



Cascade Neighborhood

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Freiheit & Ho Architects



Centerra Development  
Issaquah, Washington



1200 Bellevue Way Townhomes  
Bellevue, Washington



Market Street Landing  
Ballard, Washington

Brumbaugh & Associates



Link  
West Seattle, Washington



Rollin Street Flats  
Seattle, Washington



AMLI  
Cascade Neighborhood, Seattle, Washington





Project Site: View Looking Southeast - Thomas Street & Alley



Project Site: View Looking Northwest - Corner of John Street & Minor Ave



Project Site: View Looking Southwest - Corner of Thomas Street & Minor Avenue

### Development Objectives:

To provide 279 residential market rate apartments, consisting of primarily one bedroom and studio units. Project will also include approximately 5,000 s.f. of commercial retail space related to Thomas Street. Below grade accessory parking will also be provided to support both uses.

Construction Type: Five stories of Type III-A over two stories of Type I-A.

Accessory Parking Targets: 0.8 stalls per apartment, 2.5 stalls/1000 sf. Retail.

Sustainability Goal: LEED Homes Midrise Certified

Gross area and use per floor (based on preferred "Scheme C"):

P2	43,000 sf	Parking (Approximately 140 stalls)
P1	43,000 sf	Parking (Approximately 140 stalls)
Level 1 (street level)	33,508 sf	Commercial/Retail/ 21 Apartments
Level 2	32,934 sf	43 Apartments
Level 3	32,888 sf	43 Apartments
Level 4	32,888 sf	43 Apartments
Level 5	32,888 sf	43 Apartments
Level 6	32,888 sf	43 Apartments
Level 7	32,888 sf	43 Apartments





Amazon

1



Amli 35 Apartments

2



Laundry Block

3



R.E.I.

4



Saint Spiridon Orthodox Cathedral

5



Alley 24 Apartments

6



Neighborhood Context





Mirabella

1



Cascade Park & Pea Patch

2



Immanuel Lutheran Church

3



Nine Block Perspective



Alcyone Apartments

4



Seattle Cancer Care Alliance House

5



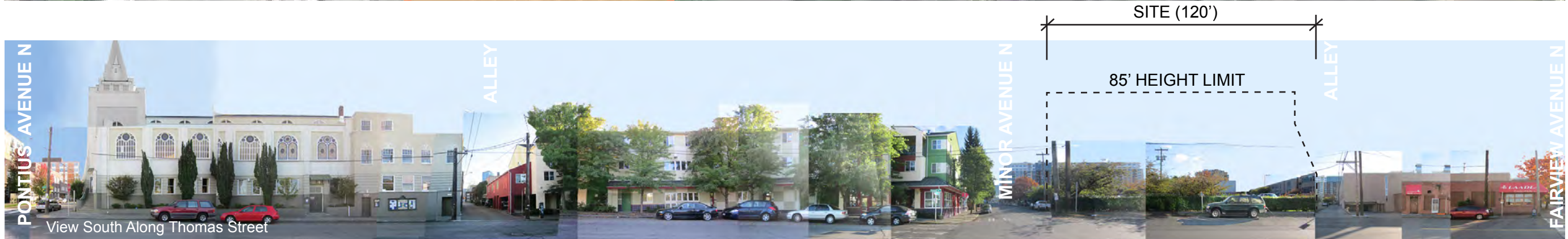
Seattle Times

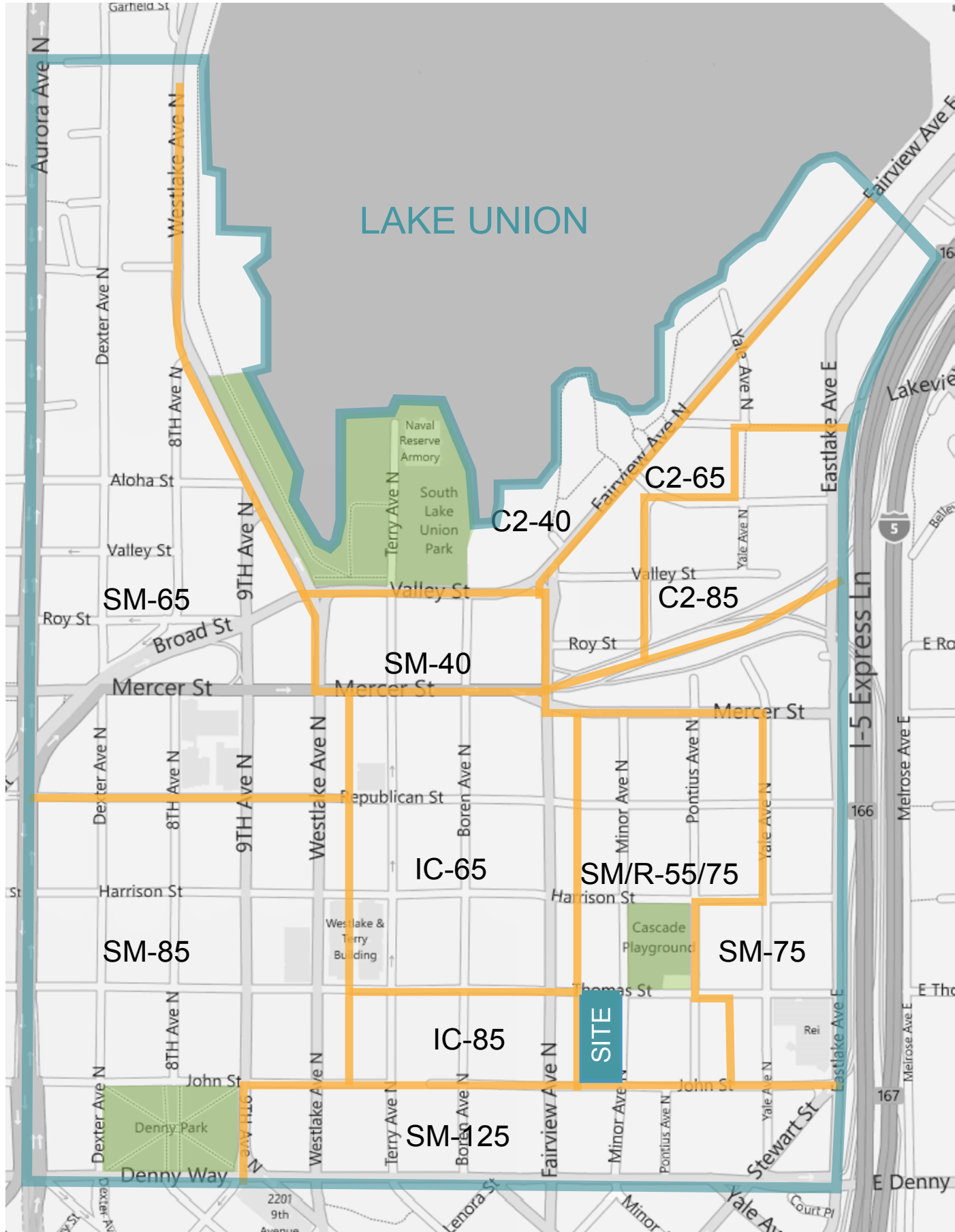
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South Lake Union Urban Center Zoning

### Zoning Summary

Zoning:	Seattle Mixed Residential SM/R 55/75
Adjacent Zoning:	North- SM/R 55/75 (existing multi-family residential) South- SM 125 (existing Senior housing) East- SM/R 55/75 (existing multi-family residential and commercial) West- IC 85 (existing office building)

General Structure Height 23.48.010 B: Within the South Lake Union Urban Center, the maximum structure height in zones with 65 foot and 75 foot height limits may be increased to 85 feet when requirements of 23.48.010 B1, 2, 3 & 4 are satisfied.

General Structure Height 23.48.010 B1, 2, 3 & 4: A minimum of two floors in the structure have a floor to floor height of at least 14 feet; and the additional height is used to accommodate mechanical equipment; and the additional height permitted does not allow more than six floors in zones with a 65 foot height limit, or more than seven floors in zones with a 75 foot height limit; and height limit provisions of section 23.48.06.A.1.b.

Structure Height South Lake Union Urban Center 23.86.006 B: All measurements shall be taken vertically from existing or finish grade, whichever is lower, to the highest point of structure located above each point of measurement.

Rooftop Features 23.48.010 E: Pitched Roofs: Top of ridge of pitched roofs with minimum slope of 6:12 may extend 10' above height limit; 4:12 slope may extend 5' above height limit. No portion of a shed roof shall be permitted under this provision.

Rooftop Features 23.48.010 F2: Open railings, planters, clerestory, parapets may extend 4' above height limit.

Rooftop Features 23.48.010 F4: Rooftop features may extend up to 15' above maximum height limit. Stair and elevator penthouses and screened mechanical equipment are limited to maximum 25% roof coverage.

Rooftop Features 23.48.010 F6: At applicants option, combined total coverage of roof features may be increased to 65% provided no features are located any closer than 10' from roof edge.

Upper Level Setbacks 23.48.012 A1 & A2: Setback off of Thomas Street (Class 2 Pedestrian Street) required above 45' height. Setback off Alley above 25' height.

Upper Level Setbacks 23.48.010 B: Setbacks must be 1' for every 2' of height, up to maximum of 15' setback.

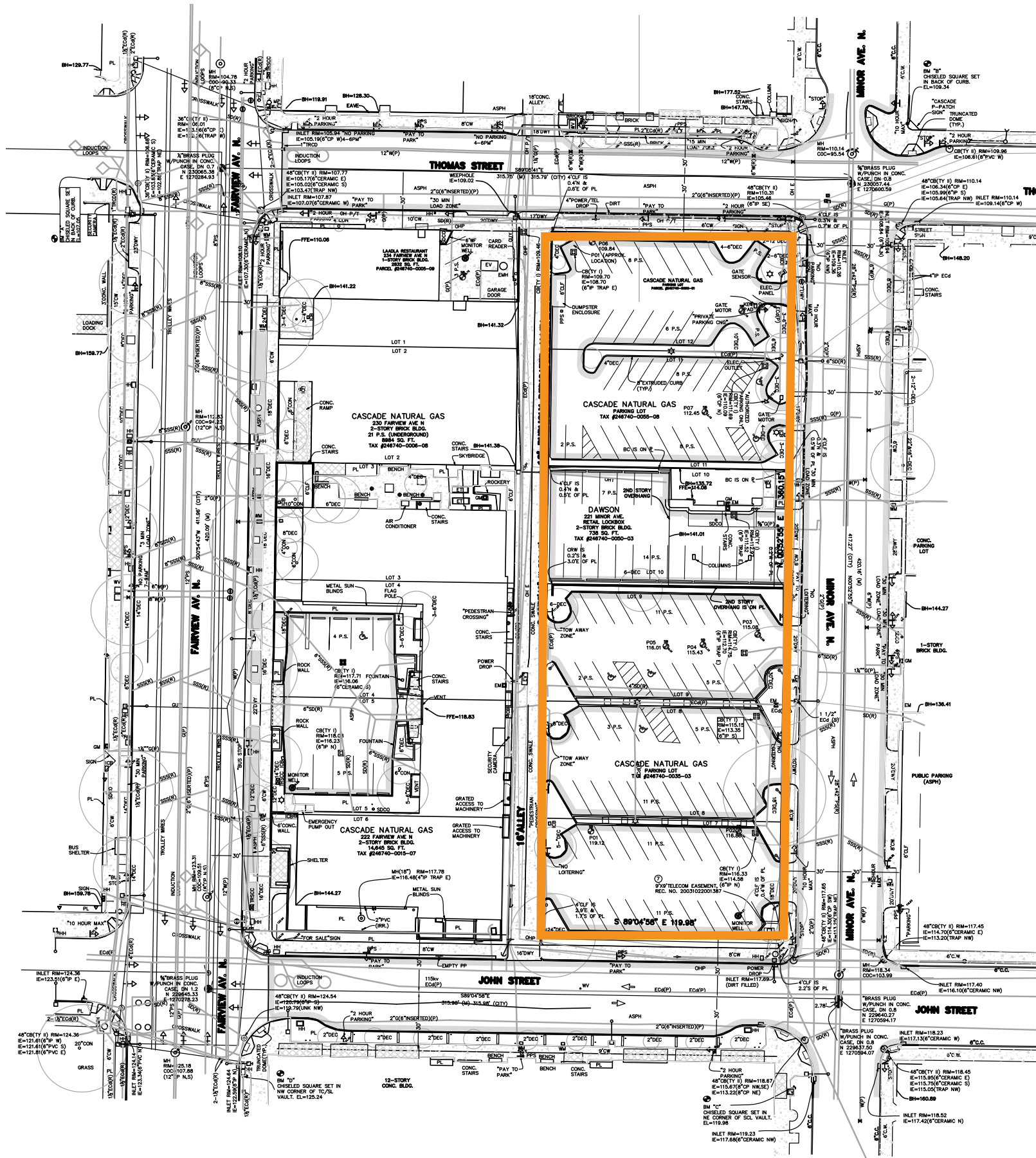
Building Entrance 23.48.014 A: Entrance must be off street or street-oriented courtyard and shall be no more than 3' above or below sidewalk grade.

Minimum Façade Height 23.48.014 B2: Thomas Street (Class 2 Pedestrian Street) 25' height minimum.

Minimum Façade Height 23.48.014 B3: All other street facades must be 15' height minimum.

Street Level Setback 23.48.014 D: Structures may be setback up to 12' from street, 30% of façade may be setback further as long as no closer than 20' from any street corner. The setback area shall be landscaped per 23.48.024.





Site Survey

## Zoning Summary (continued)

Transparency and Blank Façade Requirements 23.48.018 A1a & A1b: Transparency: 60% of Thomas Street, 30% at all other streets, residential use exempt. Applies to façade area between 2' and 8' above sidewalk.

Transparency and Blank Façade Requirements 23.48.018 B2a & B3a: Blank Façade: 15' segment widths, 30' max segment widths with screening (art, architectural element, landscaping) at Thomas Street. 30', 60' max segment widths with screening at all other streets.

Residential Amenity Area 23.48.020 A: 5% of total gross residential floor area.

Residential Amenity Area 23.48.020 B2: Max 50% amenity area may be enclosed.

Residential Amenity Area 23.48.020 B3: Minimum amenity area is 225 sf with a minimum horizontal dimension of 15'.

Screening & Landscaping Standards 23.48.024 A2: Setback areas must be landscaped with trees, shrubs, and grass or evergreen groundcover.

Screening & Landscaping Standards 23.48.024 C1 & C3: Street trees required in all planting strips. If it is not feasible to plant street trees per City standards, either a five foot deep landscaped setback shall be required, or landscaping other than trees may be located in the planting strip.

Required Loading 23.54.035 B1: Off street loading bay may be waived for uses under 16,000 s.f. with alley or street loading space

Loading Berth 23.48.032 C: Access to berth and truck is parallel to alley (exhibit 23.47A.014D), a setback of 12' measured from centerline of alley, maintain a clear height of 16'

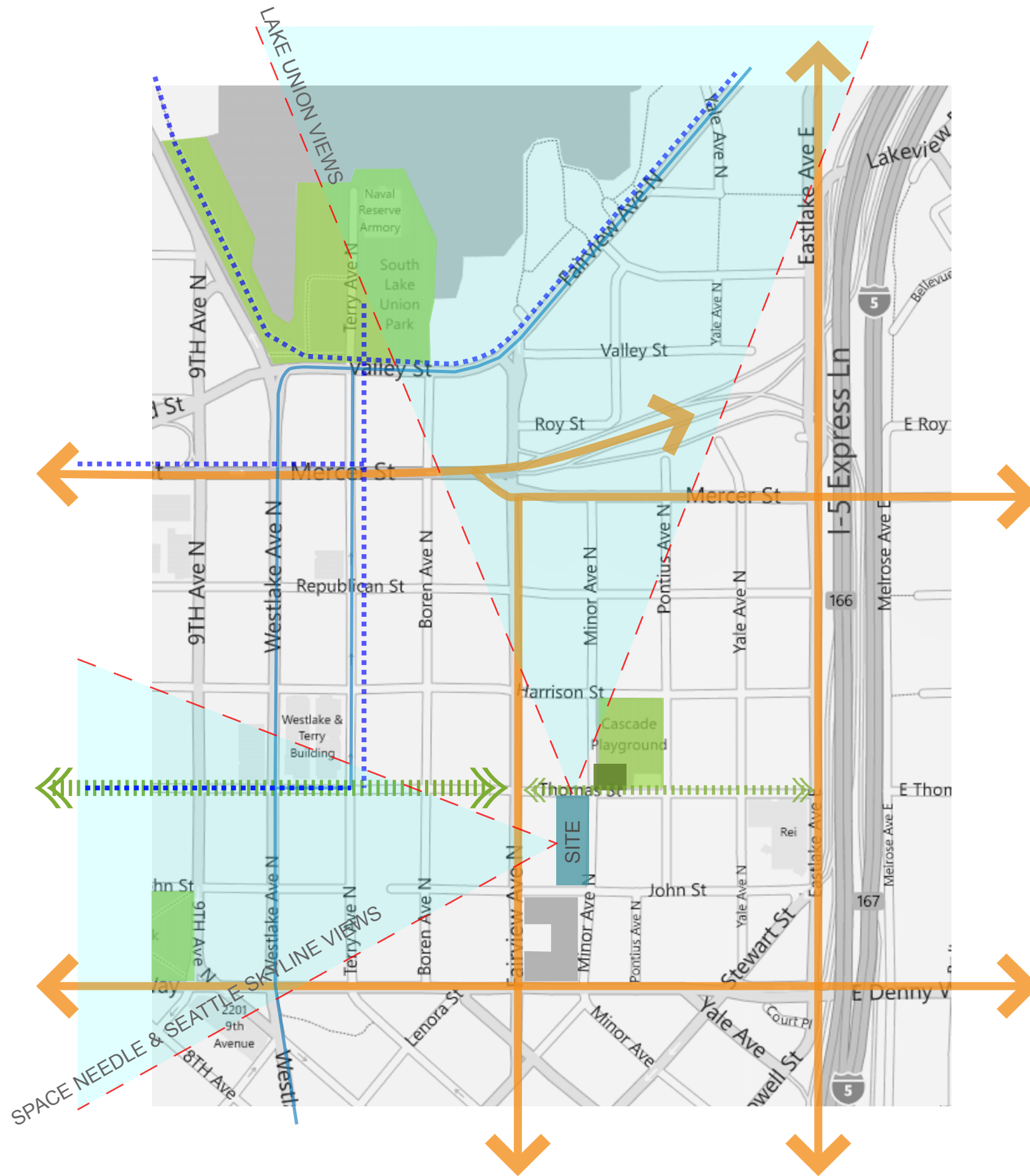
Loading Access 23.48.34 C1 & C2: Access to parking and loading shall be from alley, or east west oriented street.

Required Minimum Right-of-Way Widths for Existing Alleys 23.53.030 D1: 20' minimum alley width, (2' dedication required each side of alley based on 16' alley)

Structural Building Overhangs 23.53.035 A1: Vertical clearance shall be minimum of 8' from sidewalk or 26' from alley.

Structural Building Overhangs 23.53.035 A4: Vertical bay (projecting) windows, balconies and similar features that increase floor area shall be limited as follows: a) maximum horizontal projection shall be 3'; b) glass area of each bay window or open options of each balcony shall not be less than 50% of sum of area of vertical surface of such bay window or balcony; c) maximum length of each bay or balcony shall be 15 linear feet.





### LEGEND

- PEA PATCH
- PARK
- GREEN STREET
- UPPER LEVEL VIEWS
- TRANSIT ROUTES
- SOUTH LAKE UNION STREETCAR
- BICYCLE ROUTES

Transportation and Amenity Map



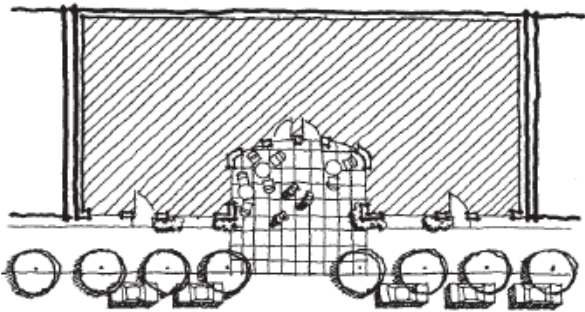
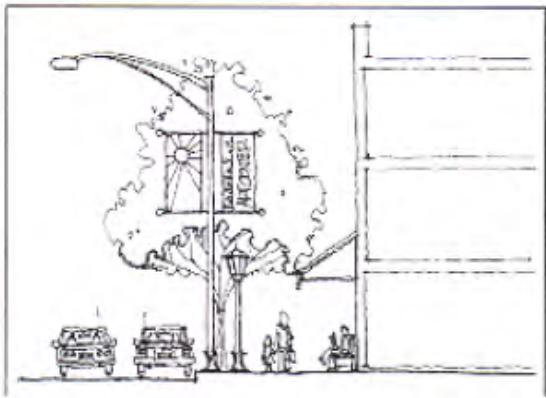
A-2 STREETSCAPE  
COMPATIBILITY

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

South Lake Union Neighborhood  
Guidelines

The vision for street level uses in South Lake Union is a completed network of sidewalks that successfully accommodate pedestrians.

- Sidewalk-related spaces should appear safe, welcoming and open to the general public.
- Pedestrian-friendly streetscape amenities:
  - Tree grates
  - Benches
  - Lighting
- Street level uses varying in size, width, and depth. Awnings and weather protection to enhance the pedestrian environment.
- Reduction in amount of commercial and retail space at the ground level. Place retail in areas that are conducive to the use and will be successful.
- Configure retail space to spill-out onto sidewalk (retaining six feet for pedestrian movement).



A-4 HUMAN ACTIVITY

New development should be sited and designed to encourage human activity on the street.

South Lake Union Neighborhood  
Guidelines

- Graceful transitions at streetscape level between public and private uses.
- Encourage activity to spill out from business onto the sidewalk, and vice-versa.
- Reinforce retail concentrations with compatible spaces that encourage pedestrian activity.
- Network of safe and well-lit connections to encourage human activity.

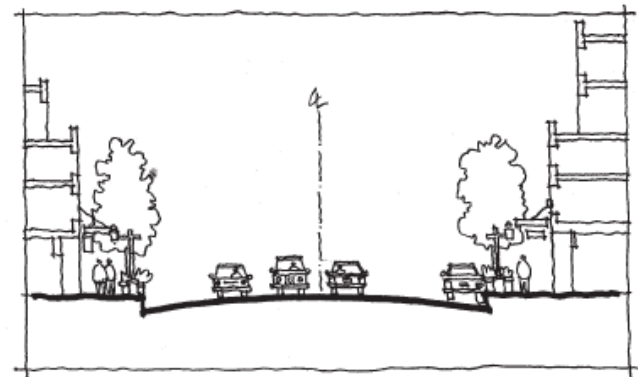


B-1 HEIGHT, BULK AND SCALE  
COMPATIBILITY

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

South Lake Union Neighborhood  
Guidelines

- Address pedestrian experience through building placement, scale and details.
- Relate proportions of buildings to width and scale of street.
- Articulate the building facades vertically or horizontally in intervals that relate to the existing structures or existing pattern of development in the vicinity.
- Use architectural features to reduce building scale:
  - Landscaping
  - Trellis
  - Complementary materials
  - Detailing
  - Accent trim

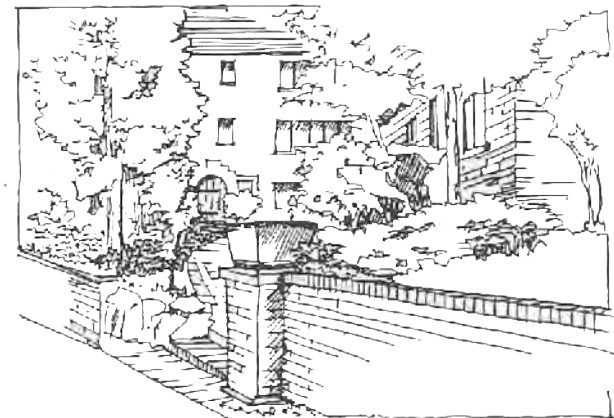
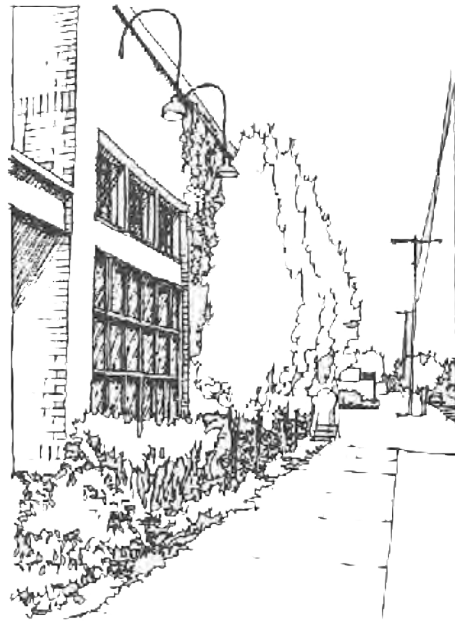


E-2 LANDSCAPING TO  
ENHANCE THE BUILDING  
AND SITE

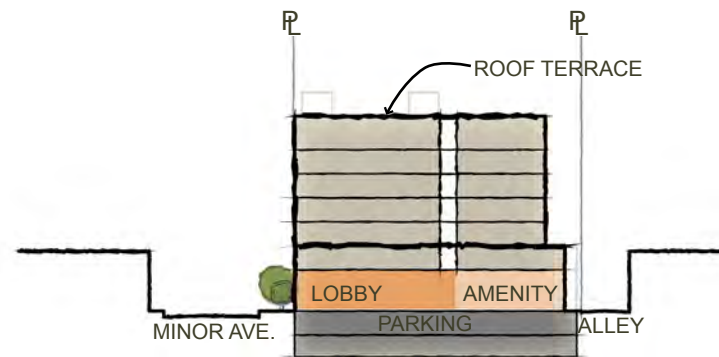
Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

South Lake Union Neighborhood  
Guidelines

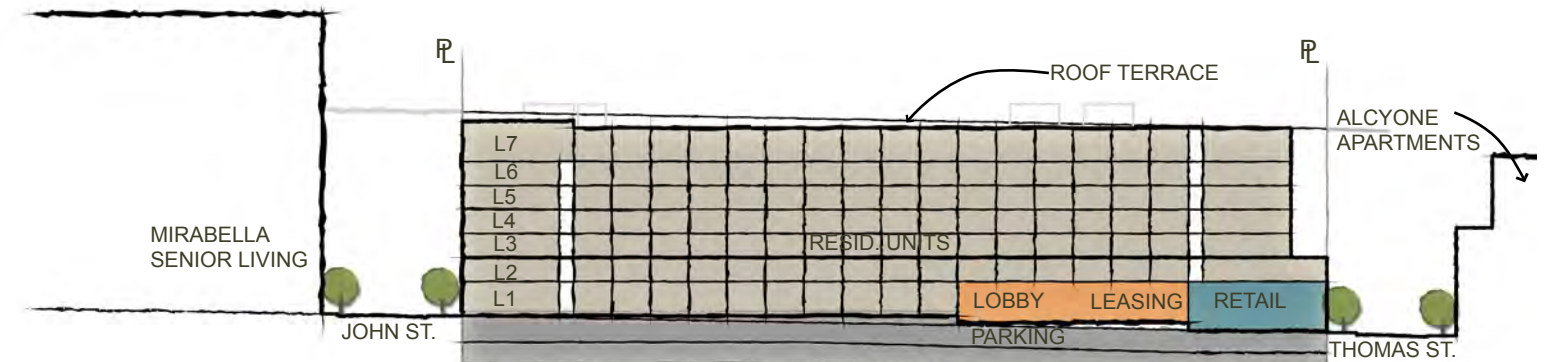
- Consider integrating artwork into publicly accessible areas of a building and landscape that evokes a sense of place related to the previous uses of the area. Neighborhood themes may include service industries such as laundries, auto row, floral businesses, photography district, arts district, maritime, etc.



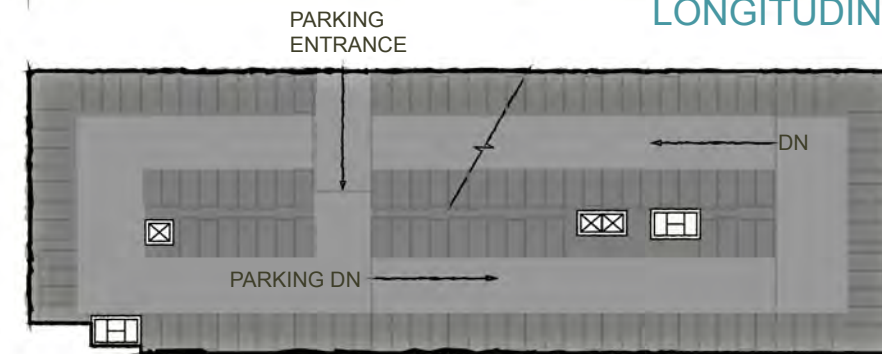




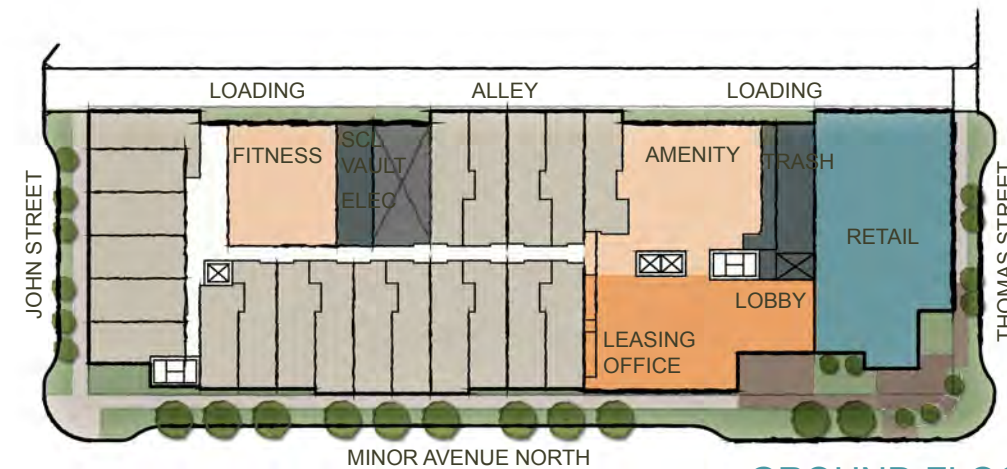
TRANSVERSE SECTION



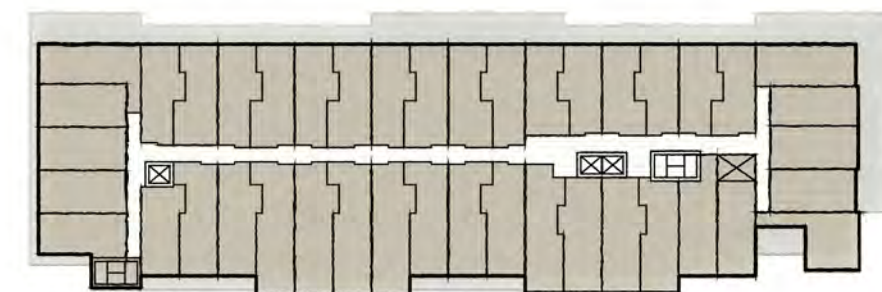
LONGITUDINAL SECTION



BELOW GRADE PARKING PLAN



GROUND FLOOR PLAN



TYPICAL UPPER FLOOR PLAN



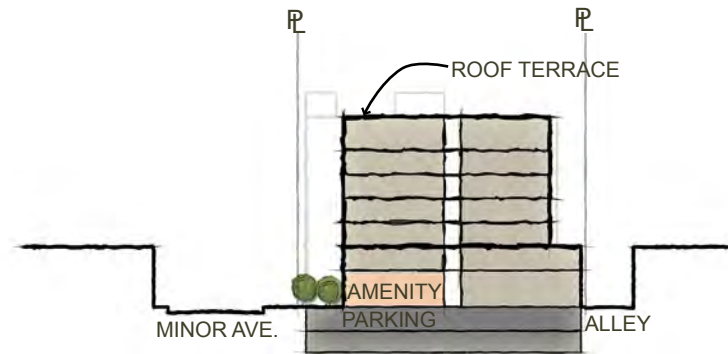
SOUTHWEST PERSPECTIVE VIEW



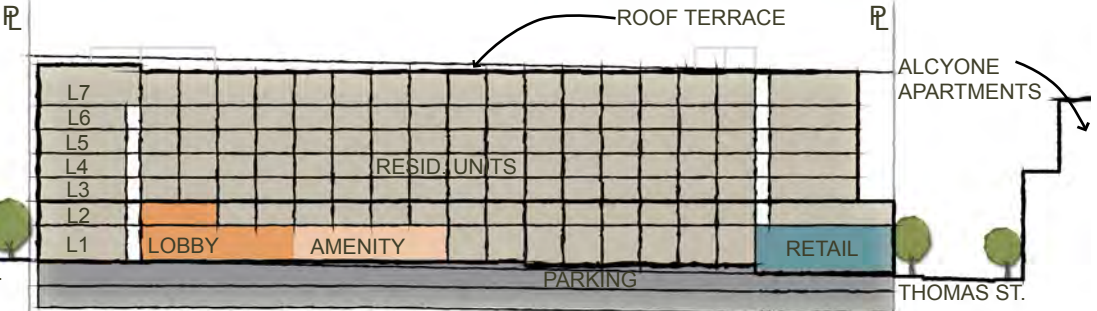
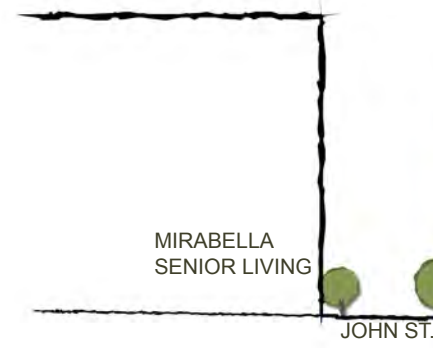
NORTHWEST PERSPECTIVE VIEW







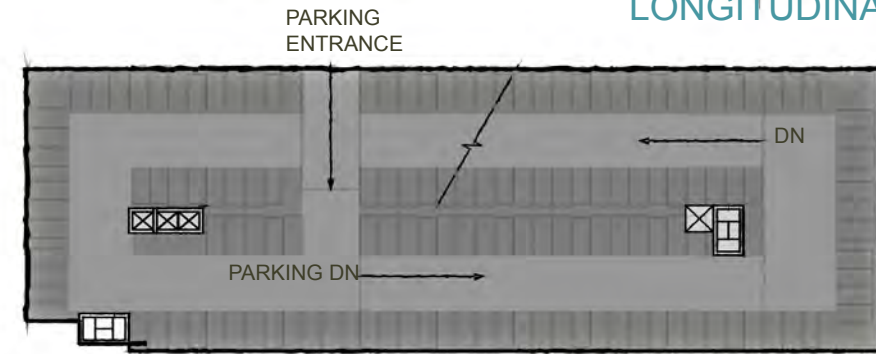
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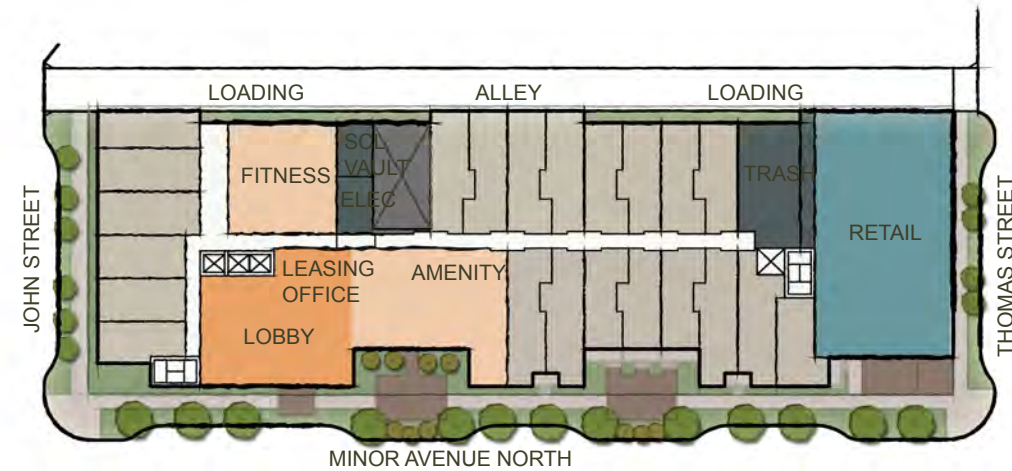
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SOUTHWEST PERSPECTIVE VIEW



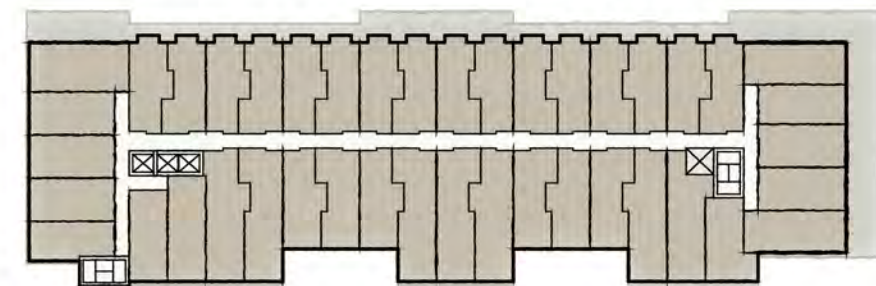
BELOW GRADE PARKING PLAN



GROUND FLOOR PLAN

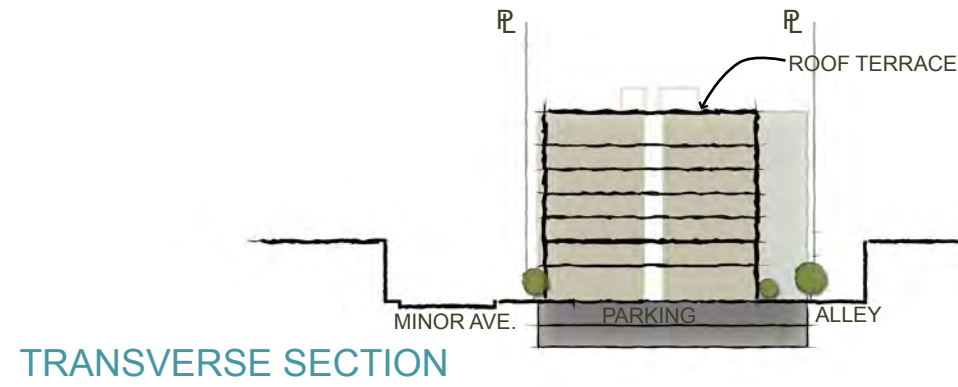


NORTHWEST PERSPECTIVE VIEW

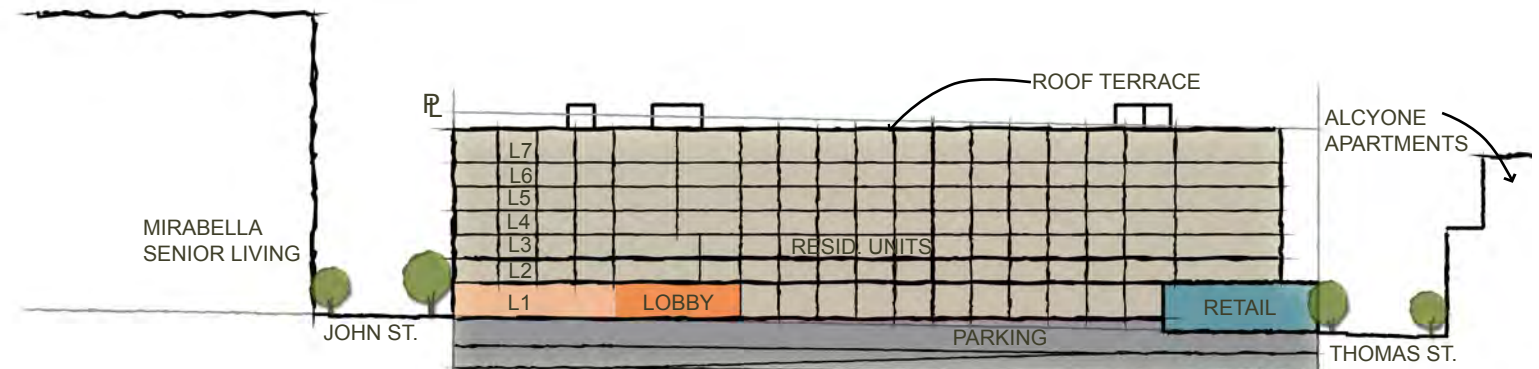


TYPICAL UPPER FLOOR PLAN





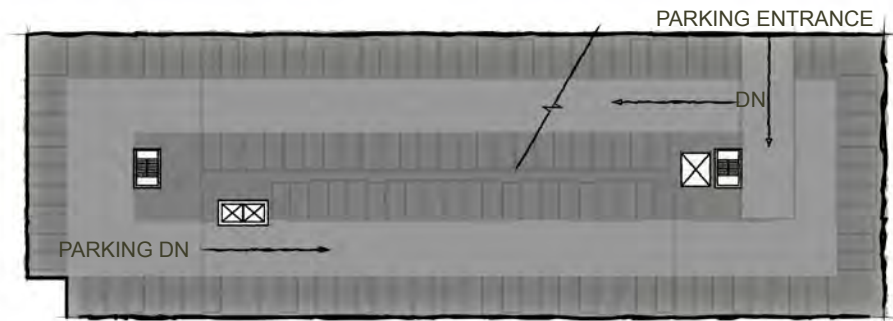
TRANSVERSE SECTION



LONGITUDINAL SECTION



SOUTHWEST PERSPECTIVE VIEW



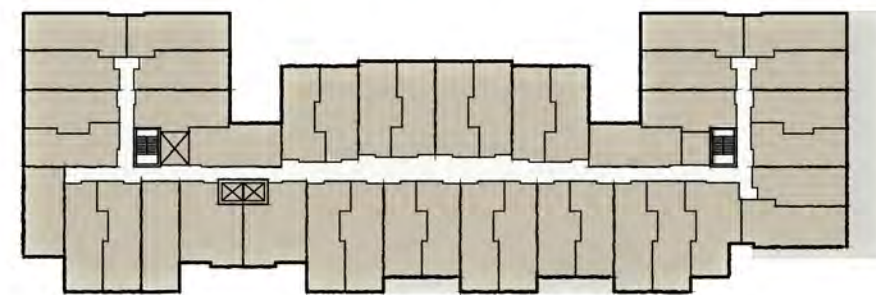
BELOW GRADE PARKING PLAN



GROUND FLOOR PLAN

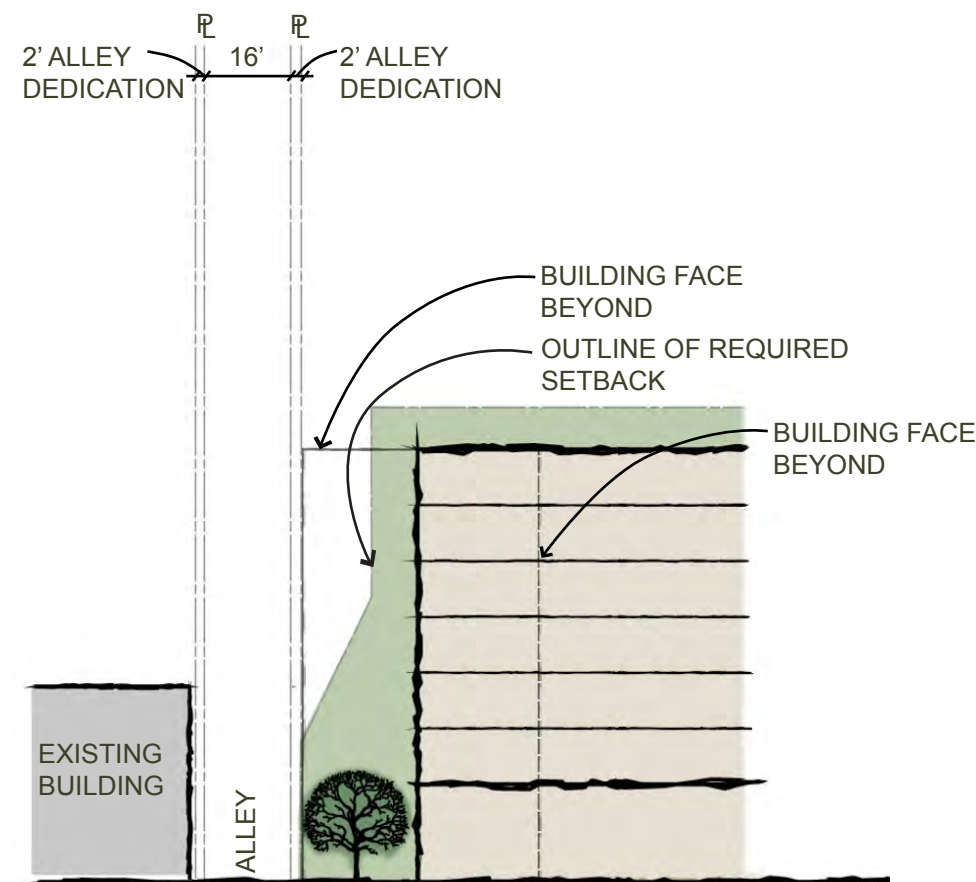
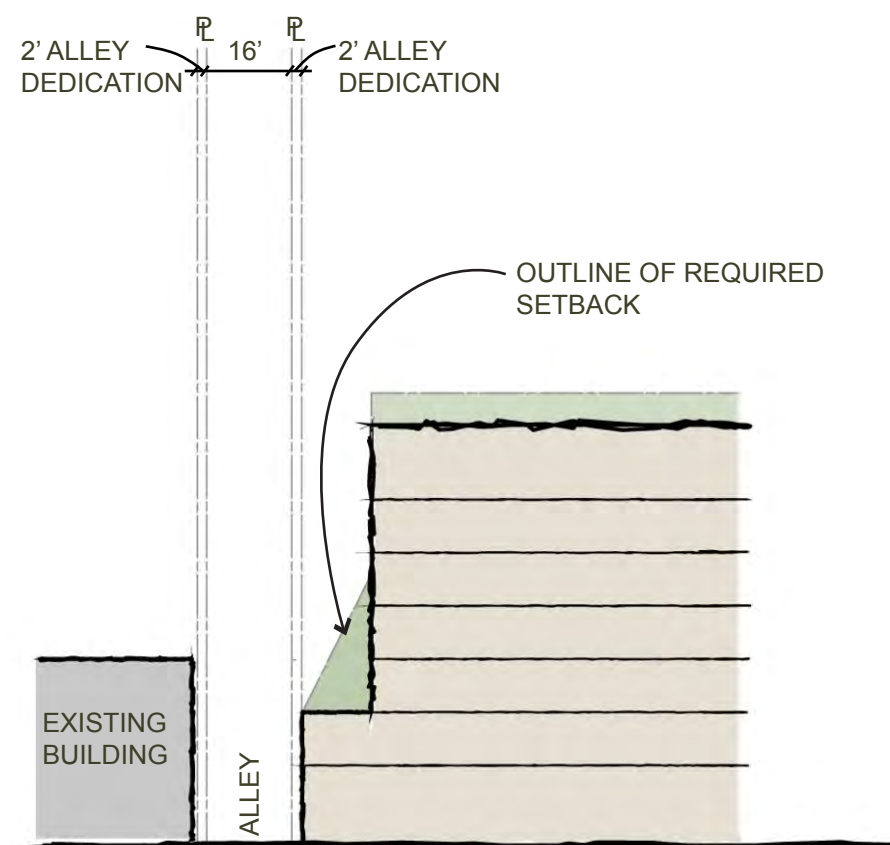
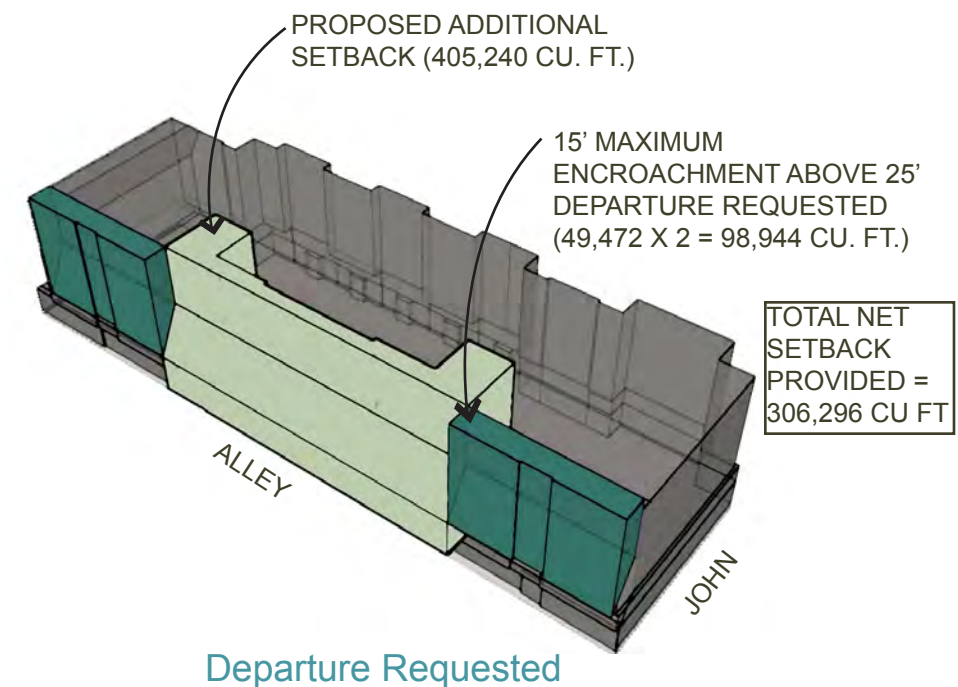
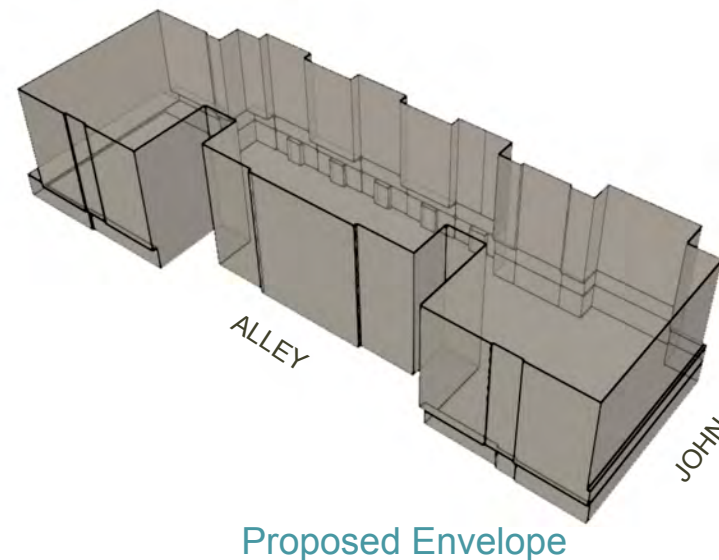
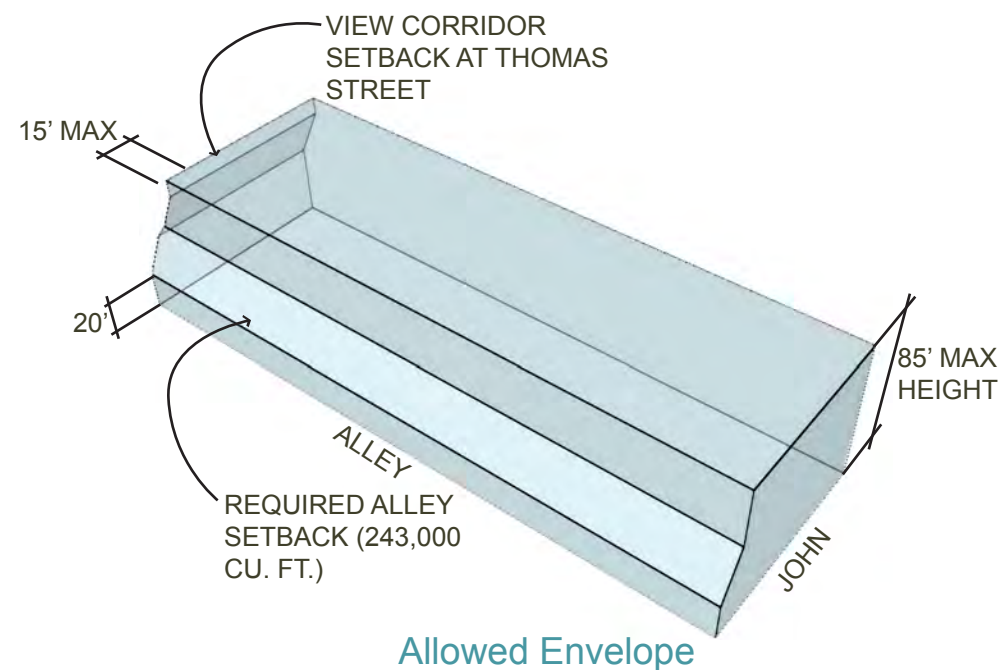


NORTHWEST PERSPECTIVE VIEW



TYPICAL UPPER FLOOR PLAN





### Departure Requested:

For Scheme C, this project is requesting a standard departure from the Seattle Municipal Code, Section 23.48.012 A.2 which requires structures abutting an alley to provide an upper-level setback for any portion of the structure greater than twenty-five (25) feet in height. Section 23.48.012 B further stipulates that the structure shall be set back one (1) foot for every two (2) feet above twenty-five (25) feet, up to a maximum required setback of fifteen (15) feet. We are requesting that this requirement be waived for eighty-five (85) feet at the North and South ends of the building abutting the alley.

To offset the approximately 98,944 cubic feet of building encroachment into this alley setback, we are providing a deeper setback, varying from 22', 24' or 45' in depth, for the remainder of the alley, a length of one hundred and ninety (190) feet. This setback would extend from the ground plane to include the entire height of the façade. Total volume of the additional setback area we are proposing is approximately 405,240 cubic feet. Overall, the net proposed setback volume is four times greater than the volume we are requesting departure for. Allowed envelope required setback is 243,000 cubic feet, our net proposed setback volume is 306,296 cubic feet.

We believe that this alternative has the following advantages:

- 1) It will allow more sunlight to penetrate the alley.
- 2) It will create a greater sense of space and significant modulation at the alley.
- 3) It will allow enough width to create an at grade space that can be used as an amenity to the apartment building and further promote a green alley concept.



WINTER - 12/22

SPRING/FALL - 3/22

SUMMER - 6/23

MORNING - 9AM

AFTERNOON - 12PM

EVENING - 4PM



## Solar Access

Preferred Scheme C, creates an alley courtyard that provides more light to the West facing units.

The existing 120' tall Mirabella development to the South creates shadows that will cast the South façade into shadow through most of the months of the year, thus roof deck areas are preferred at the North end.

The property to the east is zoned IC-85' and will likely be developed in the near future, further necessitating creating more room and light for the West facing residents.

Any modulations to the Minor Avenue facing façade creates opportunities for greater southern light exposure within some apartments.

All schemes have upper floor setbacks from Thomas Street which will limit shading impacts to Cascade Park and Alcyone apartments to the North.



Cascade Apartments | 221 Minor Avenue N

Early Design Guidance | 12.21.11





Scheme A



Scheme B



Scheme C

## Scheme A

### Pros:

Tower element at Northeast corner can create an iconic element visible from Cascade Park, balancing the composition formed by the church steeple located at the Southeast corner of the park.

Plaza area at Northeast corner of site provides a larger public space amenity on the South side of Thomas (Neighborhood green street) opposite Cascade Park.

Building lobby adjacent to corner plaza will provide direct visual connection to the park.

Generous average unit depth.

### Cons:

Alley façade has minimal modulation.

North oriented lobby requires internal ramping to accommodate grade change at ground level.

John Street level apartments are partially below grade with limited privacy.

Large number of apartments are oriented to alley.

**Departures Requested:** None

## Scheme B

### Pros:

Continues the rhythm of massing and courtyards established by the Alcyone apartments to the North.

Rich pedestrian environment created along Minor Avenue by increased ground level landscaping, pocket parks and street accessed apartments with stoops.

Bay windows create opportunities for additional unit depth and expand views down alley.

Modulations create opportunities for Southern exposure and views to the park from some apartments.

### Cons:

Large number of apartments are oriented to alley.

**Departures Requested:** None

## Scheme C - Preferred Option

### Pros:

Creates a green alley activated by significant ground level amenities and residential entries.

Continues the rhythm of massing and courtyards established by the Alcyone apartments to the North.

Rich pedestrian environment created along Minor Avenue by increased ground level landscaping, street accessed apartments, residential lobby entry and building amenities oriented towards street.

Modulations create opportunities for Southern exposure and views to the park from some apartments.

Least impact to West facing units by future development of adjacent lot.

### Cons:

Shorter units required mid-block to accommodate increased alley setbacks.

**Departures Requested:** Alley Setback





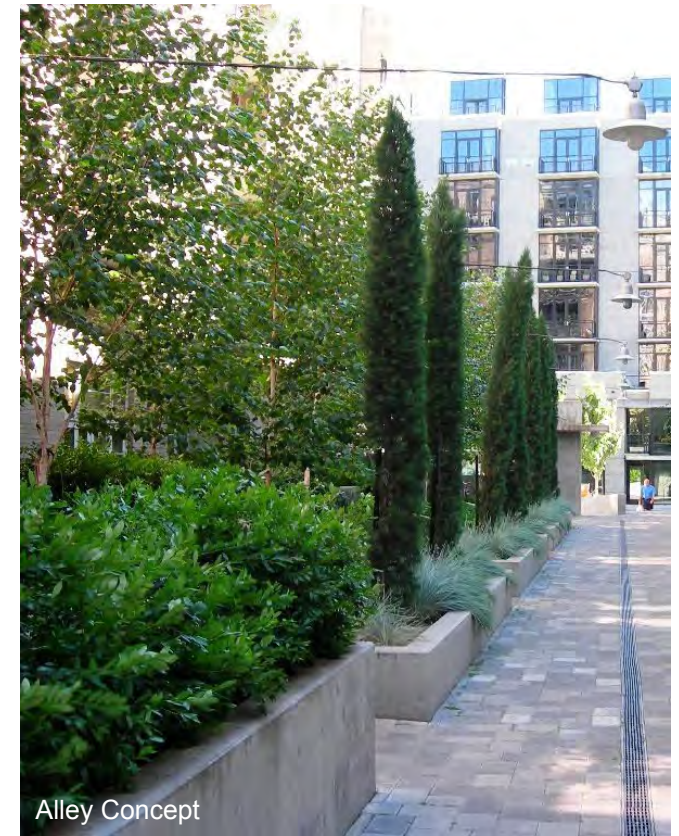
Alley Concept



Alley Vegetation Concept



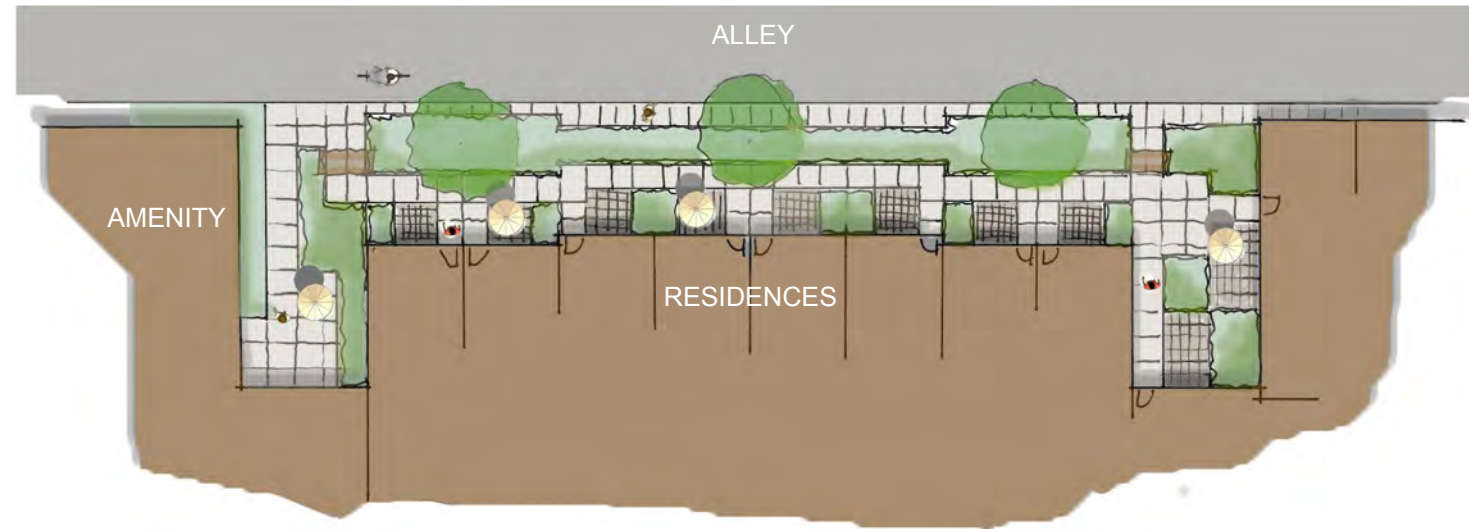
Alley Vegetation Concept



Alley Concept



Alley Concept



### Alley Concept:

Activate the alley by locating public building amenities and individual residential entries so they may access open space on alley side of project.

Provide additional space in alley by setting building back to create courtyards.

Use diverse planting types and a variety of landscaping features to enhance different functions of space.





Sidewalk Concept



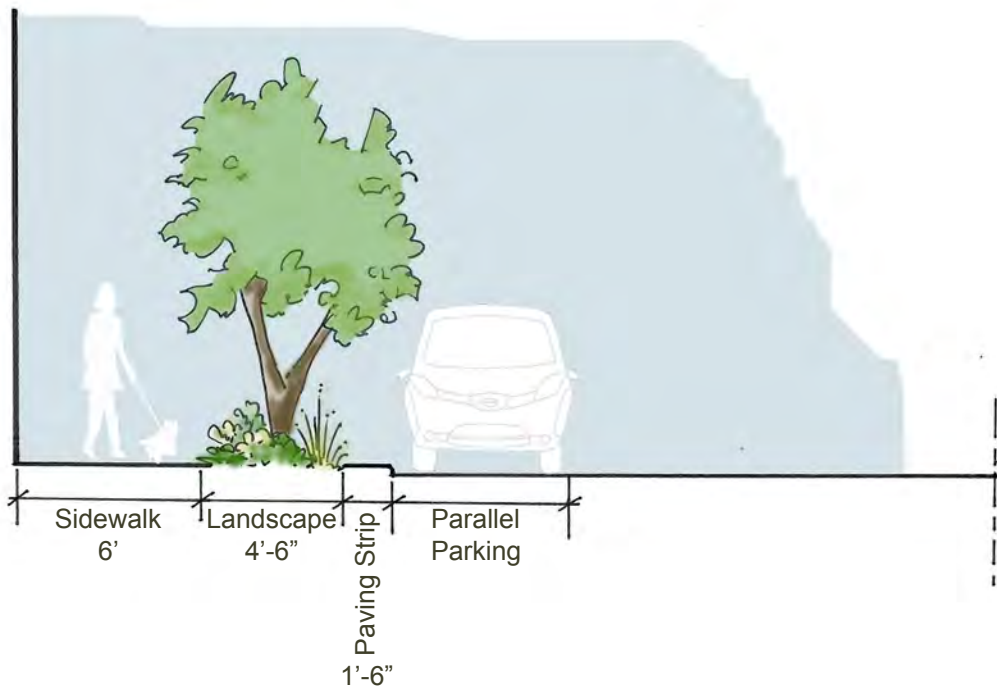
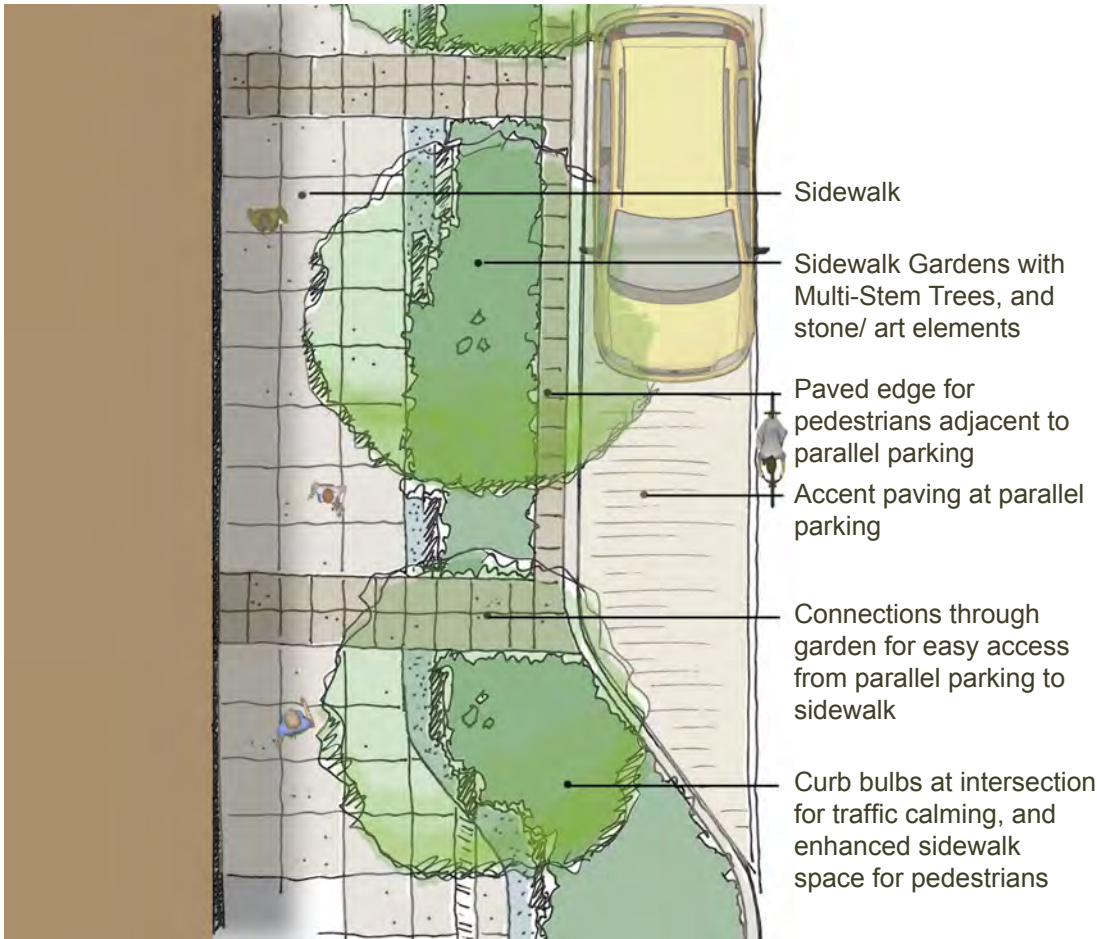
Inhabitable Sidewalk Concept



Sidewalk Planter Concept



Established Green Street Design on Thomas Street across from site



### Neighborhood Green Street:

Use landscaping elements in conjunction with building features to relate in scale to the pedestrian experience.

Setback building at upper levels helps reduce building scale at street level.

Provide consistency with Neighborhood Green Street design already established on Thomas Street using multi-stem trees, variety in streetscape plantings as tie to community garden, and paving accents and artistic elements along sidewalk.

Proposed curb bulbs for traffic calming, and enhanced pedestrian spaces that provide additional sidewalk space and landscaping.





Single Entry Stoop Concept



Shared Stoop Concept



Double Entry Stoop Concept



Walk-up residential entry study



Walk-up residential entry study

Individual scaled elements used to define single residential unit entries

Larger scale landscape and building features denote main residential entry lobby

### Residential Entry Concept:

Create stoops or small landscaping space to help transition between public streets and private residences. Walk-up entries will add further human activity to streetscape.