

WEATHERFORD, LLC.

WEBER THOMPSON GRAPHIC PRESENTATION



133 14TH AVENUE

DESIGN REVIEW

DPD #3012729

SEPTEMBER 19TH, 2012



WEBER THOMPSON

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DEVELOPMENT OBJECTIVES

The building will occupy the SW corner of E. John Street and 14th Avenue East and orient to the very different street conditions; E. John being relatively commercial and heavily trafficked vs. the quieter more residential 14th Avenue. At this point on the hill E. John has a low commercial/retail use with a heavy concentration of retail further east and west. Live/work is proposed at building's first floor in lieu of retail. There is an excellent opportunity to adapt the floor slabs of the commercial live/work units to the adjacent sidewalk along E. John. Along 14th the building will relate to the more residential context. The main building entry is proposed on E. John where it relates best to grade.

In addition to the six live/work units, the project will have approximately 42 apartments and 24 parking stalls in one level of below grade parking. The typical floorplate will be around 8300 GSF with 12 units/floor. The majority of units will have an excellent orientation south, with additional units fronting E. John and facing west toward the alley. The upper floors of the building will have views toward downtown and Elliott Bay and the Olympics.

The preferred EDG scheme C will step back at the top floor of the south and west facades adjacent to the residential zones while the street facades will provide a positive street wall at the property line. The building's corner, base and entry bay will present more opportunity for detail and emphasis while the overall building will be of a simple massing, quality materials and thoughtful detailing.

- Important corner site on E. John
- Relate to established residential tradition of Capitol Hill
- Step down the hill gracefully and create a series of commercial live/work units along E. John
- Recognize the very different street conditions along 14th and E. John
- Combine quality materials with simple massing.

The applicant proposes to build an urban, residential (mixed-use) development that will provide rental housing in the Capitol Hill neighborhood and commercial space that will engage pedestrians in a growing area of Seattle.

Construction Type:

Three (3) Type VA 1-hour wood frame apartment floors over Type I construction at-grade including structured parking.

Residential Uses:

42 residential market rate apartments, including live/work, 2-bedroom, 1-bedroom, open 1-bedroom units.

Commercial Uses:

Live/work units.

Use distribution by floor:

Basement: Parking Garage
 Level 1 (Street Level): Live/Work and Residential Units
 Level 2-4: Residential Apartment Units
 Level 5 (Roof): Roof Deck

Sustainability Goal:

Seattle Green Factor = .30



THE SITE

The site is located on Capitol Hill at the SW corner of E. John Street & 14th Avenue East, bounded by an alley along the west property line. There is a two story apartment building with surface parking lot bordering the south property line. The existing structure, whose primary use is commercial (retail), will be demolished, as will the surface parking that serves it. Dimensions for the rectangular lot are approximately 120' along E. John St., and 90' along 14th Avenue East, and the alley, yielding 10,814 square feet. The site slopes down east to west at roughly 9% along E. John St., and 2-3% from the north property line down to the south.

The character of the neighborhood is made up of varying uses including residential, commercial, and institutional, with an eclectic mix of architectural styles, ranging from two to five stories in height. A mix of single and multi-family buildings, which utilize surface, alley loaded, and street parking, are found to the south, east, and west. At the NE corner of E. John St. & 14th Ave East is the Safeway Parking lot, which is also used by smaller retail businesses in the same building. E. John St. terminates two blocks to the east at the Group Health campus, and in the opposite direction provides a view corridor to downtown, Puget Sound, and the Olympic Mountains.



SITE VIEWS



VIEW ACROSS 14TH FROM SITE



14TH & JOHN FROM NORTHWEST



VIEW OF SITE FROM EAST



SITE FROM NORTHWEST



LAND USE CODE HIGHLIGHTS



- Capitol Hill Neighborhood Design Guidelines, effective December 2010

Permitted uses (23.47A.004)

Mixed-use, residential, live/work, office, commercial

Proposed use

Mixed use containing residential (R2), live/work apartments (commercial component), and accessory parking (S2)

Prohibited uses (23.42A.005 C.2)

Residential uses are generally permitted anywhere in an NC2 zone except that they may not occupy in aggregate more than 20% of the street level, street facing facade. Access to residential use is limited to 20% of the pedestrian street-facing facade width.

Street level uses (23.47A.005/23.47A.010)

- Commercial uses required along 80% of principal pedestrian street
- Residential access may occupy the remaining 20% of the facade width
- Non residential uses shall have at least 13' floor to floor height, average 30' depth with a minimum of 15' depth.

Blank facades (23.47A.008 A.2)

Blank segments shall not exceed 20' in length between 2' and 8' above sidewalk. Total of all blank facades shall not exceed 40%.

Transparency (23.47A.008 B.2)60%

Of the street facade between 2' and 8' above the sidewalk shall be transparent.

Building height limits (23.47A.012) NC2-40 zone

- 40'-0" Required to top highest main flat roof plane.
- 40'-0" + 4'-0" For parapets, open railings, planters, skylights, clerestories, greenhouses.
- 40'-0" + 15'-0" For stair/elevator penthouses, solar collectors, and screened mechanical equipment (provided features do not exceed 20% of roof area, or 25% with stair/elevator penthouses, and are setback 10' from the north roof edge)

SMC 23.47A.012.A.1.A: In zones with a 30 foot or 40 foot mapped height limit the height of a structure may exceed the otherwise applicable limit by up to 4 feet, subject to subsection 23.47A.012.A.1.C, provided a floor-to-floor height of 13 feet or more is provided for nonresidential uses at street level

Floor Area Ratio (23.47A.013)For structures containing both residential and non-residential uses:

Maximum allowed in NC zones for 40' height limit = 3.25
 Maximum for any single use = 3.00
 NC2-40 lot area = 10,814 sf x 3.25 = 35,146 Sf total
 10,814 Sf x 3.00 = 32,442 Sf any single use

Setback (23.47A.014)

- No setback required for structures up to 13' in height
- 15' For portions of structure from 13' - 40' in height along any rear or side lot line that abuts a lot in a residential zone
- Above 40' provide an additional 2' setback for every 10' in excess of 40'

Residential amenity areas (23.47A.024)

5% of total residential gross square footage is required as amenity space to a limit of 50% of the lot area including decks, balconies, terraces, roof gardens, plazas, play area, sport courts, and courtyards. Resident access is required to at least one amenity area – 10' & 250 sf minimum common area dimensions; 6' & 60 sf private balconies and decks; parking & driveways not included.

Solid waste & recyclable (23.47A.029)

Multifamily 26-50 units = 150 sf required – front loading containers materials storage

Landscape and screening (23.47A.016)

Green Area Factor: landscaping that achieves a green factor score **standards** of 0.3 or greater

Loading berth requirements (23.54.035 B.1) Medium demand @ less than 1,500 sf falls below chart a threshold = request on site loading space to be waived and provided on street

Vehicle parking calculations (23.54.015)

Residential: no parking required per director's rule 8-2011

Commercial: no parking required per 23.54.015.D.1
 Live/work units: 0 spaces required for units with 1,500 sf or less.

Accessible stalls required

2% of parking stalls to be barrier free

Bicycle parking calculations

1 Per 4 residential units

Residential amenity area:

5% of total residential gross square footage is required as amenity space to a limit of 50% of the lot area including decks, balconies, terraces, roof gardens, plazas, play area, sport courts, and courtyards.

Resident access is required to at least one amenity area – min. common area requirements: 10' dimensions & 250 sf; min. Private balconies & decks: 6' & 60 sf. Parking & driveways not included.

SMC 23.47A.005.C.4.D:

Residential street-level use residential uses may occupy 100 percent of the street-level street-facing facade in a structure if the structure does not face a designated principal pedestrian street.

SMC 23.47A.008.D.1:

Residential uses are limited to 20% of the street-level street-facing facades if the street-facing facade and depth requirements would result in a requirement that an area greater than 50 percent of the structure's footprint be dedicated to the uses in subsection 23.47A.005.D.1, The director may modify the street-facing facade or depth requirements, or both, so that no more than 50 percent of the structure's footprint is required to be dedicated to the uses in subsection 23.47A.005.D.1.

DPD (MUP) Project Number:

3012729

Lot Area

10,814 Sf

Existing Zoning Designation

NC2-40'

Urban Context

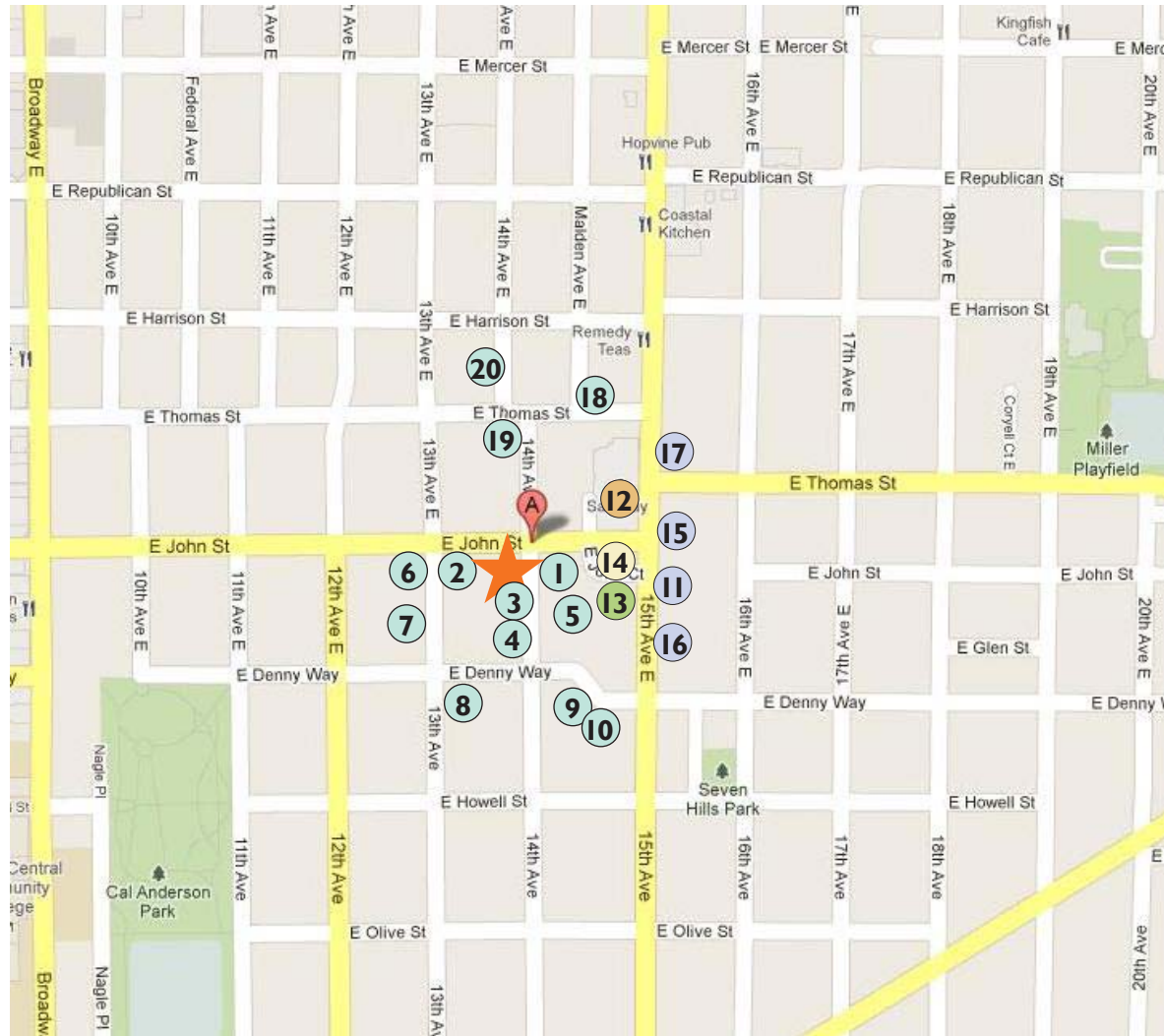
Site is within the Capitol Hill Urban Center Village. Adjacent properties are zoned L3 excepting corner lots at the north side of East John St, (both sides of 14th Avenue North) which are zoned NC2-40.

Applicable DPD design guidelines

- Guidelines for Multi-Family and Commercial buildings 1993, 1998 (amended 2007)



CONTEXT ANALYSIS



CONTEXT ANALYSIS

- ① Residential
- ② Institutional
- ③ Commercial
- ④ Mixed Use
- ⑤ Park
- ★ Site

NEIGHBORHOOD DESIGN CUES

- ▲ Exterior Finish Materials
- Fenestration/Corner Treatments
- Bulk/Height/Scale



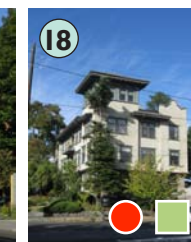
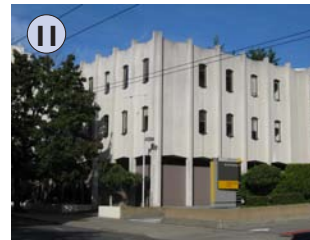
① Anhalt Building to East of Project Site



② Building to West of Project Site



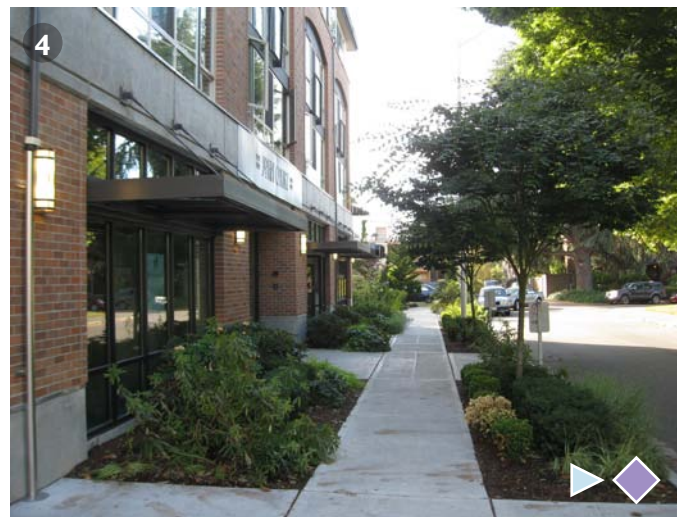
③ Building to South of Project Site



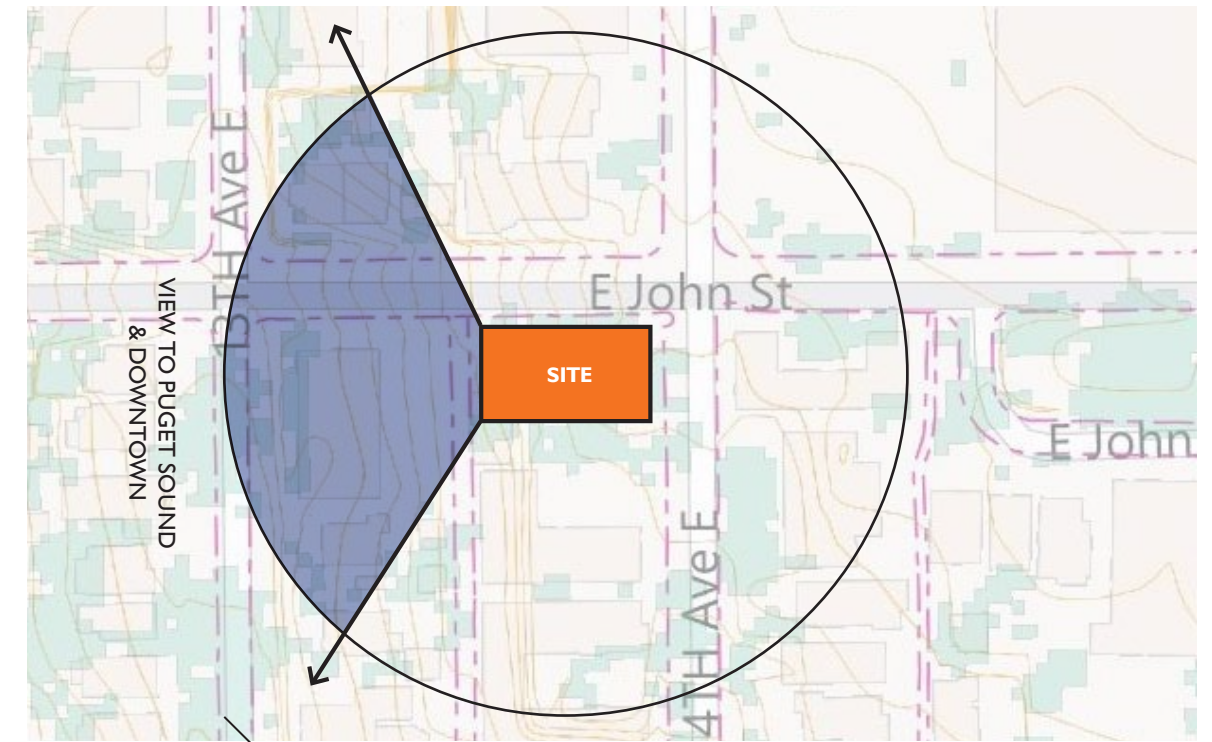
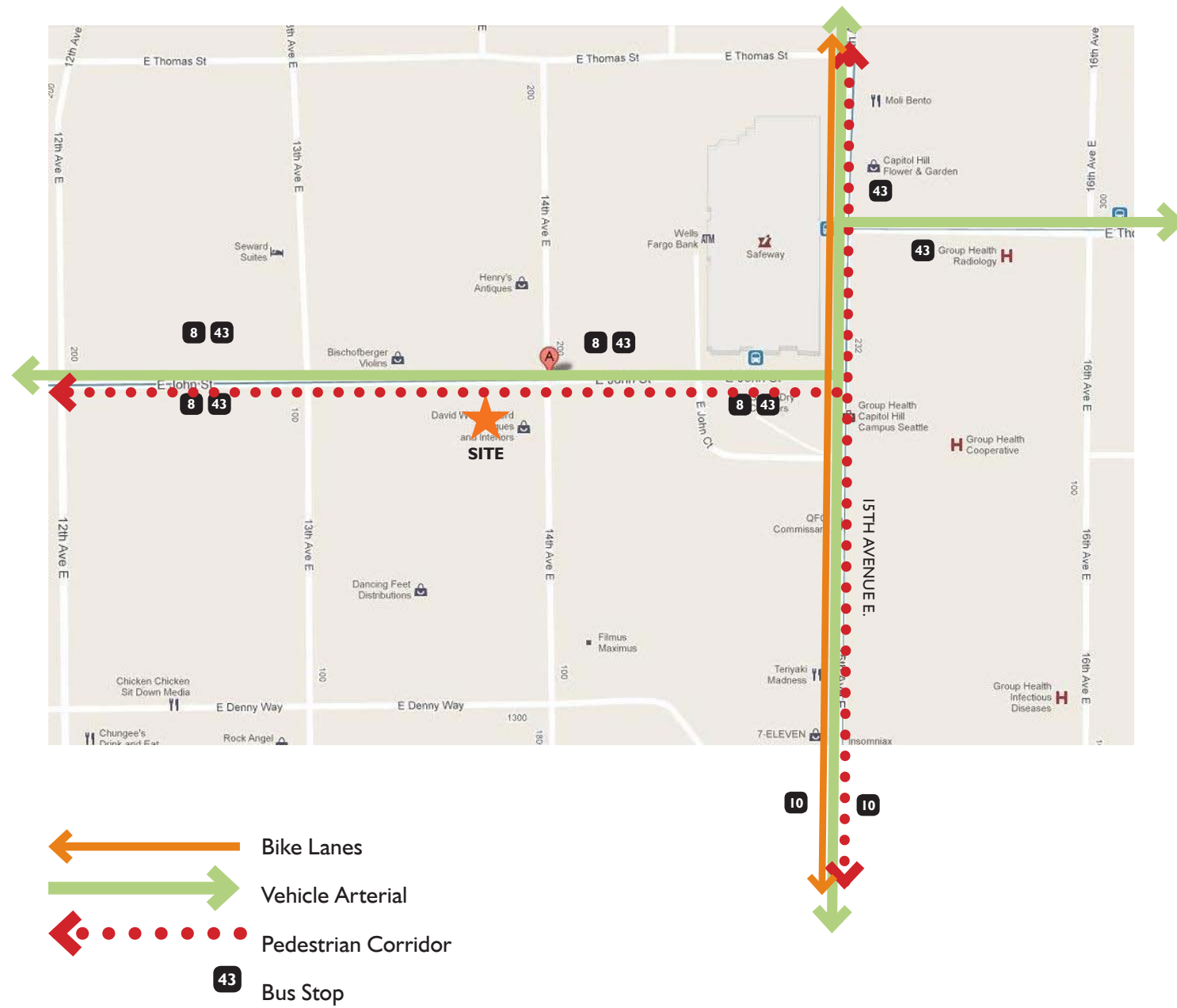
STREETSCAPE COMPATIBILITY



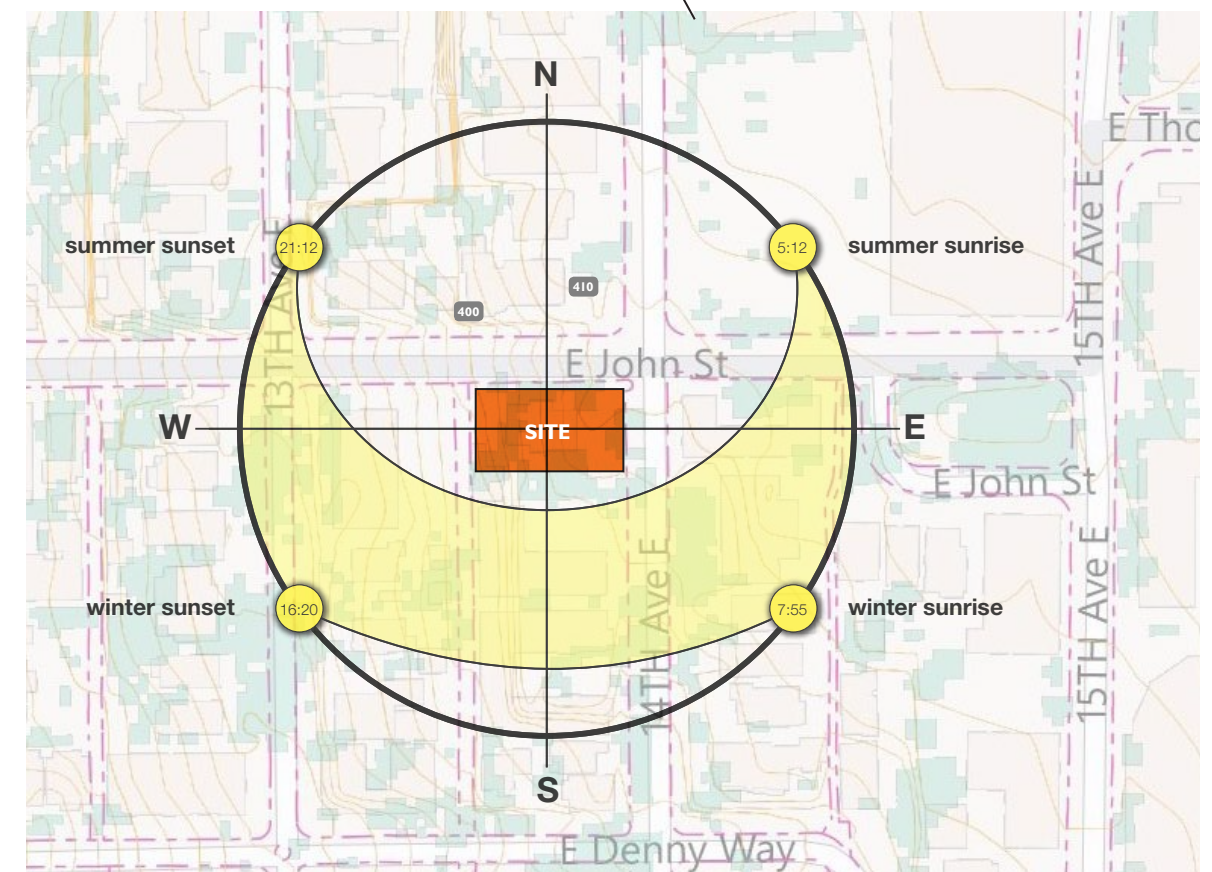
- ▶ Landscape Elements
- ◆ Pedestrian Entrances & Weather Protection



TRANSPORTATION ANALYSIS



VIEW DIAGRAM



SUN DIAGRAM

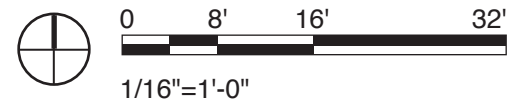






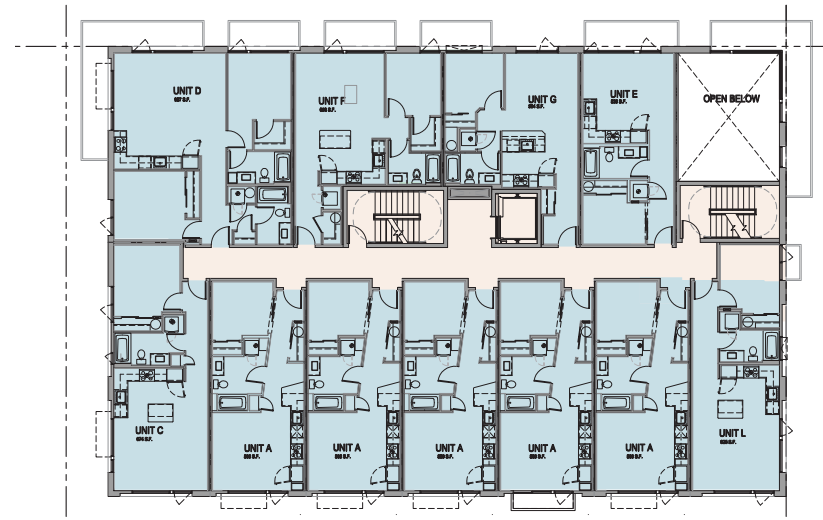
LEVEL I PLAN

- RESIDENTIAL
- AMENITY
- AUXILARY
- PARKING
- VERTICAL CIRC./CORRIDOR
- COMMERCIAL

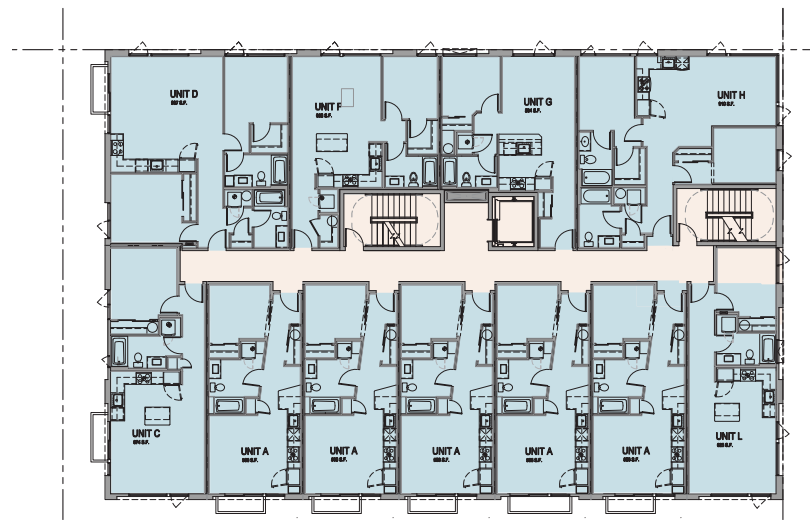


FLOOR PLANS

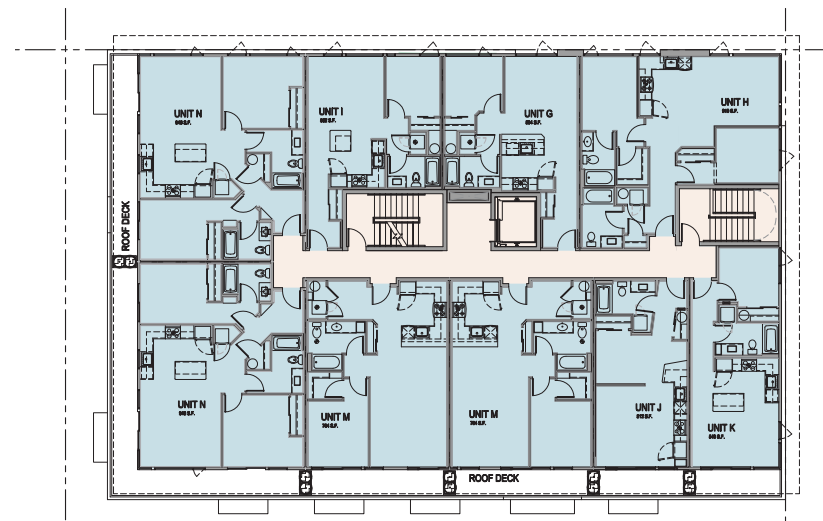
- RESIDENTIAL
- AMENITY
- AUXILARY
- PARKING
- VERTICAL CIRC./CORRIDOR
- COMMERCIAL



LEVEL 2 PLAN



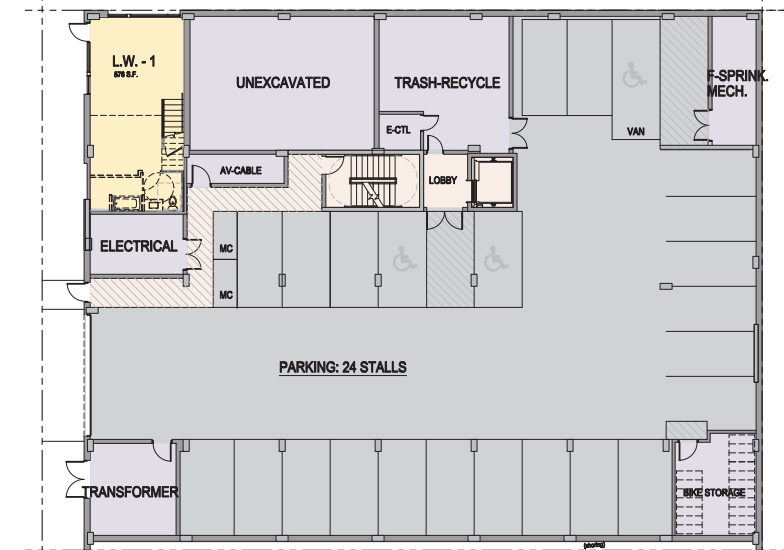
LEVEL 3 PLAN



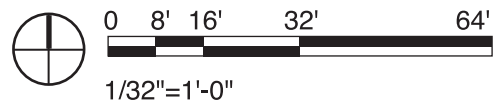
LEVEL 4 PLAN



ROOF PLAN (AMENITY)



PI PLAN



NORTH ELEVATION

ALUMINUM
STOREFRONT SYSTEM

MASONRY

METAL SIDING

METAL FASCIA AND SOFFIT



STEEL AND GLASS
CANOPY



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



EXTERIOR MATERIALS



Honed Block



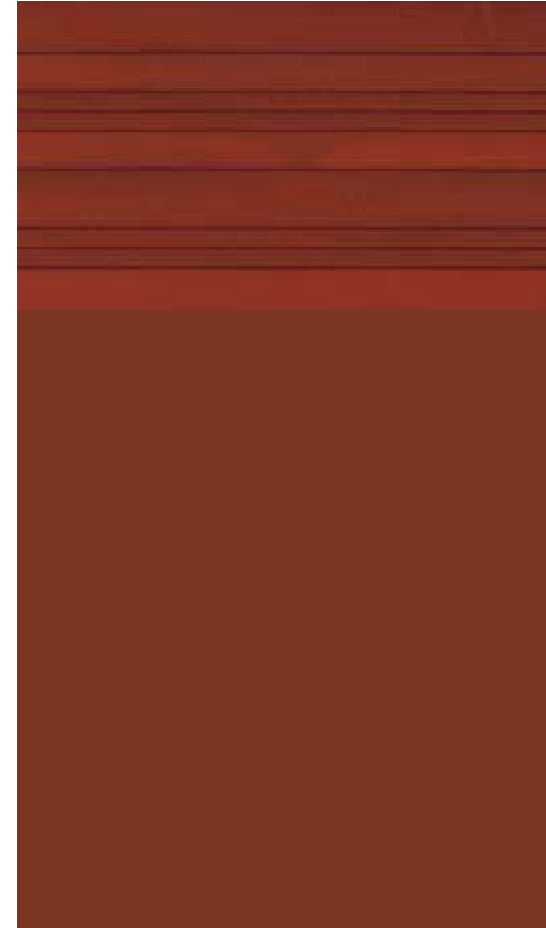
Concrete



Metal Siding



Painted Metal Siding



Metal Siding



Metal Siding



Metal Siding



Canopy





VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



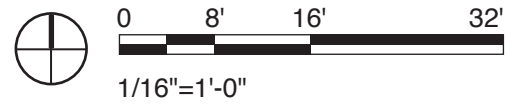
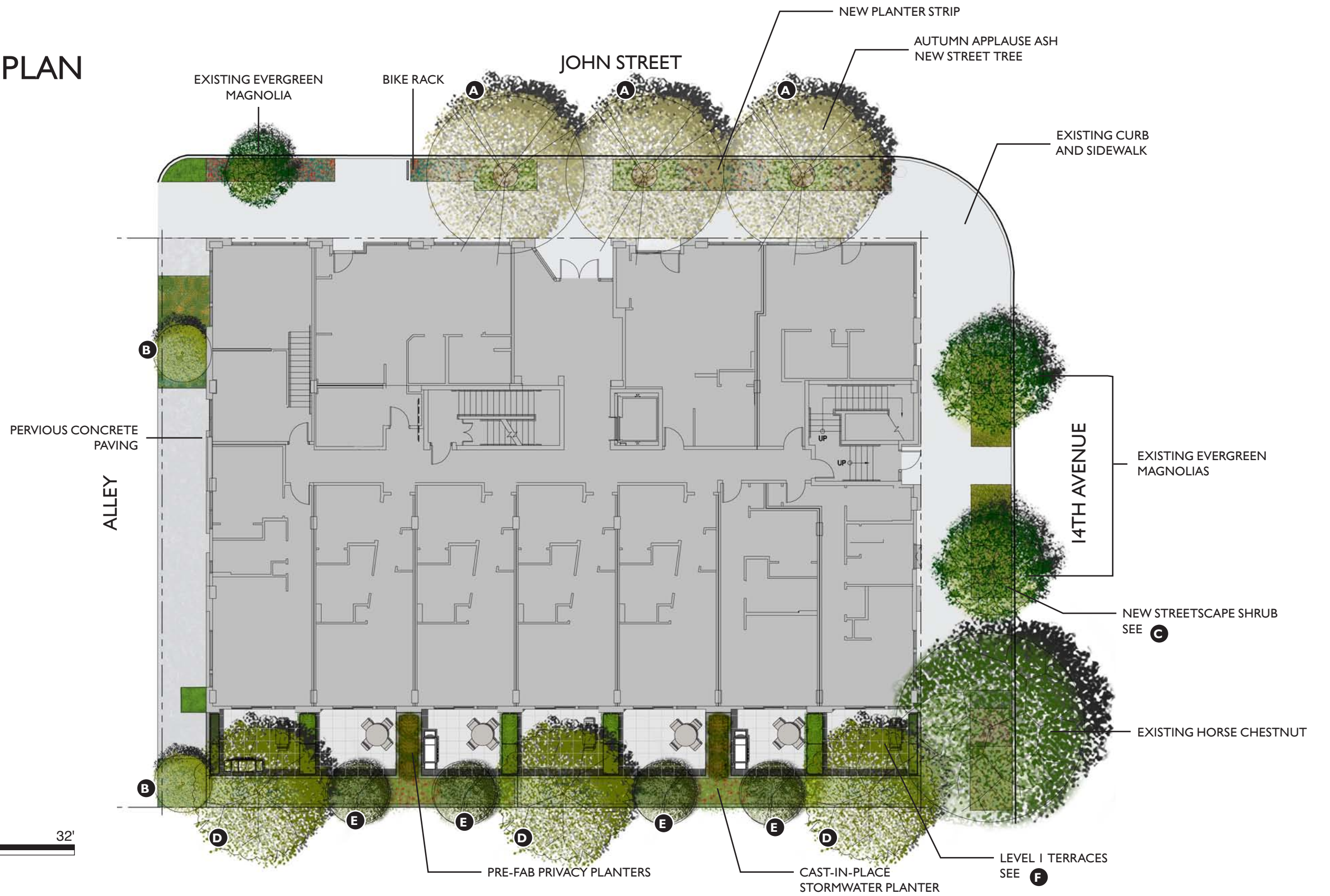
VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST



LANDSCAPE SITE PLAN



STREETSCAPE PLANTING PALETTE

STREET TREES



A

AUTUMN APPLAUSE ASH



B

SLENDER SILHOUETTE SWEETGUM

C STREETSCAPE SHRUB & GROUND COVER PALETTE



DWARF JAPANESE MOCK ORANGE



SUNSHINE DAISYBUSH



GULF STREAM HEAVENLY BAMBOO



CRIMSON PYGMY
JAPANESE BARBERRY



GOLD NUGGET
JAPANESE BARBERRY



FRAGRANT VALLEY
SWEETBOX



AZTEC PEARL
MEXICAN ORANGE



BIOKOVO GERANIUM



RUSSIAN JUNIPER



GOLD VARIAGATED
WINTER CREEPER



BEACH STRAWBERRY



LEVEL I TERRACE PLANTING PALETTE

F LI TERRACE SHRUBS AND GROUND COVERS



AZTEC PEARL MEXICAN ORANGE



PACIFIC WAX MYRTLE



EVERGREEN HUCKLEBERRY



REDTWIG DOGWOOD



YELLOWTWIG DOGWOOD



COMPACT STRAWBERRY TREE



DEER FERN



SNOW CHIMES BERGENIA



STREIBS FINDLING COTONEASTER



ORANGE SEDGE



BEACH STRAWBERRY

LI TERRACE TREES



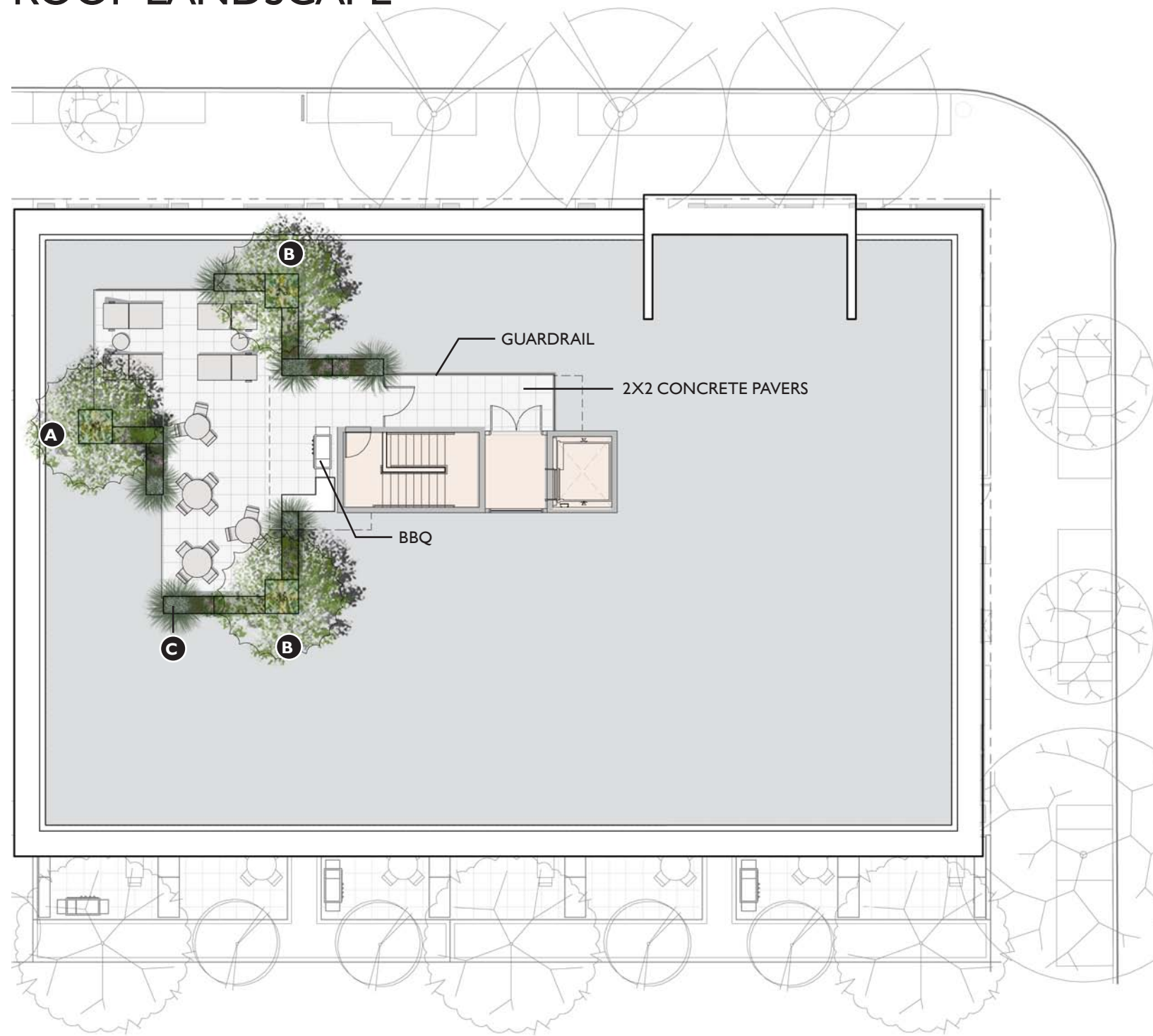
ROBIN HILL SERVICEBERRY



SCARLET SENTINEL MAPLE



ROOF LANDSCAPE



A TWISTED BABY LOCUST



B NATCHEZ CREPE MYRTLE



C YAKU JIMA DWARF MAIDEN GRASS

ROOF SHRUB PALETTE



2 MAGELLAN WHEATGRASS



3 LAWRENCE CROCKER DAPHNE



4 JAMES STIRLING WHIPCORD HEBE



5 SNOW CHIMES BERGENIA



6 VANCOUVER JADE KINNIKINNICK



DESIGN GUIDELINES

A. SITE PLANNING

A-2 STREETScape COMPATIBILITY

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

- Retain or increase the width of sidewalks
- Provide street trees with tree grates in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.
- Vehicle entries to buildings should not dominate the streetscape
- Orient townhouse structures to provide pedestrian interest to the sidewalk.
- For buildings that span a block and “front” on two streets, each street frontage should receive individual and detailed site planning and architectural design treatments to complement the established streetscape character.
- New development in commercial zones should be sensitive to neighboring residential zones. Examples include lots on Broadway that extend to streets with residential character such as Nagle Place or 10th or Harvard Avenue East. While a design with commercial character is appropriate along Broadway, compatibility with residential character should be emphasized along the other streets.



CORNER OF E. JOHN ST. AND ALLEY

EDG Board Commentary: The Board stressed their concern with the quality of the streetscape and the proposed live/work units. The Board expressed specific apprehension regarding the ability of live/work units and uses to engage with pedestrian activity at street level. The design of the storefront window system, transparency, overhead weather protection, wider sidewalks and streetscape design will all be critical elements for

their next review. The Board specified that the ground level units should have the appearance of the full 13 feet (from floor to ceiling) height. The Board also noted that at least the full commercial depth should be provided to maximize the flexibility of future uses and ability for adequate space for commercial and residential uses to co-exist within a single unit.

Response: The entire streetfront along E. John been redesigned to “futureproof” for retail uses while still being viable as live/work. Clear glass overhead glass canopies and provisions for retail signage will be provided. Floor-to-floor height will be at least 13’ with higher areas of glazing at the buildings NE and NW corners. The units will have the required retail average depth of 30’ with mezzanines providing additional flexibility for upper level residential program to support live/work uses.



CORNER OF E. JOHN ST. AND 14TH STREET



A-3 ENTRANCES VISIBLE FROM THE STREET

Entries should be clearly identifiable and visible from the street.

EDG Board Commentary: The Board agreed that the recessed live/work entries appeared too residential and should be designed to communicate a more commercial character. The Board suggested that the building's face instead be pushed back, rather than simply the entryways. The presentation packet includes images of this architectural direction. See A-4.

Response: The recessed live/work entries have been entirely eliminated from the project and replaced with a more commercial-appearing live/work configuration that is at the face of the building to engage the right of way. The slabs at all live/work bays have been stepped to follow the grade along John as well. The areas of glazing are larger and framed with a more commercial storefront system than previously shown



BUILDING ENTRANCE ON EAST JOHN STREET

A-4 HUMAN ACTIVITY

New Development should be sited and designed to encourage human activity on the street.

- Provide for sidewalk retail opportunities and connections by allowing for the opening of the storefront to the street and displaying goods to the pedestrian
- Provide for outdoor eating and drinking opportunities on the sidewalk by allowing for the opening the restaurant or café windows to the sidewalk and installing outdoor seating while maintaining the pedestrian flow
- Install clear glass windows along the sidewalk to provide visual access into the retail or dining activities that occur inside. Do not block views into the interior spaces with the back of shelving units or with posters.

EDG Board Commentary: The Board did not support the proposed units located seven feet above the sidewalk and noted that such a configuration creates both blank wall conditions and does not adequately engage with and enhance the pedestrian environment. The board suggested that the building be set back or the floor slabs be stepped so the entries are at grade.



CORNER OF E. JOHN ST. AND ALLEY

Response: The NE corner of the building adjacent to E. John and the alley have been completely redesigned as a prominent commercial/live/work unit with a full glazed double height bay and a floor line that is level with the adjacent grade. There will also be an overhead canopy and retail signage to further encourage human activity on the street.



A-5 RESPECT FOR ADJACENT SITES

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

EDG Board Commentary: The Board discussed the proximity to the apartment building to the south and recommended against any encroachment into the side setback on this edge of the site. The privacy of the neighboring residential units should be considered in the fenestration design of the proposed building.

Response: The proposed building is set back 15' from the south property line with extensive terraced landscaping at the ground floor. The existing L-shaped building to the south is 61.5' away from the property line across from a surface parking lot which abuts the new building. A smaller wing of the L-shaped building with minimal fenestration is set back approximately 19' from the proposed building. The upper story of the proposed building will set back 5' to provide additional privacy to the south. The upper level setback will also occur at the alley (west façade) to help mitigate the height of this façade as well. The upper level roof deck terrace has been located to the northern most portion of the roof to avoid any activity or overlook from impacting neighbors to the south.



VIEW SOUTH FROM 14TH AVENUE

A-10 CORNER LOTS

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

- Incorporate residential entries and special landscaping into the corner lots by setting the structure back from the property lines.
- Provide for a prominent retail corner entry.

EDG Board Commentary: The Board agreed that the corner location is important and that the preferred alternative provides a solid corner expression. The transition between the building mass and the ground level design and proposed live/work uses will be a crucial issue to review at the next meeting. How the corner expression relates to the rest of building body flanking the corner is also essential. The board also noted that the proposed development should take advantage of the topographical changes of the site's location and views.

Response: This important corner has been emphasized with double height glazing at the retail/live/work and the use of commercial storefront to differentiate the corner from the vinyl windows used elsewhere in the project. The corner element will be flanked by the adjacent masonry which will also provide a logical transition to the adjacent live/work. The slab elevation at the finish floor will align with the adjacent sidewalk elevation. A prominent glass canopy located approximately 14' above grade will also help emphasize the corner as well as tie it into the additional Live/work canopies that step down the hill at E. John. The revised design also treats the building's northwest corner at E. John and the alley as an important corner by employing a high bay glazed condition and wraparound glass canopy here as well.



CORNER OF 14TH AND E. JOHN ST.



DESIGN GUIDELINES

B. HEIGHT, BULK, AND SCALE

B-I HEIGHT, BULK, AND SCALE COMPATIBILITY

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be cited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scaled between anticipated development potential of the adjacent zones.

EDG Board Commentary: The Board noted that the vertical modulation shown in the preferred option, along with high quality materials and a strong architectural design concept and the full required setback along the south side of the site would provide a sensitive transition to the zone edge. The Board was supportive of the building massing above the ground level and encouraged interesting roof lines, reminiscent of the varied roof lines found in the neighborhood context. The Board was pleased with the step back of the top floor which gives an appropriate transition between the scale of this building and the environs.



Response: The preferred massing option has been developed with a full 5' setback at the top floor terrace to help mitigate the scale of both the south and west elevation. While not setback on the north and east facades the top floor is treated with a lighter metal panel to contrast with the lower masonry floors. The overall mass of the building to the southwest has also been clad with metal panel vs. masonry to help further break down the scale toward the less intensive zone to the south.



DESIGN GUIDELINES

C. ARCHITECTURAL ELEMENTS AND MATERIALS

C-I ARCHITECTURAL CONTEXT

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

EDG Board Commentary: The Board noted that all four sides of the sites have different characters and context to respond to. The west façade will be very visible from John Street and should be designed not as a back side to the building, but receive the same architectural treatment as the other three sides. The south façade should respect and be sensitive to the abutting neighbors and lower zone edge. The 14th Avenue façade (east elevation) is a street edge with a residential character while the John Street (north elevation) side is a strong commercial thoroughfare. The Board also noted the greater neighborhood context and the number of historic building that are considered a strong component of the Capitol Hill character. The Board agreed that reference to this character should be apparent in this building.

Response: The revised design responds to edge conditions as follows:

E. John Street (north elevation) – The commercial/live/work slab elevations are carefully stepped to align with the adjacent sidewalk elevation as they step down the hill. The entries are all articulated with large areas of commercial glazing and overhead canopies and are set into vertically proportioned masonry bays.

14th Ave E (east elevation) – To respond to the more residential context, the commercial glazing at the building corner will transition to a more residential scaled appearance with a canopy to mark the secondary residential entry along 14th. The masonry bays are expressed differently with metal infill panels that respond to the residential program behind.

South Elevation – The south elevation is broken down into a masonry component which turns the southeast corner for approximately 1/3 of the south wall. The larger 2/3 piece is comprised of a series of bays framed by metal cladding. The overall façade is set back 15' from the property line and stepped back 5' at the top floor. A well landscaped ground floor terrace will provide privacy for the property to the south. Windows at the second and third floor are stacked with a minimal spandrel at the third floor to keep the facade light and airy.

Alley Elevation (west elevation) – Similar to the south façade, the west façade is broken into two materials. The masonry and glazed double height commercial/live/work bay turn the northwest corner. The slab elevation is aligned with the sidewalk elevation. Metal panels make up the balance of the façade with a concrete base along the alley face where the garage entry is located. The top floor is stepped back 5' at the upper floor.



CORNER OF 14TH AND E. JOHN ST.



C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.

Capitol Hill-specific supplemental guidance:

- Incorporate signage that is consistent with the existing or intended character of the building and the neighborhood.
- Solid canopies or fabric awnings that also serve as big, illuminated signs.
- Use materials and design that is compatible with the structures in the vicinity if those represent the desired neighborhood character.



EDG Board Commentary: The Board noted that despite the varied influence on all sides of the site, the overall architectural concept should be cohesive and consistently applied on all elevations.

Response: While the facades respond to the different conditions noted above, the overall building is unified with a ground floor base condition that adapts well to the site's different conditions. At all facades, the second and third floor windows are stacked to create a more vertical expression and lighten up the overall façade. The fourth floor is treated with a different material on the outboard street facades and is set back 5' on the inboard facades adjacent to the alley or neighboring buildings. Overall the building massing is horizontally composed with a vertical tower expression on E. John that works in concert with the vertically glazed feature corner at E. John and 14th.



C-4 EXTERIOR FINISH MATERIALS

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Capitol Hill-specific supplemental guidance:

- Use wood shingles or board and batten siding on residential structures.
- Avoid wood or metal siding materials on commercial structures.
- Provide operable windows, especially on storefronts.
- Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.
- Consider each building as a high quality, long-term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.
- The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is discouraged, especially on ground level locations.

EDG Board Commentary: The Board stated that they look forward to reviewing a well-considered, high quality material palette at the next meeting.

Response: The primary exterior material is a masonry bay with a glass and metal panel infill. The top floor whether recessed or flush will be a lighter metal panel and large areas of glazing. The streetscape canopies will be glass and powder coated steel. The areas of vinyl residential glazing will have well detailed louver systems to provide integrated exhaust ports for all units. Commercial glazing will be used at the feature corner of E. John and 14th as well as all commercial/live/work units along E. John.



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



DESIGN GUIDELINES

D. PEDESTRIAN ENVIRONMENT

D-I PEDESTRIAN ENVIRONMENT AND ENTRANCES

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths, and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Capitol Hill-specific supplemental guidance:

- Provide entryways that link the building to the surrounding landscape.
- Create open spaces at street level that link to the open space of the sidewalk.
- Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles.
- Minimize the number of residential entrances on commercial streets where non-residential uses are required. Where residential entries and lobbies on commercial streets are unavoidable, minimize their impact to the retail vitality commercial streetscape.

See D-12

D-7 PERSONAL SAFETY AND SECURITY

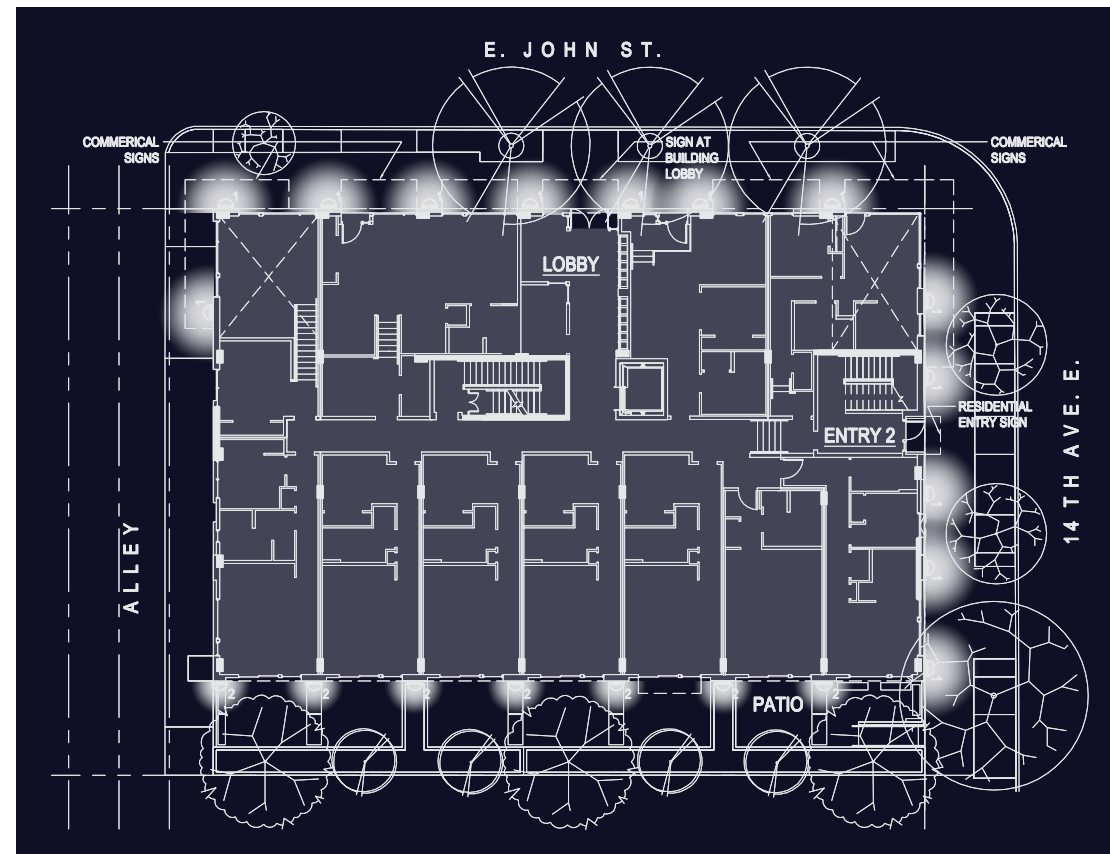
Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Capitol Hill-specific supplemental guidance:

- Consider: pedestrian-scale lighting, but prevent light spillover onto adjacent properties, architectural lighting to complement the architecture of the structure; transparent windows allowing views into and out of the structure – thus incorporating the “eyes on the street” design approach.
- Provide a clear distinction between pedestrian traffic areas and commercial traffic areas through the use of different pacing materials or colors, landscaping, etc.

EDG Board Commentary: The Board noted that exterior lighting, clear sight lines and transparency at ground level should be considered for enhancing site and pedestrian safety and should be presented at the next meeting.

Response: A lighting plan and selected fixtures are part of the submittal. Lighting will provide security and personal security at all streets and the alley. Extensive clear glazed windows will provide security and “eyes on the street” where appropriate.



SEE FULL DIAGRAM IN APPENDIX



D-9 COMMERCIAL SIGNAGE

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

EDG Board Commentary: The Board noted that they look forward to reviewing the details of commercial signage.

Response: Signage concepts are illustrated at all commercial/live/work conditions and provide opportunity for retail “futureproofing” should retail use develop along E. John at this location.



STEEL CHANNEL TO MATCH CANOPY. SUSPEND FROM CANOPY FRAME W/ STEEL RODS (FINISHED TO MATCH CORRUGATED ROOFING MATERIAL)



SIGN AT BUILDING LOBBY (E. JOHN ST.)

D-10 COMMERCIAL LIGHTING

Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building facade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or signage.

EDG Board Commentary: The Board noted that they look forward to reviewing the details of the ground level exterior lighting plan.

Response: Ground level exterior lighting plan and fixtures are provided.



COMMERCIAL SIGN CONCEPT



RESIDENTIAL ENTRY SIGN (14TH AV E)



D-9 COMMERCIAL TRANSPARENCY

Commercial storefronts should be transparent, allowing for a direct connection between pedestrians on the sidewalk and the activities occurring on the interior of the building. Blank walls should be avoided.

See A-3 and A-4.

EDG Board Commentary: The Board discussed at length the quality of the entryways to the main building entrance and the entrances to the individual live/work entrances. The Board was particularly concerned with the live/work entries and noted that these units need to be congruent with the sidewalk level and not far above the sidewalk as shown. The Board was concerned with the proposed stoops: the recessed stoops are unlikely to be successful as viable commercial spaces and should be avoided. The grade on John Street is a challenge and the Board recommended a stepped floor plate to address the sidewalk more directly. The alternative would be to step back the building face from the sidewalk, allowing for space that the live/work units can better engage with street and pedestrian activity.

Response: Along E. John the entire façade has been redesigned to allow for slab elevations at all commercial/live/work units to align with the sidewalk elevations and has consequently eliminated the need for any elevated stoops. The recessed condition of concern has also been eliminated with all commercial glazing pulled out to the property line to better engage the right of way. The more private residential program associated with the live/work will be the mezzanine space inboard from glazing

at the sidewalk for privacy. Depending on the actual use whether more of future retail vs. live/work bottom-up window blinds could provide privacy for the live/work while still allowing light in from above. The condition along E. John, while currently dubious for retail has been “futureproofed” to allow for it at some point. In the interim the live/work use gives the best opportunity to animate the street level of the building.

D-12 RESIDENTIAL ENTRIES AND TRANSITIONS

For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and the private entry.



DESIGN GUIDELINES

E. LANDSCAPING



E-1 LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

EDG Board Commentary: The Board expressed a strong interest in the development of the ground level streetscape and right-of-way that includes a visually interesting and street-activating environment with landscape and hardscape features.

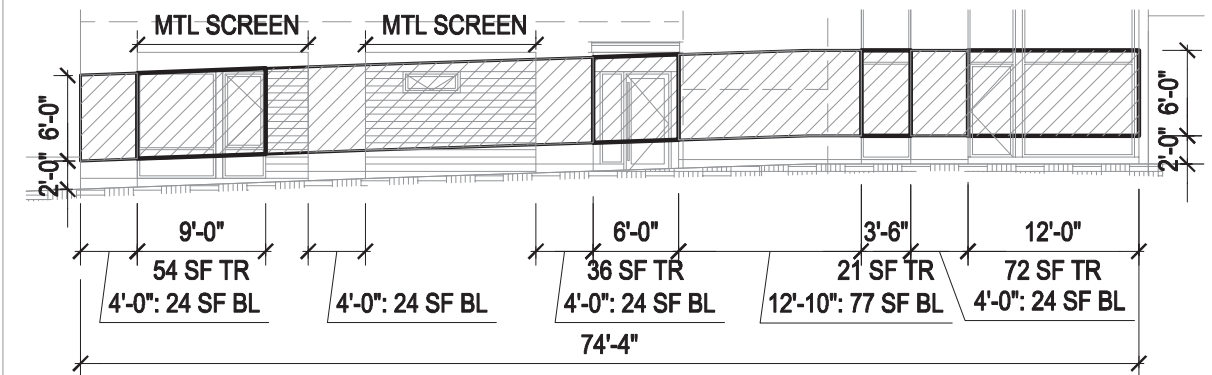
Response: A visually interesting and street-activating environment will be achieved through the use of a diverse plant palette with varied foliage colors, textures, and seasonal changes. The existing sidewalk on E. John is proposed to be widened. The existing brick paving will be removed from the planter strips on both streets and replaced with shrubs and ground covers. Stormwater planters, proposed along the south edge of the property, will be visible from the street. These stormwater planters will also include planting with interesting foliage colors, textures, fall colors, and winter interest with brightly colored branches on deciduous shrubs. Two varieties of trees, one taller and columnar and one shorter and broader, have been added to the stormwater planters to provide a rhythm of foliage across the façade and provide visual screening between the unit terraces and the building to the south. In addition, the alley on the west side of the building will be widened and will be partially paved with pervious concrete and planted with two shallow bioswales along the building's base. The shallow bioswales will be planted with colorful evergreen grasses and low shrubs, and will each contain a columnar tree.





TRANSPARENCY & BLANK FACADE SMC 23.47A.008

60% OF STREET-FACING FACADES BETWEEN 2' AND 8' ABOVE THE SIDEWALK SHALL BE TRANSPARENT. BLANK SEGMENTS MAY NOT EXCEED 40% WIDTH OF STREET FACING FACADE, AND MAY NOT EXCEED 20' IN WIDTH

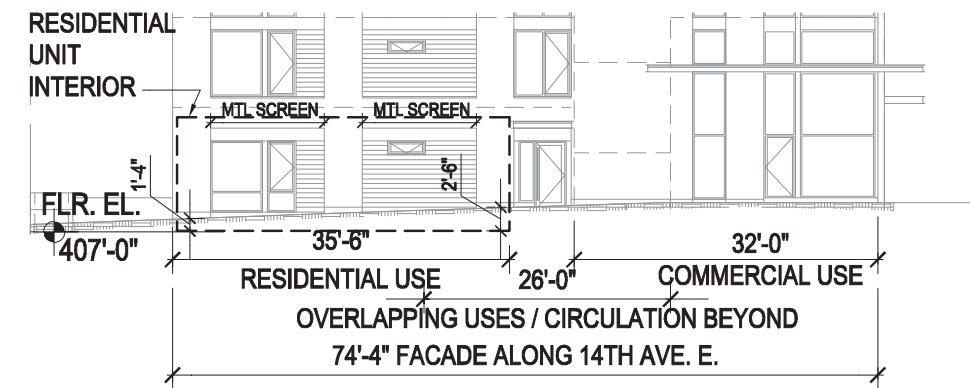


FACADE @ 14TH AV E

TRANSPARENCY DEPARTURE PROPOSED:
 AREA STREET FACADE SEGMENT: 446 SF
 TRANSPARENT: 178SF = 41%

RESIDENTIAL STREET-LEVEL USES SMC 23.47A.005.C.4.D

FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK.



FACADE @ 14TH AV E

FLOOR LEVEL DEPARTURE REQUESTED
 UNIT FLOOR AVERAGE BELOW FINISHED
 GRADE IS APPROXIMATELY 2' (VARIES
 BETWEEN 1'-4" AND 2'-6")

STREET-LEVEL DEVELOPMENT STANDARDS SMC 23.47A.008.B.3.b

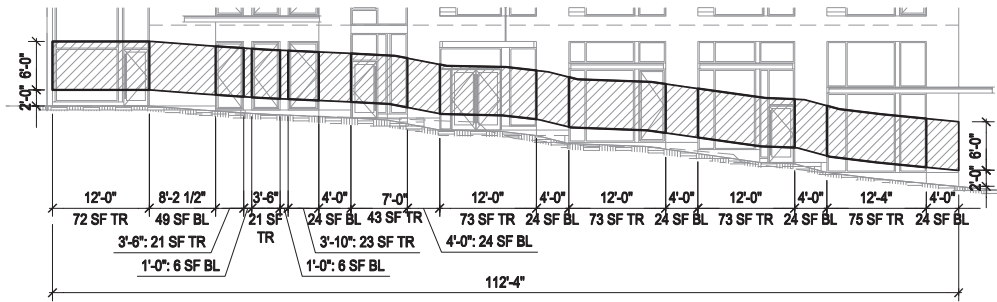
NON-RESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR-TO-FLOOR HEIGHT OF AT LEAST 13 FEET:

FUTURE BACK-OF-SPACE TI MEZZANINES MAY REQUIRE DEPARTURE



TRANSPARENCY & BLANK FACADE SMC 23.47A.008

60% OF STREET-FACING FACADES BETWEEN 2' AND 8' ABOVE THE SIDEWALK SHALL BE TRANSPARENT. BLANK SEGMENTS MAY NOT EXCEED 40% WIDTH OF STREET FACING FACADE, AND MAY NOT EXCEED 20' IN WIDTH

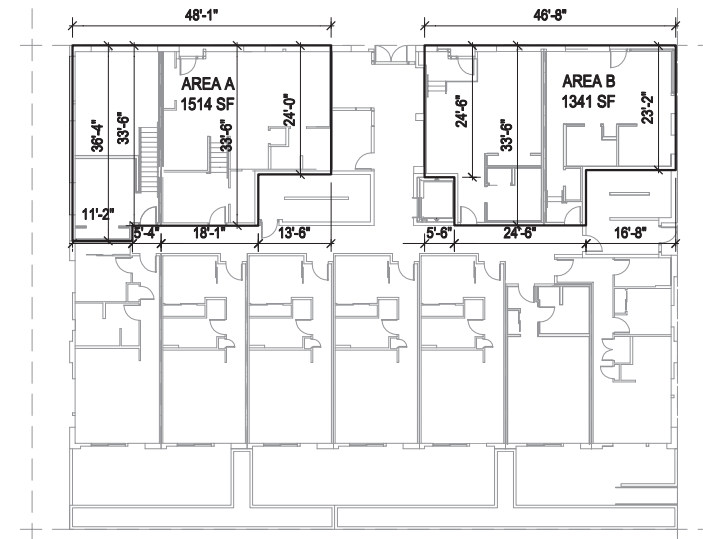


FACADE @ E JOHN ST SCALE: 3/32"=1'

EAST JOHN STREET
AREA STREET FACADE SEGMENT: 679 SF
TRANSPARENT: 474 SF = 70%
BLANK: 205 SF = 30%

DEPTH OF RETAIL SMC 23.47A.008.B.3.a

NONRESIDENTIAL USES SHALL EXTEND AN AVERAGE OF AT LEAST 30' AND A MINIMUM OF 15' IN DEPTH FROM THE STREET LEVEL STREET-FACING FACADE.



L1 PLAN SCALE: 1/16"=1'

(AREA A) 1,514 SF + (AREA B) 1,341 SF = 2,855 GCSF
94'-9" LINEAL FEET

2,855 GROSS COMMERCIAL SF / 94'-9" =
AVERAGE COMMERCIAL DEPTH: 30.13'

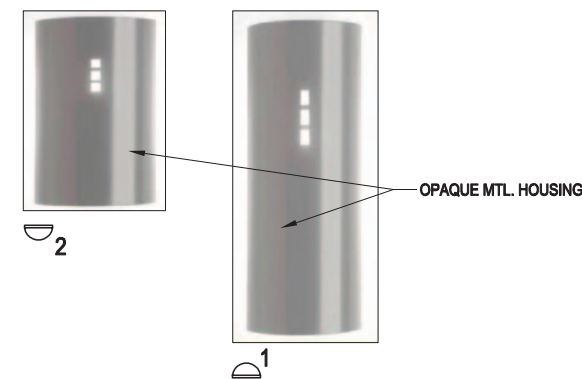
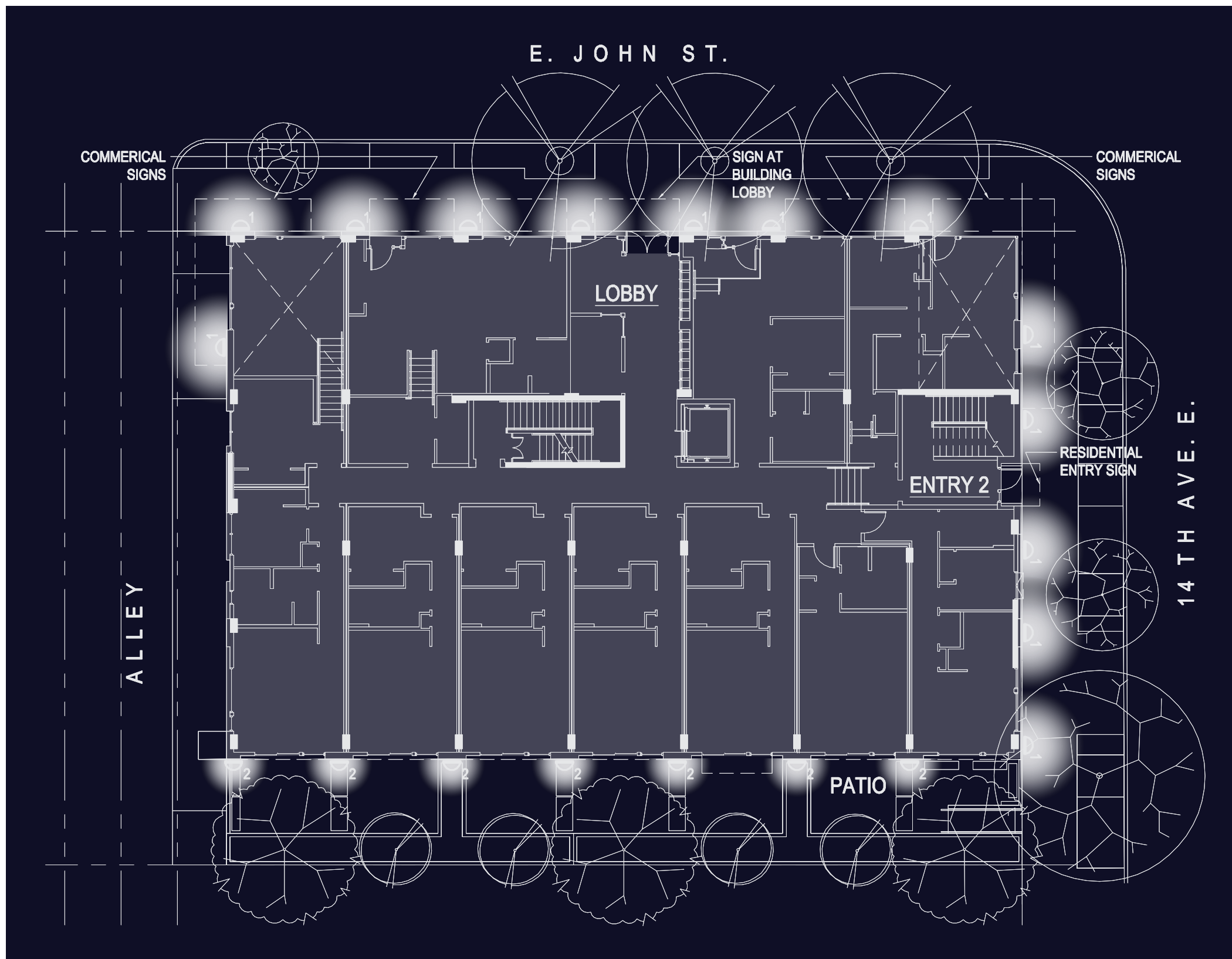
MINIMUM COMMERCIAL DEPTH: 23'-2"

BUILDING FLOOR PLATE SUMMARY

FLOOR PLAN	GROSS PLATE	UNIT AREA	DECK PATIO	STAIR	MECH./ SHAFT	COMMON	GARAGE	MECH.	STORAGE	OFFICE	TOTAL	CHARGEABLE
LEVEL		GROSS	PLAZA-ROOF		ELEVATOR	AREA	AREA (GROSS)	MEPF	TRASH	RETAIL	AREA	F.A.R.
LEVEL P-1	9,252.00	576.00	-	172.00	80.00	74.00	6,789.00	769.00	792.00	-	9,252.00	4,265.10
LEVEL L-1	9,806.00	6,336.00	1,898.00	507.00	80.00	869.00	-	-	-	116.00	9,806.00	7,638.00
LEVEL L-2	7,939.00	6,914.00	-	364.00	80.00	565.00	-	16.00	-	-	7,939.00	7,663.97
LEVEL L-3	8,326.00	7,296.00	-	364.00	80.00	570.00	-	16.00	-	-	8,326.00	8,050.92
LEVEL L-4	8,284.00	6,571.00	823.00	358.00	80.00	436.00	-	16.00	-	-	8,284.00	7,244.29
ROOF	1,232.00	-	904.00	176.00	80.00	72.00	-	-	-	-	1,232.00	271.93
TOTALS	44,839.00	27,693.00	3,625.00	1,941.00	480.00	2,586.00	6,789.00	817.00	792.00	116.00	44,839.00	35,134.21
									NET RETAIL	0.0	MAX F.A.R.	35,145.50
											DIFFERENCE	11.29
											SINGLE USE	31,726.00
											MAX SINGLE USE	32,442.00



LIGHTING DIAGRAM



LIGHTING KEY:

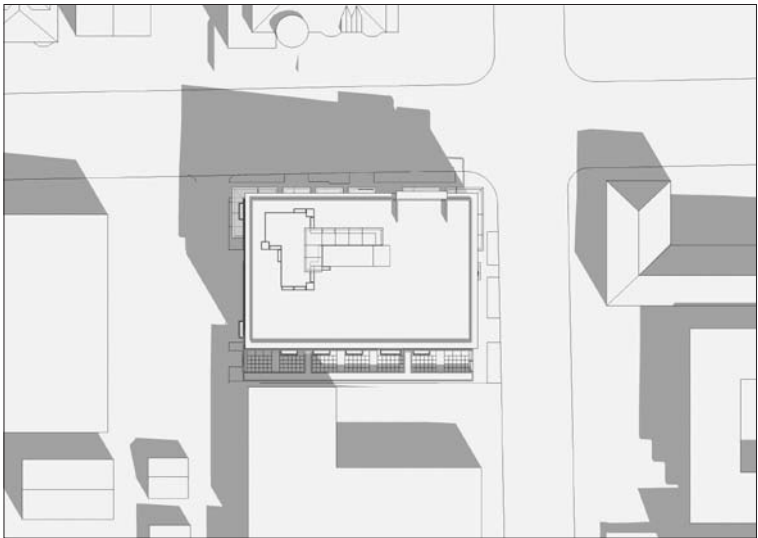
- D1** INDESSA 562 SCONCE WITH CUSTOM 24" HIGH (FACE PLATE) HOUSING, STAINLESS STEEL FINISH (SILVER ALTERNATE); 42 WATT UPLIGHT / 26 WATT DOWNLIGHT, COMPACT FLUORESCENT LAMPS. CENTER ON 4" WIDE PILASTERS (WHERE INSTALLATION IS NOT AT PILASTER, INSTALL 24" FROM EDGE OF MASONRY)
- D2** INDESSA 562 SCONCE WITH STANDARD HOUSING, STAINLESS STEEL FINISH (SILVER ALTERNATE); 26 WATT DOWNLIGHT, COMPACT FLUORESCENT LAMP. CENTER ON COLUMNS, MOUNTING HGT. PER SHEET A3.0. CENTER ON 4" WIDE PILASTERS TYP. U.N.O.



SHADOW STUDIES



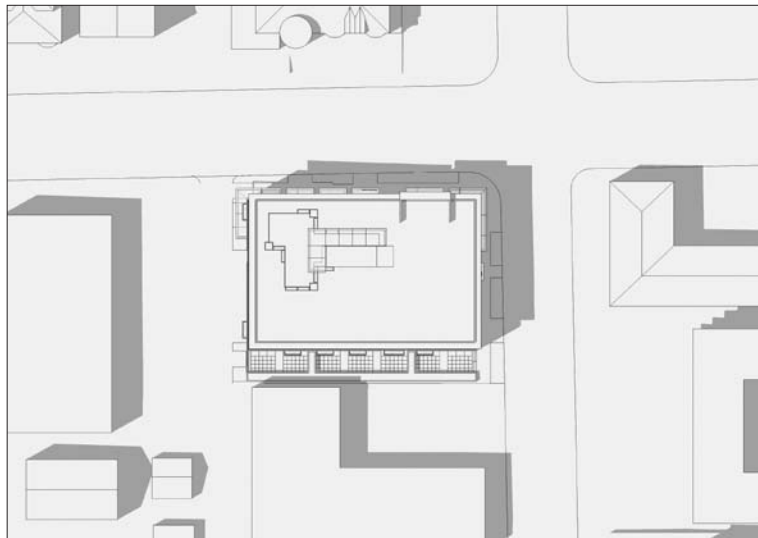
SUMMER 10:00 AM



SPRING/FALL 10:00 AM



WINTER 10:00 AM



SUMMER 3:00 PM



SPRING/FALL 3:00 PM



WINTER 3:00 PM



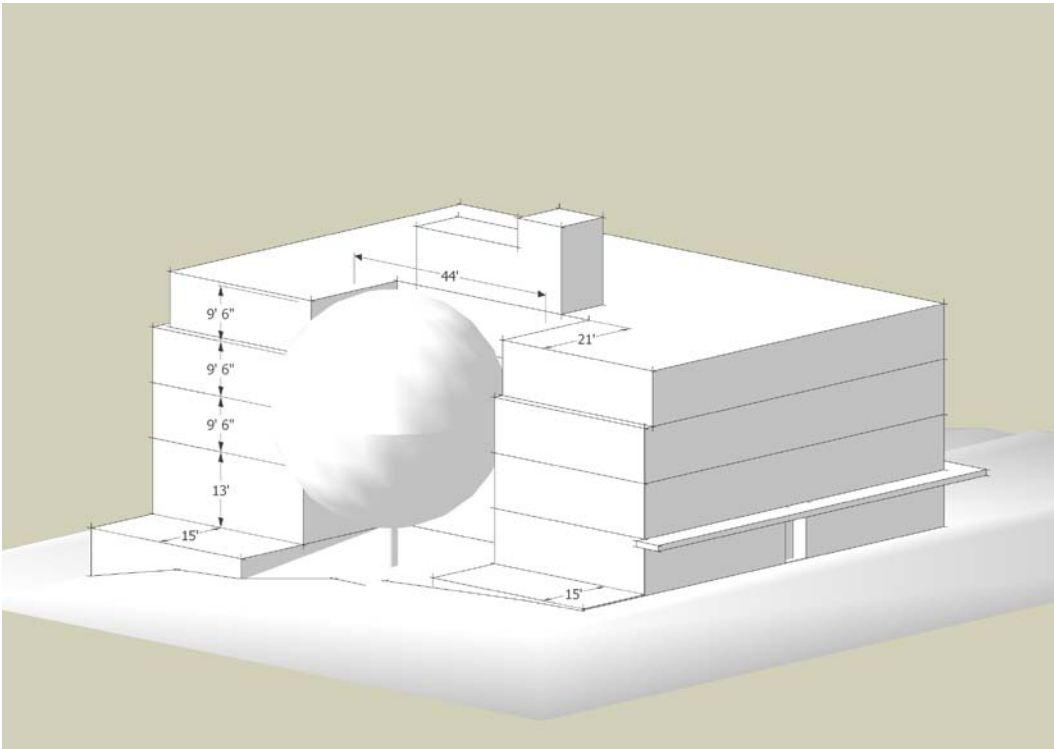
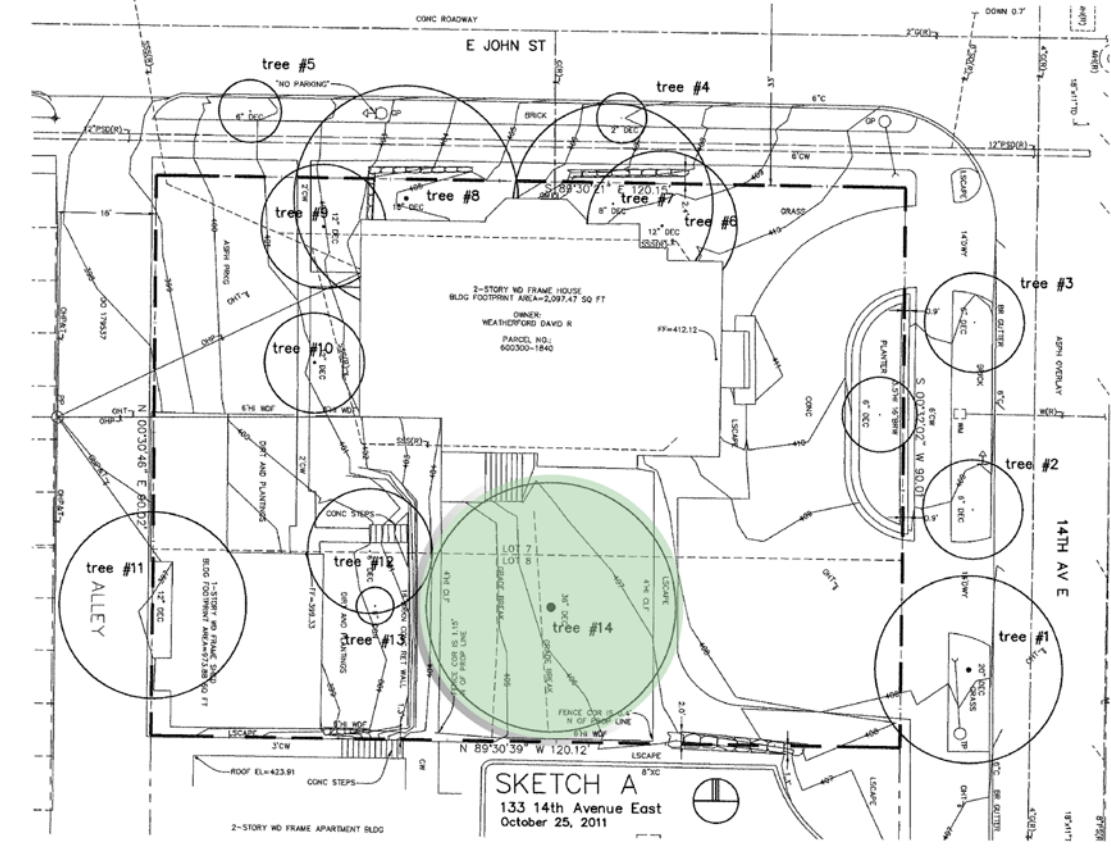
SIGNIFICANT TREE MASSING IMPACT STUDY

*Size meets threshold diameter to be considered for exceptional status per The City of Seattle's Directors Rule - DR16-2008 – table one attached.

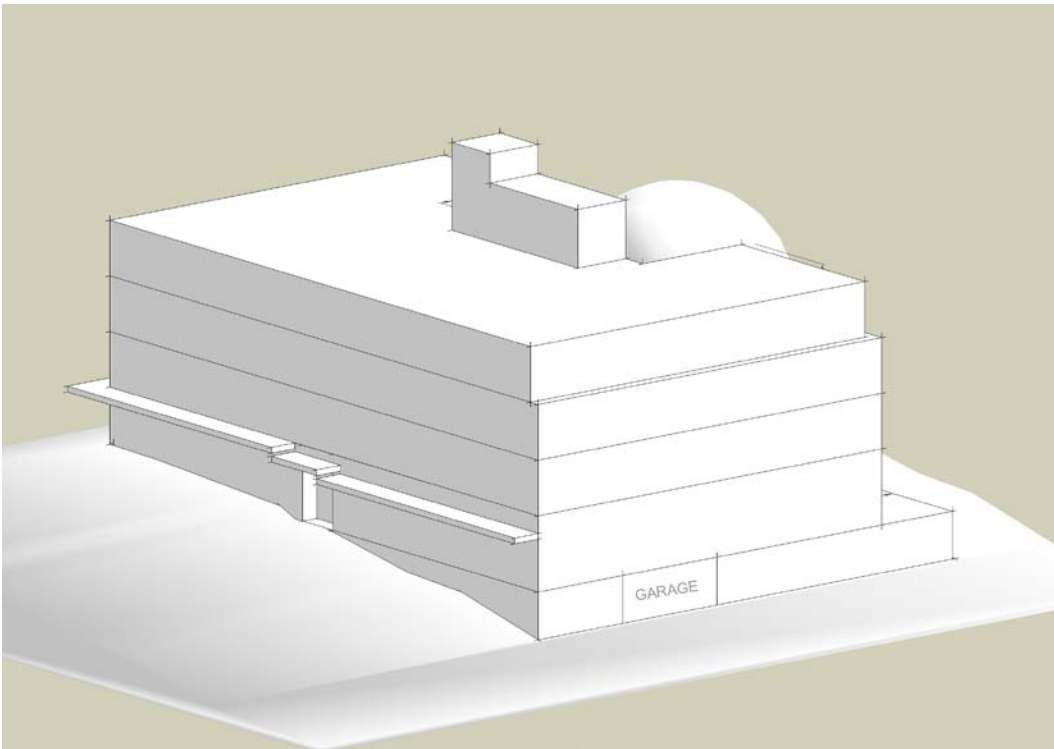
ARBORIST REPORT (ABBREVIATED)

Tree fourteen is a 40" Big Leaf Maple and meets the criteria to be considered an exceptional tree per Directors Rule 16-2008. Exceptional trees are protected under Seattle Municipal Code chapter 25.11. The director may permit an exceptional tree to be removed if the project meets the conditions stated in Seattle Municipal Code 25.11.070.

Given the location of the tree and the size of the protection area required to retain this tree; it is my opinion retaining the tree does not allow the property to meet the development potential of the site. In addition Big Leaf Maples are prone to large scaffold branch failure and are known to be intolerant of construction activity. The potential for the tree being a hazard would be high if the property were to be developed without removing it.



COURTYARD MASSING VIEW FROM SOUTHEAST



COURTYARD MASSING VIEW FROM NORTHWEST



ADJACENT PROPERTY

