



caron

10.17.2012 DESIGN REVIEW RECOMMENDATION MEETING
521 2ND AVE W / DPD PROJECT # 3012746

washington 2505 3rd avenue • suite 300C / Seattle, WA 98121 • california 1993 Santa Barbara Street, San Luis Obispo, CA 93401 • www.caronarchitecture.com

Address : 521 2nd Ave W
DPD Project Number : 3012746
Contact : Radim Blazej, Caron Architecture
Zoning : NC3-40

The project is a 4-story apartment building containing 30 residential units and 3 live-work units (33 total.) No parking is required for the project, however, 6 parking stalls have been provided. The existing vacant 1 story building on the site will be demolished. The site is zoned Neighborhood Commerical NC3-40 in the Uptown Neighborhood. The building mass on the site responds to the zoning context and multifamily projects on adjacent blocks.

Project History:

The Early Design Guidance meeting was held on November 17, 2011.

Site Plan Features

- Mixed-use building keeps neighborhood character
- 4 story structure matches height of recent developments
- Landscaped south facing elevated courtyard

2nd Avenue

- Live / work units at street level
- Canopies over Live / Work units
- Covered residential entry
- 16’ floor to floor height provides ample commercial space
- Large amount of transparency
- Soft, indirect lighting reduces glare and spill out

Alley

- Trash and utilities service and pick-up
- Surface parking access
- Secured bicycle storage in the building, accessed from the alley
- Private courtyard for ground floor residences

Amenities and Views

- Landscaped private courtyard and shared roof deck provide comfortable gathering areas
- Spectacular views of Downtown Seattle and Elliot Bay from the upper units and shared roof deck
- Live / work units enliven the street presence on 2nd Avenue
- The building will obtain a Built Green rating.

DEVELOPMENT STATISTICS

Lot Size	7,080 SF
FAR	3.25
Allowable FAR	23,010 SF
Proposed FAR	21,237 SF
Commercial Live / Work Space	1,388 SF
Parking Stalls	6

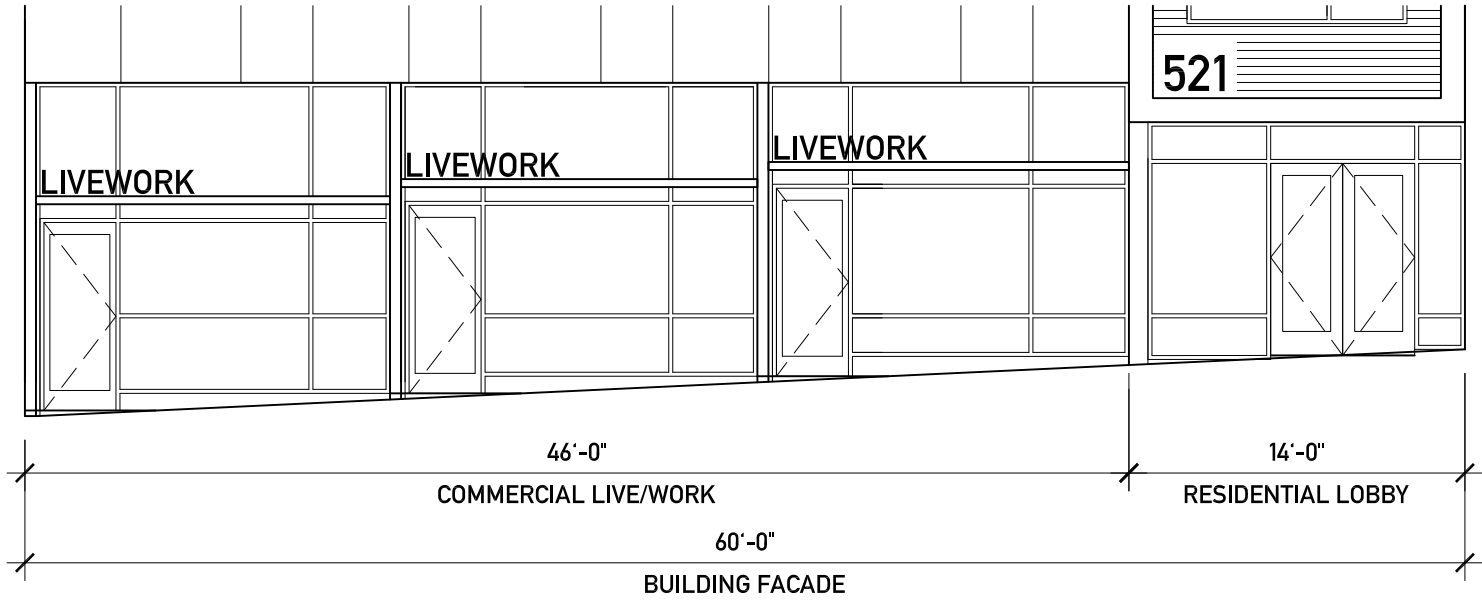
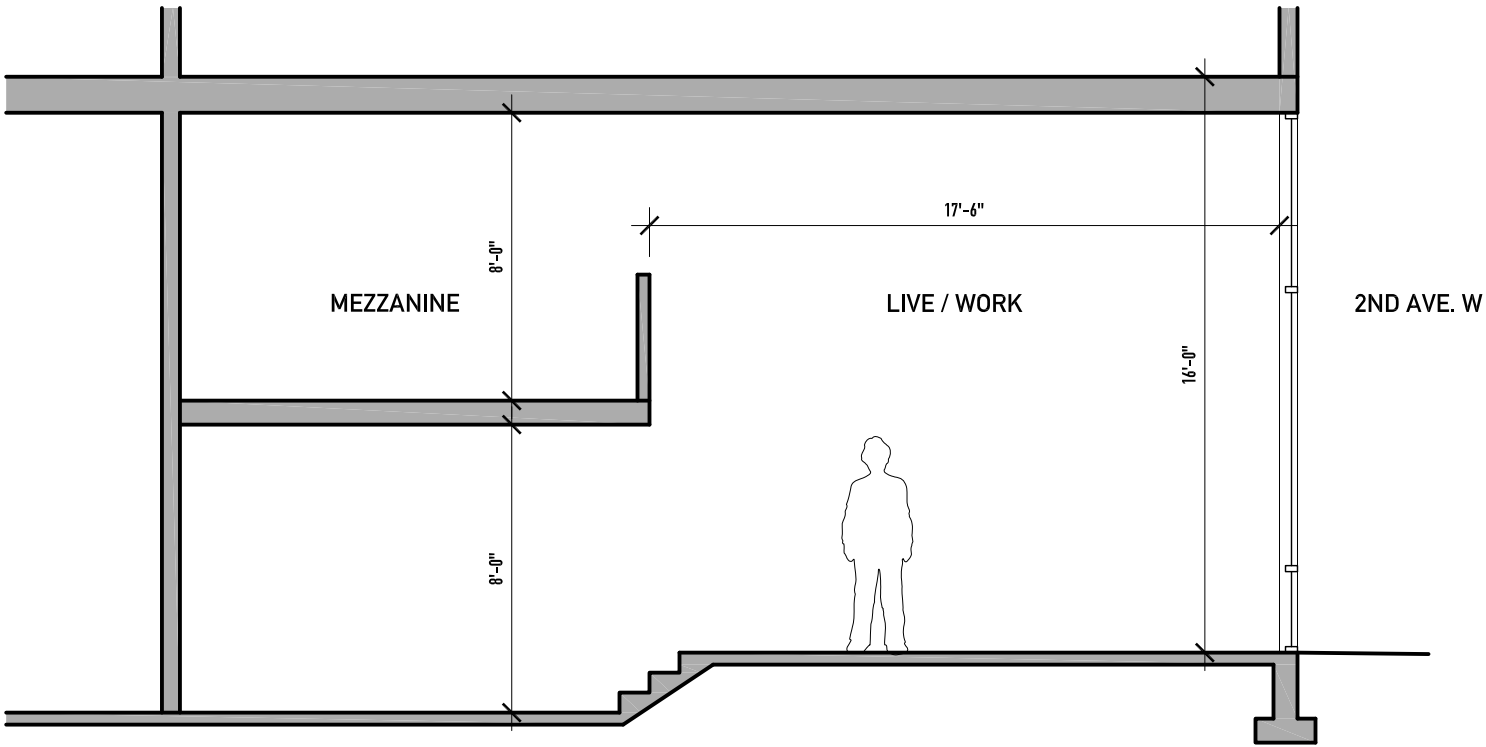
	FAR SF	Units
Roof	512	
4th Floor	5,379	9
3rd Floor	5,379	9
2nd Floor	5,379	9
Ground Floor	4,588	6
Total	21,237	33

PROJECT DESCRIPTION

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CODE REFERENCE	REQUIREMENT	PROVIDED	COMPLIANCE	DEPARTURE REQUEST	RATIONALE
23.47A.005 C3	Residential uses may not exceed 20% of the street-level street-facing facade when facing an arterial	2nd Ave W is an arterial. 23.3% (14' of the 60' facade) is proposed as residential lobby	N	Allow the residential lobby to occupy 23.3% of the street facing facade fronting 2nd Ave W.	The residential use along 2nd Ave W has been minimized to a the residential lobby. Any further reduction would result in an unwelcoming pedestrian experience.
23.47A 008 B3	Non-Residential uses must be 30' deep with a floor to floor height of 13'	The proposed design for the live / work units has a floor to floor height of 16'-0" minimum, for the front 16'-0" of the spaces. The floor to floor height of the mezzanine is 8'-0" minimum	N	Allow the live / work mezzanine to have a ceiling height of less than 13'.	A similar configuration in the Uptown Neighborhood was presented on 9/27/2012 and was considered advantageous by the Board. This configuration gives a visual connection between the loft, commercial area, and street-front. The floor to floor height at the front of the unit exceeds the requirement by 4'-6", providing greater transparency than required. Mezzanines also do not count as floor area in the SBC.



STREET USE REQUIREMENT (SMC 23.47A.005 C3) MAX 20% OF FACADE TO BE RESIDENTIAL USE.
 PROPOSED RESIDENTIAL USE : 14'-0" / 60'-0" = 23.3%

DEPARTURES

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	EDG DESIGN GUIDANCE COMMENTS	ARCHITECT’S RESPONSE
A-7	<p><i>At the Early Design Guidance Meeting, The Board stated that it was not convinced that north facing open space at grade was best due the shading the proposed building would cause and because that arrangement places a blank wall to the south and residential windows facing north. When the proponent explained that its rationale for placing both windows and open space on the north side was that the property in that direction is a surface parking lot and is thought to be unlikely to be developed in the near term and that there is a one story building on the south property line the Board stopped short of indicating the ground level open space should be moved to the south side.</i></p> <p><i>When it considered the location of the rooftop open space the Board indicated that it should be located to the south in order to take advantage of light and views. It indicated that the architectural element which rises from the structure base to a point above the roof line should be maintained as a necessary element of the building expression, but, that it does not need to extend very far back from the front façade and should be designed so as to allow persons on the rood deck to approach as close to the southeast corner as possible.</i></p>	<p>The building courtyard has been situated on the south side of the building to maximize access to sunlight. The architectural element above the residential entry has been maintained. The rooftop deck has been situated at the southeast portion of the roof and will be surrounded by landscaping and provide views to Downtown and Elliot Bay.</p>
A-6	<p><i>At the Early Design Guidance Meeting, The Board indicated that the live work units should have a commercial appearance and function in this location.</i></p> <p><i>The Board stated that the residential entry should be strongly expressed. In the drawings shown the residential front door was next to and not well differentiated from that of a live work unit. It indicated that this condition needed improvement.</i></p>	<p>The building massing and live / work storefronts are situated at the front property line. To provide differentiation from the live / work units, the residential entry is set back 3 feet from the property line. The live / work entries have been relocated to the south end of the units to provide a greater separation between the lobby entry.</p>
C-3	<p><i>At the Early Design Guidance Meeting, the Board indicated the importance of measures to create a human scale around the development.</i></p>	<p>Individualized signage will be provided at each Live/Work entry as well as at the main building entry. Lighting of the signage and below the canopies for pedestrians will be provided.</p>
C-4	<p><i>At the Early Design Guidance Meeting, the Board discussed the importance of incorporating quality materials into the building and its site.</i></p>	<p>The primary material at the street frontage will be durable aluminum storefront with modulated mullions. The primary proposed exterior material is durable painted cement board panels in a randomized pattern. The panel joints would be revealed with horizontal and vertical metal trim.</p>

	EDG DESIGN GUIDANCE COMMENTS	ARCHITECT’S RESPONSE
D-1	<p><i>At the Early Design Guidance Meeting, the Board discussed the importance of incorporating measures to insure the security of persons using the project open space.</i></p>	<p>A transparent street level façade, new lighting, and residential units on the second thru fourth floors provide opportunities for improved security with more eyes on the street, courtyard, and alley. The residential units are not immediately adjacent to the street or alley level to provide security and privacy for the residents. A security gate will be provided at the exterior access point to the courtyard loft units. The amenity space at the rooftop deck will only be accessible to building residents.</p>
E-2	<p><i>At the Early Design Guidance Meeting, Open space at grade, the Board indicated, needs to be well landscaped and designed in a way which “defends” it from any adjacent use, such as a surface parking lot.</i></p>	<p>A screen will be provided at the south property line adjacent to the alley to prevent adjacent parking from spilling into the project site. An existing retaining wall currently abuts the north property line and acts as a barrier. The existing planting strip has been paved over. This pavement will be removed and new street trees, landscaping, and pervious pavement will be added to the planting strip.</p>
E-3	<p><i>At the Early Design Guidance Meeting, the Board discussed location of the landscaping in front of the live-work units and its consideration for the commercial character of the live work units.</i></p>	<p>The live / work units have been positioned at the property line at the sidewalk to directly engage the entries and display areas so there is no space available for landscaping in that zone; however, the replacement of the planting strip at the street will improve the pedestrian environment and provide a screen from the automobile traffic on the street.</p>



VICINITY MAP



VIEWS FROM UPTOWN TO DOWNTOWN

The proposed project is located just west of the heart of the Uptown Neighborhood . The site is on the edge of the Neighborhood Commercial zone, where the 40' height limit transitions into the 60' mid-rise zone.

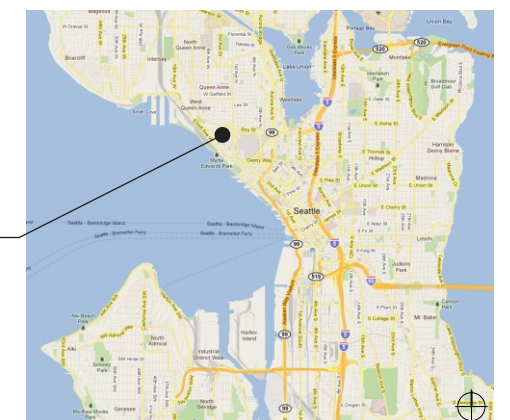
The neighborhood is densely packed with low-rise apartments of various vintages, older single-story commercial buildings and medium-sized office buildings built within the past 40 years. Large old buildings built right to the street, a mature urban canopy and narrow streets all contribute to the intimate and quaint feeling of the neighborhood.

The residents of the Uptown Neighborhood are served by a number of restaurants, grocery stores and specialty shops. Due to its proximity to Seattle Center and variety of restaurants, the Uptown Neighborhood enjoys a vibrant and active nightlife. Frequent bus service from downtown to lower Queen Anne make the Uptown Neighborhood an easily accessible place to live and visit.

LEGEND

- MIXED USE
- RETAIL
- OFFICE
- RESIDENTIAL
- SURFACE PARKING

UPTOWN
NEIGHBORHOOD

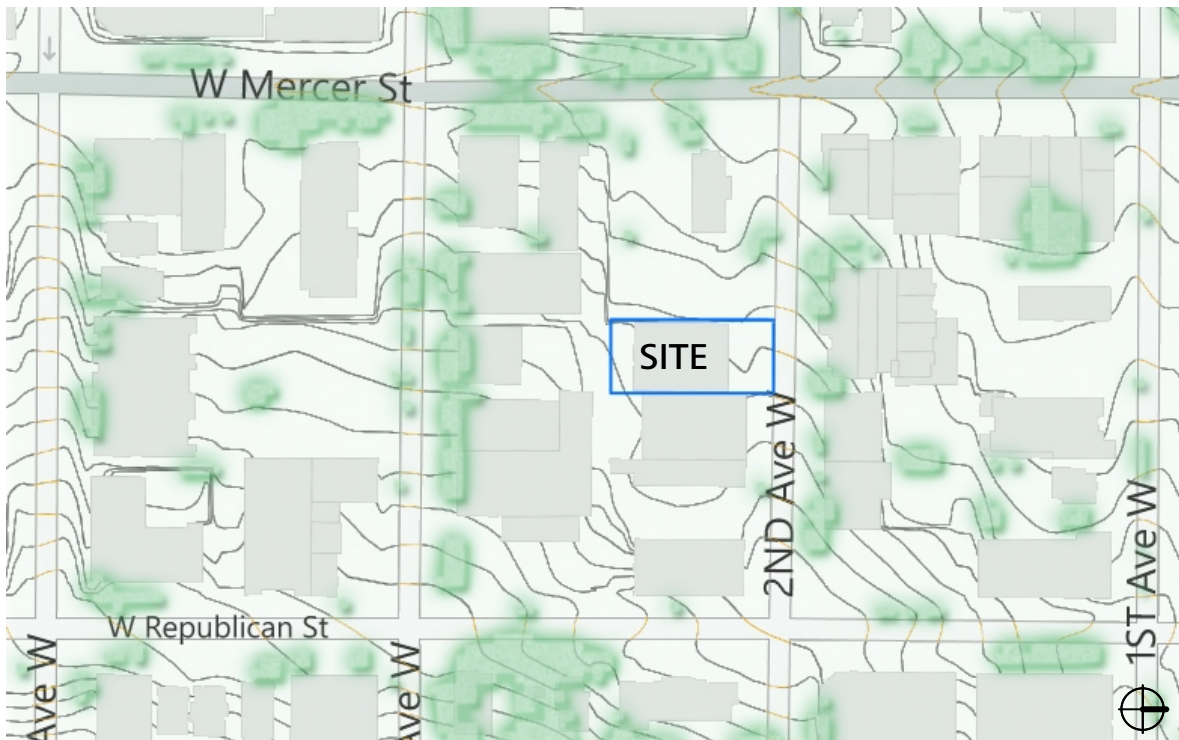


NEIGHBORHOOD ANALYSIS

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SITE AERIAL



SITE TREE CANOPY COVERAGE



SITE CONDITIONS

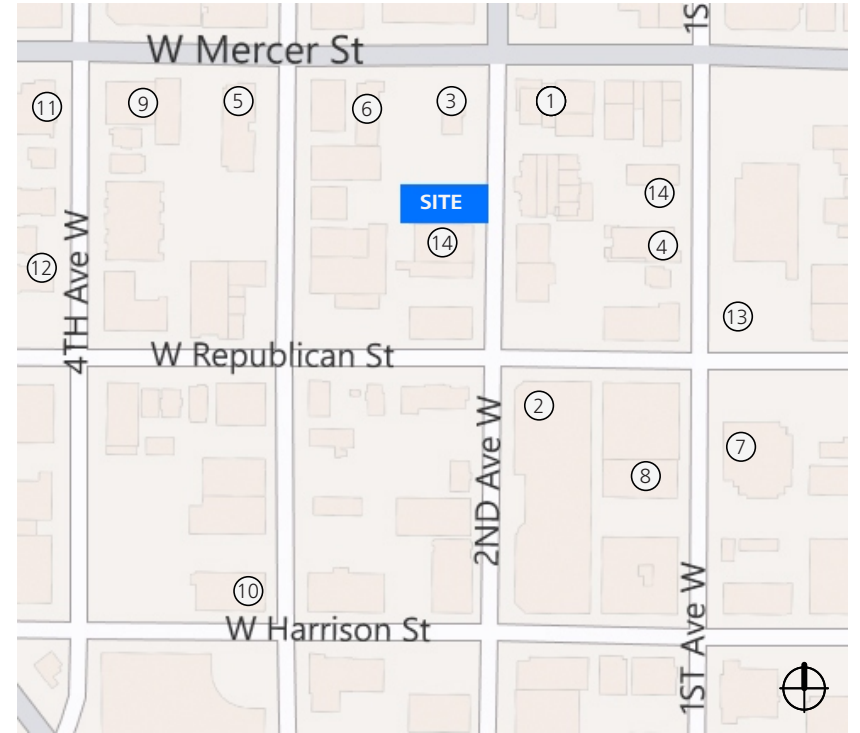
Part of the Uptown Neighborhood, this site is relatively flat, sloping south towards Elliot Bay. When not obstructed by the built environment, views can be had of the Space Needle, downtown Seattle, Mount Rainier, Elliot Bay and the Olympic Mountains.

Traffic in the neighborhood, both vehicular and pedestrian, is light but constant. The nearby intersection of the arterials West Mercer Street and 1st Avenue West marks a gateway to the heart of the Uptown Neighborhood. The area is active all day long, with businesses drawing people during the day and various amenities drawing residents in the evening.

The neighborhood has an urban tree canopy which varies greatly in scale and quality from street to street. Second Avenue West, directly in front of our site, shows some of worst of the local urban canopy, with a paved over planting strip and only a few stunted trees.

SITE ANALYSIS

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NEIGHBORHOOD PHOTOS

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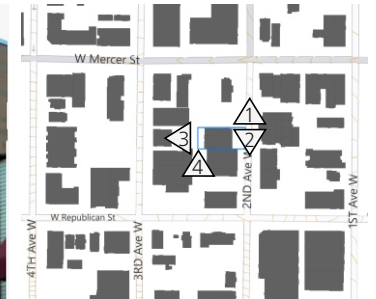
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1 - 2ND AVENUE WEST SIDEWALK - LOOKING NORTH



2 - 2ND AVENUE WEST SIDEWALK - LOOKING SOUTH



3 - ALLEY - LOOKING SOUTHWEST



4 - ALLEY - LOOKING NORTH

NEIGHBORHOOD PHOTOS

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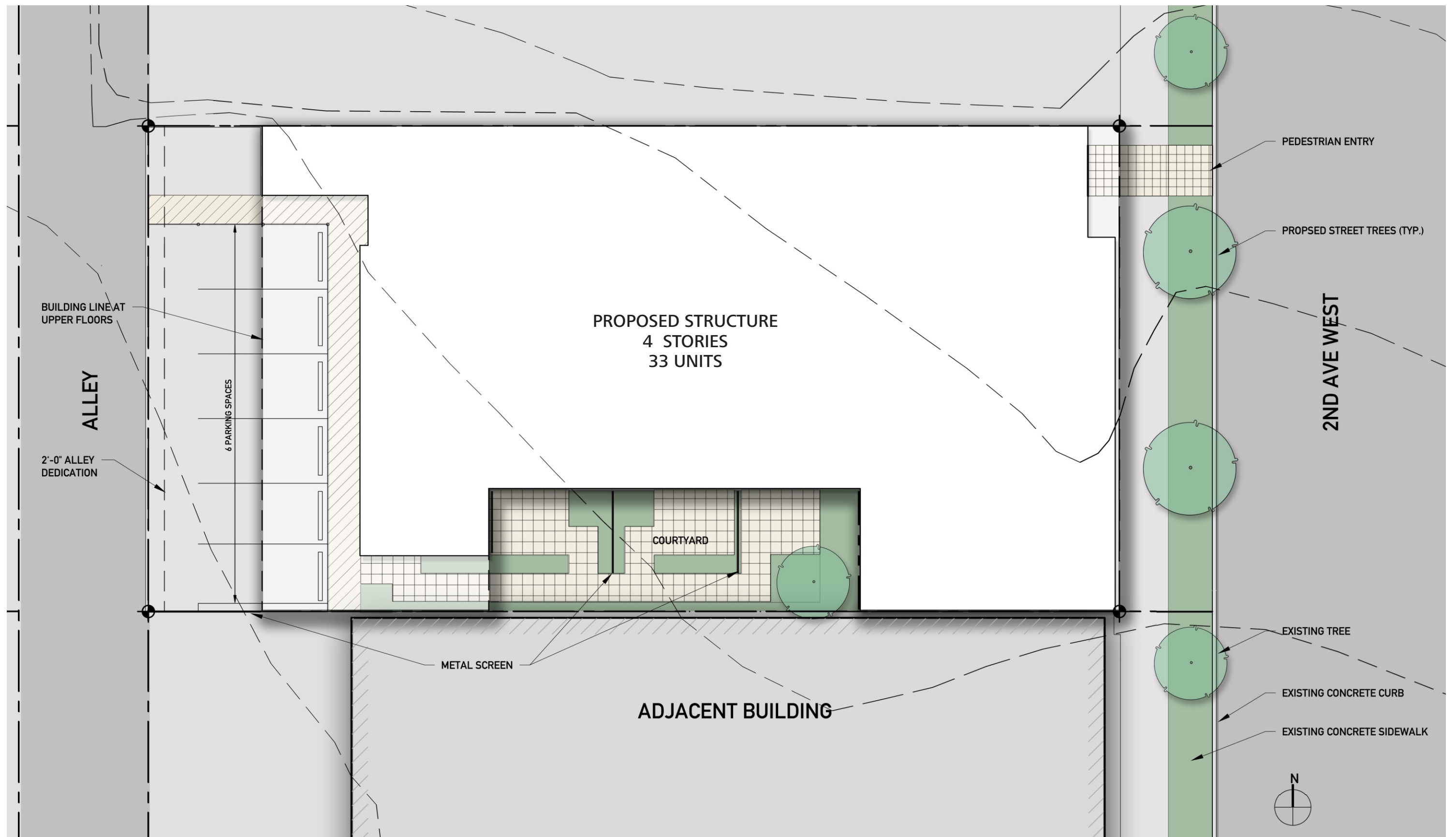
1 - 2ND AVENUE WEST - LOOKING EAST



2 - 2ND AVENUE WEST - LOOKING WEST

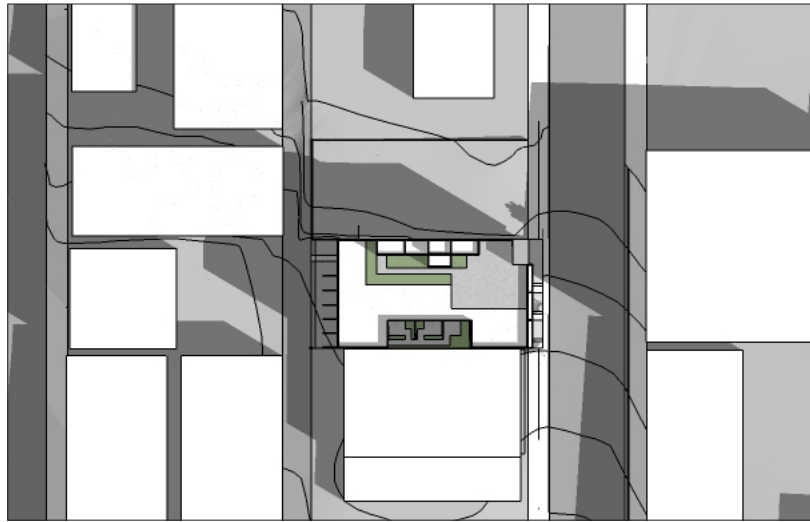
NEIGHBORHOOD PHOTOS

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SITE PLAN

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3/21 9AM



3/21 12PM



3/21 3PM



6/21 9AM



6/21 12PM



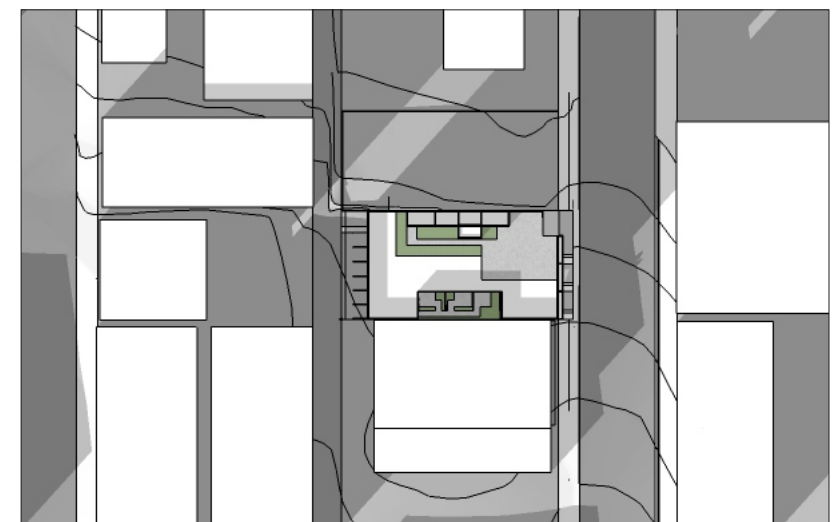
6/21 3PM



12/21 9AM



12/21 12PM



12/21 3PM

SHADOW STUDIES

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SOUTHWEST CORNER



SOUTHEAST CORNER



NORTHWEST CORNER



NORTHEAST CORNER

AERIAL PERSPECTIVES

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2ND AVENUE SIDEWALK VIEW FACING NORTH



2ND AVENUE SIDEWALK VIEW FACING NORTH



2ND AVENUE SIDEWALK VIEW FACING SOUTH



2ND AVENUE SIDEWALK VIEW FACING SOUTH

STREET LEVEL VIEWS

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COURTYARD - GROUND LEVEL



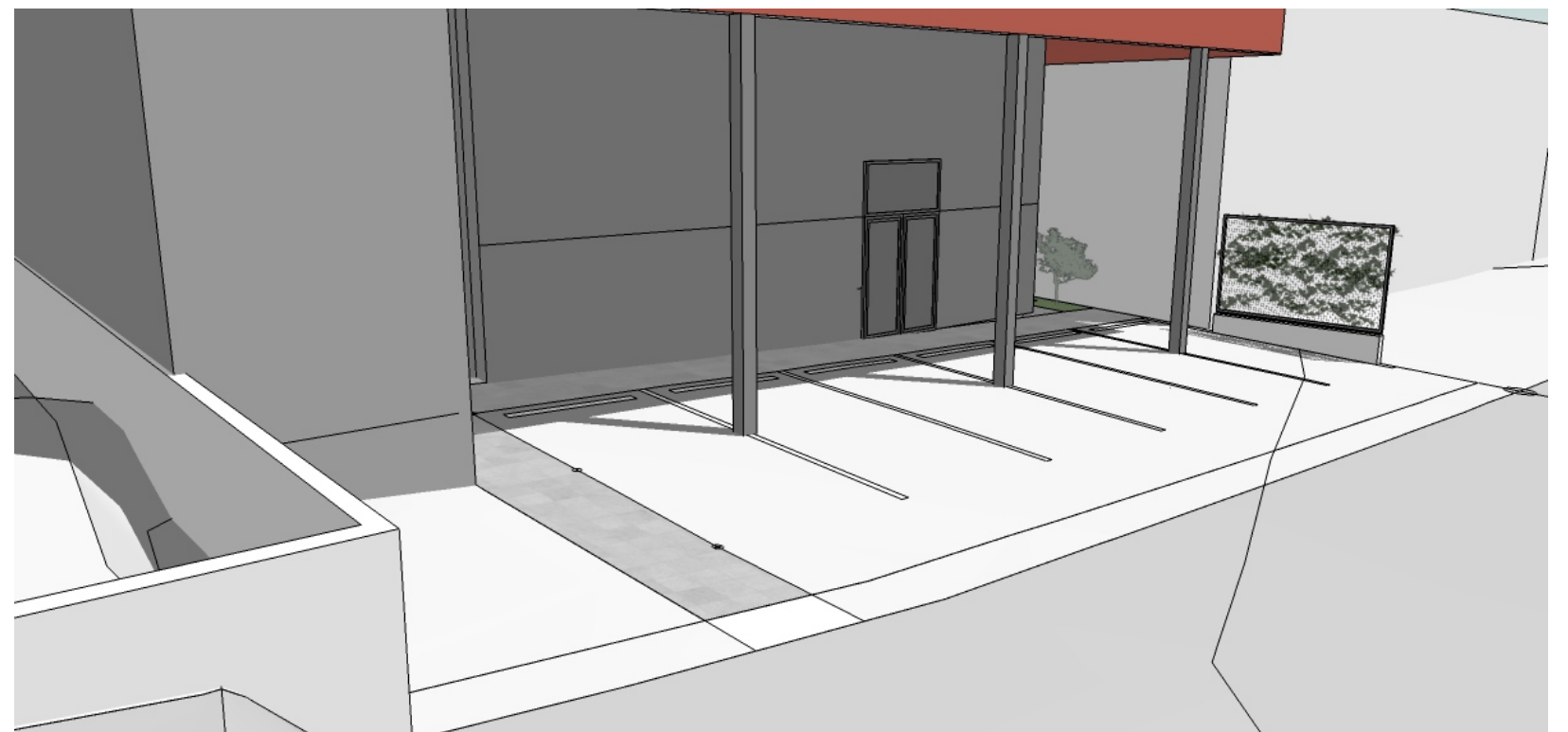
COURTYARD - AERIAL VIEW

COURTYARD VIEWS

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ALLEY VIEW - FACING NORTH



ALLEY VIEW - FACING SOUTH

ALLEY VIEWS

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STREET LEVEL

The proposed project at the street level will be primarily characterized the residential lobby entry and the individual live / work entries. Concrete, glass and aluminum materials will be stepped back from the sidewalk, creating room for a landscaping strip between the building and sidewalk. The currently paved asphalt planting strip will be removed and returned to a landscaped condition, improving the quality of the street-scape on 2nd Avenue West.



STREET LEVEL

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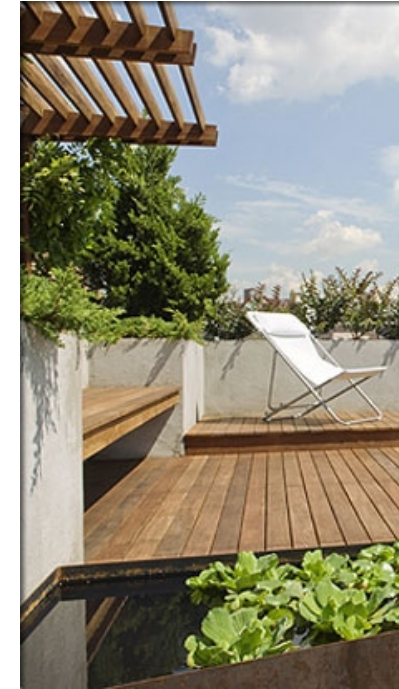
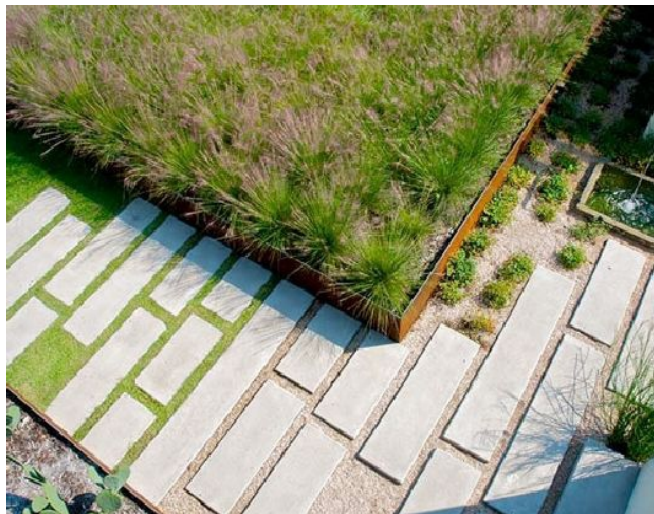
AMENITY / GROUND LEVEL

A landscaping area will be provided at the ground level as amenity space for all residents. Planting areas and pathways will be used to enhance the yards dedicated to the lofts. In addition to creating room for landscaping, setting the building back from the property line ensures that the residents will always have access to daylight.



COURTYARD

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ROOF AMENITY

The roof for this project is intended to be used by all residents as an amenity space. Landscape and hardscape are proposed to create a comfortable and attractive urban roof garden. By making the roof occupiable, the tenants will be able to take in territorial views of downtown Seattle, Puget Sound and the Olympic mountain range. The roof will be served by both stairs and the elevator. A small portion of the roof will be screened and dedicated to mechanical equipment.



ROOFTOP

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EAST ELEVATION

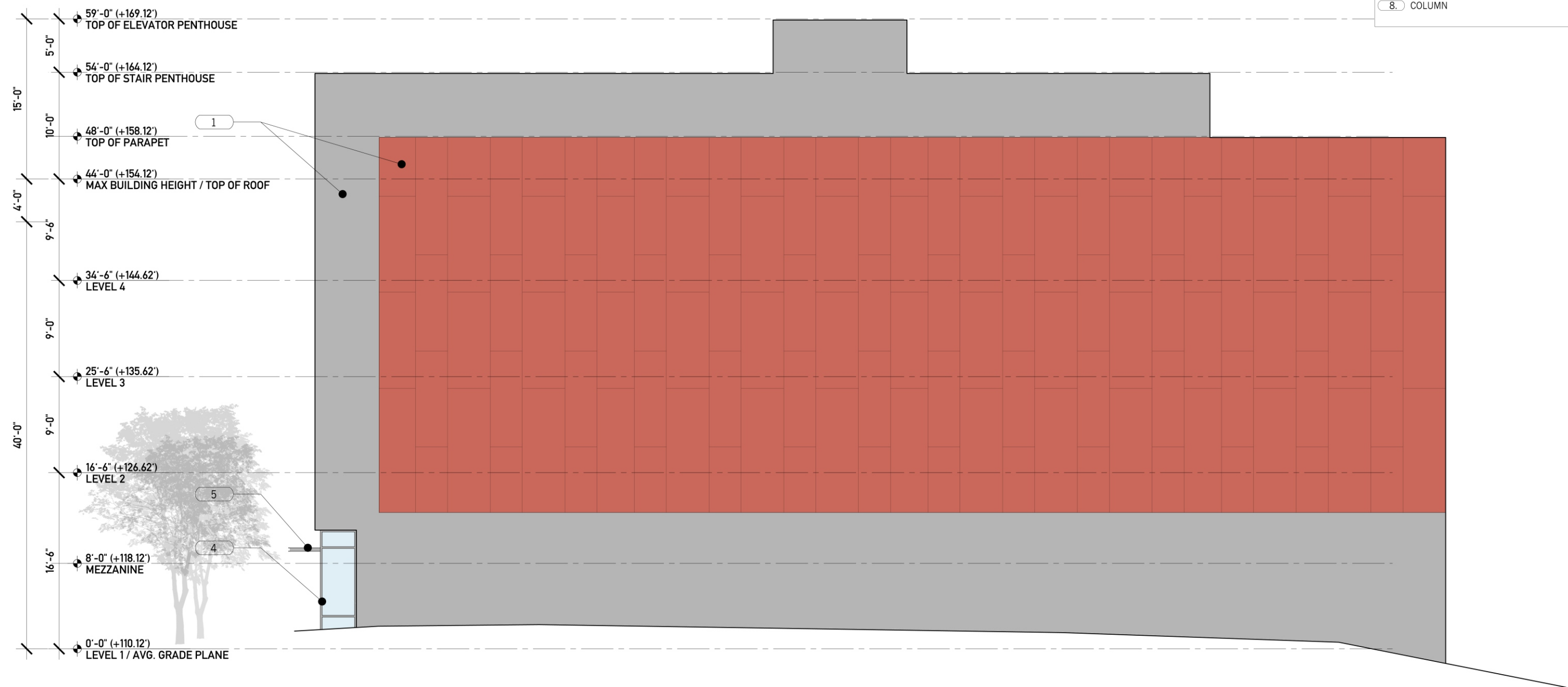
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WEST ELEVATION

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MATERIALS SCHEDULE X	
1.	FIBERCEMENT SIDING PANEL
2.	WOOD SCREEN TBD
3.	VINYL WINDOW OR DOOR ASSEMBLY
4.	STOREFRONT WINDOW
5.	AWNING
6.	UNIT VENT
7.	METAL SCREEN 6'-0" HIGH MINIMUM
8.	COLUMN



NORTH ELEVATION

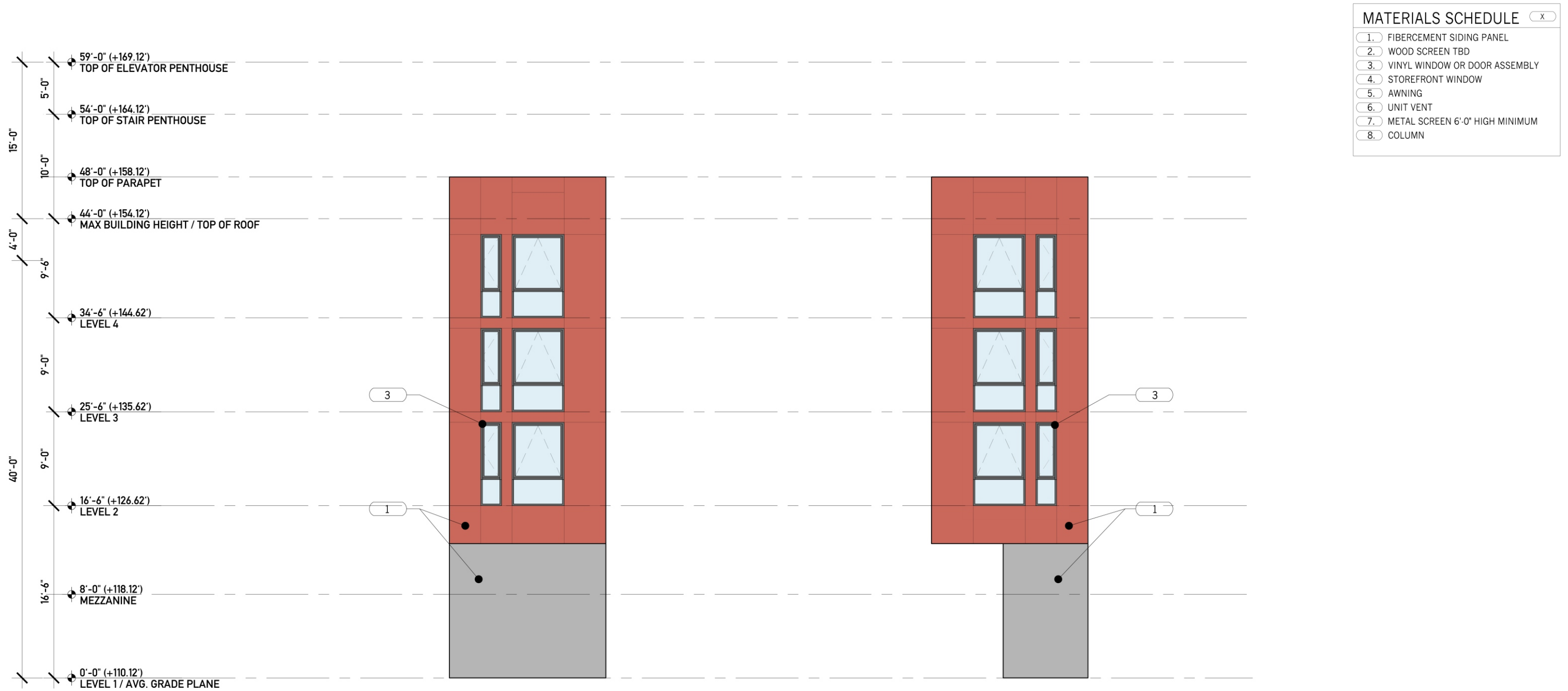
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SOUTH ELEVATION

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COURTYARD ELEVATIONS

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1 HORIZONTAL WOOD SIDING -CLEAR FINISH



2 FIBER-CEMENT PANEL : RED COLOR



3 FIBER-CEMENT PANEL : GRAY COLOR

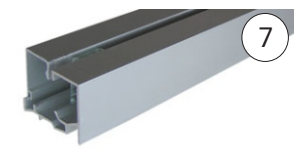
4 VINYL WINDOW : WHITE COLOR



5 CONCRETE : NATURAL COLOR



6 LIVE / WORK SIGN LETTERS



7 ALUMINUM STOREFRONT WINDOW :
MILL FINISH COLOR



8 PERVIOUS PAVERS

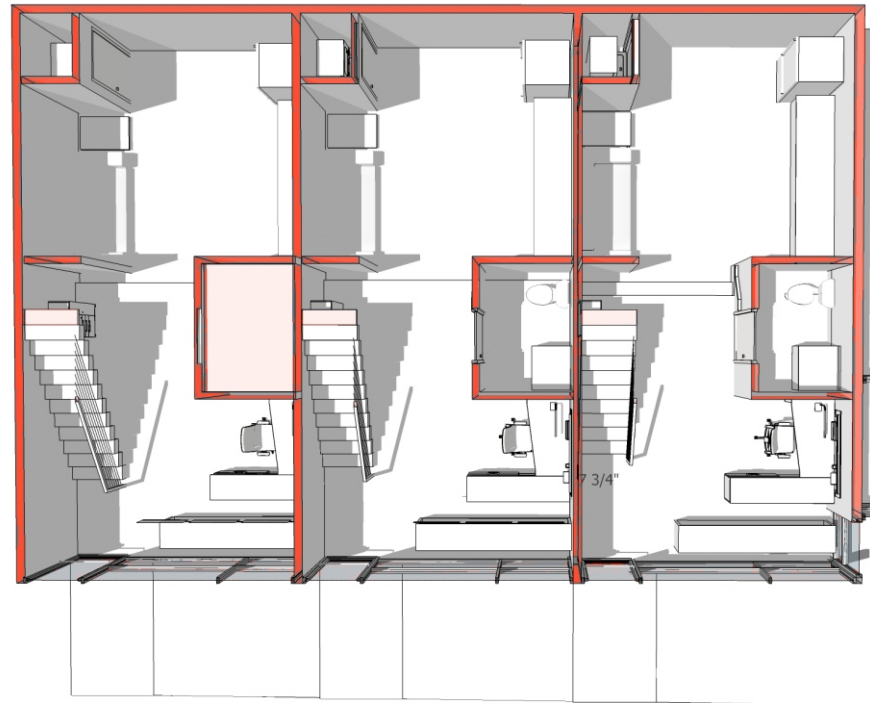


9 DECORATIVE METAL : BLACK COLOR

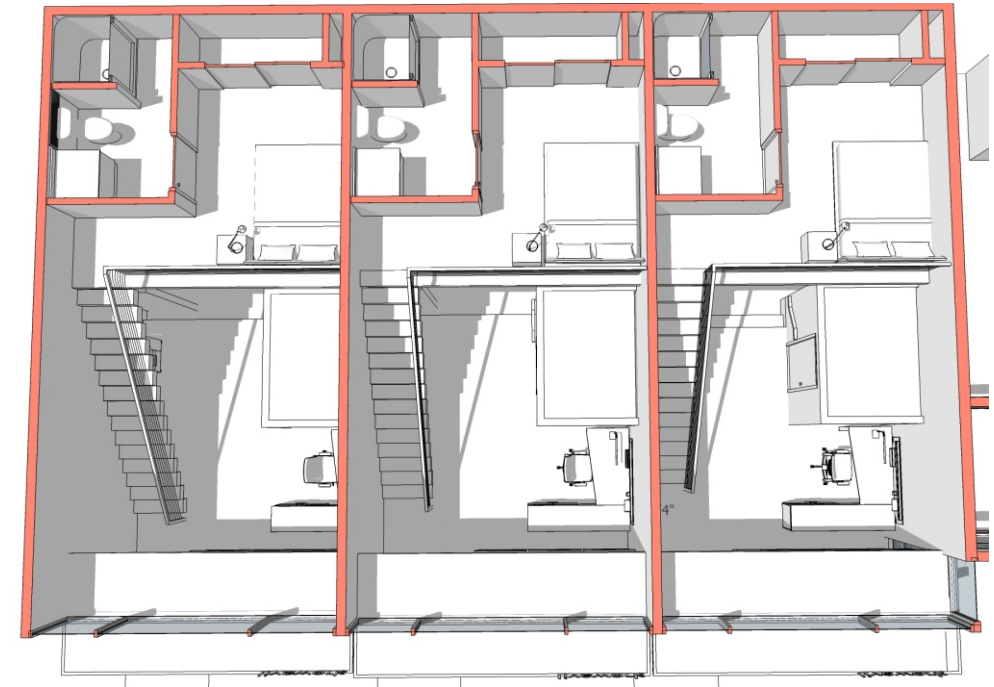


EXTERIOR MATERIALS

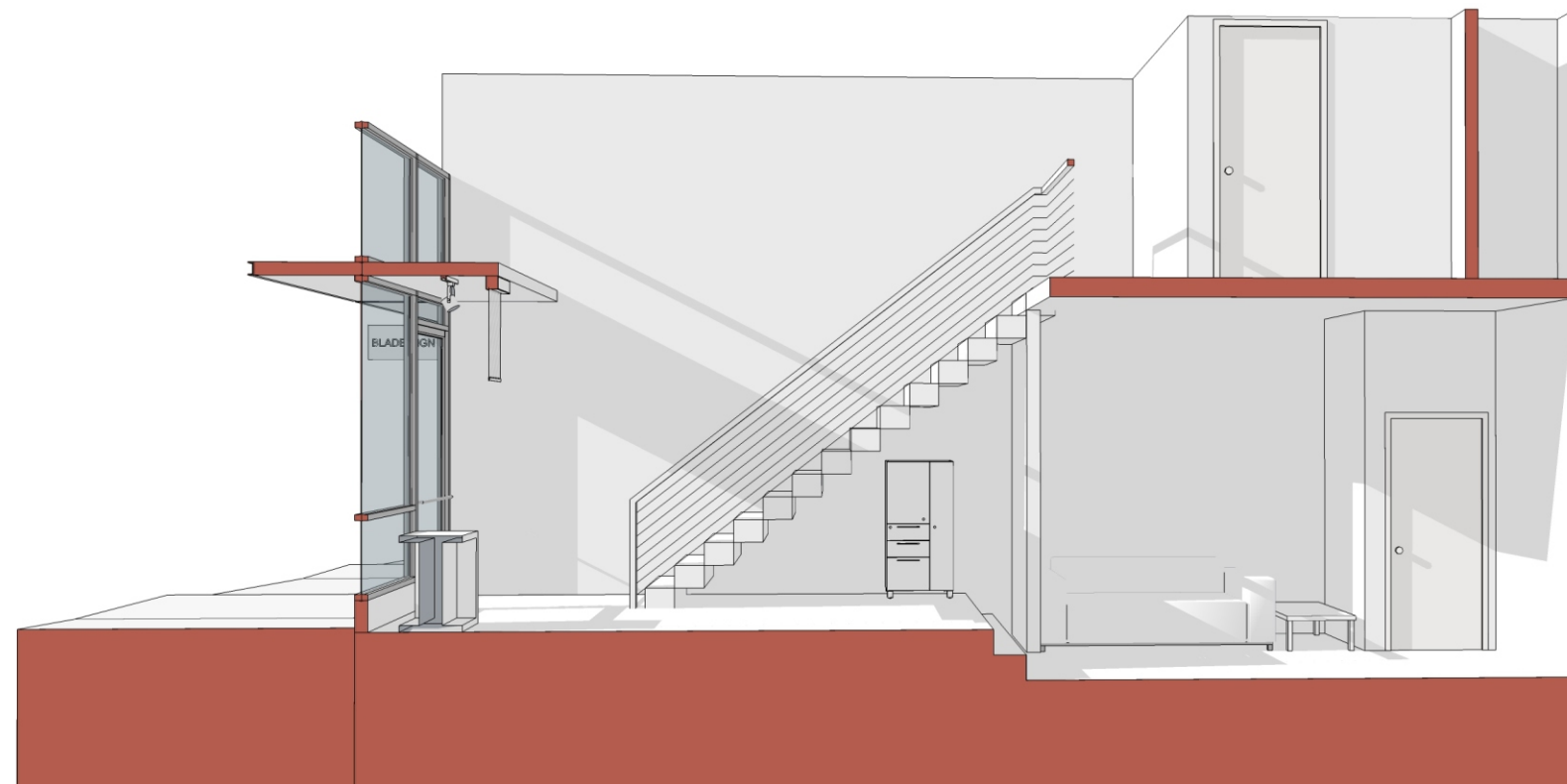
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STREET LEVEL PLAN



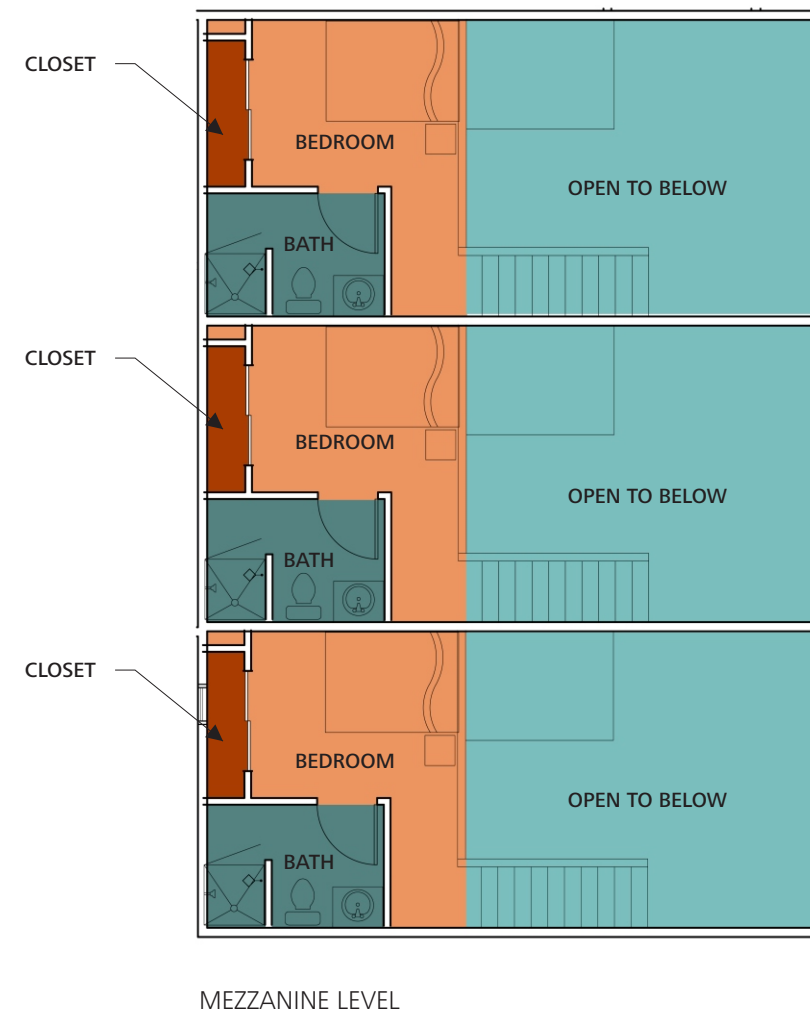
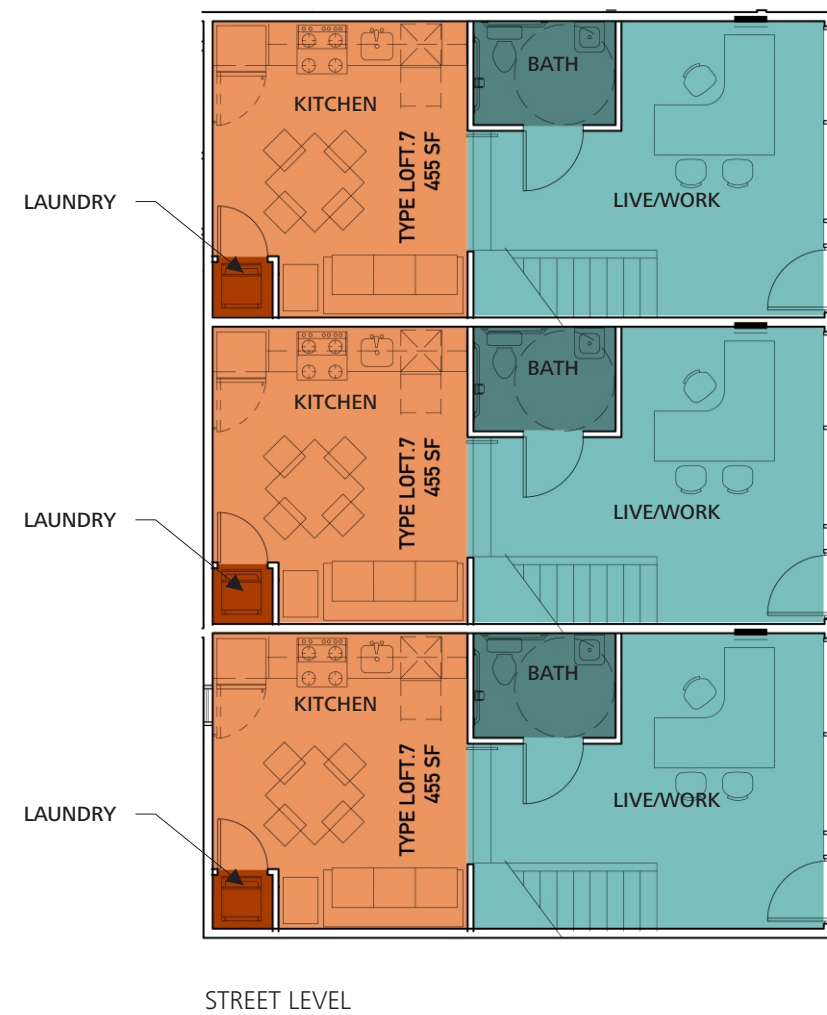
MEZZANINE LEVEL PLAN



SECTION

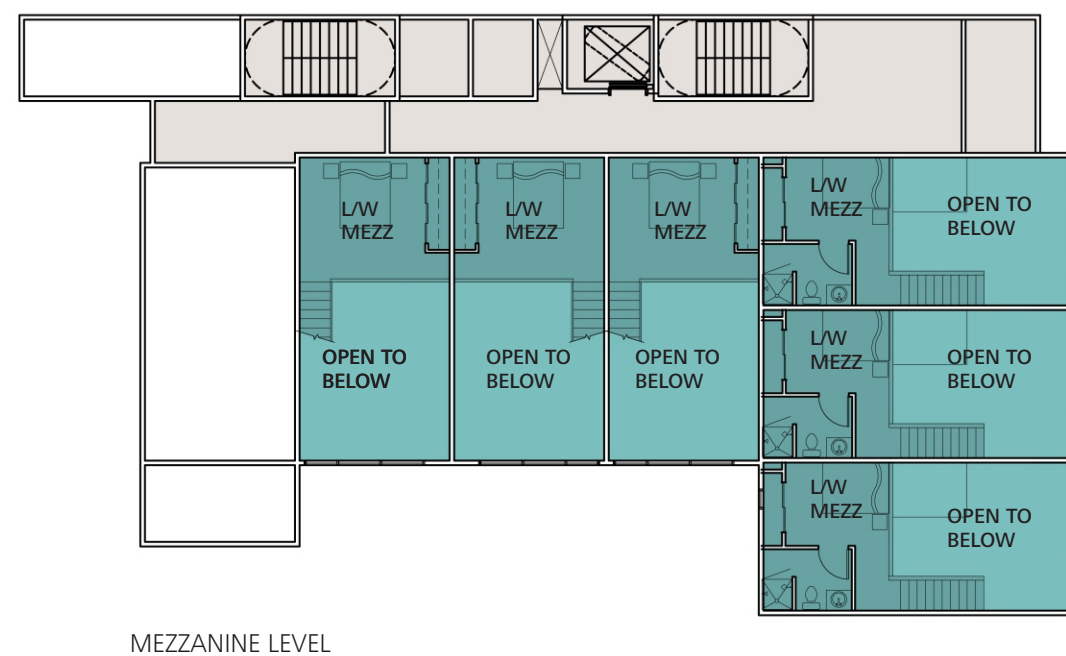
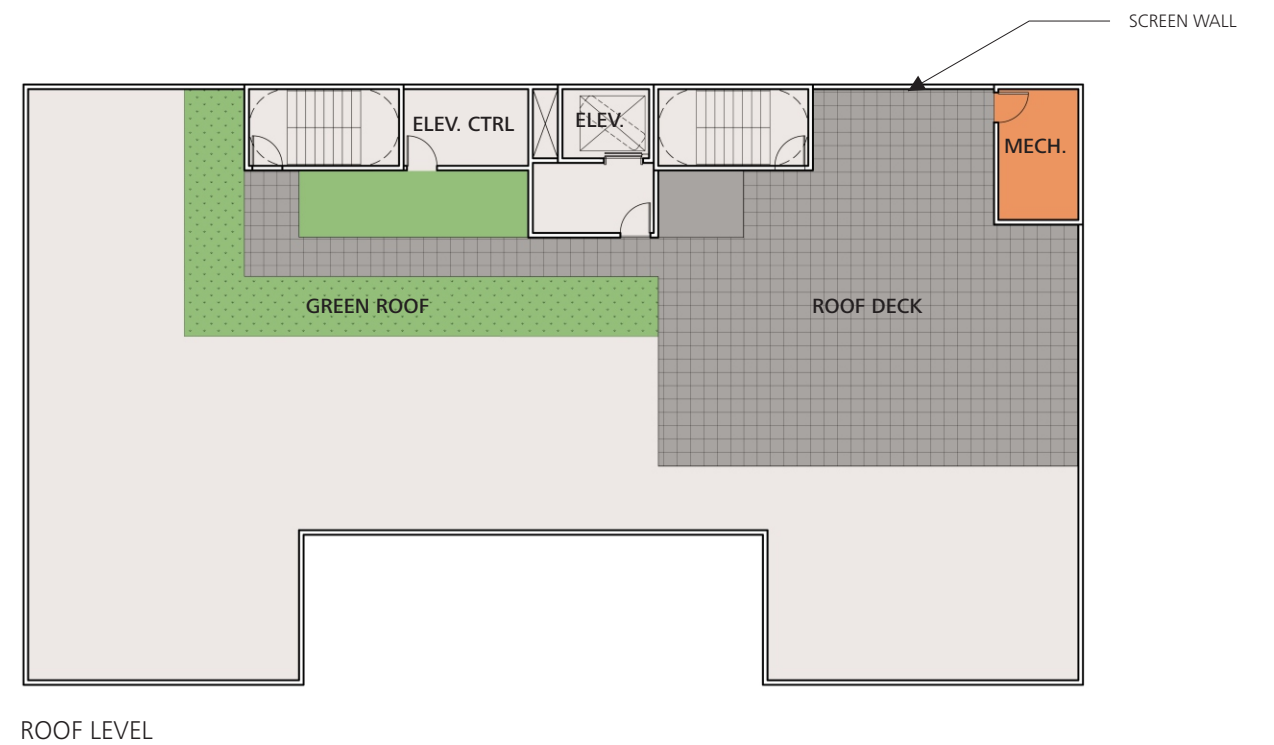
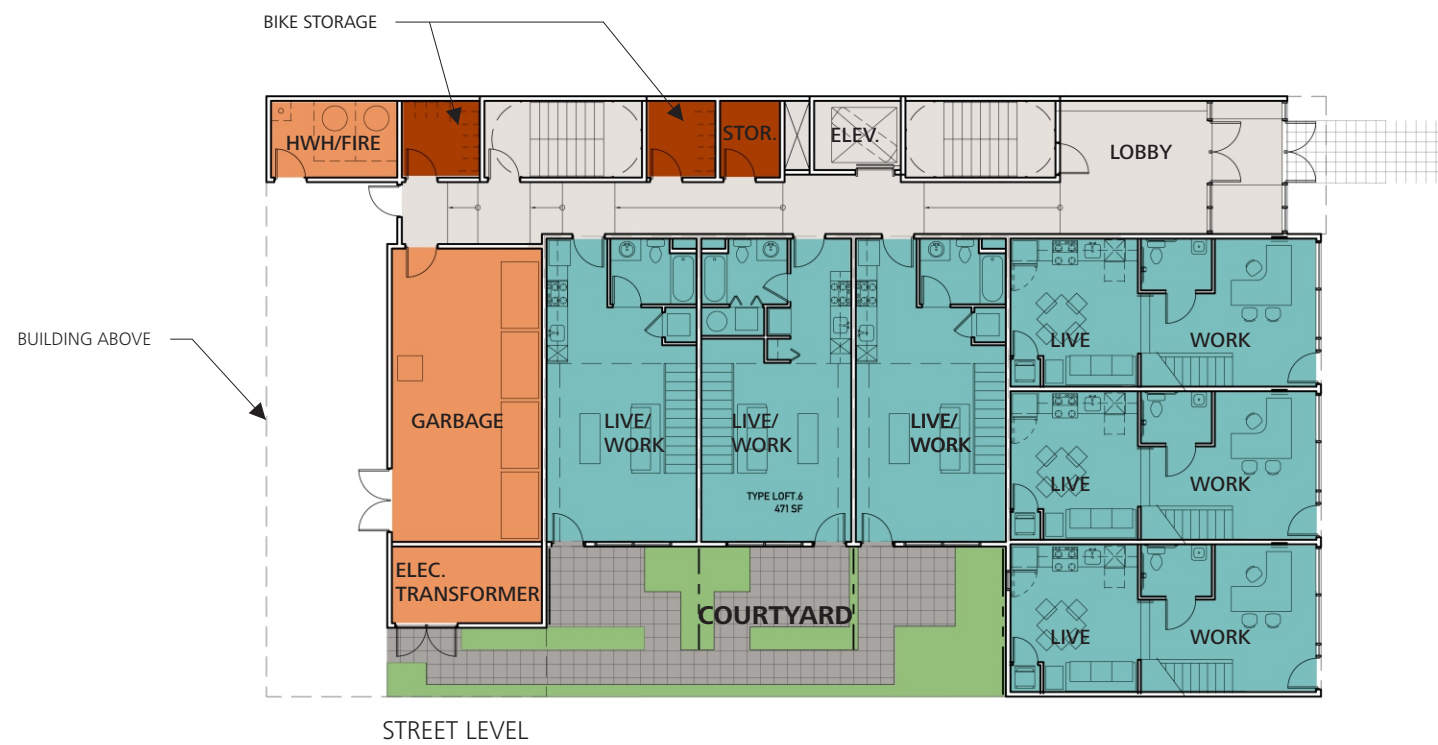
LIVE/WORK DIAGRAMS

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LIVE/WORK UNIT PLANS

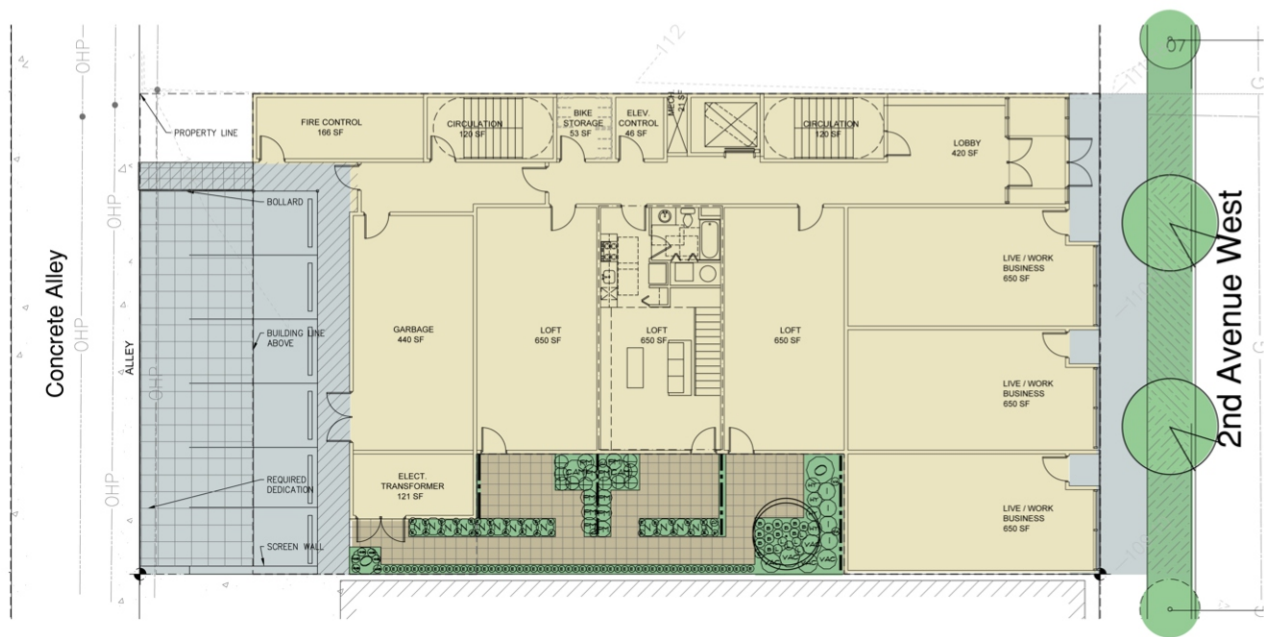
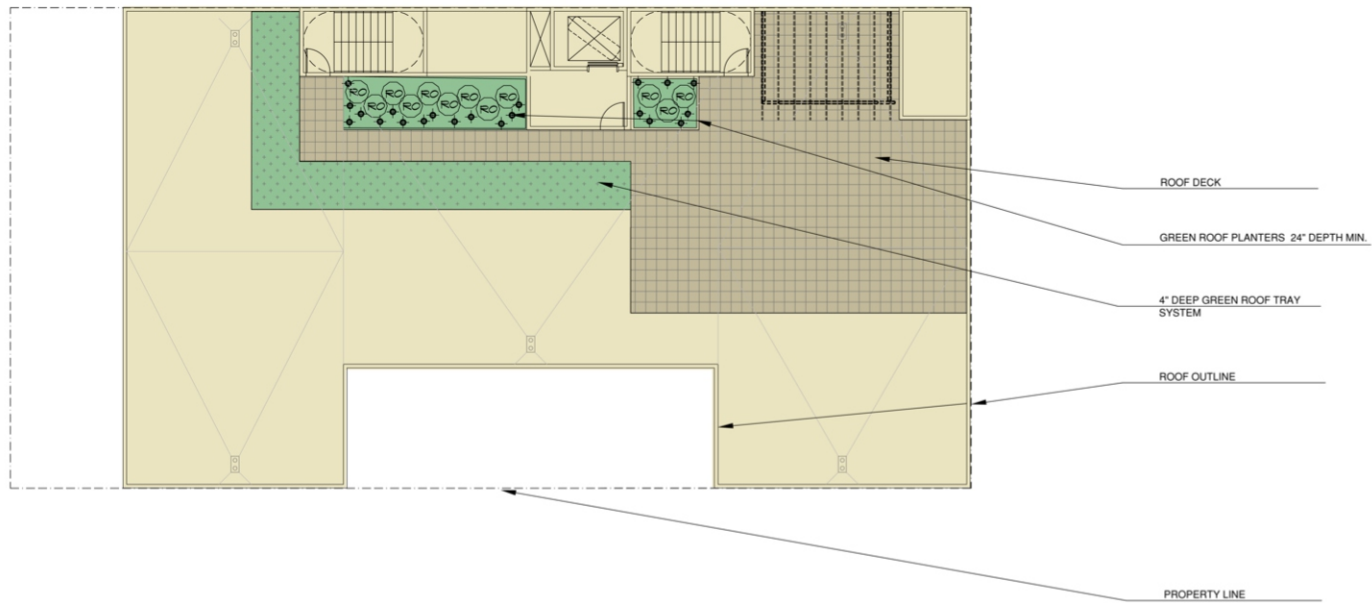
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FLOOR PLANS

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PLANT SCHEDULE

QUANT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
2	CARPINUS CAROLINIANA 'CCSQU'	PALISADE AMERICAN HORNBEAM	1 1/2" CAL	
2 #	QUERCUS FRAINETTO STREET TREE FORM	ITALIAN OAK USE 18" DEEP BY 6" LONG ROOT BARRIERS AGAINST ADJACENT CURB AND SIDEWALK	2" CAL	
13	BLECHNUM SPICANT	DEER FERN	1 GAL	
★ 2	CAMELLIA SASANKUA APPLE BLOSSOM	WINTER FLOWERING CAMELLIA	2 GAL	
86 #	EPIMEDIUM SULPHUREUM	YELLOW BISHOP'S HAT	1 GAL	
6	HOSTA 'KROSSA REGAL'	KROSSA REGAL HOSTA	1 GAL	
★ 4 #	HYDRANGEA QUERCIFOLIA 'PEE WEE'	DWARF OAKLEAF HYDRANGEA	2 GAL	
★ 4 #	ILEX 'NORTHERN BEAUTY'	NORTHERN BEAUTY JAPANESE HOLLY	2 GAL	
6 #	LIRIOPE ROYAL PURPLE	PURPLE FLOWERING LILY TURF	1 GAL	
★ 14 #	NANDINA 'COMPACTA'	COMPACT HEAVENLY BAMBOO	2 GAL	
★ 2 #	OSMANTHUS DELEVAYII	NO COMMON NAME	2 GAL	
21 #	PENNISETUM LITTLE BUNNY	LITTLE BUNNY FOUNTAIN GRASS	1 GAL	
★ 10 #	POTENTILLA MANGO TANGO	MANGO TANGO POTENTILLA	2 GAL	
19 #	PRUNUS MT. VERNON	MT VERNON LAUREL	1 GAL	
★ 12 #	ROSMARINUS OFFICINALIS 'ARP'	ROSEMARY ARP	2 GAL	
1	SEMIARUNDINARIA FASTUOSA	RED FASTUOSA BAMBOO	5 GAL	
★ 5 #	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	
45 #	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINKKINICK	1 GAL	30" O.C.
35 #	RUBUS PENTALOBUS 'EMERALD CARPET'	EMERALD CARPET CREEPING RUBUS	1 GAL	30" O.C.
2 #	AKEBIA QUINATA	FIVELEAF AKEBIA	2 GAL	
3 #	CLEMATIS JACKMANII	JACKMANII CLEMATIS	2 GAL	
930 #	SEDUMS FOR GREEN ROOF PLANTINGS, 4" DEPTH TRAY PLANTING SYSTEM, 75% COVERAGE AT TIME OF INSTALLATION, PLANTS AT APPROX. 10" O.C. COORDINATE ROOT BARRIER WITH ROOFING CONTRACTOR, ARCHITECT AND EXTENSIVE GREEN ROOF SUPPLIER/INSTALLER			

FOR EACH HATCH AREA PROVIDE AMOUNT OF PLANTINGS LISTED ADJACENT TO HATCH
VINES MUST BE MAINTAINED TO NOT GROW ON BUILDING OR WOOD FENCING. ONLY CONCRETE WALLS AND GREEN SCREENS
PLANT BAMBOO WITH 36" DEEP COMMERCIAL BAMBOO ROOT BARRIER AT PERIMETER OF BED, SEAL SEAMS
BARRIER TO BE 1" ABOVE SURROUNDING MULCH. YEARLY INSPECTION IS NECESSARY TO TRIM ANY SHOOTS THAT HAVE SPREAD OVER EDGE OF BARRIER
CONTACT SDOT URBAN FORESTRY (206-684-5693) TO COORDINATE STREET TREE SELECTION **BEFORE** WORK COMMENCES ON-SITE.
GREEN SCREEN

PERVIOUS PAVING

★ SHRUB WITH MATURE HEIGHT OF 24" PLUS, FOR GREEN FACTOR CALCULATIONS

DROUGHT TOLERANT PLANT

THERE IS APPROXIMATELY 1,279 SQUARE FEET OF TOTAL PLANTING AREA INCLUDING ROOF GARDEN.
APPROXIMATELY 1,118 SQUARE FEET OF THE PLANTING AREA HAS ALL DROUGHT TOLERANT PLANTS.
THIS GIVES A PERCENT USE OF DROUGHT TOLERANT PLANTS BASED ON AREA OF 87 %.
DUE TO THE CLOSE SPACING OF THE SEDUM PLANTS USED AS PART OF THE ROOF GARDEN THE PERCENTAGE OF DROUGHT TOLERANT PLANTS USED BASED ON QUANTITY IS HIGHER THAN 87 %.
SEE SHEET L1.1 FOR PLANTING AREA CALCULATIONS.

LANDSCAPE PLAN

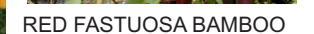
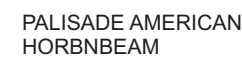
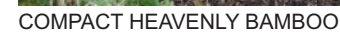
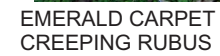
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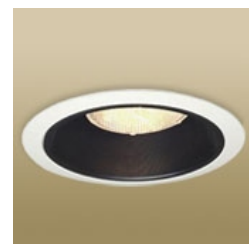
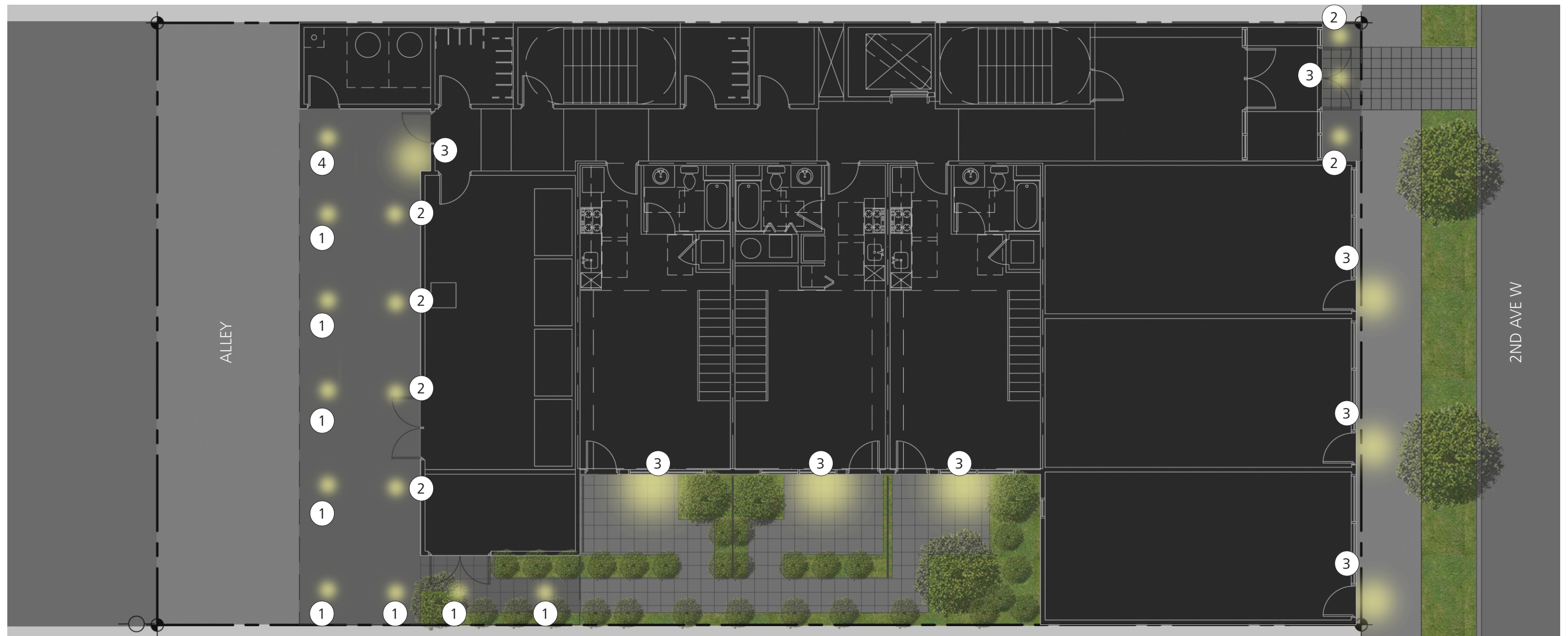
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A 3x3 grid of dots. The top row has two dots, the middle row has two dots, and the bottom row has three dots. The dot in the top-right position is missing.

DROUGHT TOLERANT PLANT



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① RECESSED CEILING LIGHTING



② EXTERIOR SCONCES:
Y-LIGHTING - AXIS LARGE
OUTDOOR WALL SCONCE



③ ENTRY LIGHTING:
Y-LIGHTING - ALLLIGHT
CLOSED WALL SCONCE

LIGHTING PLAN

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