

## EARLY DESIGN GUIDANCE



1201 Mercer Street  
Seattle, Washington

HOLLAND PARTNERS | ANKROM MOISAN ASSOCIATED ARCHITECTS

DPD Project No.: 3012808  
December 15, 2011



## PROJECT ADDRESS

1201 Mercer St.  
Seattle, WA 98109

## PROJECT TEAM

### OWNER/APPLICANT:

**Holland Partners Group**  
2025 First Avenue, Suite 410  
Seattle, WA 98121  
206.971.0161  
Contact: Marty Goodman  
mgoodman@hollandpartners.net

### ARCHITECT:

**Ankrom Moisan Associated Architects**  
117 South Main Street, Suite 400  
Seattle, WA 98104  
206.576.1600  
Contact: Ricky Teh  
rickyt@amaa.com

## PROGRAM GOALS

1. Use wood frame construction.
2. Achieve a minimum of 145 residential units
3. Include parking to 0.55 ratio minimum.

## PROJECT GOALS

### 1. ADDRESS NEIGHBORHOOD POPULATION

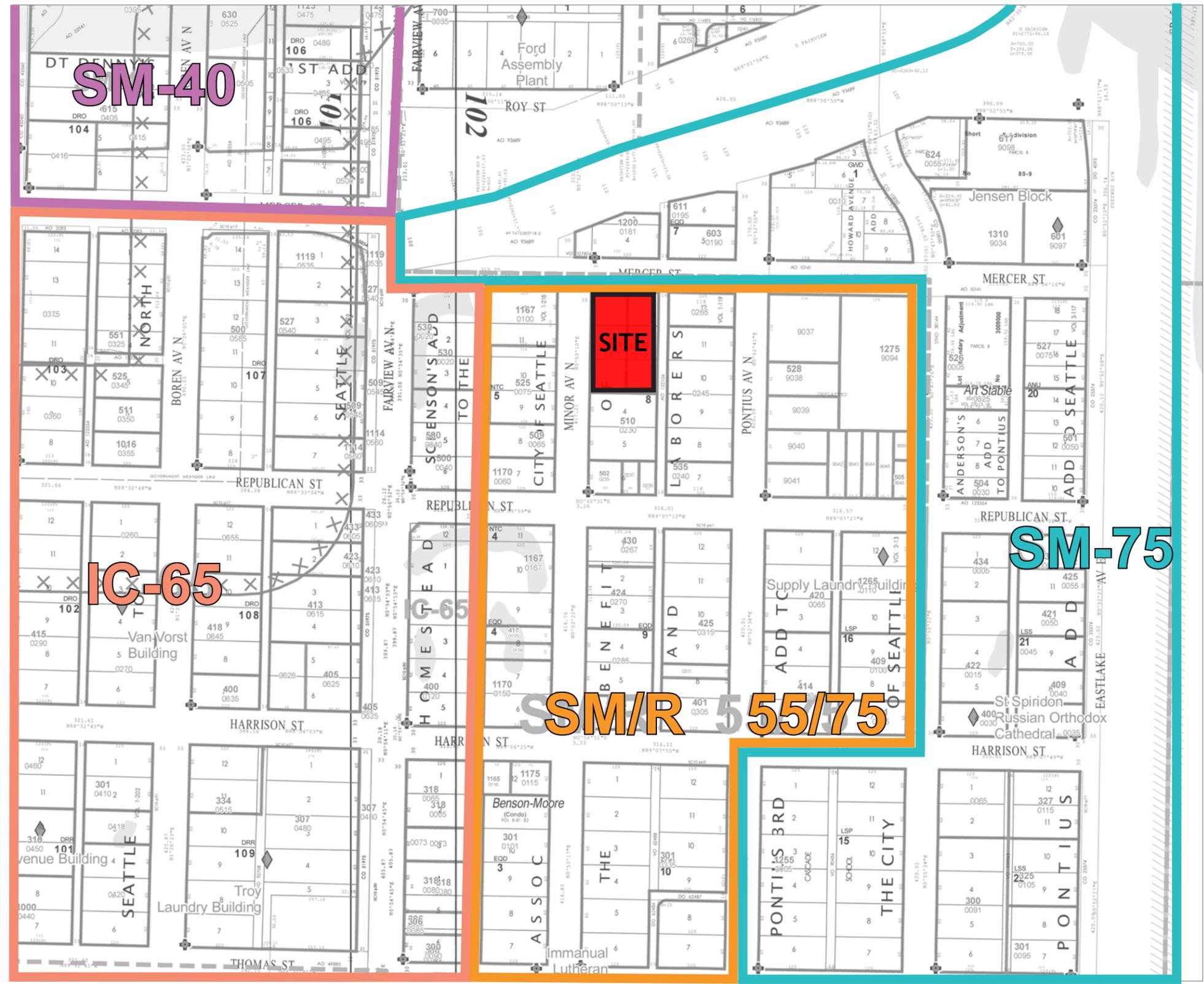
Create a successful apartment community that serves the housing of the surrounding South Lake Union employee population. The Apartments shall be well designed to appeal to a wide range of urban residents.

### 2. CATALYST FOR FUTURE DEVELOPMENT

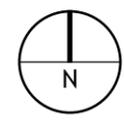
Provide for a development that is an integral part of the neighborhood infrastructure and enhance the urban experience through engaging the streetscape and promoting a positive presence in the neighborhood, while strengthening the residential character of Minor Avenue.

### 3. ENHANCING THE QUALITY OF THE PUBLIC REALM

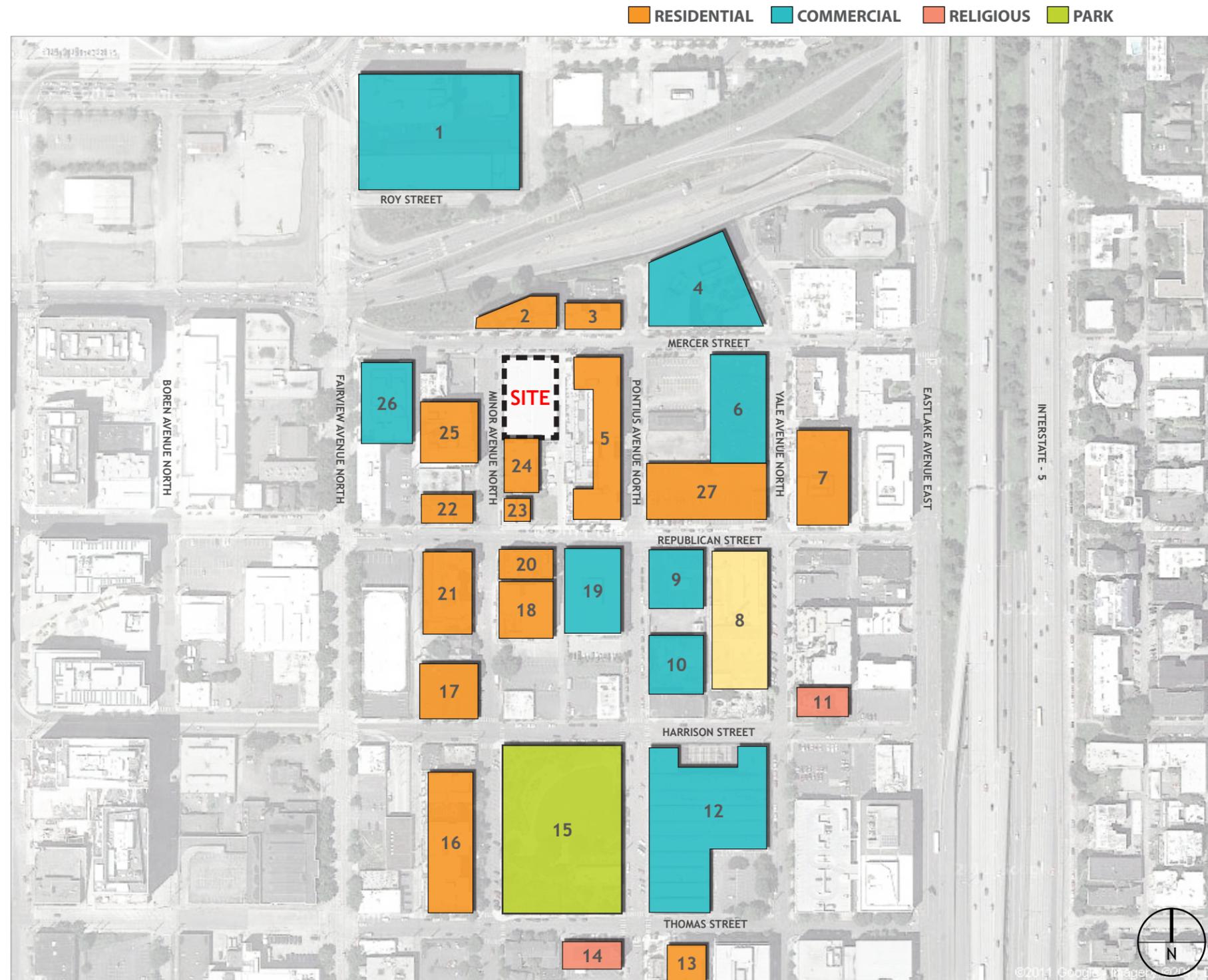
Realize the goal of providing a quality living experience through the pursuit of design excellence. The project shall be a thoughtful expression of scale, context and character of the neighborhood.



Site Size: 21,626 SF  
 Site Zoning: SM/R 55/75



# SITE CONTEXT



■ RESIDENTIAL 
 ■ COMMERCIAL 
 ■ RELIGIOUS 
 ■ PARK

- 1 Public Storage
- 2 Multi-family Housing
- 3 The Carlton Apartments
- 4 Office
- 5 Amlı 535 Apartments
- 6 Bright Horizons Family Solutions
- 7 Condominiums and Office
- 8 Spruce Street School (Historic Landmark)
- 9 Warehouse
- 10 Frontier Global Sciences
- 11 St. Spiridon Orthodox Cathedral (Historic Landmark)
- 12 Warehouse
- 13 Alley 24 West Residences
- 14 Immanuel Lutheran Church (Historic Landmark)
- 15 Cascade P-Patch / Playground
- 16 Multi-family Housing
- 17 Multi-family Housing
- 18 Multi-family Housing
- 19 Cortiva Institute Seattle
- 20 Multi-family Housing
- 21 Multi-family Housing
- 22 Row Houses
- 23 Apartments/Home Deli
- 24 Kerner-Scott House
- 25 Pete Gross House
- 26 Realty Trust Inc. / Office
- 27 Proposed Multi-family Housing Project (DPD# 3012256)



3



5



13



7



18



16



20



26

**ABOUT THE SURROUNDING ARCHITECTURE**

The surrounding neighborhood will help to inform the design of the proposed building. Massing can be effectively modulated through repetitive elements (image 20), inset bays (image 5), or large steps in and out (image 16).

A mix of classic materials at the base and modern cladding systems above is a common solution and helps to create a variety of color and interest

(images 18, 16, 7). Materials that weather can also create interest over time (images 13, 7) Windows are large, frequent, and drive the modulation of most residential facades (images 16, 5, 20)

South Lake Union is a pedestrian friendly neighborhood, and courtyards and squares can create social opportunities at the base of the building (images 18, 7)

# CONTEXT & ARCHITECTURE



MERCER STREET LOOKING NORTH



MERCER STREET LOOKING SOUTH

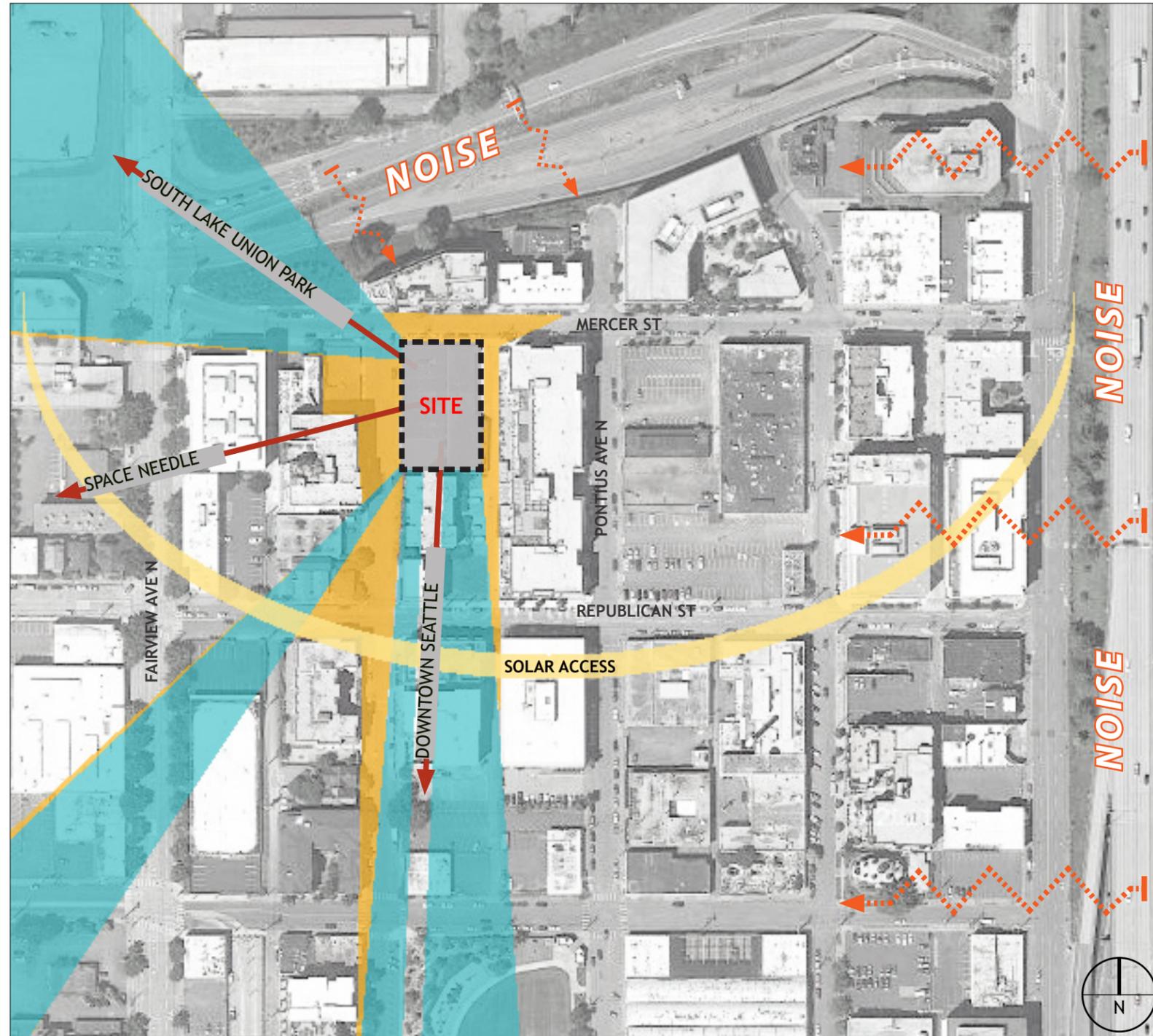


MINOR AVENUE N LOOKING EAST



MINOR AVENUE N LOOKING WEST

# SITE ANALYSIS



### LEGEND

- VIEW RANGE FROM FLOORS 2-4
- VIEW RANGE FROM FLOORS 5 & 6

**NEIGHBORHOOD OBSERVATIONS**

The Cascade Neighborhood is a quiet, residential neighborhood with South Lake Union to the north and west, and Downtown to the south. The neighborhood is defined by I-5 on the east, Fairview Avenue on the west, the Mercer Street on-ramp on the north and Denny Way on the south.

Because there are no east-west or north-south connections through this neighborhood across I-5, the area is quiet and has a residential atmosphere to it.

The neighborhood consists mostly of multi-family housing uses, with other uses spread through out. The REI flagship store and Amazon's corporate offices are attractions to the neighborhood.

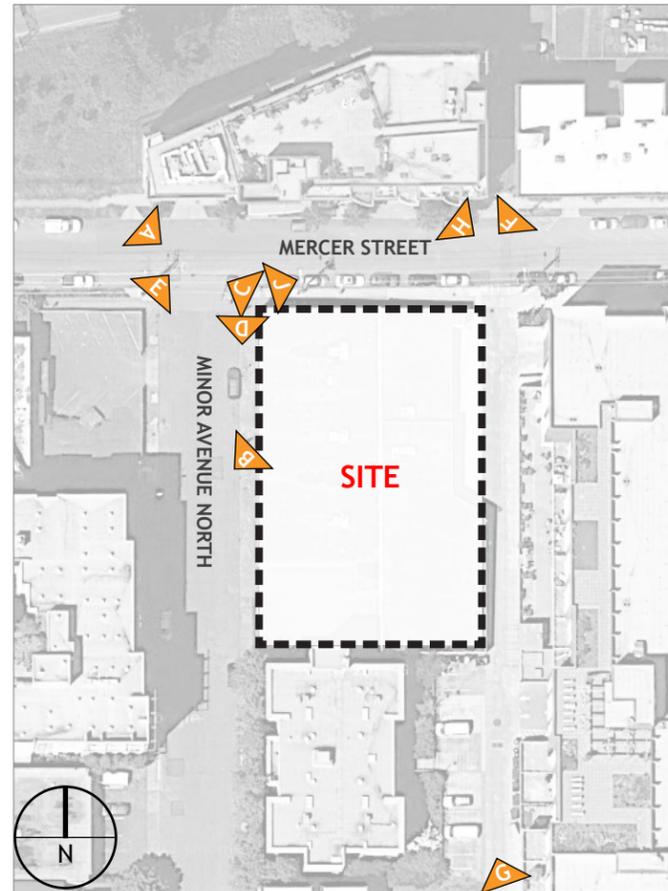
In the center of the neighborhood is the Cascade P-Patch and Playground, where longtime community members and newcomers interact.

**LEGEND**

- ARTERIAL 
- BUS ROUTE 
- STREETCAR 



# SITE IMAGES



A



B



C



D



E



F



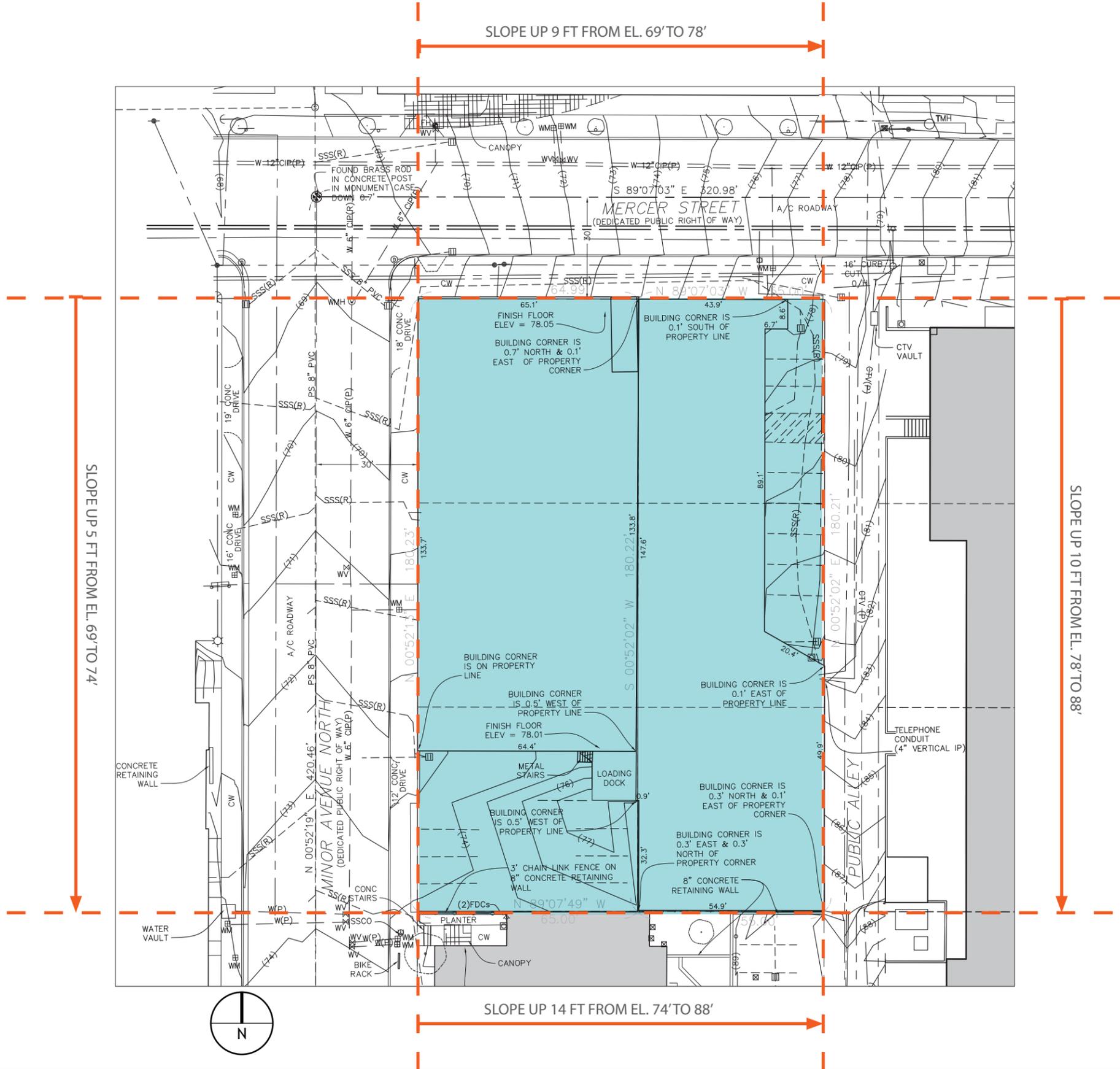
G



H



J



**SITE AREA**  
 Site contains 21,626 sf with 180 feet of frontage on Minor Avenue N, 120 feet of frontage on Mercer Street, and abuts an alley on the east.

**TOPOGRAPHY**  
 The site slopes from 88'-0" in the SE corner to 69'-0" in the NW corner with a difference of 19'-0".

**TREE SURVEY**  
 There are no trees on the site.

**EXISTING BUILDINGS**  
 Two one-story buildings to be demolished.

## RESPONSE TO DESIGN GUIDELINES



### A-6 :: TRANSITION BETWEEN RESIDENCE AND STREET SOUTH LAKE UNION GUIDELINE

For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

#### RESPONSE

The Residence-to-Street transition shall provide for safety and comfort and also activate and enhance a pedestrian-friendly gathering environment, both indoor and outdoor at the street level. A lighting scheme shall also be designed to enhance safety and provide for visually appealing areas to strengthen and enhance the residential character of the neighborhood.



### A-7 :: RESIDENTIAL OPEN SPACE

Residential projects should be sited to maximize opportunities for creating usable, attractive, well integrated open space.

#### RESPONSE

The preferred scheme shall include a shared central courtyard and a rooftop garden which will be enhanced with both visual and functional landscaping, elements such as benches, trash receptacles, etc., and appropriately designed lighting, and views to Lake Union. The Interior of the development will include amenity space that could accommodate various sized groups of people and functions.



### A-10 :: CORNER LOTS

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

#### RESPONSE

The main resident entry will be located on the northwest corner of the site at the intersection of Mercer Street and Minor Avenue N. The architectural language at this corner will highlight the significance of this corner as an entry point to the neighborhood. Access to underground parking will be from the alley.



### B-1 :: HEIGHT, BULK AND SCALE COMPATIBILITY

Projects should be compatible with the scale of development anticipated by the applicable Land-Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

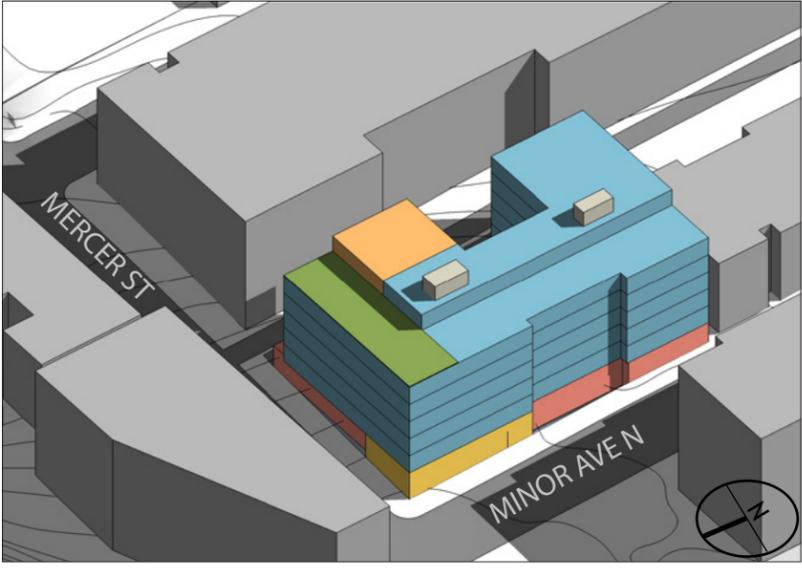
#### RESPONSE

The proposed design will include articulation and modulation to visually break up the mass of the building. Architectural features will also be used to help reduce the building scale. Street level setback will help to reduce bulk and scale of the building on the pedestrian level.

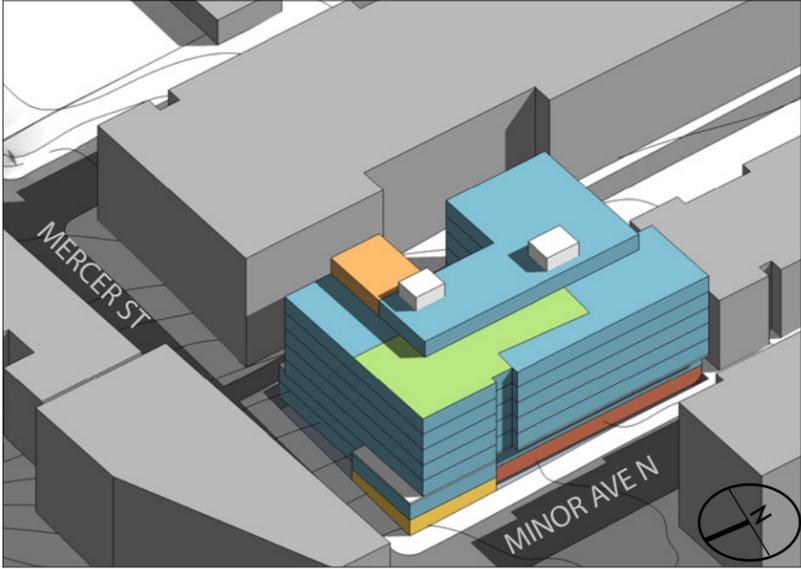
FEASIBLE MASSING OPTIONS



MASSING OPTION 1  
CODE COMPLIANT

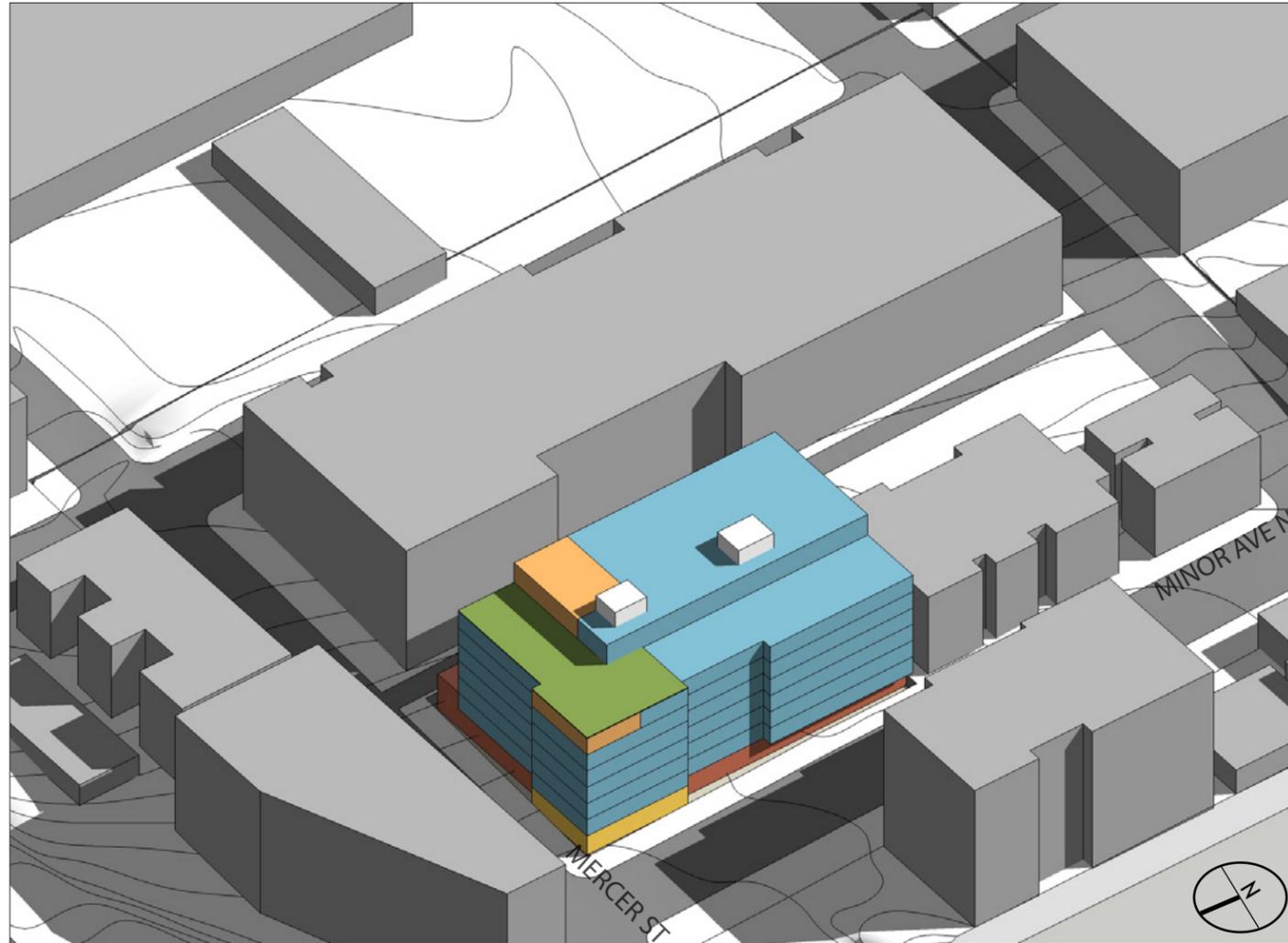


MASSING OPTION 2



MASSING OPTION 3 | PREFERRED

# MASSING OPTION 1



### COLOR LEGEND

- Exterior Amenity
- Amenity Space
- Live / Work
- Residential
- Leasing / Lobby

### AREA SUMMARY

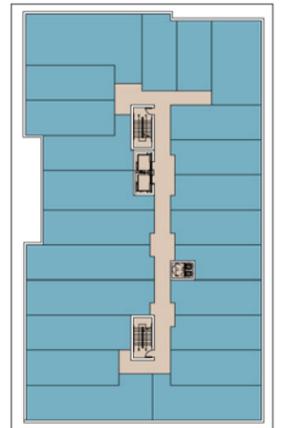
Gross Area	156,250 sf
Number of Units (Include 9 Live/Work Units)	152
Parking Count	68 / .44 ratio

### PROS & CONS OF MASSING

- Pros**
- Emphasizes NW corner
  - Does not require a departure from upper-level setback
- Cons**
- Massing creates long, narrow units with poor daylighting
  - Bulky massing on alley facade



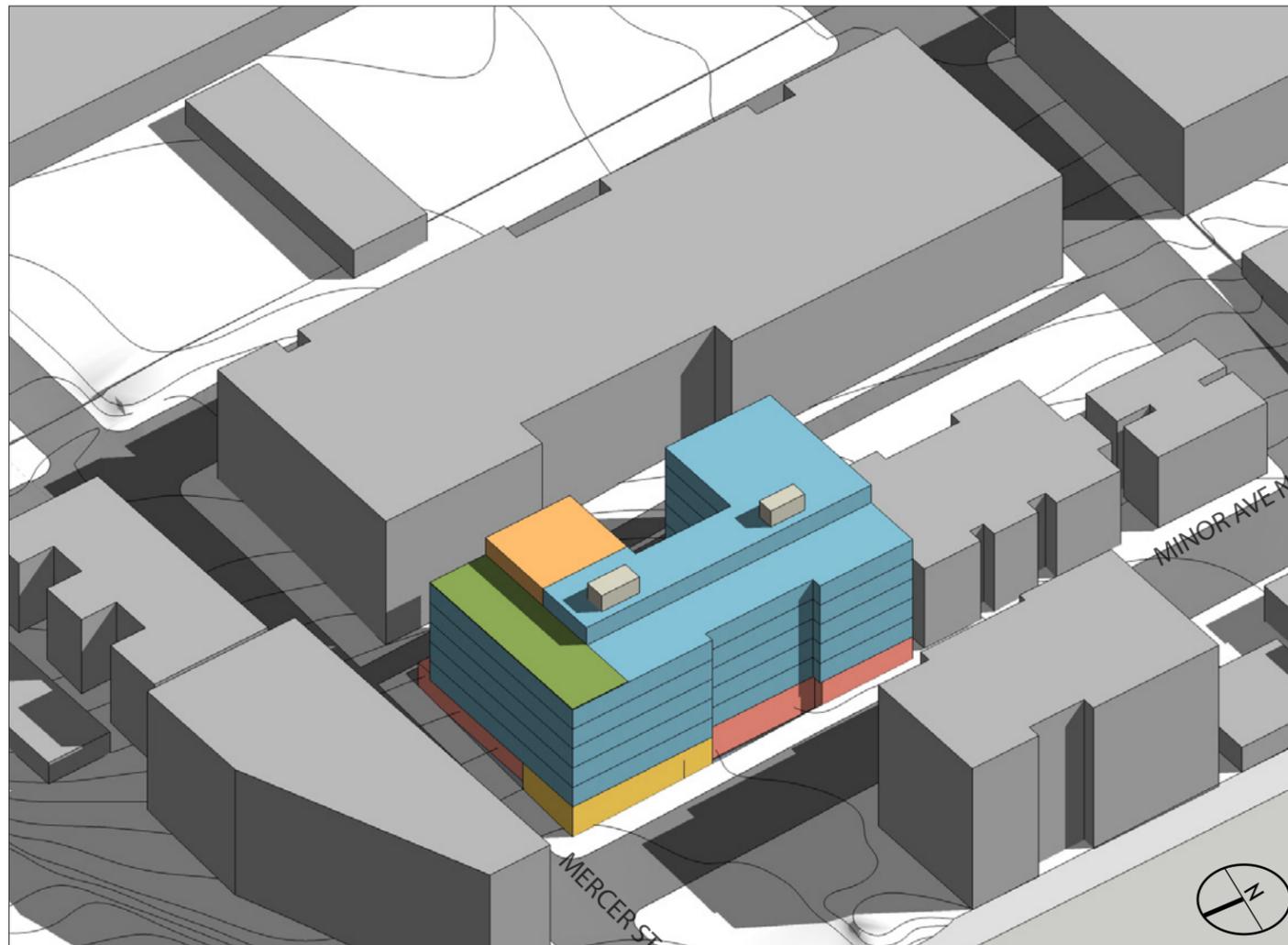
**SITE PLAN**  
SCALE: 1" = 80'-0"



**TYPICAL PLAN**  
SCALE: 1" = 80'-0"



# MASSING OPTION 2



### COLOR LEGEND

- Exterior Amenity
- Amenity Space
- Live / Work
- Residential
- Leasing / Lobby

### AREA SUMMARY

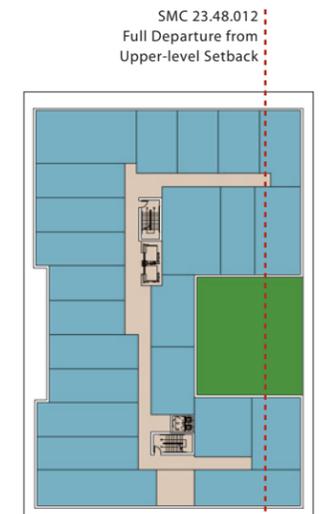
Gross Area	155,710 sf
Number of Units (Include 9 Live/Work Units)	150
Parking Count	68 / .45 ratio

### PROS & CONS OF MASSING

- Pros**
- Quiet courtyard on alley side
  - Emphasizes NW corner
- Cons**
- Massing requires a full departure from upper-level setback to meet project goals. (SMC 23.48.012)



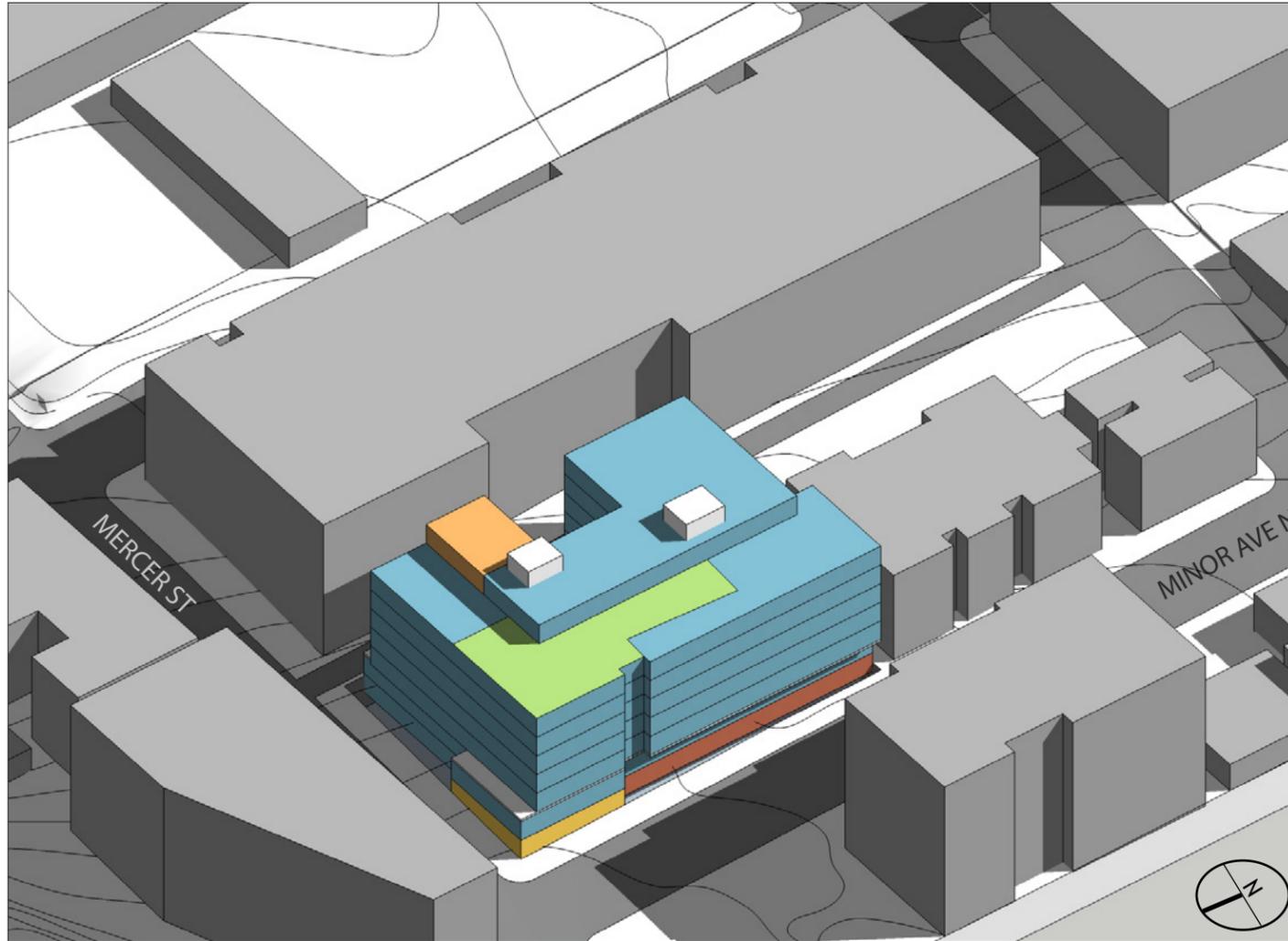
**SITE PLAN**  
SCALE: 1"= 80'-0"



**TYPICAL PLAN**  
SCALE: 1"= 80'-0"



# MASSING OPTION 3 | PREFERRED



### COLOR LEGEND

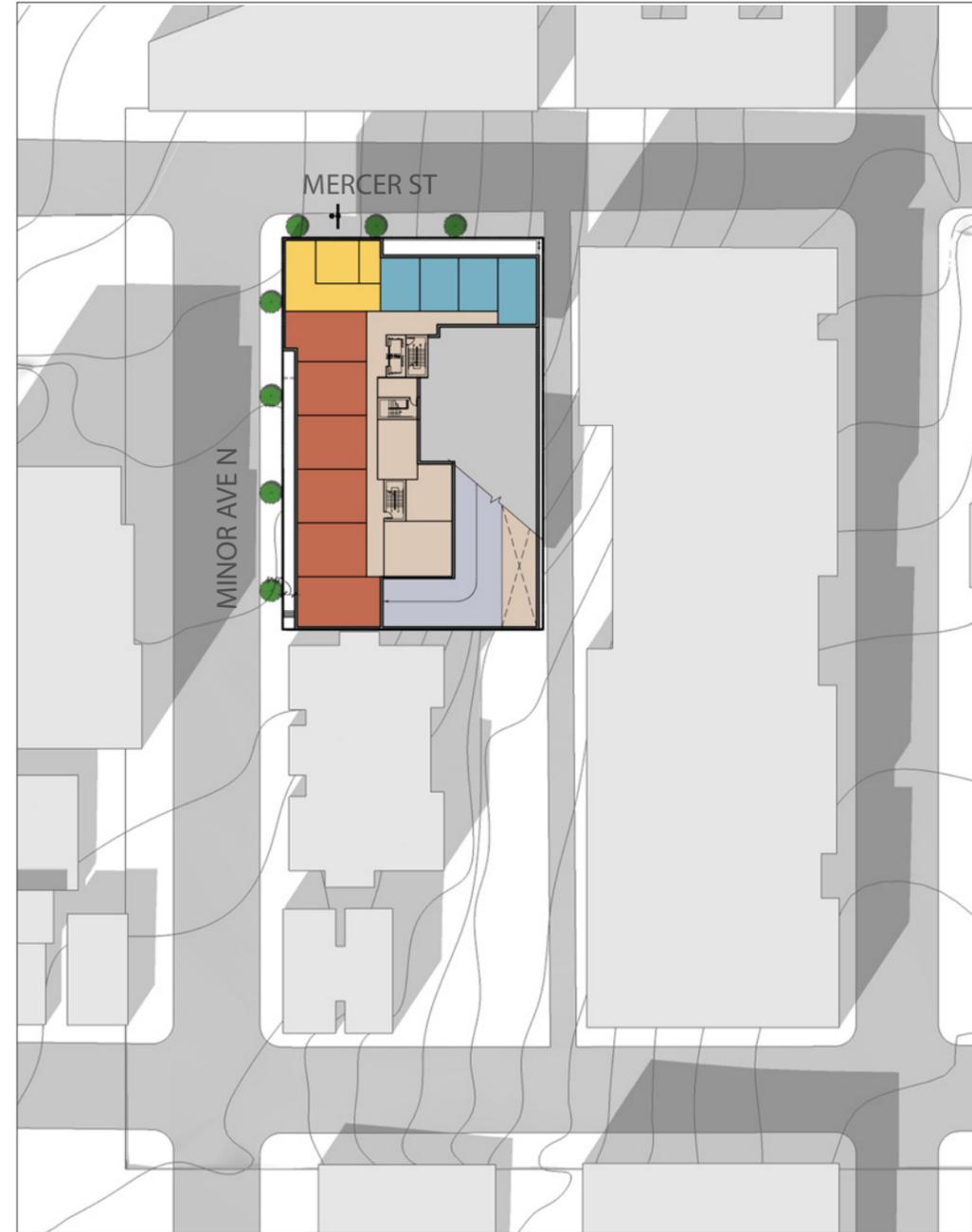
- Exterior Amenity
- Amenity Space
- Live / Work
- Residential
- Leasing / Lobby

### AREA SUMMARY

Gross Area	150,440 sf
Number of Units (Include 9 Live/Work Units)	139
Parking Count	105 / .76 ratio

### PROS & CONS OF MASSING

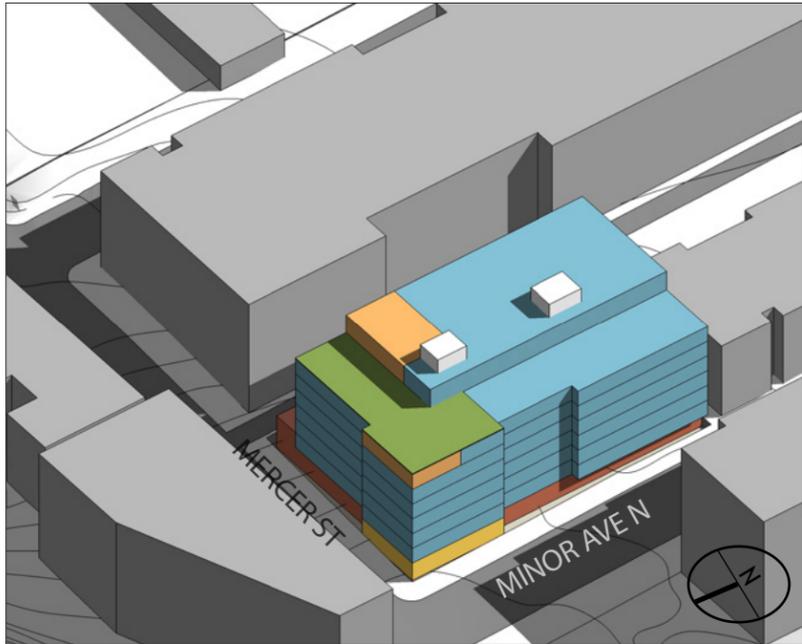
- Pros**
- Provides shared outdoor amenity space above street level on Level 3.
  - Decreases bulk and scale of massing on street level and alley
  - Courtyard activates alley
- Cons**
- Requires a partial departure from upper-level setback SMC 23.48.012



**TYPICAL PLAN**  
SCALE: 1" = 80'-0"

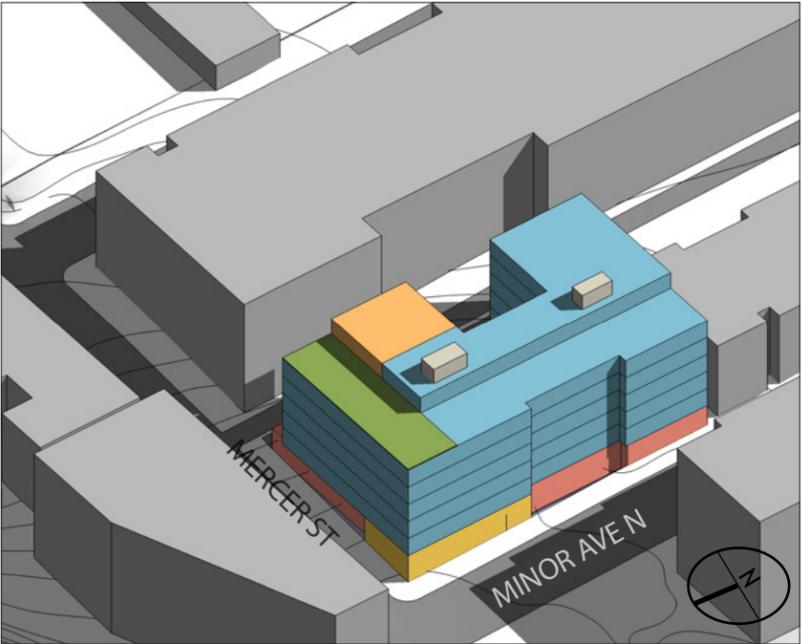


COMPARISON OF MASSING OPTIONS



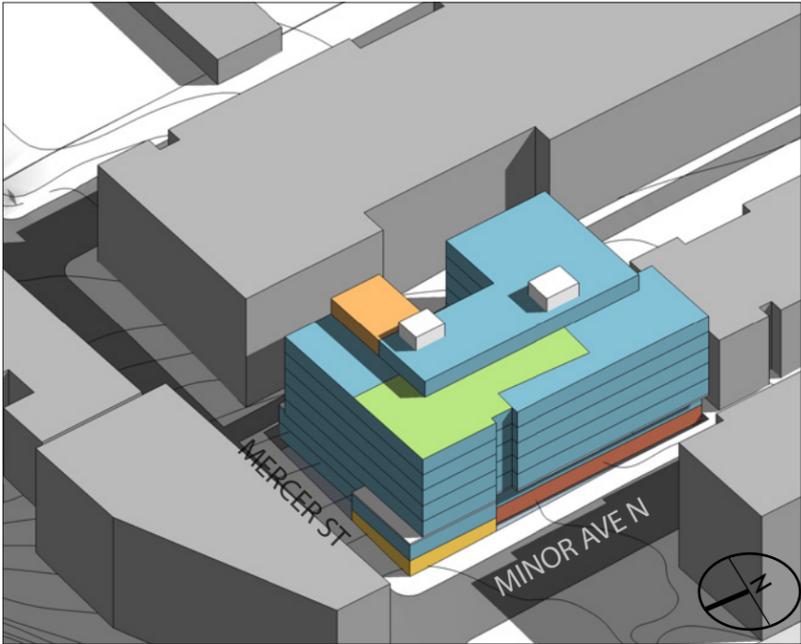
MASSING OPTION 1

AREA SUMMARY		PROS & CONS OF MASSING	
Gross Area	156,250 sf	<b>Pros</b> Emphasizes NW corner Does not require a departure from upper-level setback	<b>Cons</b> Massing creates long, narrow units with poor daylighting Bulky massing on alley facade
Number of Units (Includes Live/Work Units)	152		
Parking Count	68 / .44 ratio		



MASSING OPTION 2

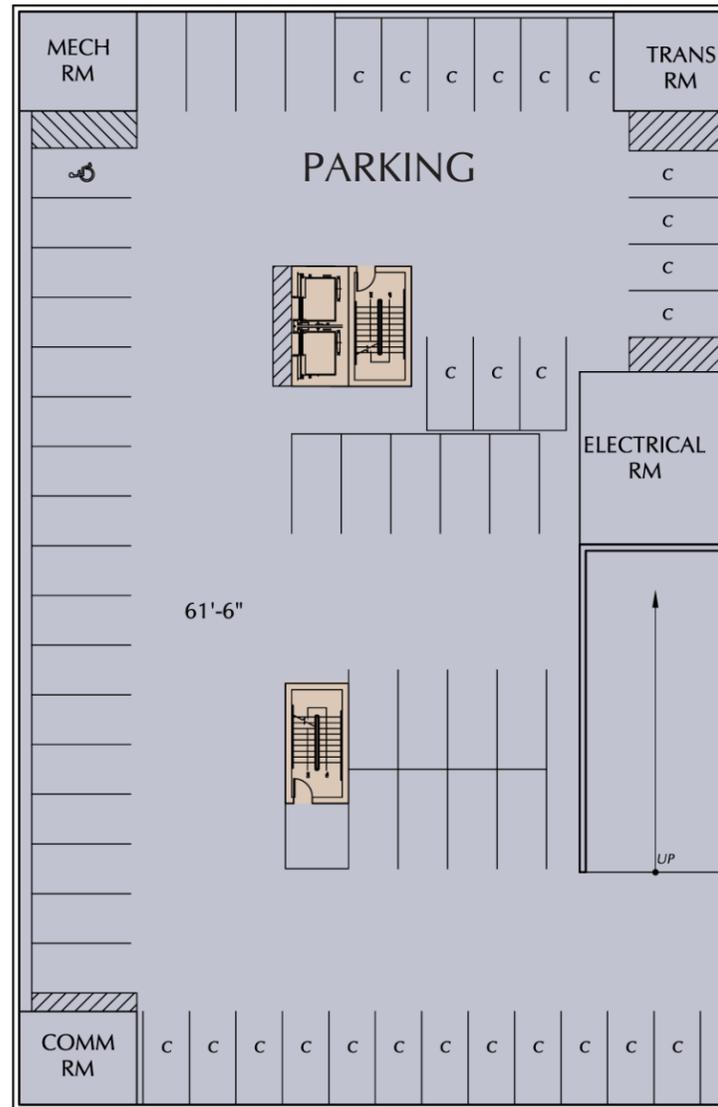
AREA SUMMARY		PROS & CONS OF MASSING	
Gross Area	155,710 sf	<b>Pros</b> Quiet courtyard on alley side Emphasizes NW corner	<b>Cons</b> Massing requires a full departure from upper-level setback to meet project goals SMC 23.48.012
Number of Units (Includes Live/Work Units)	150		
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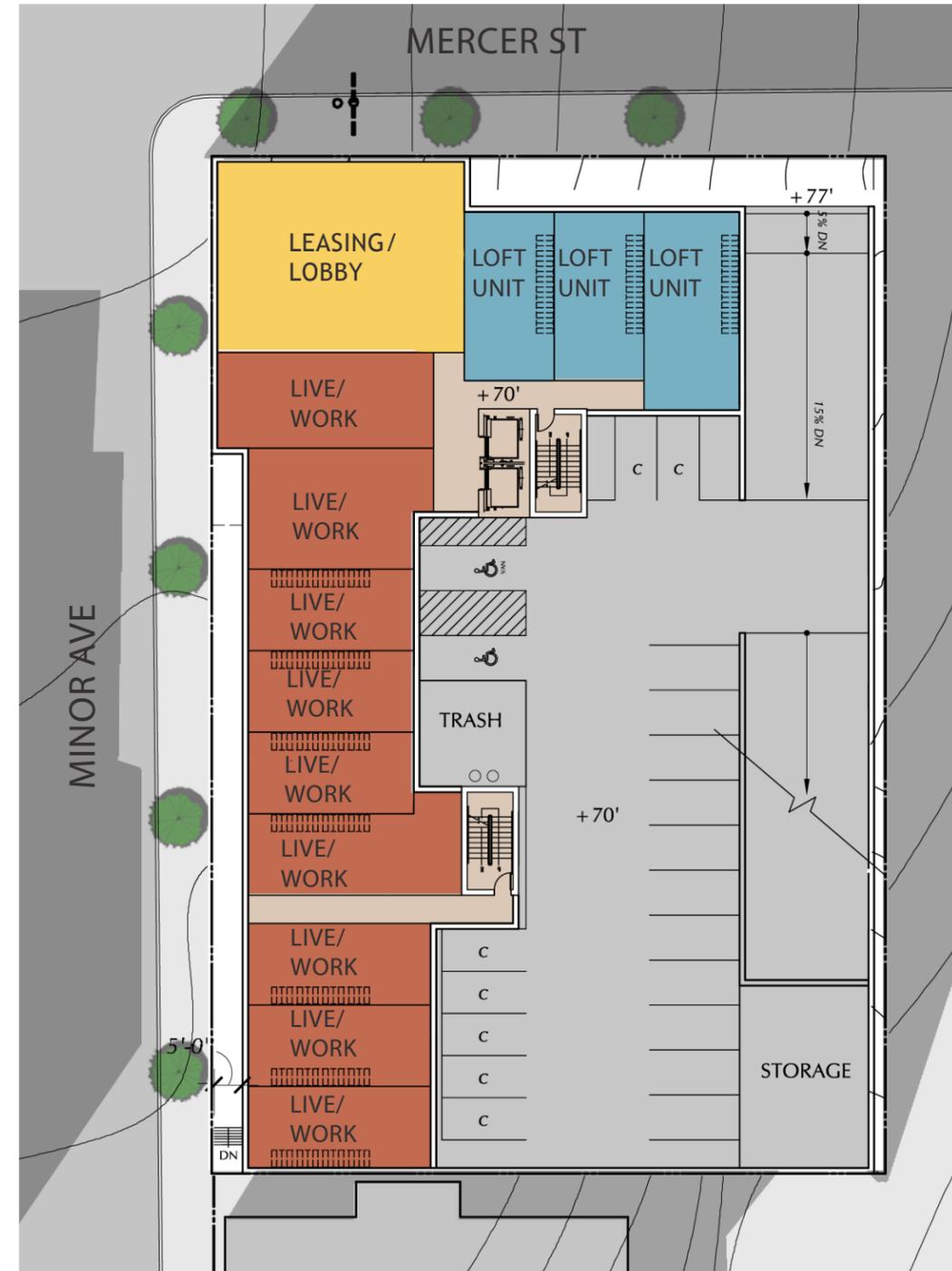
MASSING OPTION 3 | PREFERRED

AREA SUMMARY		PROS & CONS OF MASSING	
Gross Area	150,440 sf	<b>Pros</b> Provides shared outdoor amenity space above street level on Level 3. Decreases bulk and scale of massing on street level and alley Courtyard activates alley	<b>Cons</b> Requires a partial departure from upper-level setback SMC 23.48.012
Number of Units (Includes Live/Work Units)	139		
Parking Count	105 / .76 ratio		

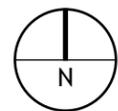
PREFERRED OPTION PLANS



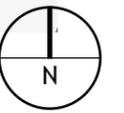
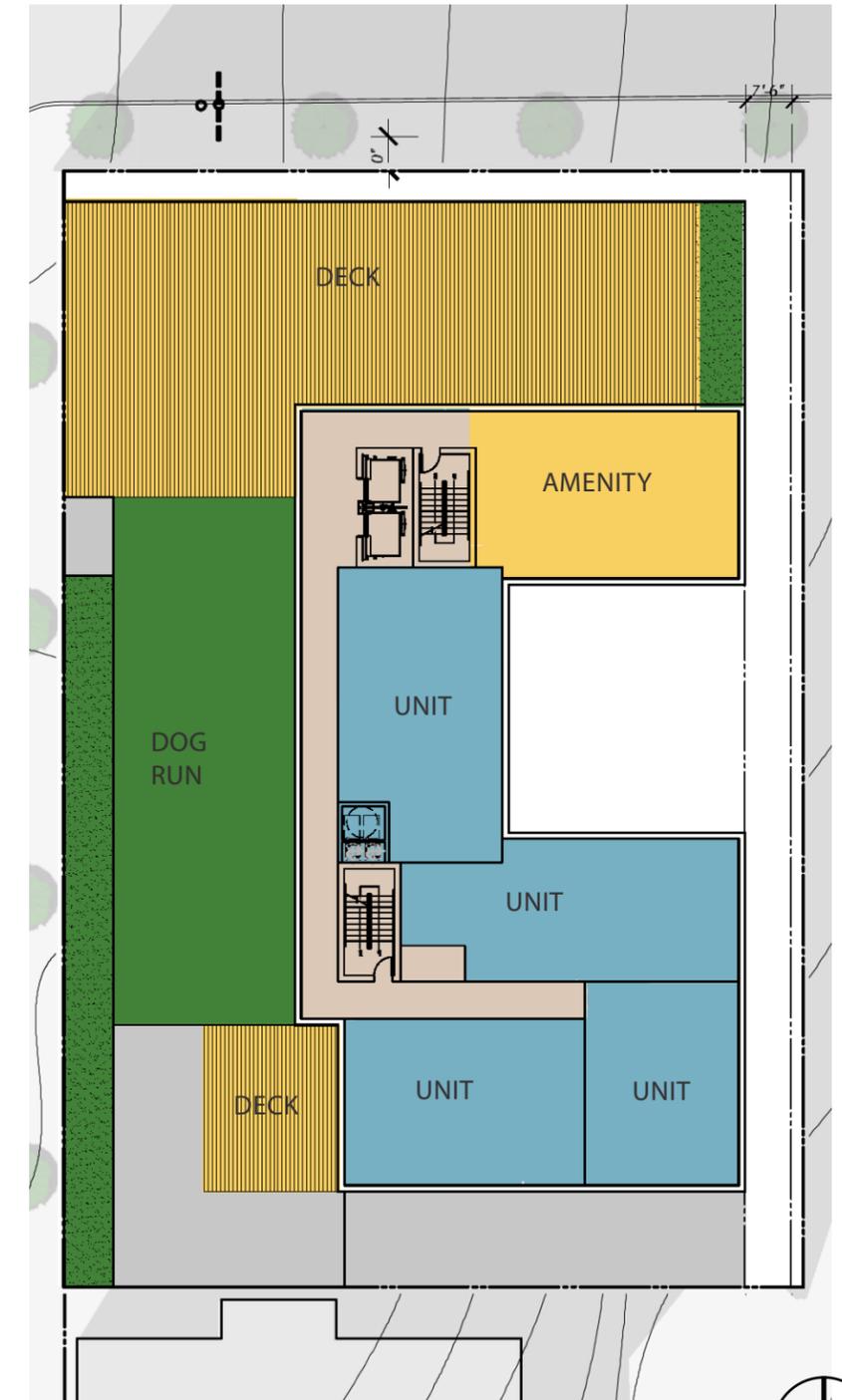
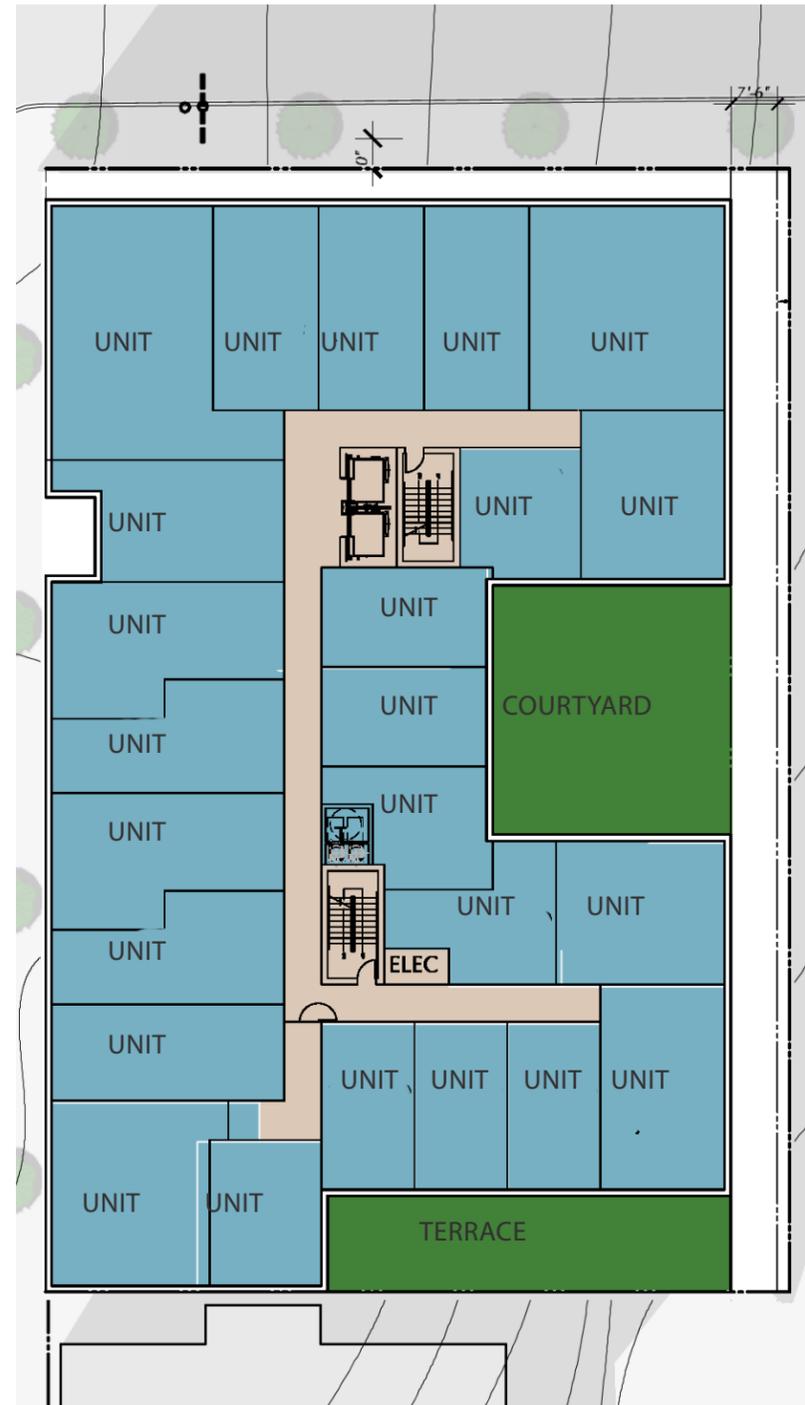
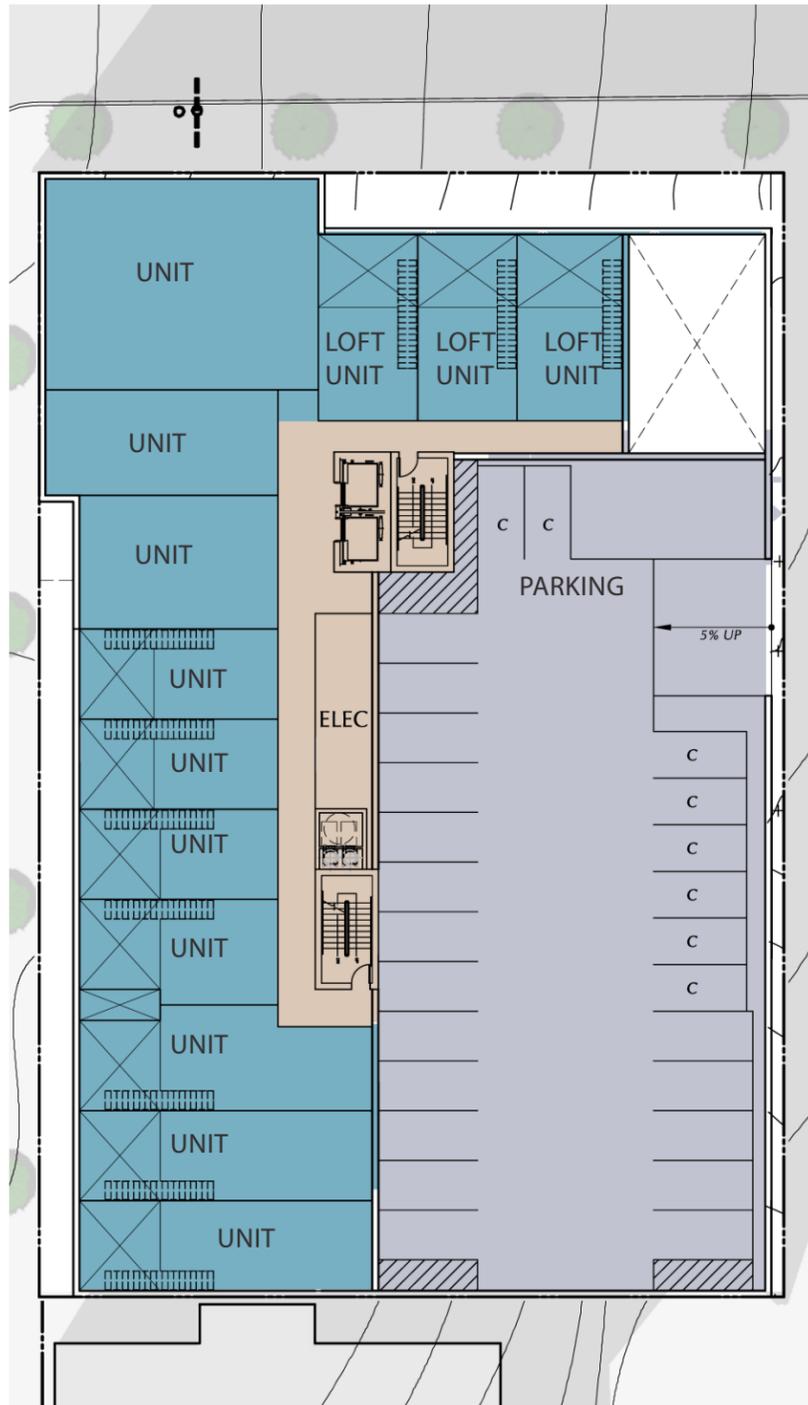
PARKING PLAN



GROUND FLOOR PLAN



PREFERRED OPTION PLANS



LEVEL 02

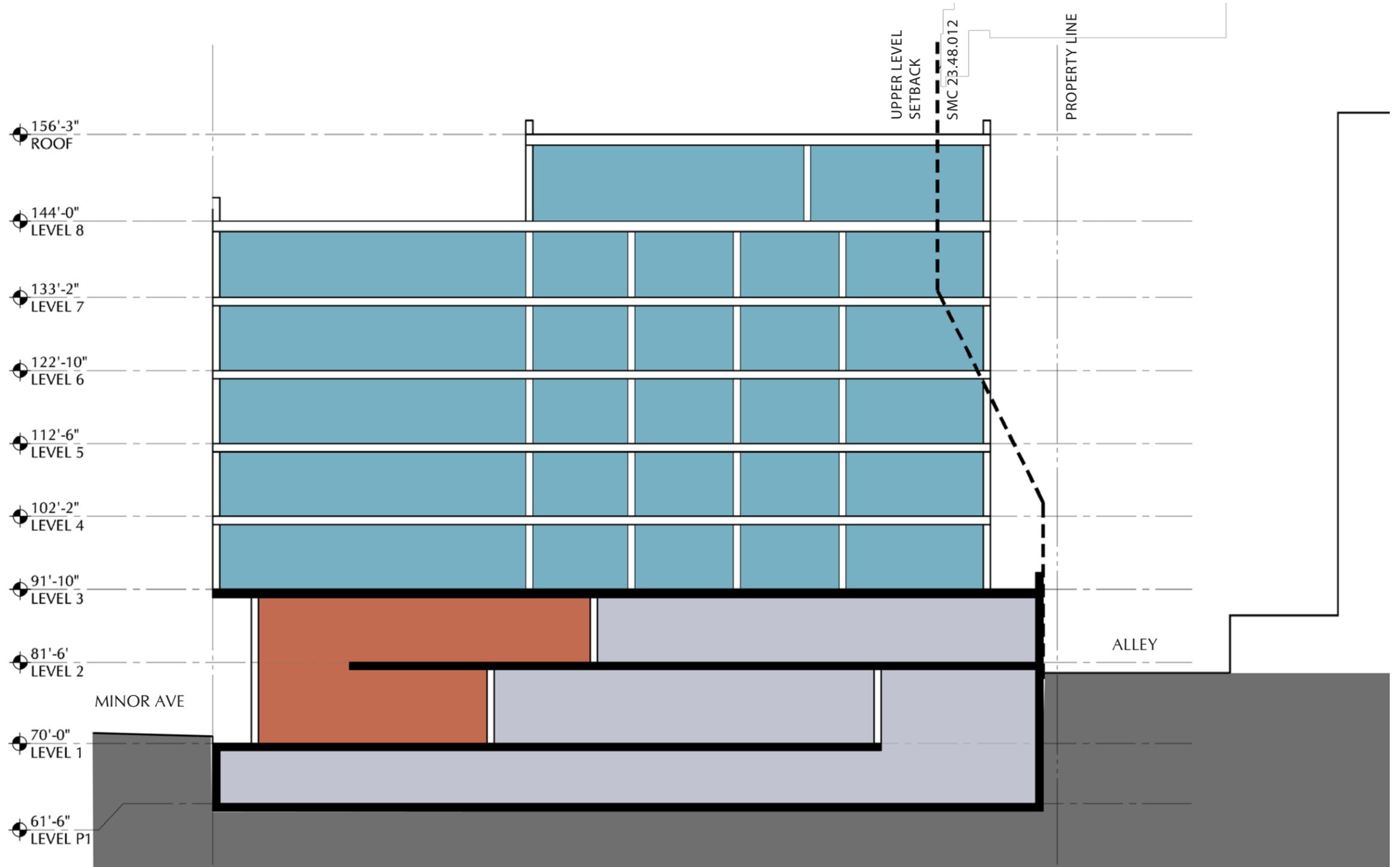
LEVEL 03-07

PENTHOUSE LEVEL

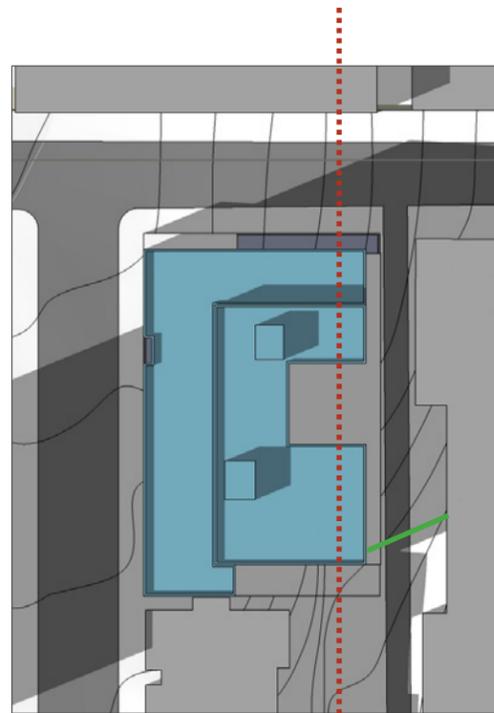
# SECTION

## COLOR LEGEND

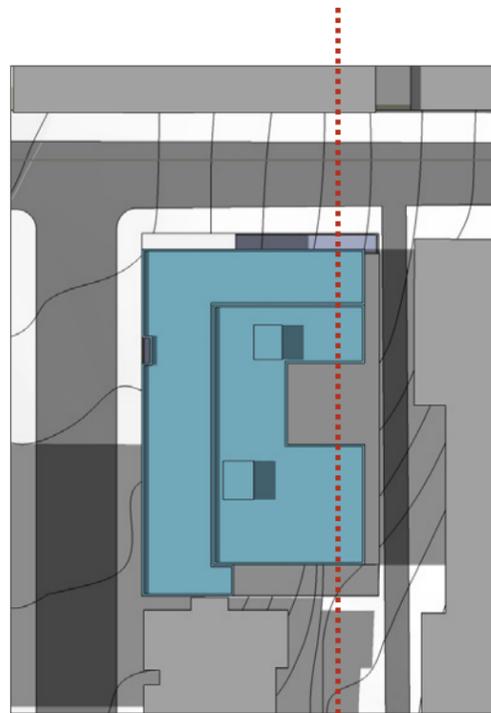
- Parking
- Live / Work
- Residential



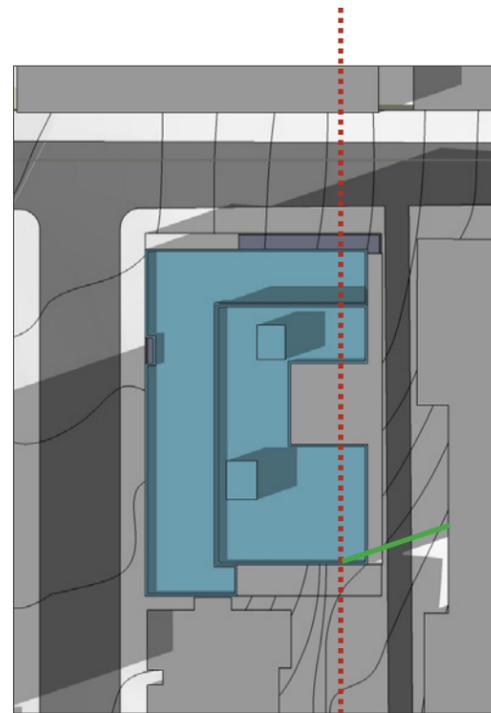
# SHADOW STUDY



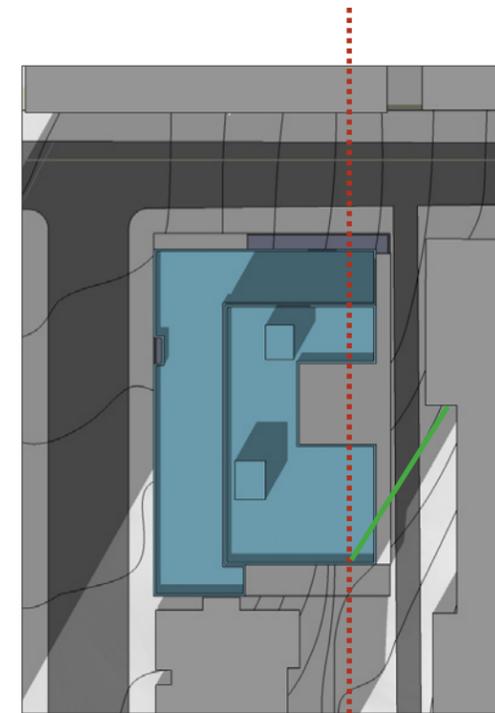
MARCH 21 :: 3 PM



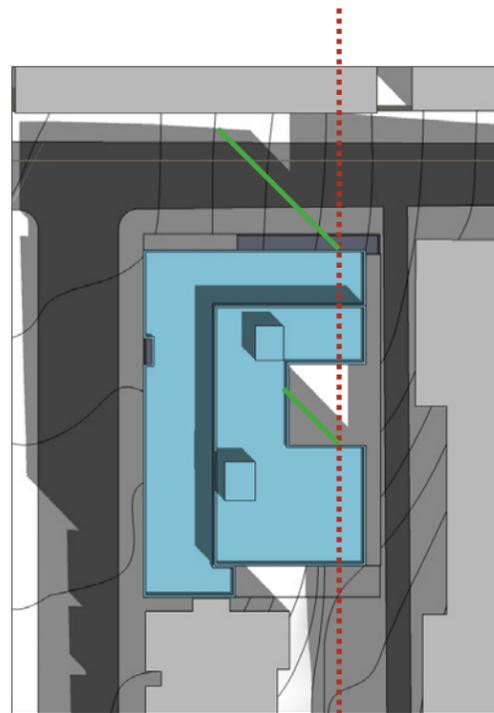
JUNE 21 :: 3 PM



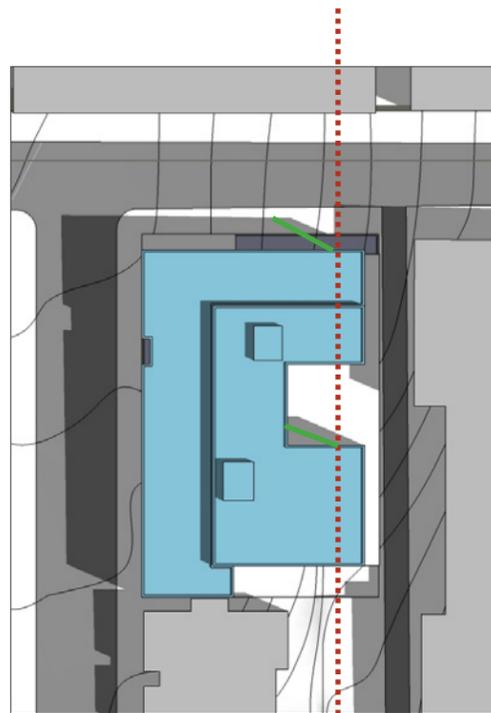
SEPTEMBER 21 :: 3 PM



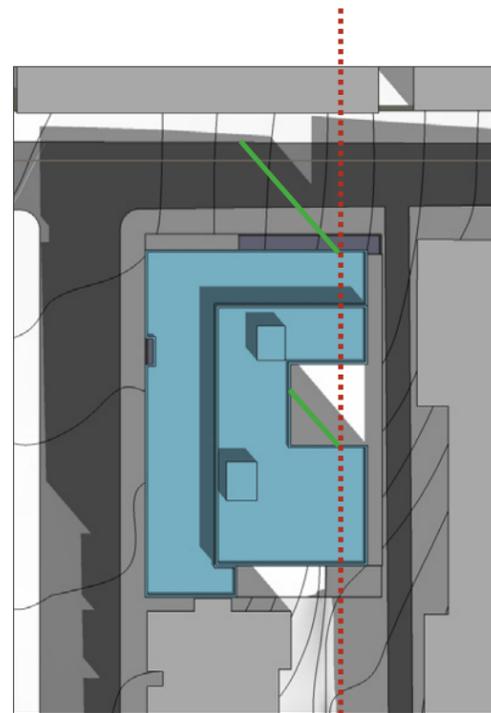
DECEMBER 21 :: 3 PM



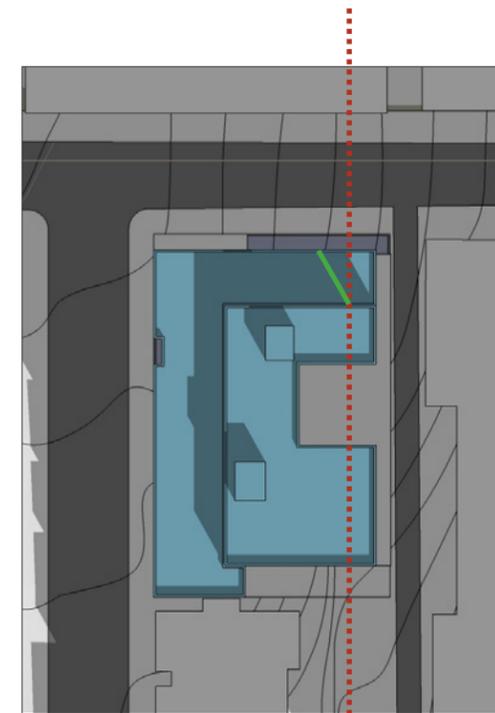
MARCH 21 :: 9 AM



JUNE 21 :: 9 AM



SEPTEMBER 21 :: 9 AM



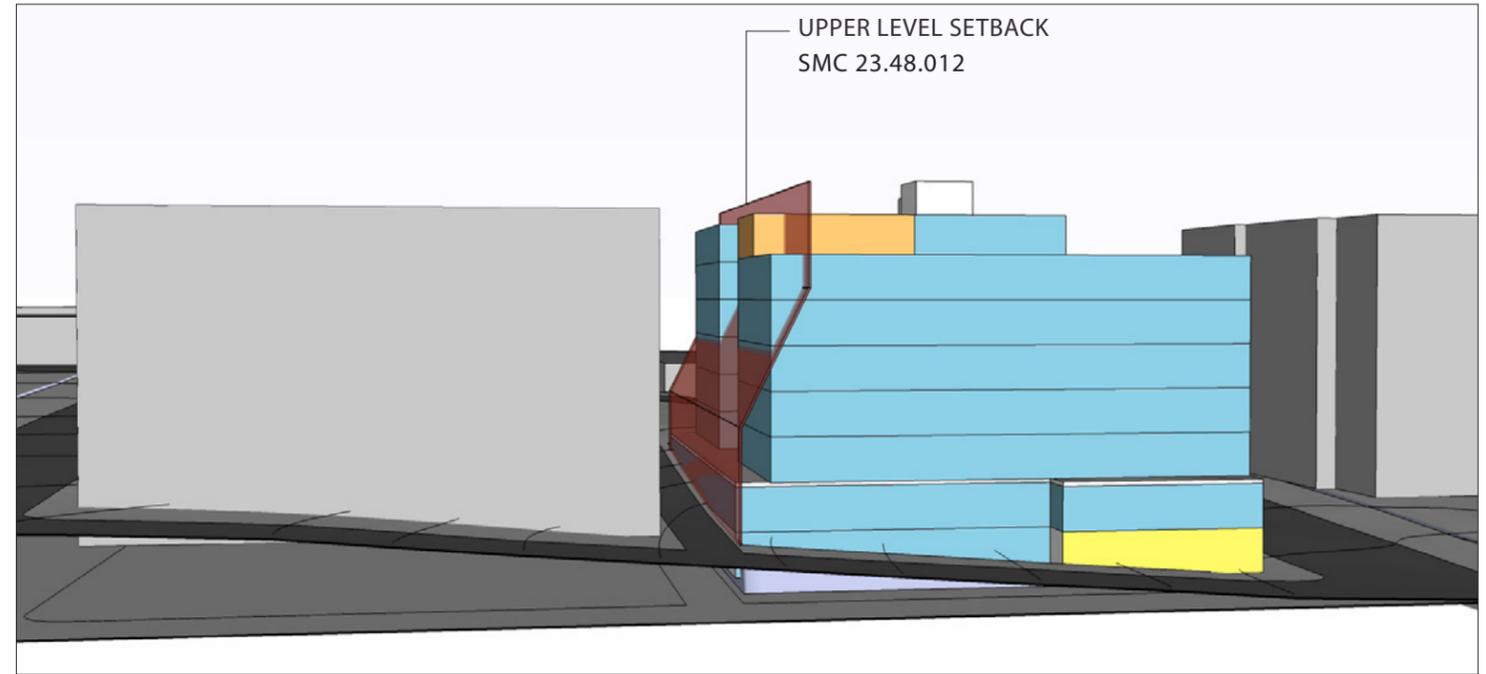
DECEMBER 21 :: 9 AM

## LEGEND

-  Shadow line from code-compliant building
-  Full Departure from Upper-level Setback (SMC 23.48.012)



EXISTING ALLEY CONDITION FACING SOUTH



**SMC 23.48.012.A.3 & B :: UPPER-LEVEL SETBACK**

2. Structures on lots abutting an alley in the SM/R designated area shall provide an upper-level setback for the facade facing an alley, for any portion of the structure greater than 25-feet in height.

B. Upper-level setbacks shall be provided as follows: Any portion of the structure shall be set back at least 1-foot for every 2-feet of height above 25-feet, 45-feet, or 75-feet whichever is applicable pursuant to subsection A of this section, up to a maximum required setback of 15-feet.

**PROPOSAL**

Allow the new building to encroach 7'-6", or half of the required setback, in to the required setback. The intent of the zoning ordinance is for the protection of sun exposure on residential zones. The proposed departure would not adversely impact the adjacent residential building.

**JUSTIFICATION**

- Structural efficiency is achieved in wood construction with stacking residential units
- Allows for better residential units at all levels
- Mitigates developable area lost due to utility line clearances on the north edge of the site
- The effect on perceived height and shadows is minimal
- Encroaching halfway in the required setback redistributes buildable area lost on lower levels to the upper levels

