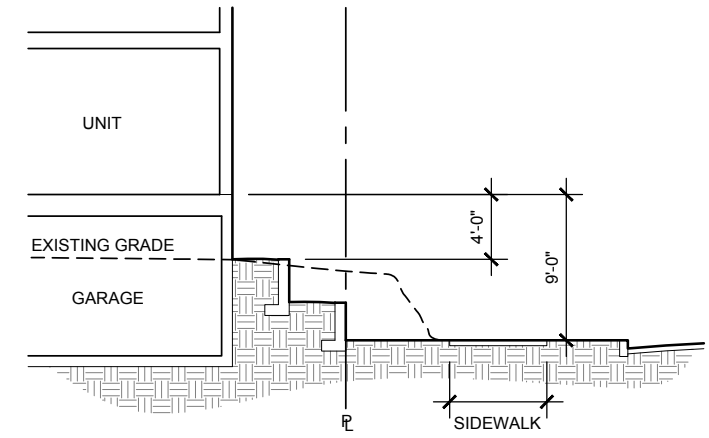


PLINTH HEIGHT:

The proposed plinth height was determined to be the best solution for the streetscape as well as residents of the building. The garage plinth has been lowered to a height of 4' along Republican sloping back to 2' at the NW corner of the site along 14th Avenue. The plinth is an opportunity to create an attractive mix of greenscape and hardscape elements that will add visual interest to the streetscape, yet be at a proper height that will enhance privacy and security for ground level units, as well as exterior amenity areas.

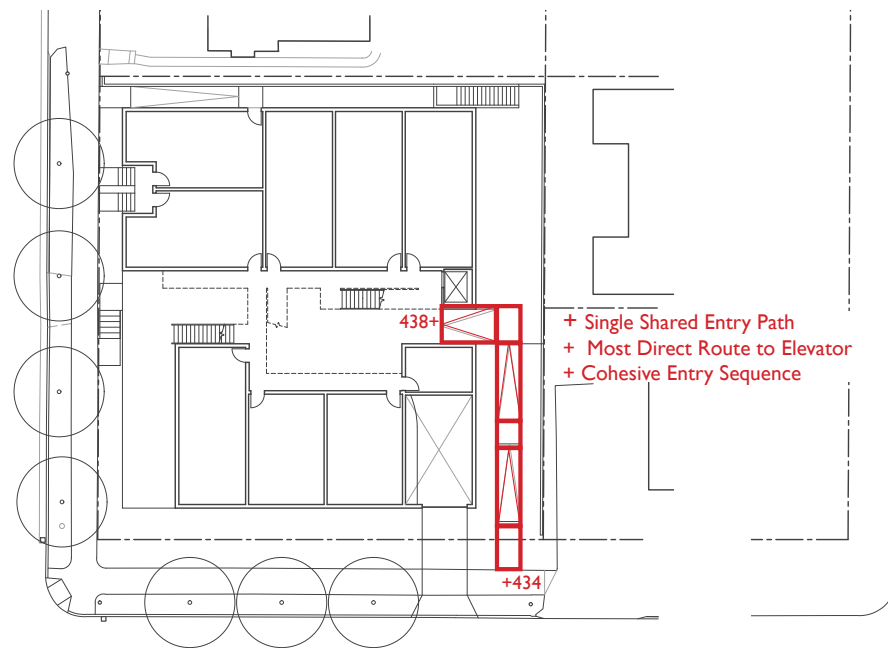


PROPOSED



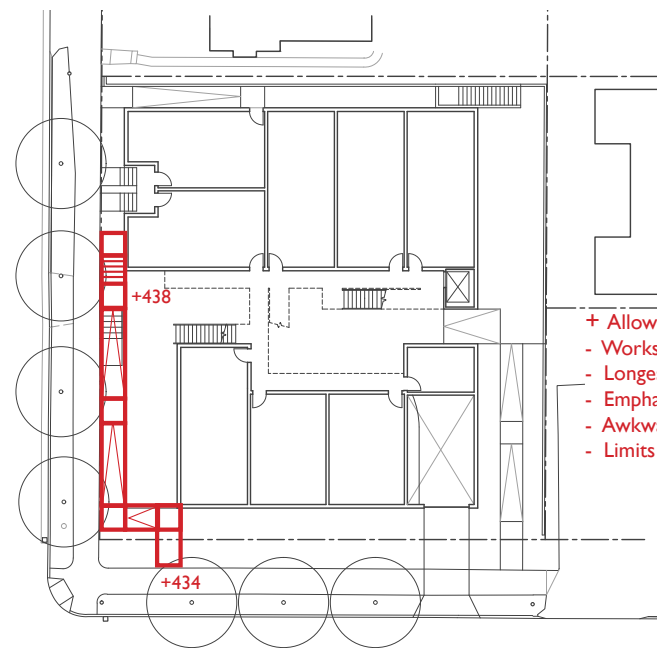
ALLOWABLE

RAMP LOCATION STUDY:



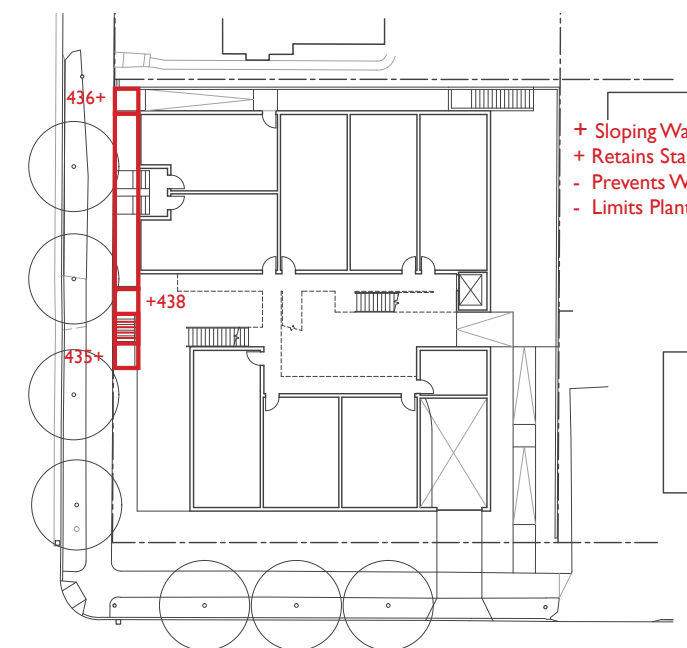
- + Single Shared Entry Path
- + Most Direct Route to Elevator
- + Cohesive Entry Sequence

Access Option A: Shared (preferred)



- + Allows Stairs at Entry
- Works Against Grade
- Longest Path to Elevator
- Emphasizes Plinth at Corner
- Awkward Relation to Walk Up Entry
- Limits Planting along Streetscape

Access Option B: Stair-Ramp



- + Sloping Walk
- + Retains Stair Entry from South
- Prevents Walk-Up Units
- Limits Planting along Streetscape

Access Option C: Sloping Walk

REPUBLICAN STREETSAPES



E Republican Street - Looking North



E Republican Street - Looking South

14TH AVENUE STREETSAPES



14th Avenue E - Looking East



14th Avenue E - Looking West