



WEATHERFORD, LLC

WEATHERFORD

Early Design Guidance

DPD MUP PROJECT NO. 3012729

DECEMBER 7, 2011

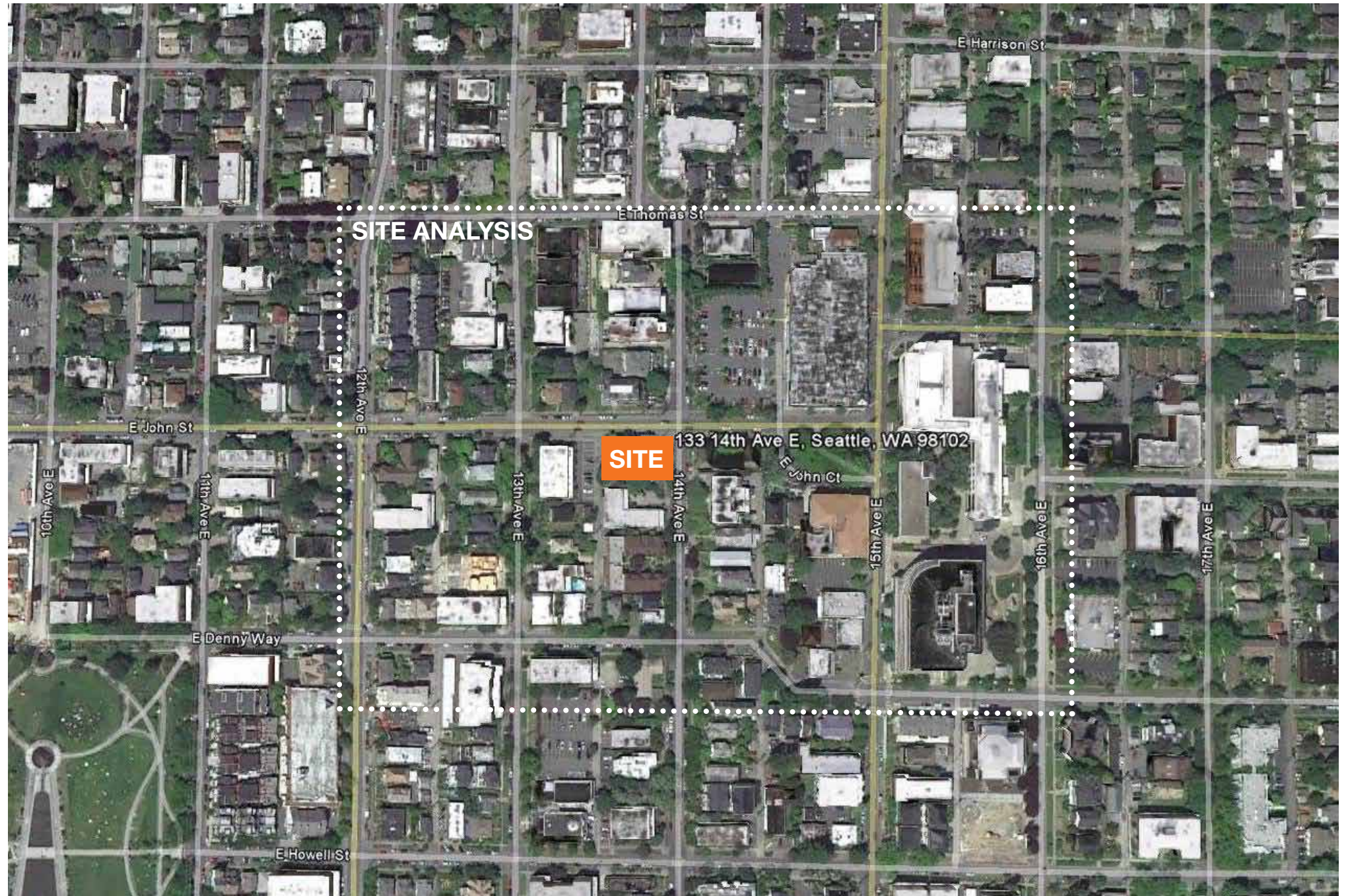


WEBER THOMPSON

PROJECT INFORMATION

The site is located on Capitol Hill at the SW corner of E. John Street & 14th Avenue East, bounded by an alley along the west property line. There is a two story apartment building with surface parking lot bordering the south property line. The existing structure, whose primary use is commercial (retail), will be demolished, as will the surface parking that serves it. Dimensions for the rectangular lot are approximately 120' along E. John St., and 90' along 14th Avenue East, and the alley, yielding 10,814 square feet. The site slopes down east to west at roughly 9% along E. John St., and 2-3% from the north property line down to the south.

The character of the neighborhood is made up of varying uses including residential, commercial, and institutional, with an eclectic mix of architectural styles, ranging from two to five stories in height. A mix of single and multi-family buildings, which utilize surface, alley loaded, and street parking, are found to the south, east, and west. At the NE corner of E. John St. & 14th Ave East is the Safeway Parking lot, which is also used by smaller retail businesses in the same building. E. John St. terminates two blocks to the east at the Group Health campus, and in the opposite direction provides a view corridor to downtown, Puget Sound, and the Olympic Mountains.





View across 14th from site



View of site from East





14th & John from Northwest

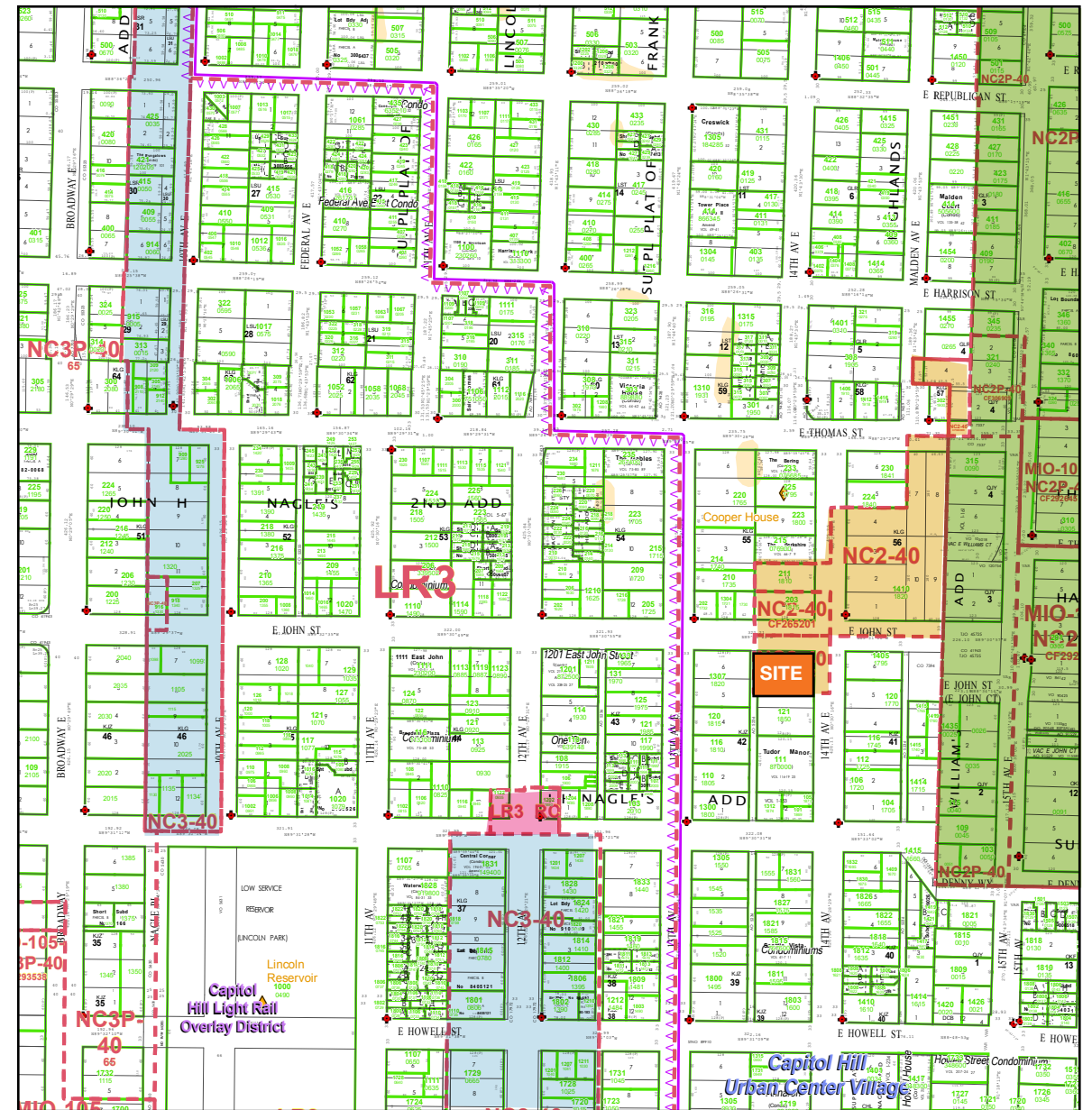


Site from Northwest



LAND USE CODE ANALYSIS

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| DPD (MUP) Project Number: | 3012729 |
| Lot Area | 10,814 Sf |
| Existing Zoning Designation | NC2-40' |
| Urban Context | Site is within the Capitol Hill Urban Center Village. Adjacent properties are zoned L3 excepting corner lots at the north side of East John St, (both sides of 14th Avenue North) which are zoned NC2-40. |
| Applicable DPD design guidelines | Guidelines for Multi-Family and Commercial buildings 1993, 1998 (amended 2007) Capitol Hill Neighborhood Design Guidelines, effective December 2010 |
| Permitted uses (23.47A.004) | Mixed-use, residential, live-work, office, commercial |
| Proposed use | Mixed use containing residential (R2), live/work apartments (commercial component), and accessory parking (S2) |
| Prohibited uses (23.42A.005 C.2) | Residential uses are generally permitted anywhere in an NC2 zone except that they may not occupy in aggregate more than 20% of the street level, street facing facade. Access to residential use is limited to 20% of the pedestrian street-facing facade width. |
| Street level uses (23.47A.005/23.47A.010) | <ul style="list-style-type: none"> - Commercial uses required along 80% of principal pedestrian street - Residential access may occupy the remaining 20% of the facade width - Non residential uses shall have at least 13' floor to floor height, average 30' depth with a minimum of 15' depth. |
| Blank facades (23.47A.008 A.2) | Blank segments shall not exceed 20' in length between 2' and 8' above sidewalk. Total of all blank facades shall not exceed 40%. |
| Transparency (23.47A.008 B.2) | 60% Of the street facade between 2' and 8' above the sidewalk shall be transparent. |
| Building height limits (23.47A.012) NC2-40 zone | <ul style="list-style-type: none"> - 40'-0" Required to top highest main flat roof plane. |



| | |
|--|---|
| | <ul style="list-style-type: none"> - 40'-0" + 4'-0" For parapets, open railings, planters, skylights, clerestories, greenhouses. - 40'-0" + 15'-0" For stair/elevator penthouses, solar collectors, and screened mechanical equipment (provided features do not exceed 20% of roof area, or 25% with stair/elevator penthouses, and are setback 10' from the north roof edge) |
| SMC 23.47A.012.A.1.A: | In zones with a 30 foot or 40 foot mapped height limit the height of a structure may exceed the otherwise applicable limit by up to 4 feet, subject to subsection 23.47A.012.A.1.C, provided a floor-to-floor height of 13 feet or more is provided for nonresidential uses at street level |
| Floor Area Ratio (23.47A.013) | For structures containing both residential and non-residential uses: Maximum allowed in NC zones for 40' height limit = 3.25 Maximum for any single use = 3.00 NC2-40 lot area = 10,814 sf x 3.25 = 35,146 Sf total 10,814 Sf x 3.00 = 32,442 Sf any single use |
| Setback (23.47A.014) | <ul style="list-style-type: none"> - No setback required for structures up to 13' in height - 15' For portions of structure from 13' - 40' in height along any rear or side lot line that abuts a lot in a residential zone - Above 40' provide an additional 2' setback for every 10' in excess of 40' |
| Residential amenity areas (23.47A.024) | 5% Of total residential gross square footage is required as amenity space to a limit of 50% of the lot area including decks, balconies, terraces, roof gardens, plazas, play area, sport courts, and courtyards. Resident access is required to at least one amenity area - 10' & 250 sf minimum common area dimensions; 6' & 60 sf private balconies and decks; parking & driveways not included. |
| Solid waste & recyclable materials storage (23.47A.029) | Multifamily 26-50 units = 150 sf required - front loading containers |
| Landscape and screening standards (23.47A.016) | Green Area Factor: landscaping that achieves a green factor score of 0.3 Or greater |
| Loading berth requirements | Medium demand @ less than 1,500 sf falls below chart a |

(23.54.035 B.1)

threshold = request on site loading space to be waived and provided on street

Vehicle parking calculations (23.54.015)

Residential: no parking required per director's rule 8-2011
Commercial: no parking required per 23.54.015.D.1
Live-work units: 0 spaces required for units with 1,500 sf or less.

Accessible stalls required

2% Of parking stalls to be barrier free

Bicycle parking calculations

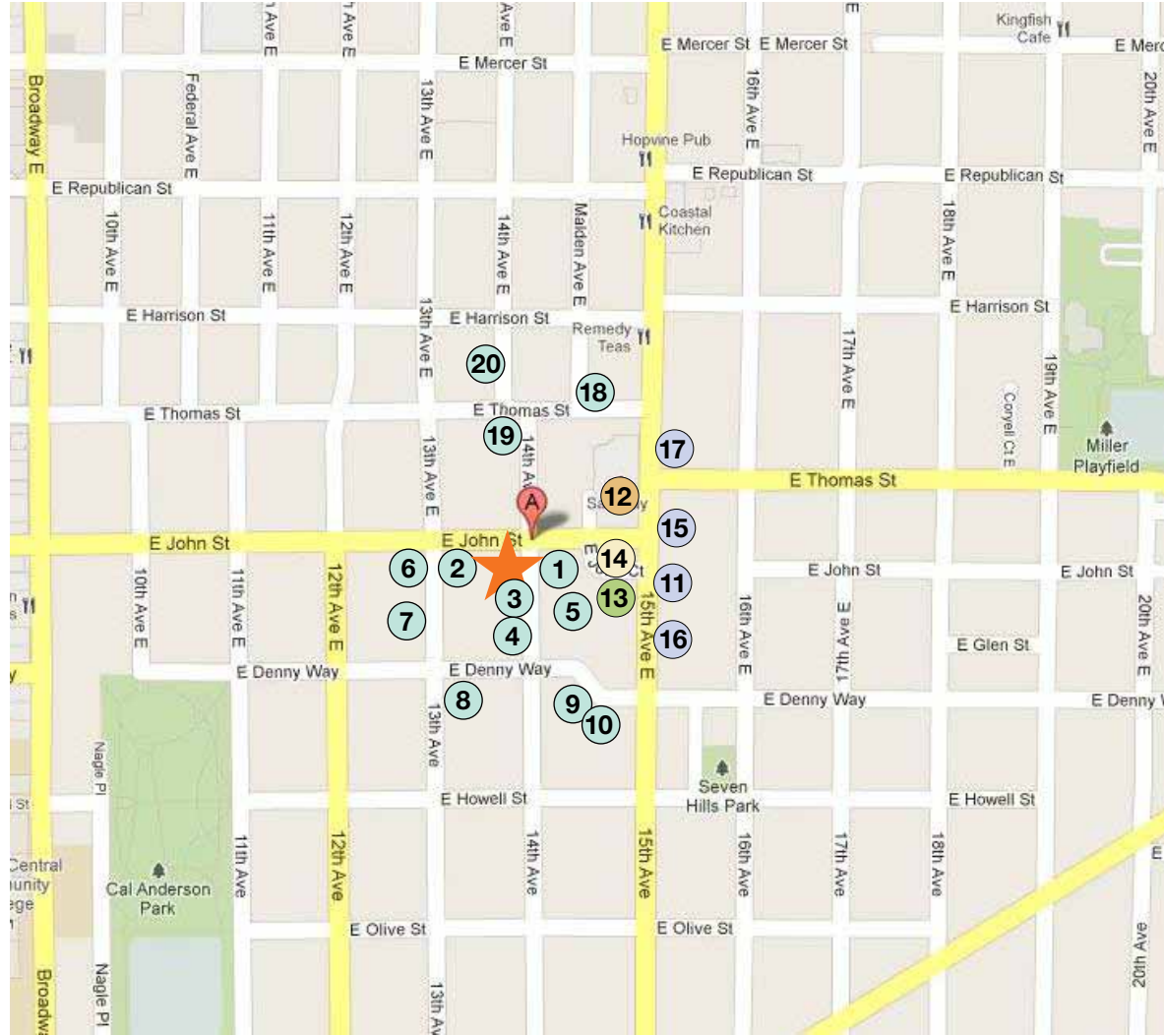
1 Per 4 residential units

Residential amenity area:

5% Of total residential gross square footage is required as amenity space to a limit of 50% of the lot area including decks, balconies, terraces, roof gardens, plazas, play area, sport courts, and courtyards.

Resident access is required to at least one amenity area - min. Common area requirements: 10' dimensions & 250 sf; min. Private balconies & decks: 6' & 60 sf. Parking & driveways not included.





CONTEXT ANALYSIS

- 1 Residential
- 11 Institutional
- 12 Commercial
- 13 Mixed Use
- 14 Park
- ★ Site

NEIGHBORHOOD DESIGN CUES

- ▲ Exterior Finish Materials
- Fenestration/Corner Treatments
- Bulk/Height/Scale



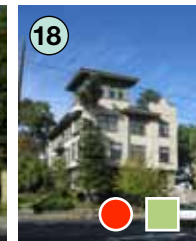
Anhalt Building to East of Project Site

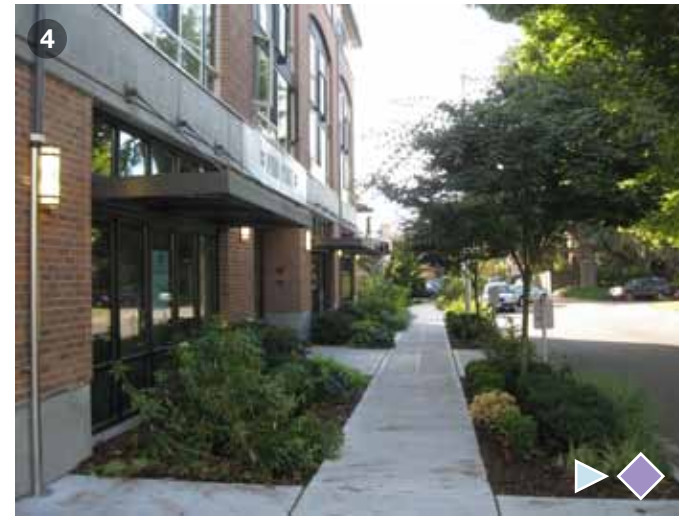


Building to West of Project Site



Building to South of Project Site





STREETScape COMPATIBILITY

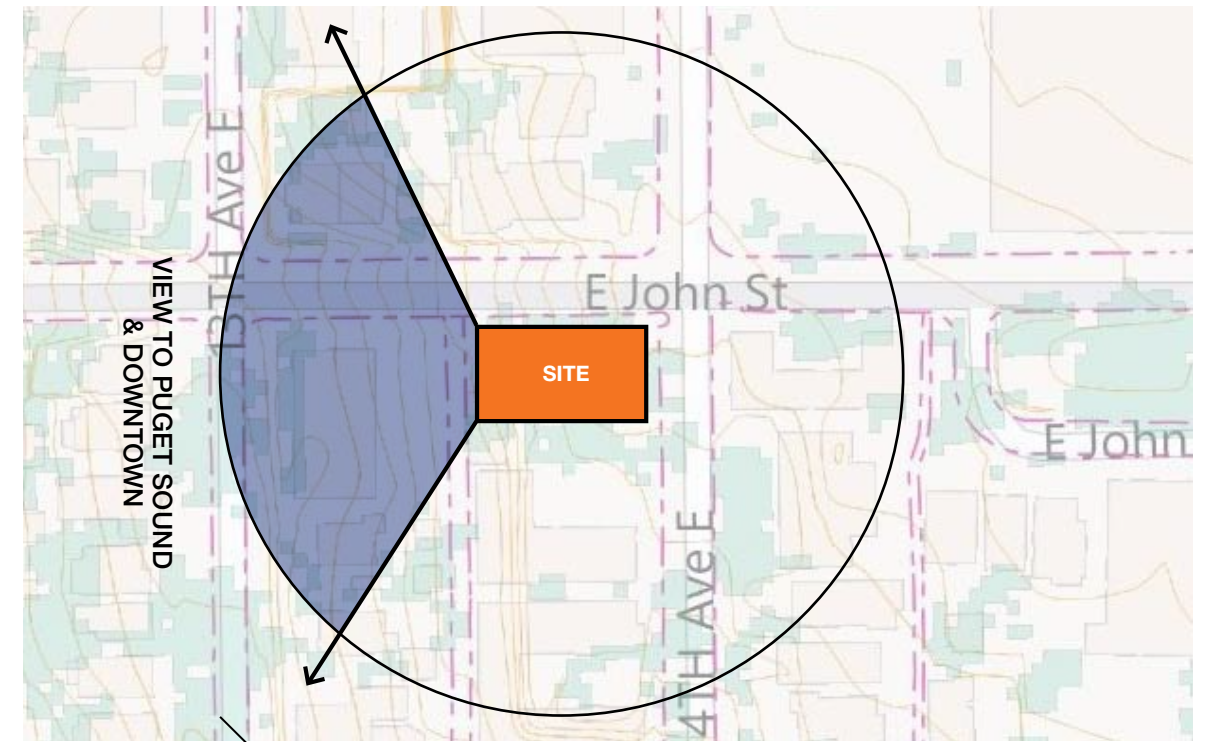
- ▶ Landscape Elements
- ◆ Pedestrian Entrances & Weather Protection



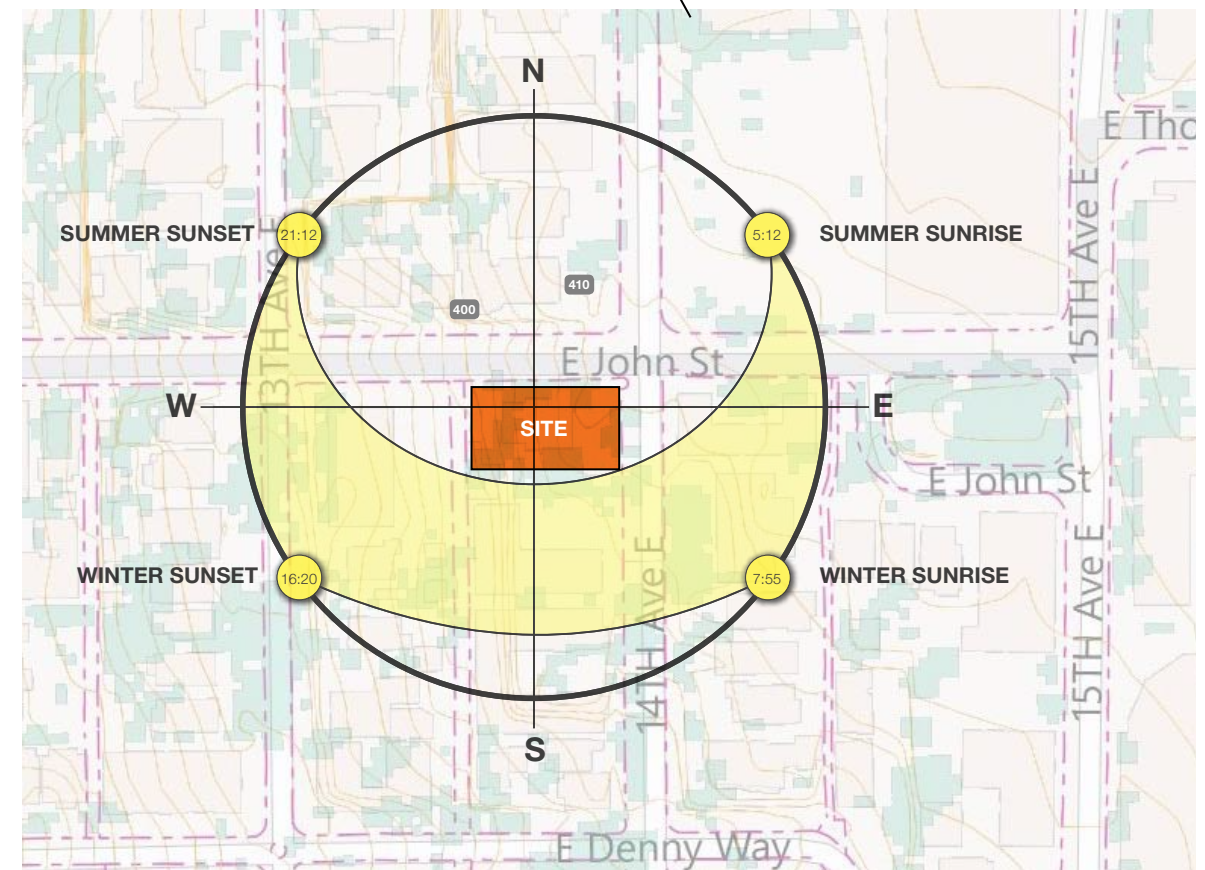


TRANSPORTATION ANALYSIS

- Bike Lanes
- Vehicle Arterial
- Pedestrian Corridor
- Bus Stop



TREE CANOPY TYP.





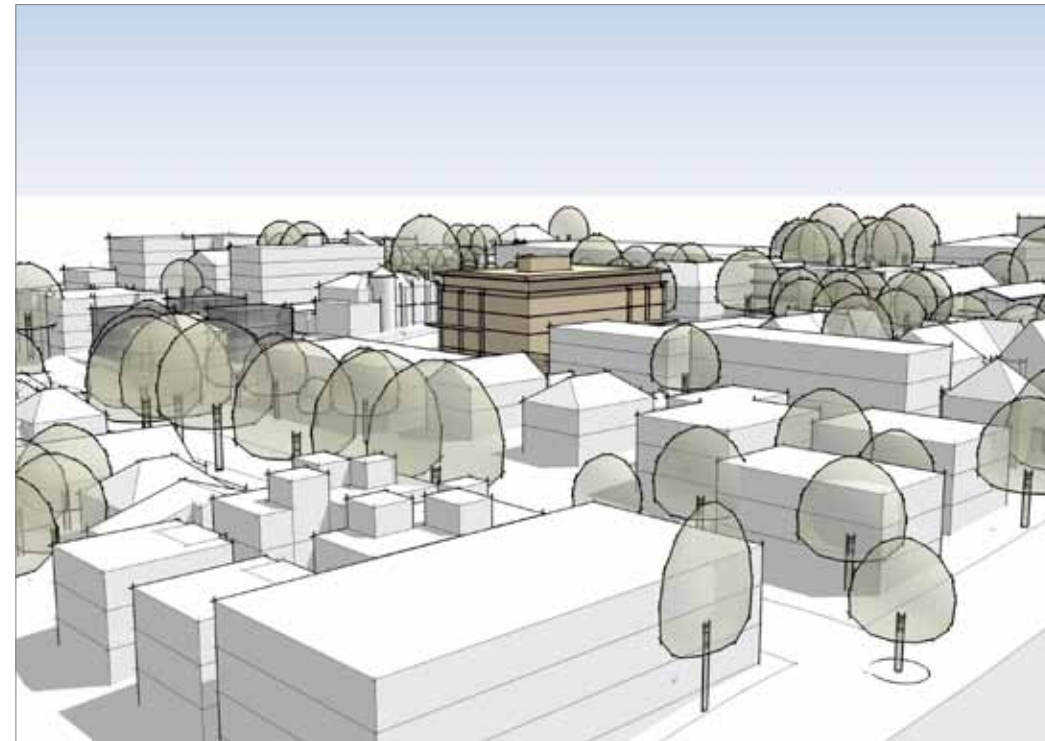
MASSING VIEW FROM NORTHEAST



MASSING VIEW FROM SOUTHWEST (AERIAL)

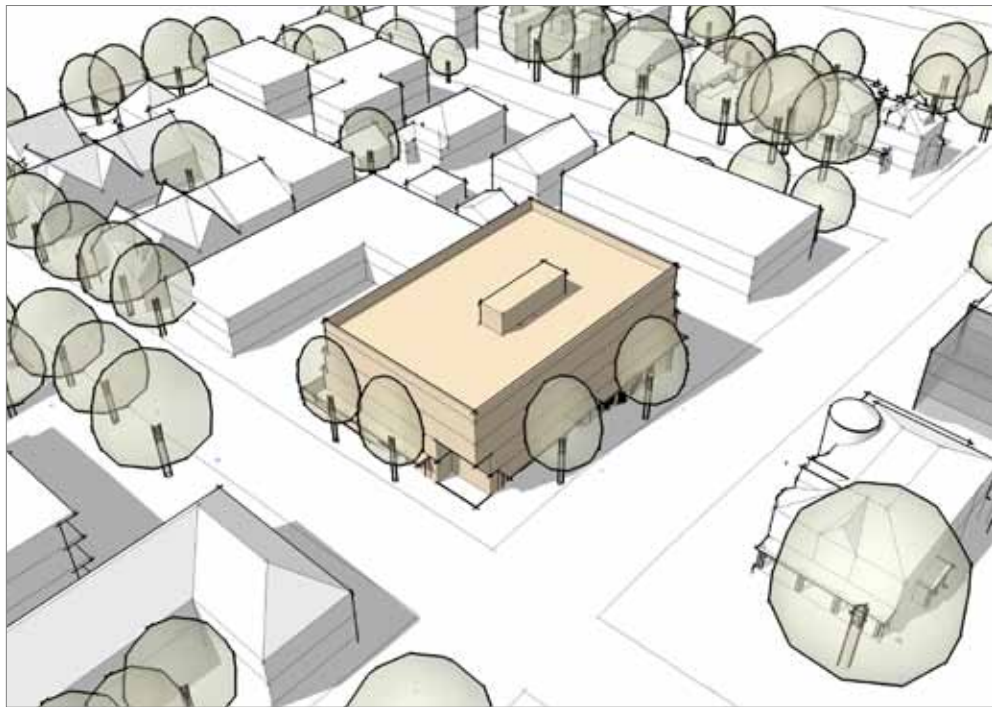


MASSING VIEW FROM NORTHWEST

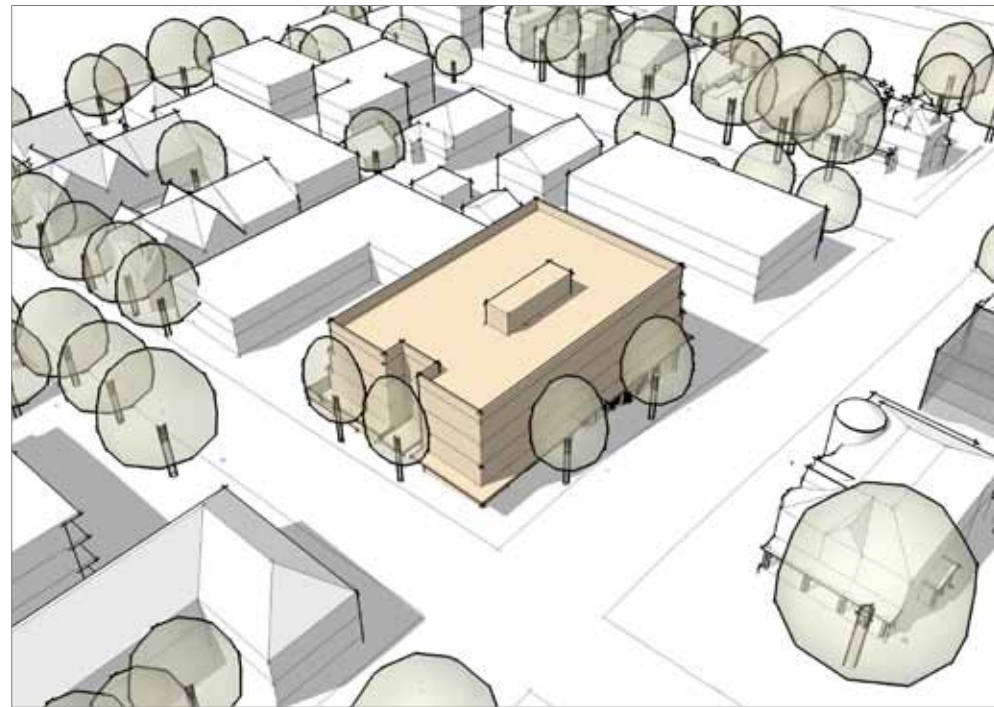


MASSING VIEW FROM SOUTHWEST

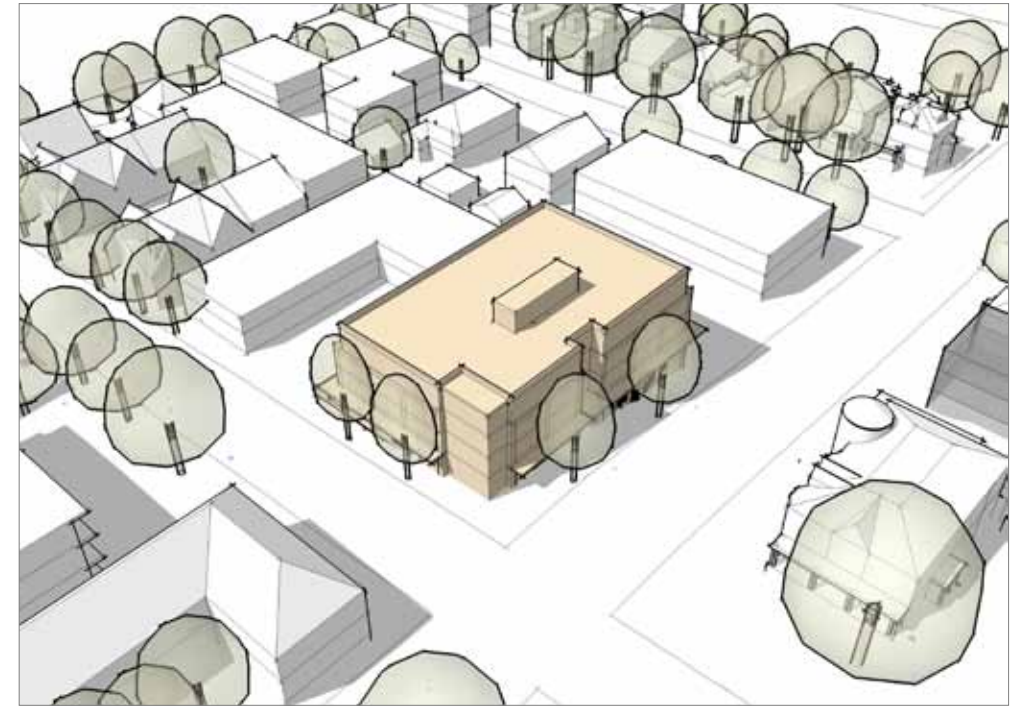




MASSING OPTION A



MASSING OPTION B

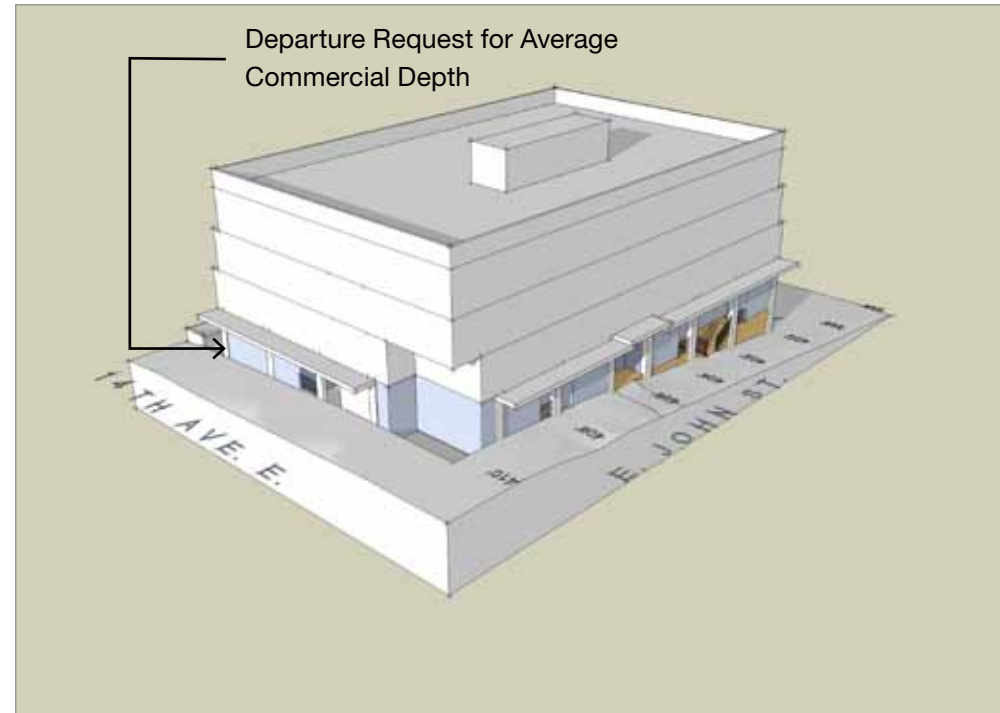


MASSING OPTION C – PREFERRED SCHEME

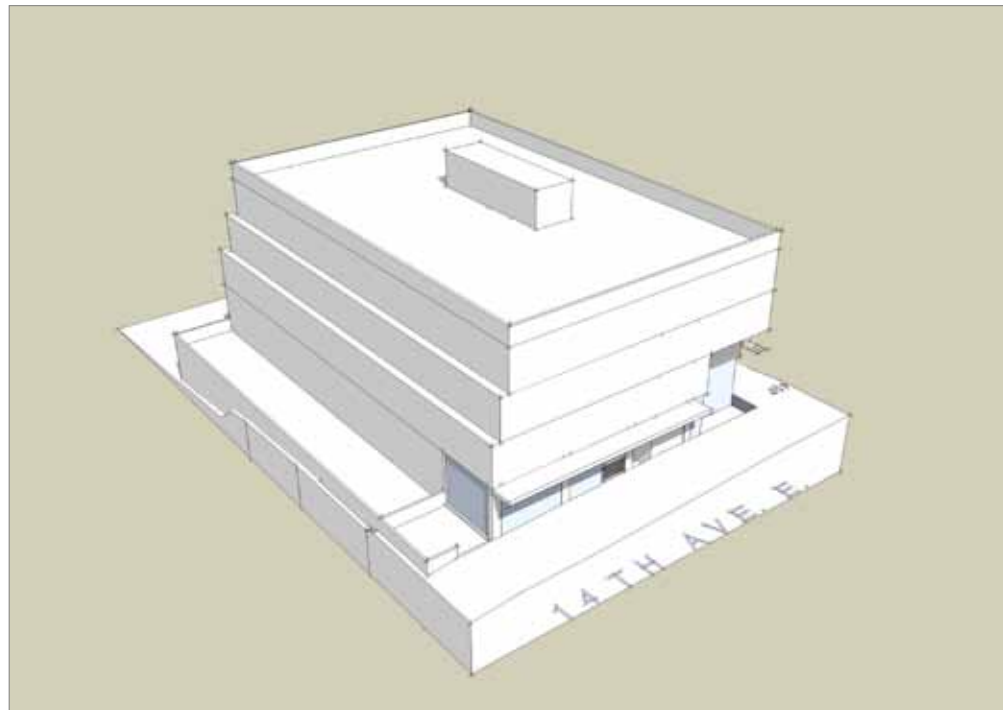
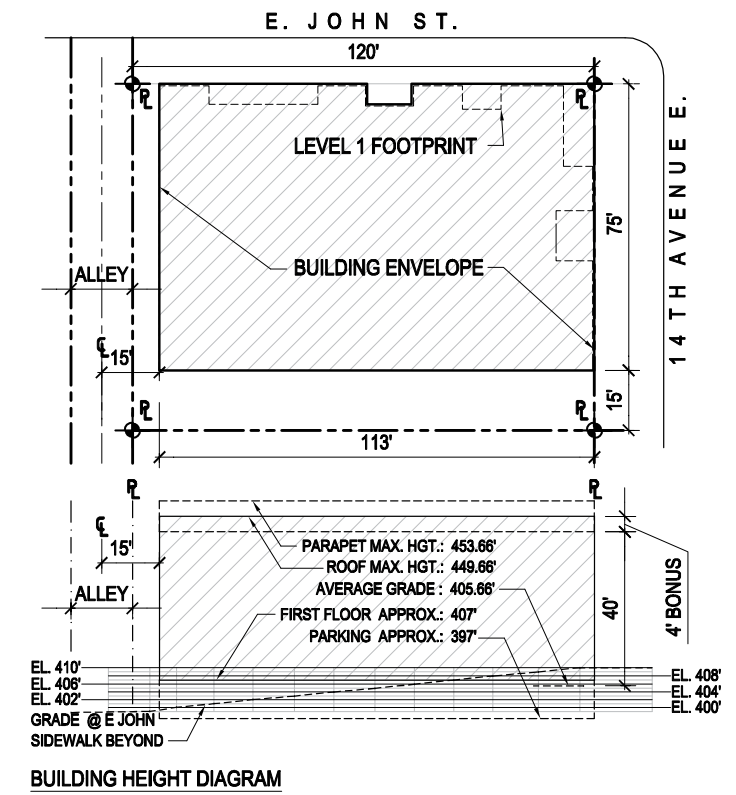




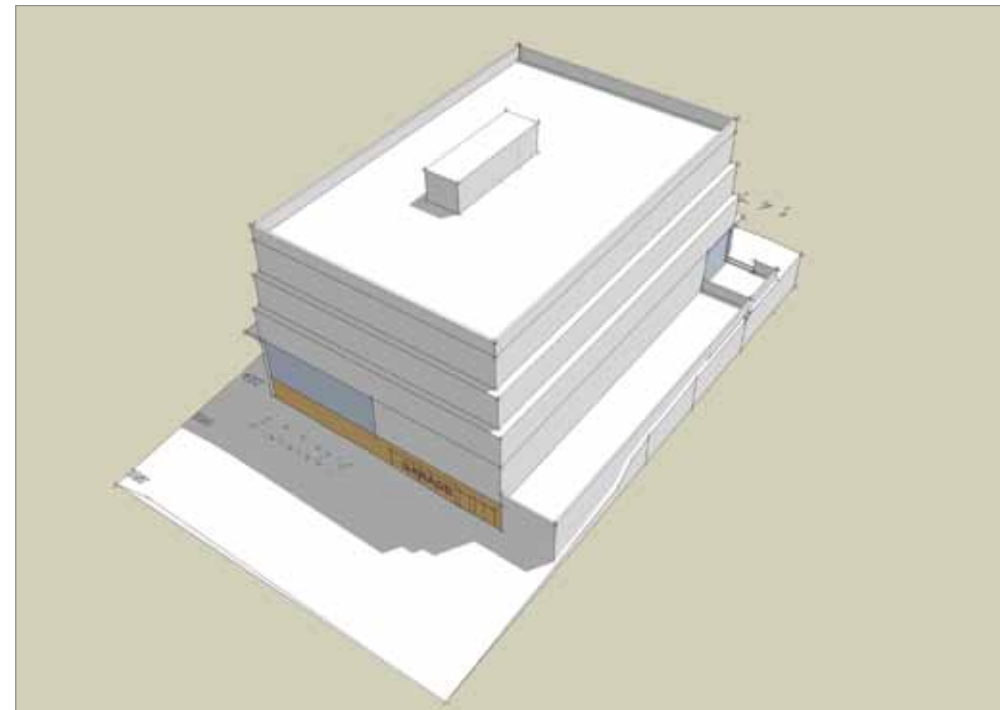
VIEW FROM NORTHWEST



VIEW FROM NORTHEAST



VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST

OPTION A

Corner base articulation

Advantages:

- Effective activation at corner of E. John Street & 14th Avenue E
- Southern exposure at majority of common and private open space (amenity) areas

Disadvantages:

- At building corner: vertical height of 3 feet between L1 elevation and sidewalk

Departures:

- Commercial average depth (SMC 23.47A.B.3.a)

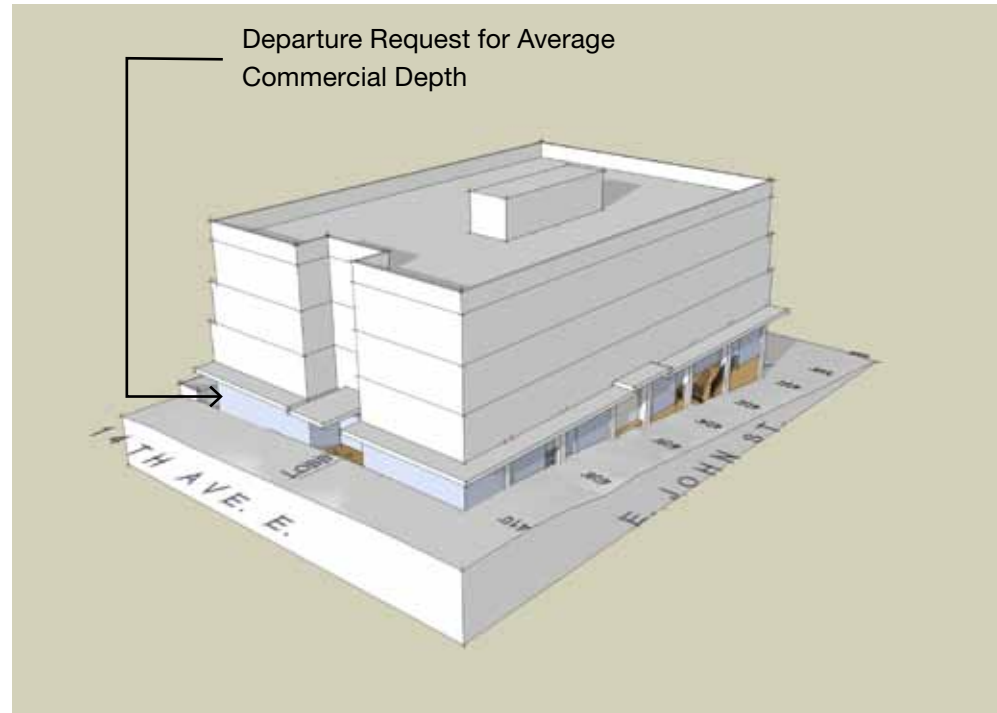
Possible additional departures:

- Side and rear setbacks (SMC 23.47A.024)

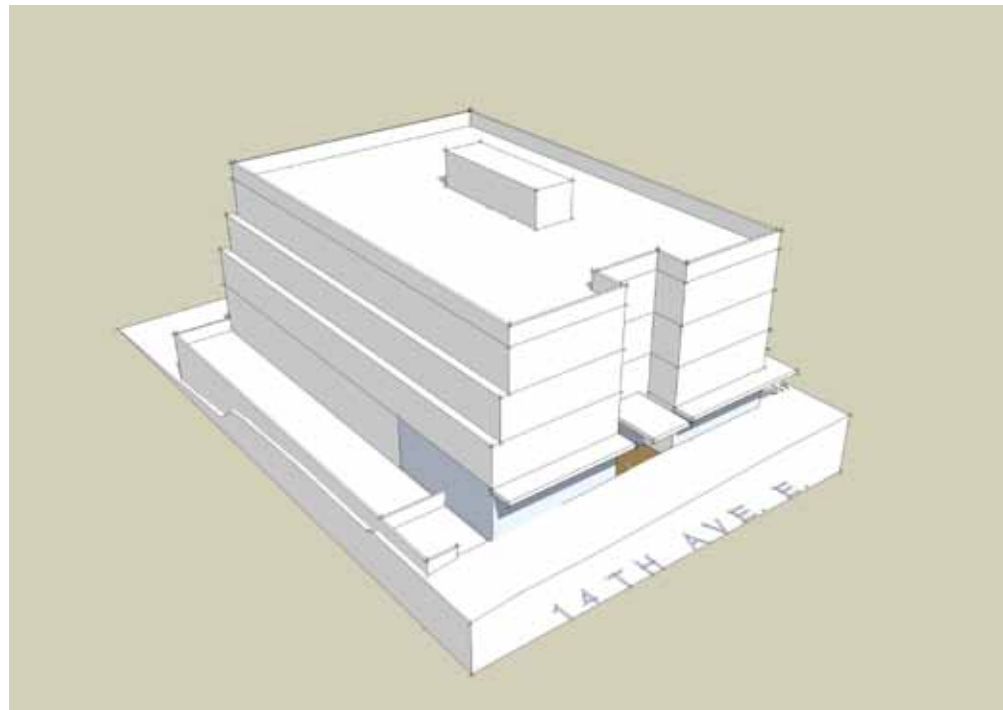




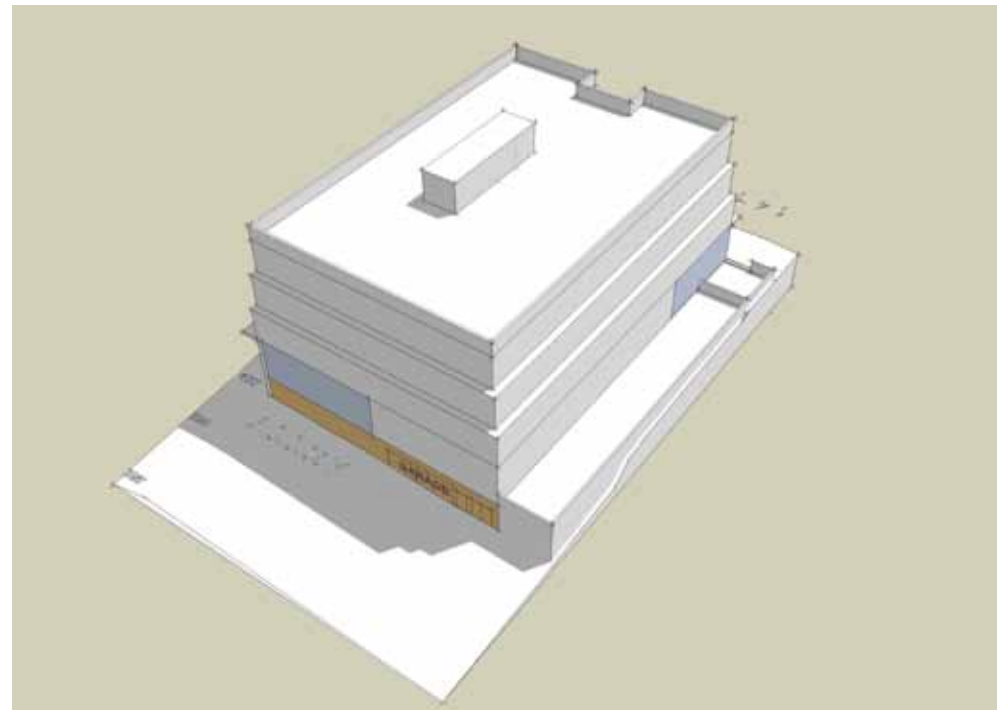
VIEW FROM NORTHWEST



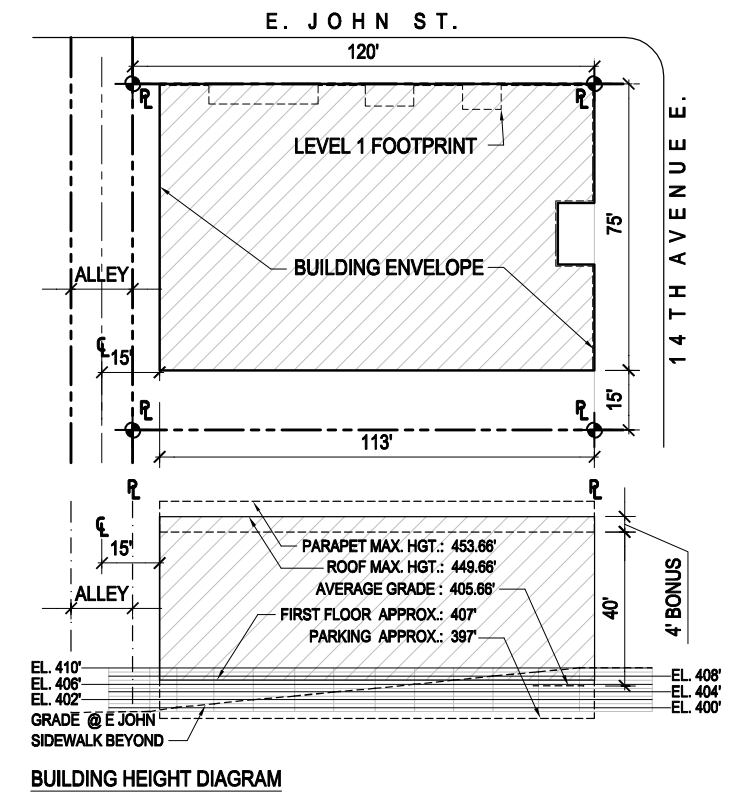
VIEW FROM NORTHEAST



VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST



OPTION B

East courtyard main entry

Advantages:

- Early AM sunlight at courtyard
- Opportunity for contiguous landscape elements at courtyard, sidewalk, and common amenity area
- Southern exposure at majority of common and private open space (amenity) areas

Disadvantages:

- Vertical height between lobby and sidewalk: 2'-3' (varies)
- No direct sunlight at courtyard in afternoon

Departures:

- Commercial average depth (SMC 23.47A.B.3.a)

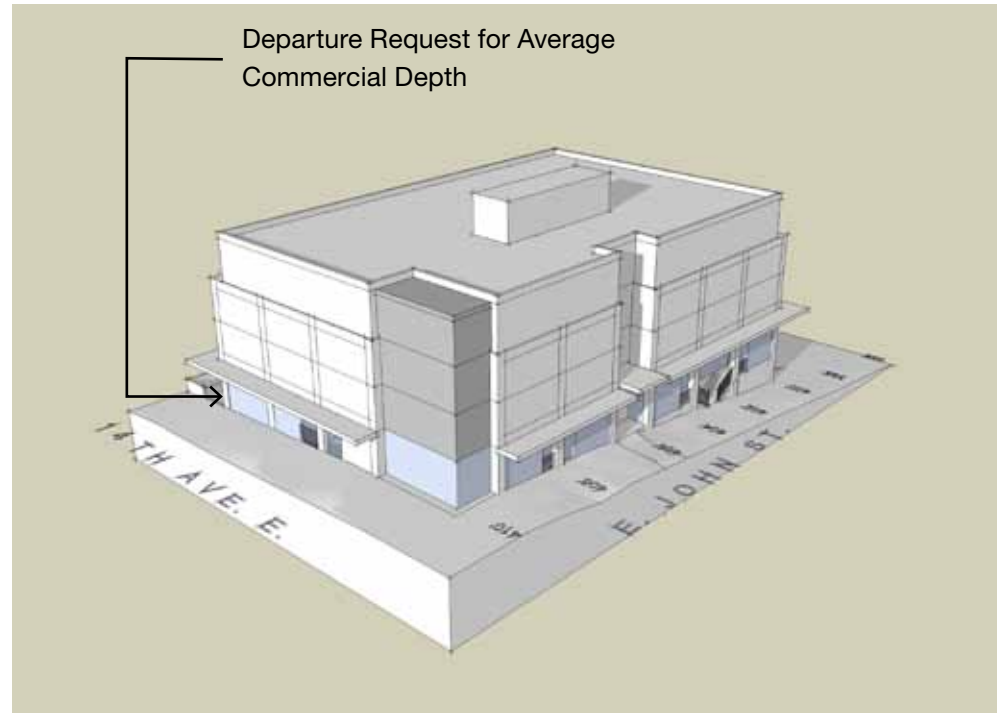
Possible additional departures:

- Commercial depth along 14th Ave E (Average 30', minimum 15')
- 13' floor-to-floor height requirement at SE building corner (commercial)

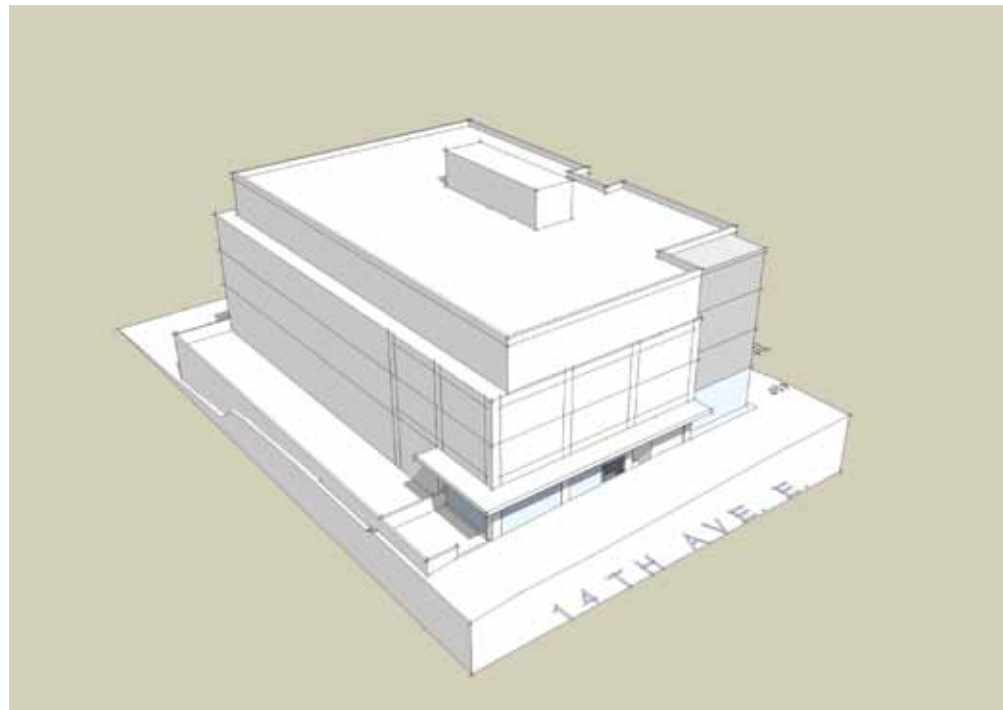
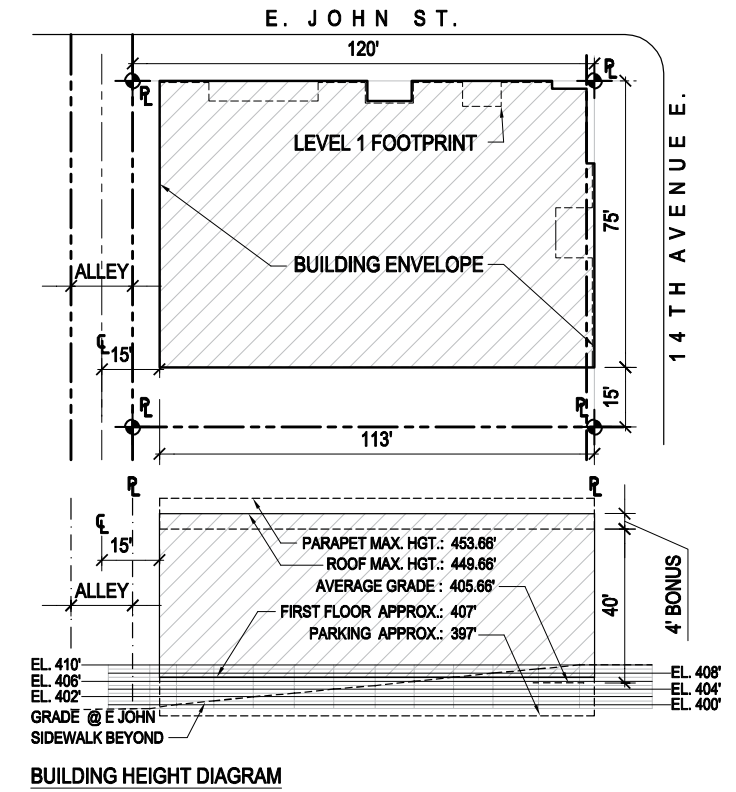




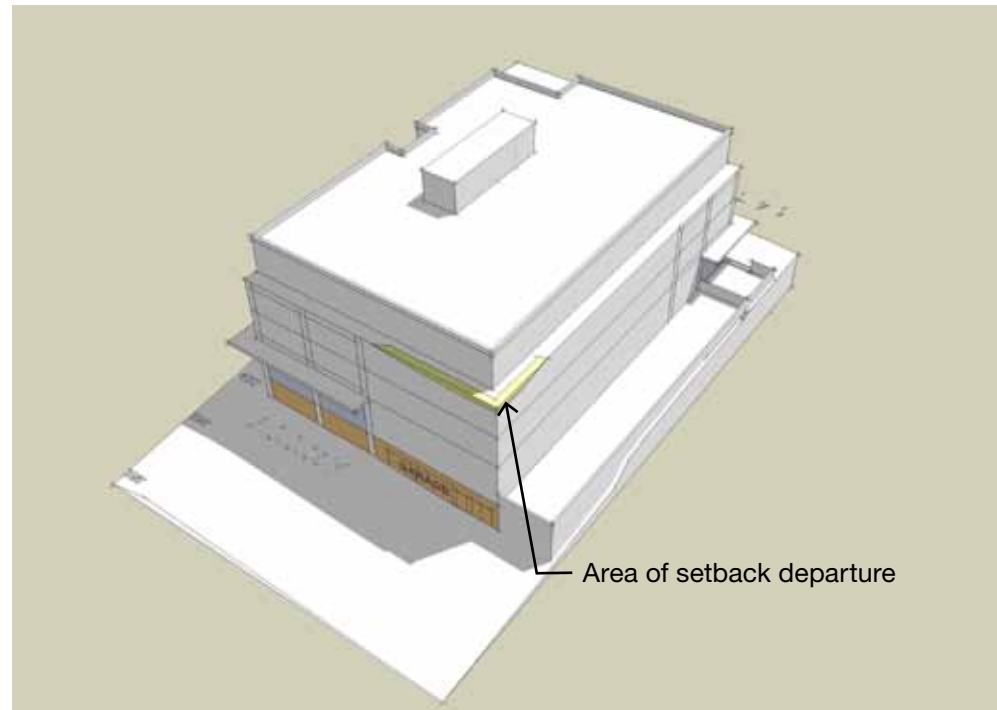
View from Northwest



View from Northeast



View from Southeast



View from Southwest

OPTION C

E John Street Entry

Advantages:

- Main building entry located at E. John Street where it relates best to grade and majority of pedestrian traffic
- Effective activation at corner of E. John Street & 14th Avenue E
- Southern exposure at majority of common and private open space (amenity) areas

Disadvantages:

- Few on-site landscaping opportunities along sidewalk

Departures:

- Commercial average depth (SMC 23.47A.B.3.a)
- Side & rear setback requirement above 40' (SMC 23.47A.024)

Possible additional departures:

- Commercial minimum depth (SMC 23.47A.B.3.a)

- PARKING
- COMMERCIAL



Building corner will be designed to relate to both streets

Materials & fenestration to help provide architectural context, scale, and proportions analagous to existing neighborhood buildings

Articulation & material transitions help to break down building's bulk, height, and scale, while emphasizing building entries and character elements



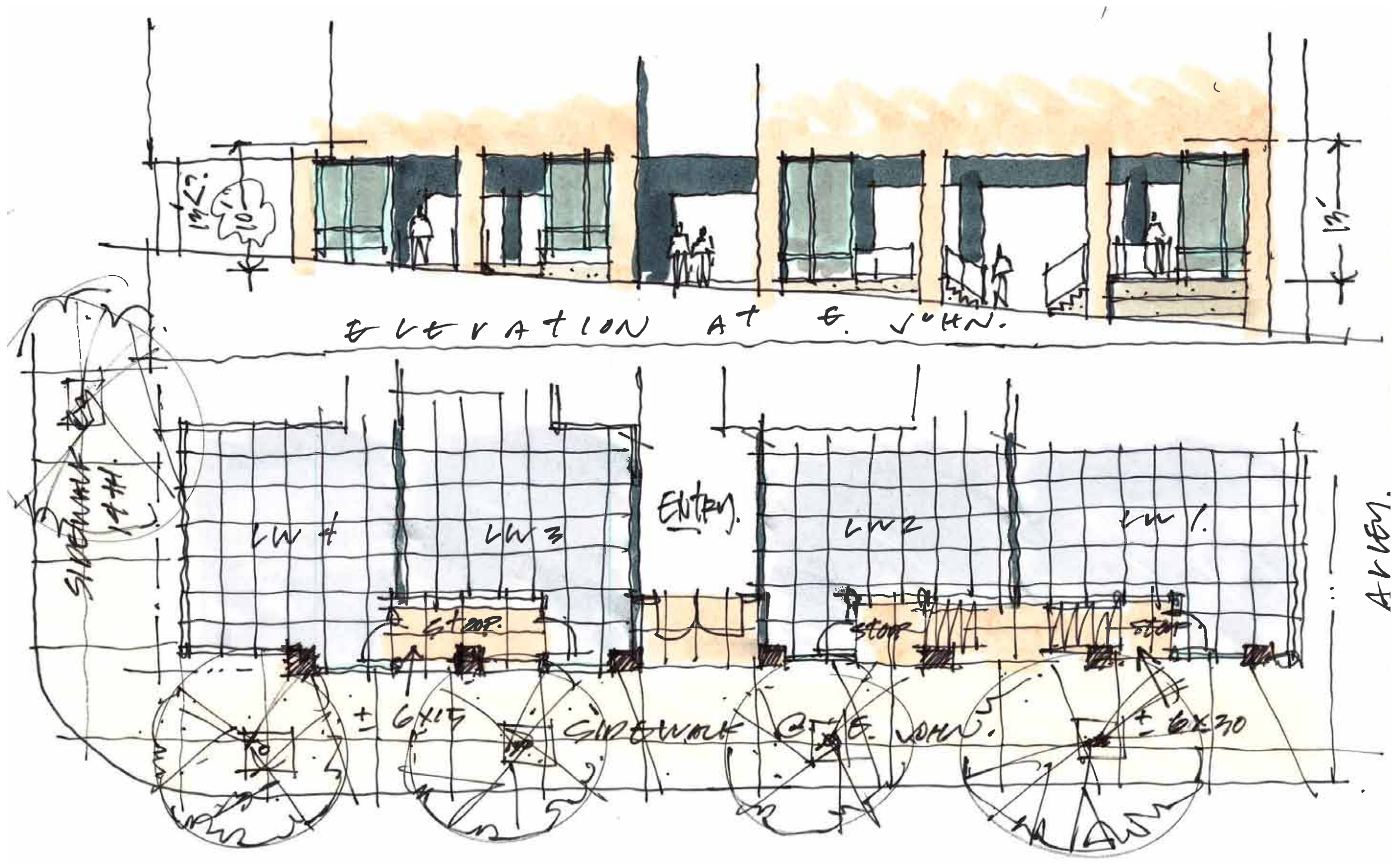
Abundant storefront glazing allows visibility into interior space

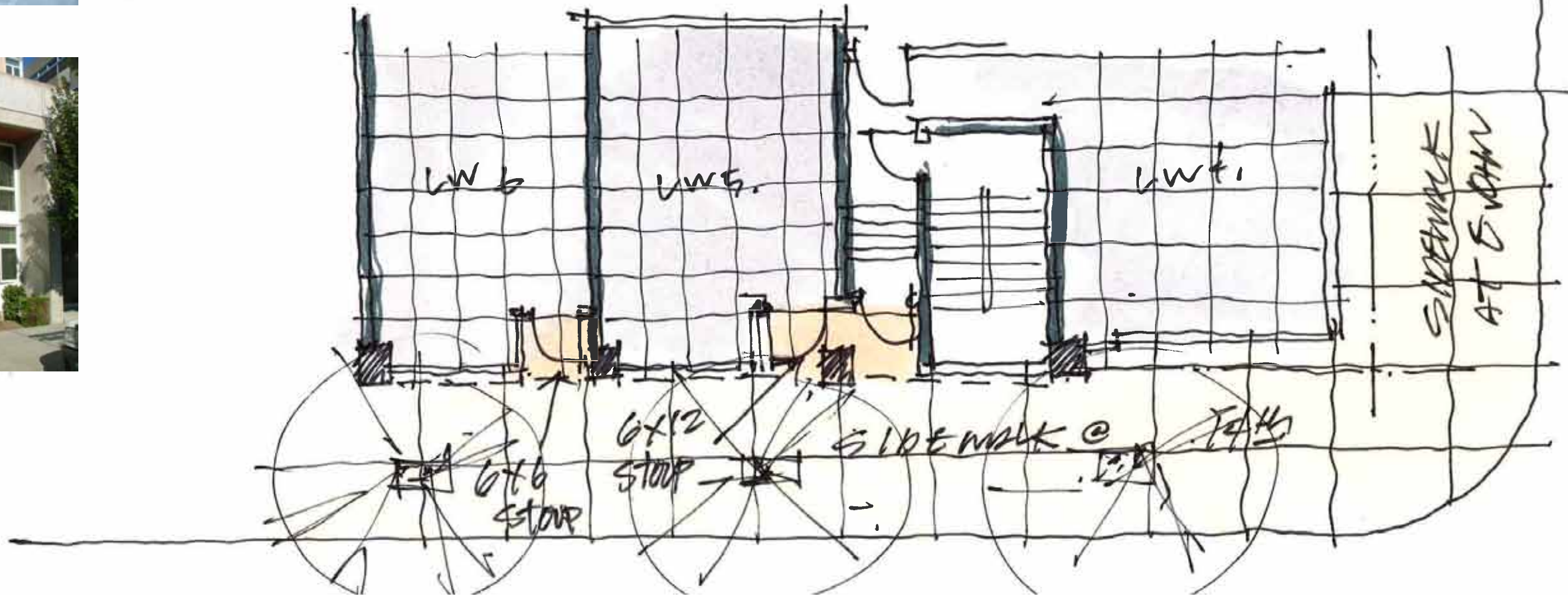
"Human scale" commercial - live/work spaces help activate the streetscape

Stoops provide character, weather protection, and effective transition from sidewalk into the building

Building setback enhances visibility at alley access. Dumpsters, etc. to be contained within the building at structured parking









Residential Neighborhoods

Capitol Hill's large residential area is divided into two districts. The West Slope District lies between I-5 and Broadway. The East Core District consists of the area between Broadway and 15th Avenue East. Three cornerstones of the community's goals are (1) increasing housing affordability for a broad spectrum of community members; (2) strengthening and enhancing the character of existing residential neighborhoods; and (3) providing a greater range of housing types under the existing zoning.

Achieving these goals will require an integrated program of housing strategies to reduce unnecessary obstacles to housing development while still preserving the historic, small-scale character of the existing housing stock. Revising zoning and making development regulations more flexible will affect these changes. At the same time, neighborhood residential design guidelines will help support the community's historic, small-scale character yet also allow development flexibility.

East Core District

The East Core District is characterized by small, tightly knit lots that support finely scaled houses, duplexes, and small apartment buildings that are valued by Capitol Hill residents. Most of the East Core District is zoned L3; lots tend to be small (4,600 square feet on average), and the street grid generally lacks alleys. On many blocks, parcels line all four sides of the block, with structures facing east-west streets as well as north-south avenues. The majority of Capitol Hill's single-family houses are found in the East Core District. The community's primary objective for the East Core District is to find creative ways to preserve and increase detached, small-scale, multiple-family housing.



Streetscape Compatibility

Neighborhood Priority: Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village. The character of a neighborhood is often defined by the experience of walking along its streets. How buildings meet the sidewalk helps determine the character, scale and function of the streetscape. The siting of a new building should reinforce the existing desirable spatial characteristics of the Capitol Hill streetscapes.

- Retain or increase the width of sidewalks.
- Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.
- Vehicle entrances to buildings should not dominate the streetscape.
- Orient townhouse structures to provide pedestrian entrances to the sidewalk.
- For buildings that span a block and “front” on two streets, each street frontage should receive individual and detailed site planning and architectural design treatments to complement the established streetscape character.
- New development in commercial zones should be sensitive to neighboring residential zones. Examples include lots on Broadway that extend to streets with residential character, such as Nagle Place or 10th or Harvard Avenues East. While a design with a commercial character is appropriate along Broadway, compatibility with residential character should be emphasized along the other streets.



Corner Lots

Neighborhood Priority: Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village. The character of a neighborhood is often defined by the experience of walking along its streets. How buildings meet the sidewalk helps determine the character, scale and function of the streetscape. The siting of a new building should reinforce the existing desirable spatial characteristics of the Capitol Hill streetscapes.

- Incorporate residential entries and special landscaping into corner lots by setting the structure back from the property lines.

CONTRIBUTE TO THE ARCHITECTURAL CHARACTER OF THE NEIGHBORHOOD.

Height, Bulk & Scale Compatibility

Neighborhood Priority: Preserve and augment the neighborhood's architectural qualities, historic character and pedestrian scale. Contemporary building practices can potentially create visual conflicts with older buildings due to differences in scale, massing and degrees of articulation. Capitol Hill emphasizes the notion of historical continuity—the relationship of built structures over time. Compatible design should respect the scale, massing and materials of adjacent buildings and landscape.

- Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.
- Consider existing views to downtown Seattle, the Space Needle, Elliott Bay and the Olympic Mountains, and incorporate site and building design features that may help to preserve those views from public rights-of-way.
- Design new buildings to maximize the amount of sunshine on adjacent sidewalks throughout the year.

CREATE A SAFE, COMFORTABLE, AND INTERESTING ENVIRONMENT THAT ENCOURAGES WALKING FOR PLEASURE AND FOR TRANSPORTATION.

Streetscape Compatibility

- The pedestrian orientation should be strengthened by designing to accommodate the presence or appearance of small store fronts that meet the sidewalk and where possible provide for an ample sidewalk.

Human Scale

- Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building's architecture.



Buildings on corner lots should be oriented to the corner and public street fronts. A prominent, landscaped corner entry can promote visibility at a street intersection, and provides a comfortable place for people.



An example of building massing and orientation composed in a manner to take advantage of noteworthy views.



Two examples of simple yet varied building masses and window patterns that create shadow lines and provide visual relief. It's important not to "over-modulate" the building, which can have the unintended consequence of creating building features that appear "tacked-on." Articulated subvolumes are also employed as a transition in size to adjacent structures that are smaller in scale.

- Improve and support pedestrian-orientation by using components such as: non-reflective storefront windows and transoms; pedestrian-scaled awnings; architectural detailing on the first floor; and detailing at the roof line. (These details make buildings more "pedestrian-friendly"—details that would be noticed and enjoyed by a pedestrian walking by, but not necessarily noticed by a person in a vehicle passing by at 30 miles per hour.)

Pedestrian Open Spaces and Entrances

Capitol Hill Precedent: Outdoor spaces place a visual emphasis on the street, supporting the functional and visual integration of public and private realms.

Neighborhood Priority: Maintain and enhance pedestrian scale, activity and comfort. The pedestrian environment (sidewalks, pathways, crossings, entries and the like) should be safe and accessible. The pedestrian environment should connect people to places they want to go, and should provide good spaces to be used for many things. New development should reflect these principles by enhancing commercial district streetscapes that make street-level pedestrian activity a priority.

Streetscape Compatibility

- Provide entryways that link the building to the surrounding landscape
- Create open spaces at street level that link to the open space of the sidewalk.
- Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles.
- Minimize the number of residential entrances on commercial streets where non-residential uses are required. Where residential entries and lobbies on commercial streets are unavoidable, minimize their impact to the retail vitality commercial streetscape.

Personal Safety and Security

Consider:

- pedestrian-scale lighting, but prevent light spillover onto adjacent properties
- architectural lighting to complement the architecture of the structure
- transparent windows allowing views into and out of the structure—thus incorporating the "eyes on the street" design approach

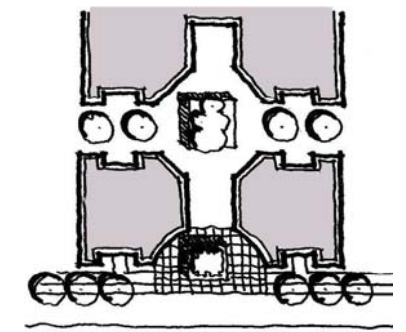
Provide a clear distinction between pedestrian traffic areas and commercial traffic areas through the use of different paving materials or colors, landscaping, etc.



Capitol Hill Precedent: Outdoor spaces place a visual emphasis on the street, supporting the functional and visual integration of public and private realms.



An example of a single, identifiable residential entry that does not unduly interrupt the continuity of the commercial streetscape.



Establish clear pedestrian connections that direct pedestrians between buildings, parking, streets and open places.



ENCOURAGE HUMAN ACTIVITY AND INTERACTION AT STREET LEVEL.

Human Activity

Neighborhood Priority: Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village. Capitol Hill's commercial corridors are among the liveliest pedestrian environments in the city. The mix of small-scale storefronts that house retail, restaurants, and services attract residents and visitors on a daily basis. Proper site planning reinforces the existing pedestrian orientation of the neighborhood.

- Provide for sidewalk retail opportunities and connections by allowing for the opening of the storefront to the street and displaying goods to the pedestrian.
- Provide for outdoor eating and drinking opportunities on the sidewalk by allowing for the opening the restaurant or café windows to the sidewalk and installing outdoor seating while maintaining pedestrian flow.
- Install clear glass windows along the sidewalk to provide visual access into the retail or dining activities that occur inside. Do not block views into the interior spaces with the backs of shelving units or with posters.

OPTIMIZE THE ARRANGEMENT OF USES AND ACTIVITIES ON THE SITE

Parking and Vehicle Access

Neighborhood Priority: Maintain and enhance the character and function of a mixed use, pedestrian-oriented urban village. A wall of garage doors and multiple curb cuts greatly diminish the quality of the pedestrian environment. Where alley access is not possible, garage entries and driveways should be consolidated to enhance the streetscape for pedestrians.

- Preserve and enhance the pedestrian environment in residential and commercial areas by providing for continuous sidewalks that are unencumbered by parked vehicles and are minimally broken within a block by vehicular access.

Screening of Dumpsters, Utilities, and Service Areas

Consolidate and screen dumpsters to preserve and enhance the pedestrian environment.



A good example of a storefront that animates the street edge and sustains a pedestrian's interest with a high degree of transparency along the street, through which uses are readily discernable to the passer-by. Overhead cover along the sidewalk and seating adds pedestrian comfort.



Outdoor gathering space along the sidewalk is allowed by setting back the corner of the building.



In this example, the sidewalk is indistinguishable from the driveway.



A single-garage entry for multiple residences preserves the streetscape for pedestrians and adequately accommodates vehicles.

DEVELOP AN ARCHITECTURAL CONCEPT THAT WILL RESULT IN A FUNCTIONAL AND HARMONIOUS DESIGN.

Residential Open Space

Neighborhood Priority: Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village. With one of the highest residential densities in the city, Capitol Hill's neighborhoods are remarkably green. Street trees and private landscaping contribute to this pleasant environment. Redevelopment should retain and enhance open space and landscaping.

- Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries.
- Create substantial courtyard-style open space that is visually accessible to the public view.
- Set back development where appropriate to preserve a view corridor.
- Set back upper floors to provide solar access to the sidewalk and/or neighboring properties.
- Mature street trees have a high value to the neighborhood and departures from development standards that an arborist determines would impair the health of a mature tree are discouraged.
- Use landscape materials that are sustainable, requiring minimal irrigation or fertilizer.
- Use porous paving materials to minimize stormwater run-off.

Landscape Design to Address Special Site Conditions

Neighborhood Priority: Maintain and enhance existing landscape patterns in commercial and residential areas.

- Maintain or enhance the character and aesthetic qualities of neighborhood development to provide for consistent streetscape character along a corridor.
- Supplement and complement existing mature street trees where feasible.
- Incorporate street trees in both commercial and residential environments in addition to trees onsite.
- Commercial landscape treatments that include street trees.



Maintain Landscape Traditions—Classic garden court-style apartment Capitol Hill has a tradition of landscape design in its residential open spaces. Forecourts, intimate courtyards, terraces and outdoor gardens contribute to an exceptional outdoor setting. New development should continue to build upon these traditions and qualities found within the local landscape.



Street trees of appropriate species planted on a linear roadway in combination with naturalistic landscape plantings enhance the variety of visual and spatial experience in Capitol Hill's residential areas.



USE QUALITY MATERIALS FOR THE BUILDING AND ITS OPEN SPACES.

Streetscape Compatibility

- Masonry and terra cotta are preferred building materials, although other materials may be used in ways that are compatible with these more traditional materials. The Broadway Market is an example of a development that blends well with its surroundings and includes a mixture of materials, including masonry.



High-quality materials and contextual design in new multifamily development.

Exterior Finish Materials

- Use wood shingles or board and batten siding on residential structures.
- Provide operable windows, especially on storefronts.
- Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.
- Consider each building as a high-quality, longterm addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.
- The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is discouraged, especially on ground level locations.



Quality materials that express a long-term civic investment to the neighborhood



Signs can add creativity and individual expression to the streetscape.



A regular cadence of display windows, shop entrances and architectural details enhances the pedestrian experience.

