



SOLA 24

109 12TH AVENUE EAST
D P D # 3 0 1 2 7 2 3

D E S I G N
R E V I E W

10 OCTOBER 2012

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SOLA 24

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DRAWING LIST:

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**DESIGN
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**PROJECT
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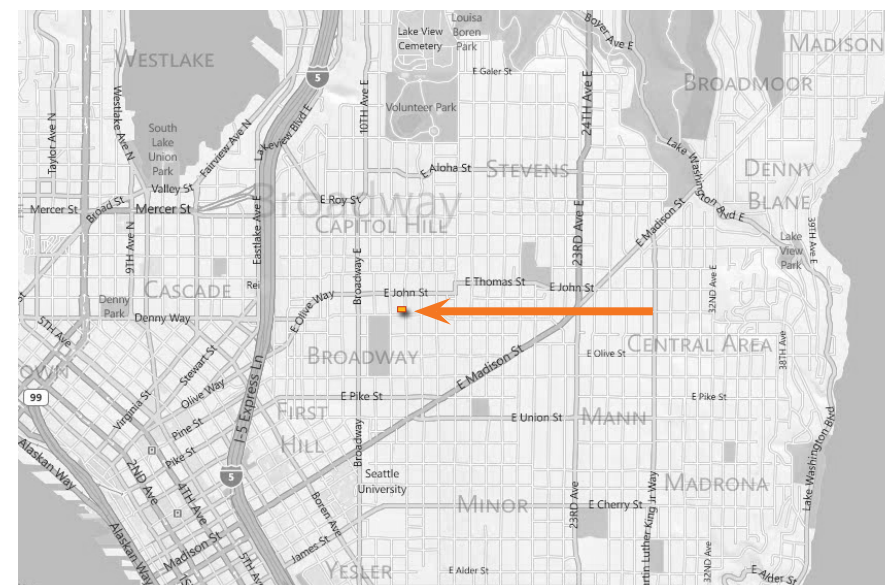
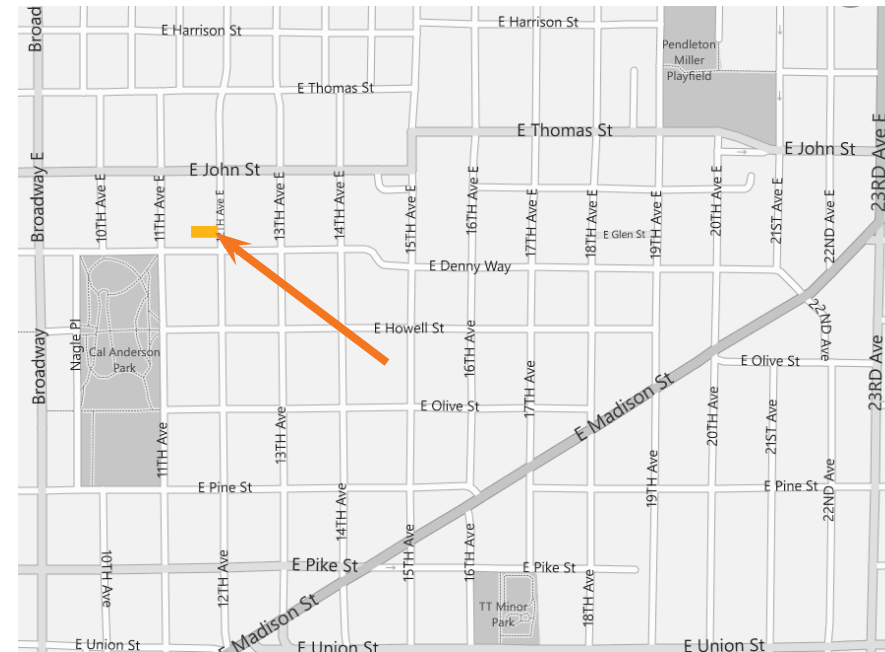
DEVELOPMENT OBJECTIVES

1. development objectives.

DEMOLISH EXISTING MULTI-FAMILY BUILDING (SINGLE FAMILY CONVERSION).

CONSTRUCT A NEW 21-UNIT APARTMENT BUILDING THAT ENHANCES THE VIBRANT STREETScape OF 12TH AVENUE EAST. BUILDING WILL BE A CONTEMPORARY MODEL OF CAPITOL HILL LIVING WITH OPEN PLAN UNITS, PLENTY OF GLASS AND A RECOGNIZABLE ADDRESS. UNITS WILL BRING LOFT STYLE LIVING INTO THE CONTEXT OF AN L3 APARTMENT BUILDING.

VICINITY MAPS

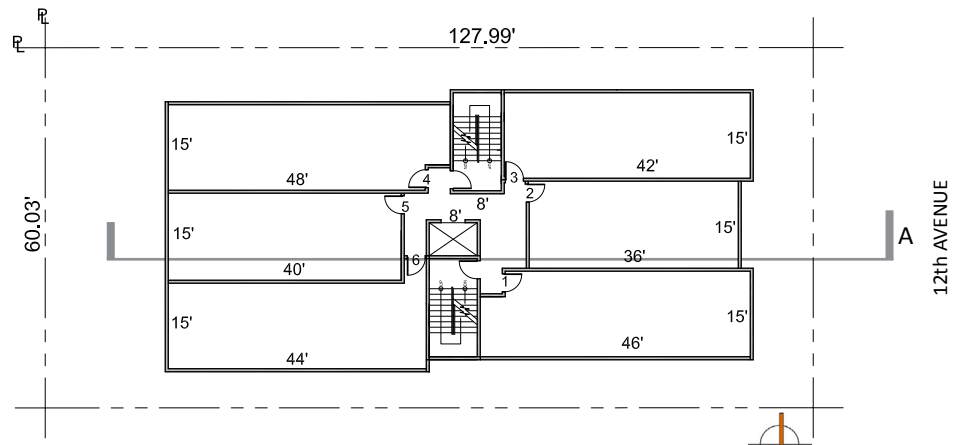


■ SITE

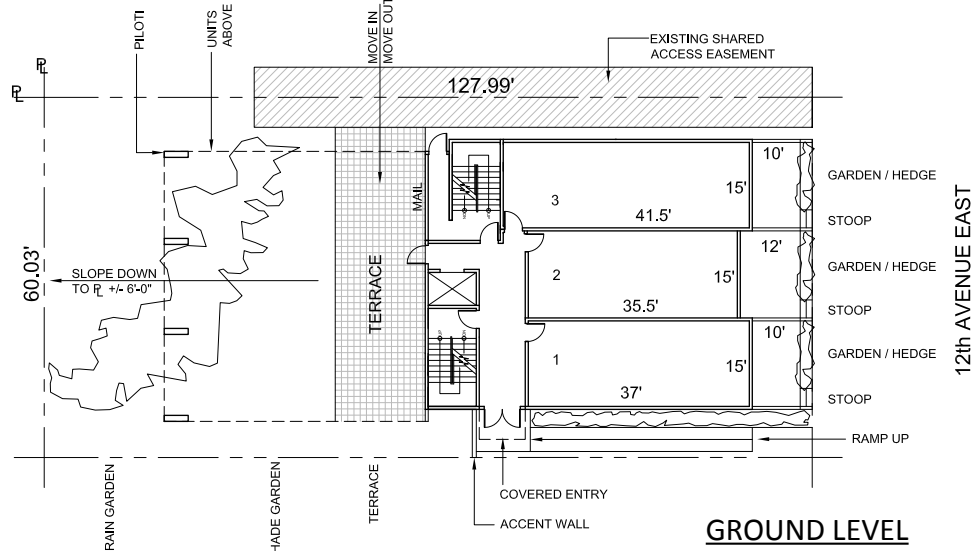


DESIGN GUIDELINES

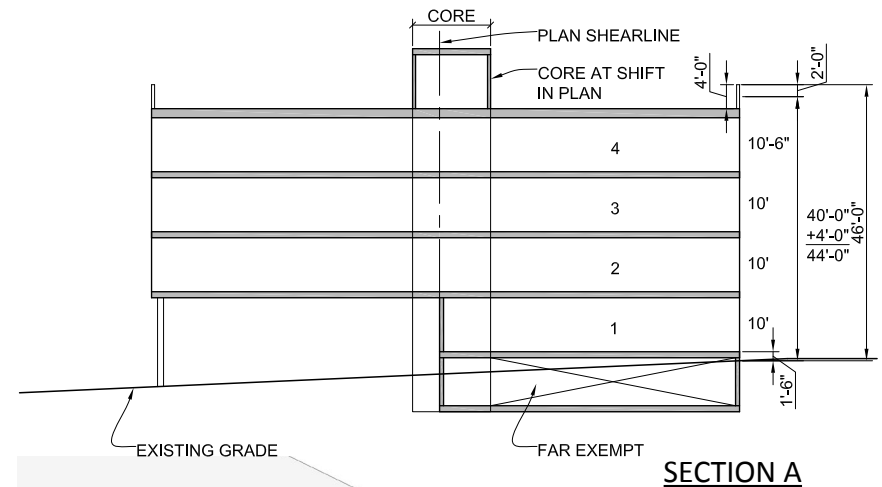
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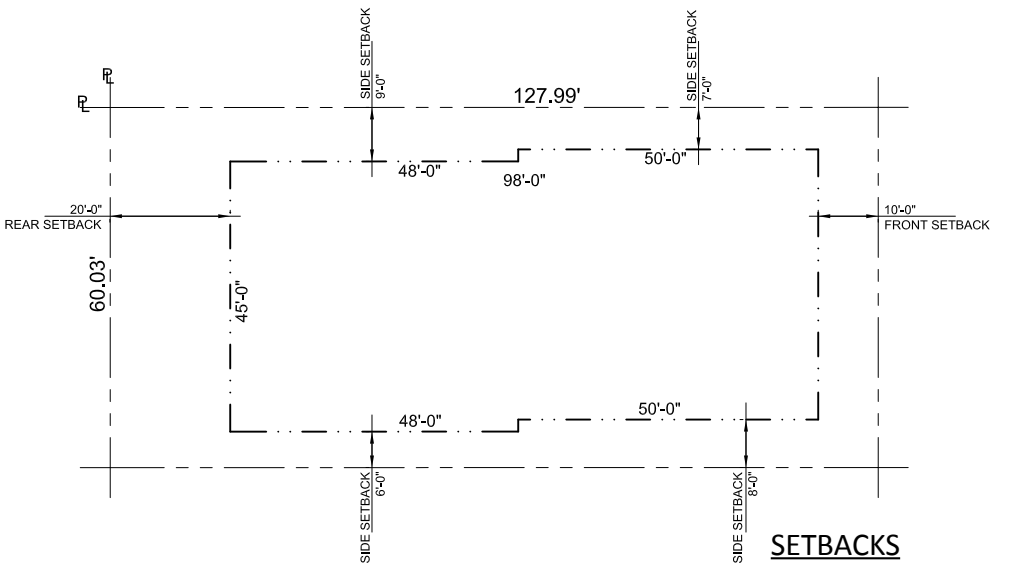
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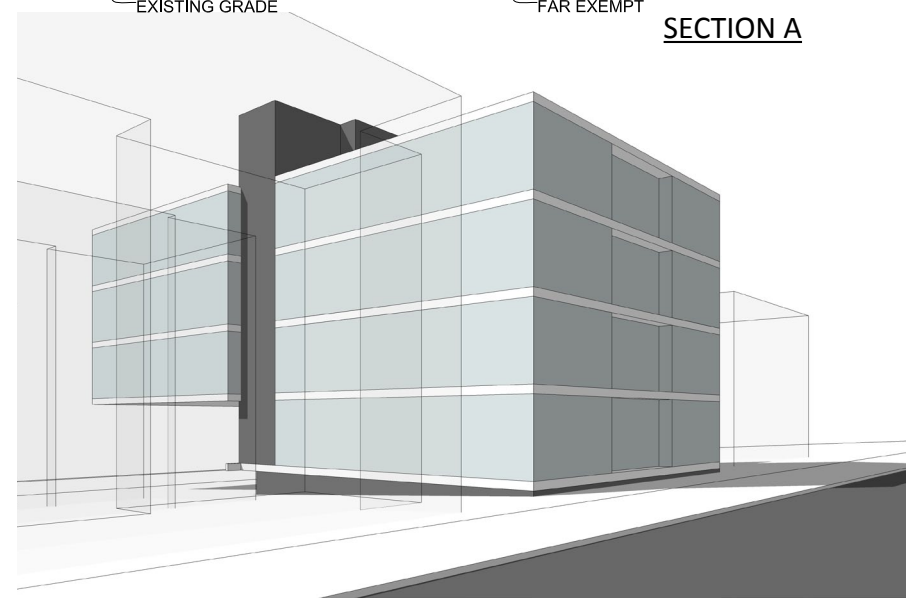
GROUND LEVEL



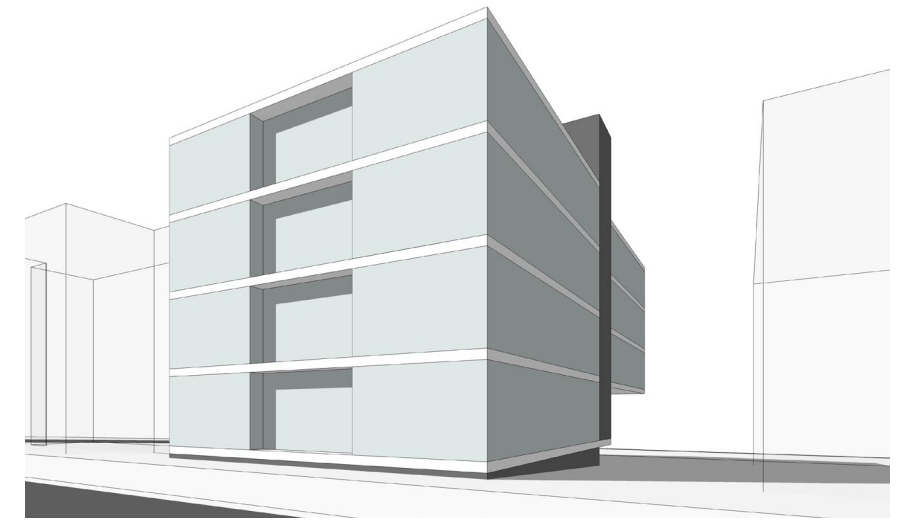
SECTION A



SETBACKS



View of Site Looking NW



View of Site Looking SW

ALTERNATIVE 3 - PREFERRED SCHEME FROM EDG PACKAGE

Constrained by height limit and FAR

ADVANTAGES

- Building holds the street line at 12th Avenue East, yet allows for shallow front yards at ground floor units.
- Building to maximum allowable (2.0) FAR.
- There are variations of unit layout, yet in a typical kit of parts.
- The apartment units are similar, so construction is simplified.
- Plan with the smallest area devoted to building core.
- Can build stoops for ground floor units facing 12th Avenue East.
- Covered ground floor open space for resident use.

DISADVANTAGES

- No parking.
- No lobby.

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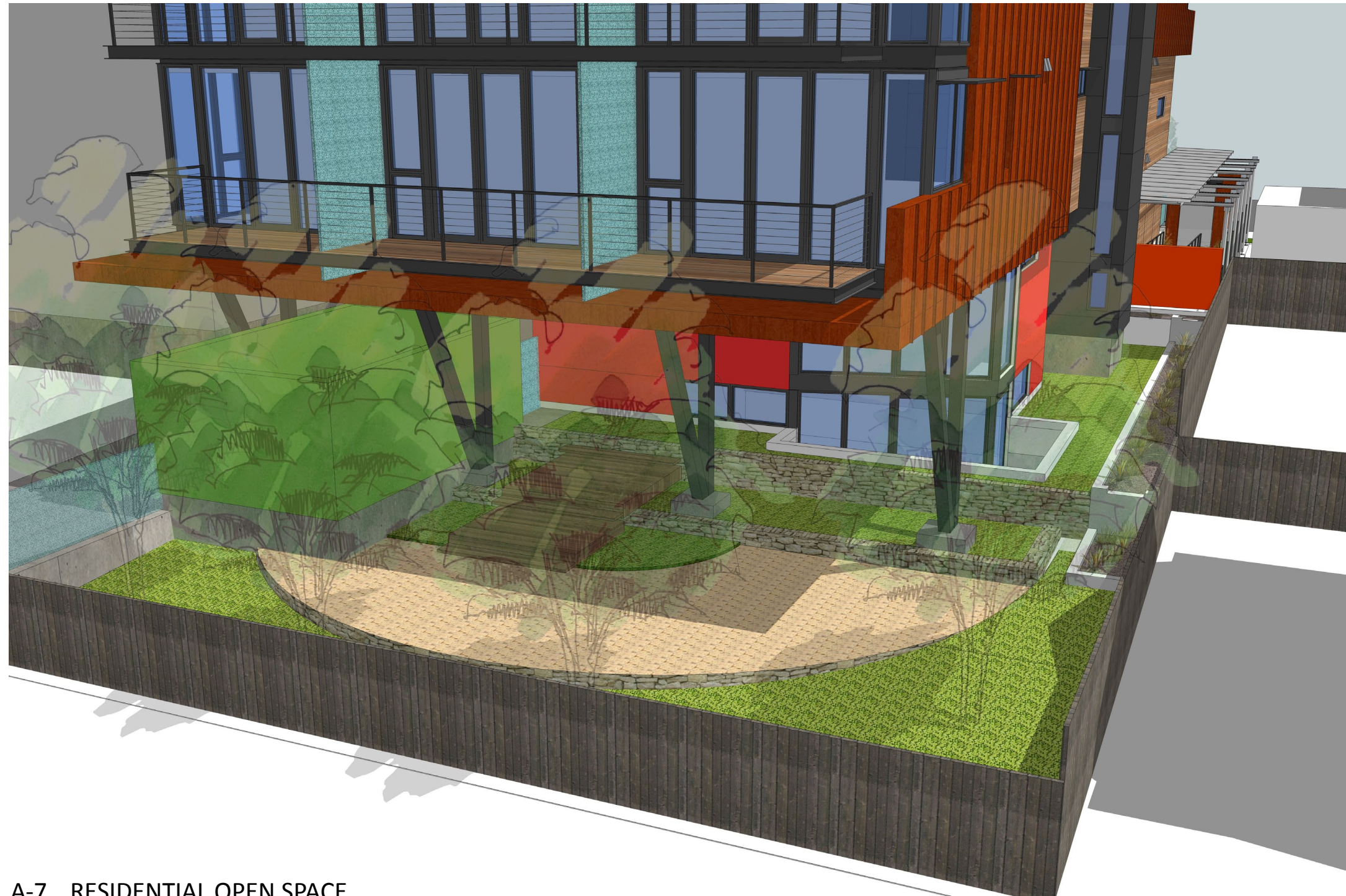
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A-5 RESPECT FOR ADJACENT SITES

The proposed project occupies a parcel that is surrounded by L3 zones, with an L3-RC parcel immediately to the south. There is more intensive zoning (NC3-40) south of Denny and west of 10th. The neighborhood is a mix of apartment buildings from various eras, single-family homes and single-family homes divided into apartments. As would be expected there is no predominant architecture style, or even building scale. The parcel to the north is occupied by a 3-story apartment building in a 60's developer modern style. The parcels to the south are wood framed single-family units from the late 19th century. One lot is an occupied single-family, with a vacant parcel as a garden space. The parcel at 12th and Denny is a converted single-family structure. The parcel to the west is also a single-family conversion.

The proposed project is set back from the south property line 8feet (east half) and 10 feet (west half) to respond to requests by the immediate neighbors. In addition the lower 2 floors of the east half are setback another 1 foot, to 9 feet, again in response to meetings with the neighbors. The west face (rear setback) is 20 feet, where 15 feet is allowed by code. This is in deference to another neighbor.



A-7 RESIDENTIAL OPEN SPACE

The proposed building creates a series of residential open spaces, from shared to private.

As outlined in A-3 and in A-6, the ground floor units facing 12th Avenue East (facing east) all have entry terraces between the unit and the sidewalk. These spaces are approximately 18 inches above the sidewalk and are secured with a fence, a hedge and a gate. These spaces are a combination of hardscape and plantings. This space is private, for the use of the individual tenant. It is also a shared landscape that can be viewed by passers by.

The west half of the project features a shared open space in the form of a Shade Garden and a Dog walk. This half of the building is elevated on a column structure creating an ample open space (approximately 40' X 60') that is partially under the building. The design includes two "boxes" (a stack of apartments and a refuse room), a series of terraced outdoor rooms, a boardwalk, paths, landscape beds and trees. This space is private, for the use of the building tenants. It is also a shared landscape that can be viewed by the neighboring properties.

The west half of the building includes an uncovered roof terrace, surrounded by green roof plantings. This space is private, for the use of the building tenants.

Except for the three east-facing ground floor units each resident has a balcony, approximately 6 feet deep by 9 feet wide. This space is private, for the use of the individual tenant.

A-3 ENTRANCES VISIBLE FROM THE STREET

The proposal gives each ground floor unit an entry, visible from the street. The common entry is in the center of the building, accessed by a ramp along the south property line. The ramp is secured by a gate at the street, covered overhead by glass panels, and edged by plantings. The eye is drawing to the entry (and the end of the ramp) by a brightly colored accent wall. The covered ramp functions as a secured, outdoor extension of the building lobby and core.

A-4 HUMAN ACTIVITY

Each east facing, ground level unit has a defined entry with a stoop, visible from the street. All units have a full wall of glass, connecting the units to the street, in support of the "eyes on the street" concept. The largely glazed ends of the loft style units also offer a glimpse into the world of the occupants, with privacy controlled by window coverings, in true urban living fashion.

A-6 TRANSITION BETWEEN RESIDENCE AND STREET

The proposed building gives each ground floor unit an entry, accessed from a private terrace. The terrace is separated from the sidewalk by a set of gated steps and a layered fence and hedge, all adjacent to the sidewalk and visible from the street. The common entry is in the center of the building, accessed by a ramp along the south property line. The ramp creates a transition from public to private and is secured by a gate at the street, covered overhead by glass panels. Again, as in A-3, this covered ramp functions as a secured, outdoor, extension of the building lobby and core.





A-2 STREETScape COMPATIBILITY

The site is essentially flat at 12th Avenue East, in the north/south direction. The project will add to the emerging street wall at 12th Avenue. The street wall is a varied collection of single-family residences, single family residences converted to apartments and apartment buildings.

The proposal addresses the context at the street frontage. Three (3) ground floor units fronting 12th Avenue East address the street with a front garden, elevated from the sidewalk by 18 inches. Each of these units receives an entry stoop with steps, a fence and a planter. The east faces of the units, including the lower floors are predominantly floor to ceiling glazing.

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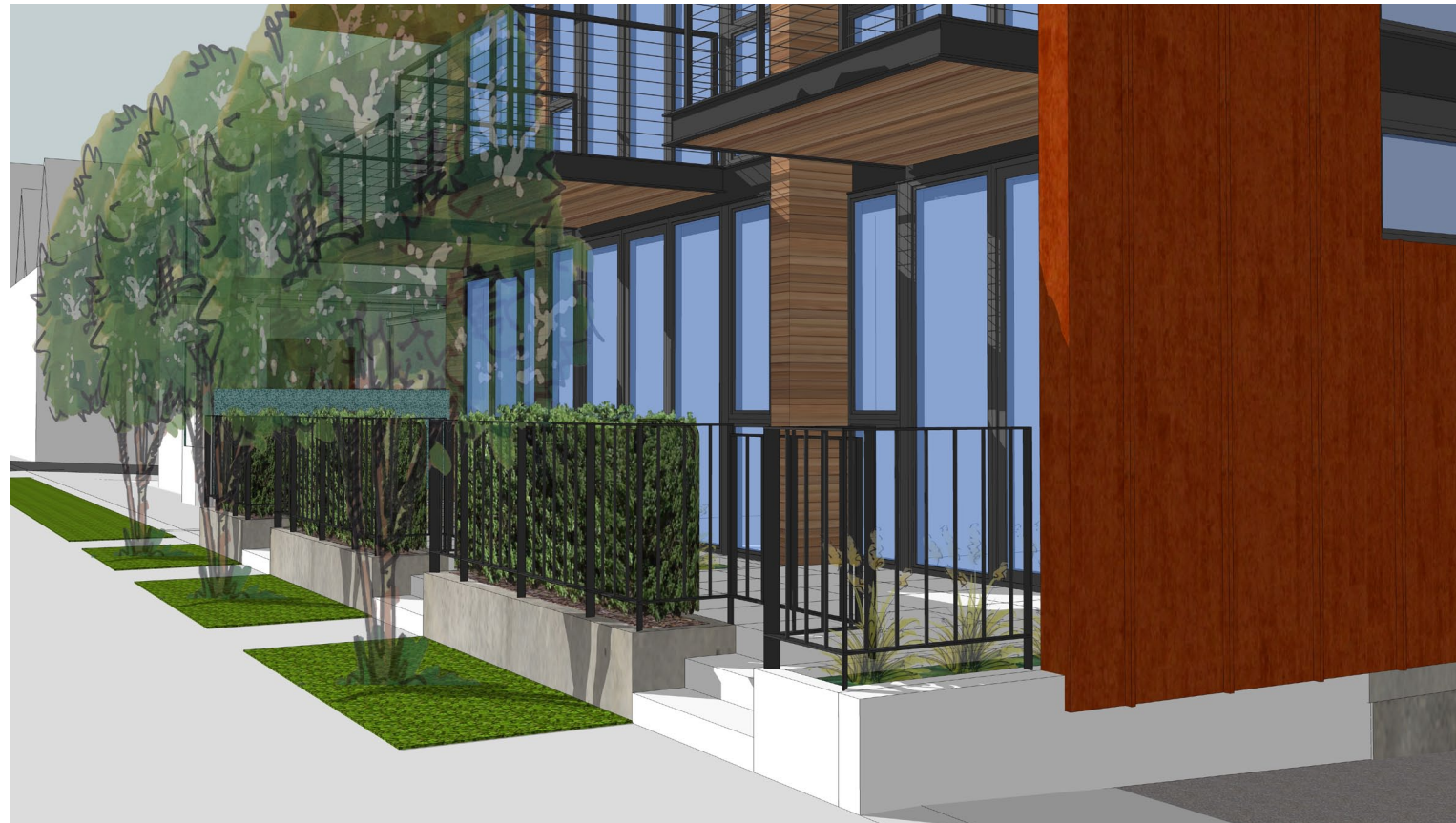
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C-3 HUMAN SCALE

Elements of the design are scaled to human proportions. On the 12th Avenue East side, planters, fences, stoops, gates, entry doors and lighting fixtures are designed and detailed to create a smaller, more pedestrian scale, composition. On the east and west sides, the grid of window walls, sliding doors, decks and rails create a three dimensional tracery that reflects the scale of the occupants.



D-2 BLANK WALLS

The street face facade is predominantly glazed, allowing views into, and out of, the ground level spaces.

There are a few locations in the project that are limited, by privacy considerations or by Building Code, in allowable openings.

There are no ground level facades that present "Blank Walls" as defined by the Seattle Municipal Code.

D-7 PERSONAL SAFETY AND SECURITY

The apartments are designed with ample glazing on the street side (12th Avenue East), especially at ground level, to encourage "eyes on the street". The west facing (internal) side of the building has glazing on all floors to create views out into the neighborhood and to foster a connection to the shared mid-block landscape, typical of Seattle. The shared ground level open space at the west side of the site is secured, via a continuous fence line, and is designed for use of the tenants as a green space and dog walk.

C-1 ARCHITECTURAL CONTEXT

The streetscape along 12th Avenue is widely varied. It has emerged from older large single-family homes, most of which have been turned into multi-family buildings, to a more urban/residential streetscape. The immediate area is all zoned L3. New construction is a mix of townhouse infill and apartments. The eclectic texture of the street, even in this period of transition, defines the character of 12th Avenue as a recognizable place in Seattle.

The immediate context is also varied. To the north is a 3-story 1960's modern apartment (condominium) building with exposed grade level parking on 12th. To the south is a 2-story+ Seattle box single-family conversion. Across the street is a recent 3+-story condominium with below grade parking. This is built in a pastiche of traditional styles in a row house form.

C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY

As described in earlier sections of the Design Review Responses, the project is designed to respond to, and be compatible with, a number of different architectural contexts.

The architectural concept is that of a wood-clad apartment block, with open ends filled with glass and steel. This block is wrapped with a Cor-Ten skin of standing seam panels. The fenestration is coded to suit the elevations: the east and west are full walls of glass in a steel frame; the north and south have horizontal strip windows in the horizontal wood siding and vertical windows in the Cor-Ten standing seam skin.

Balconies are added to the units to add a finer grained layer to the east and west elevations.

The selection of materials and finishes is kept to a minimum number, for a calm and consistent render of the facades.

C-4 EXTERIOR FINISH MATERIALS

The selection of materials and finishes is kept to a minimum number, for a calm and consistent render of the facades. Finishes include:

- Cast-in-place concrete
- Spaced 5/4X4 cedar rain-screen siding
- Vertical CorTen standing seam siding
- Aluminum windows
- Steel section structural frame
- Powder coated aluminum railings
- Concrete pavers



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NORTHWEST ELEVATION



SOUTHEAST ELEVATION

B-1 HEIGHT, BULK, AND SCALE COMPATIBILITY

The proposal is compatible with the height, bulk and scale of the surrounding buildings.

This parcel is a low-rise (L3) parcel surrounded by the same zoning. The site immediately to the south is zoned L3-RC, to reflect the Commercial possibilities represented by the 4 corners of 12th and Denny. There is more intensive zoning (NC3-40) south of Denny and west of 10th. The neighborhood is a mix of apartment buildings from various eras, single-family homes and single-family homes divided into apartments. As would be expected there is no predominant architecture style, or even building scale. The parcel to the north is occupied by a 3-story apartment building in a 60's developer modern style. The three (3) parcels to the south are wood framed single-family units from the early 20th century. One lot is an occupied single-family, with an adjacent vacant parcel used as a garden space. The parcel at 12th and Denny is a converted single-family structure. The parcel to the west is also a single-family conversion.

As the project is an apartment building with a below grade floor the allowable height limit is 44'-0". As the project is an apartment, the allowable FAR is 2.0.

The proposed project is taller than some existing buildings on the west side of 12th. All surrounding properties, however, can be built out to this same height and density. It is similar in bulk to several older masonry apartment blocks, such as 315 12th Ave. E. or 1802 12th Ave. E., etc.

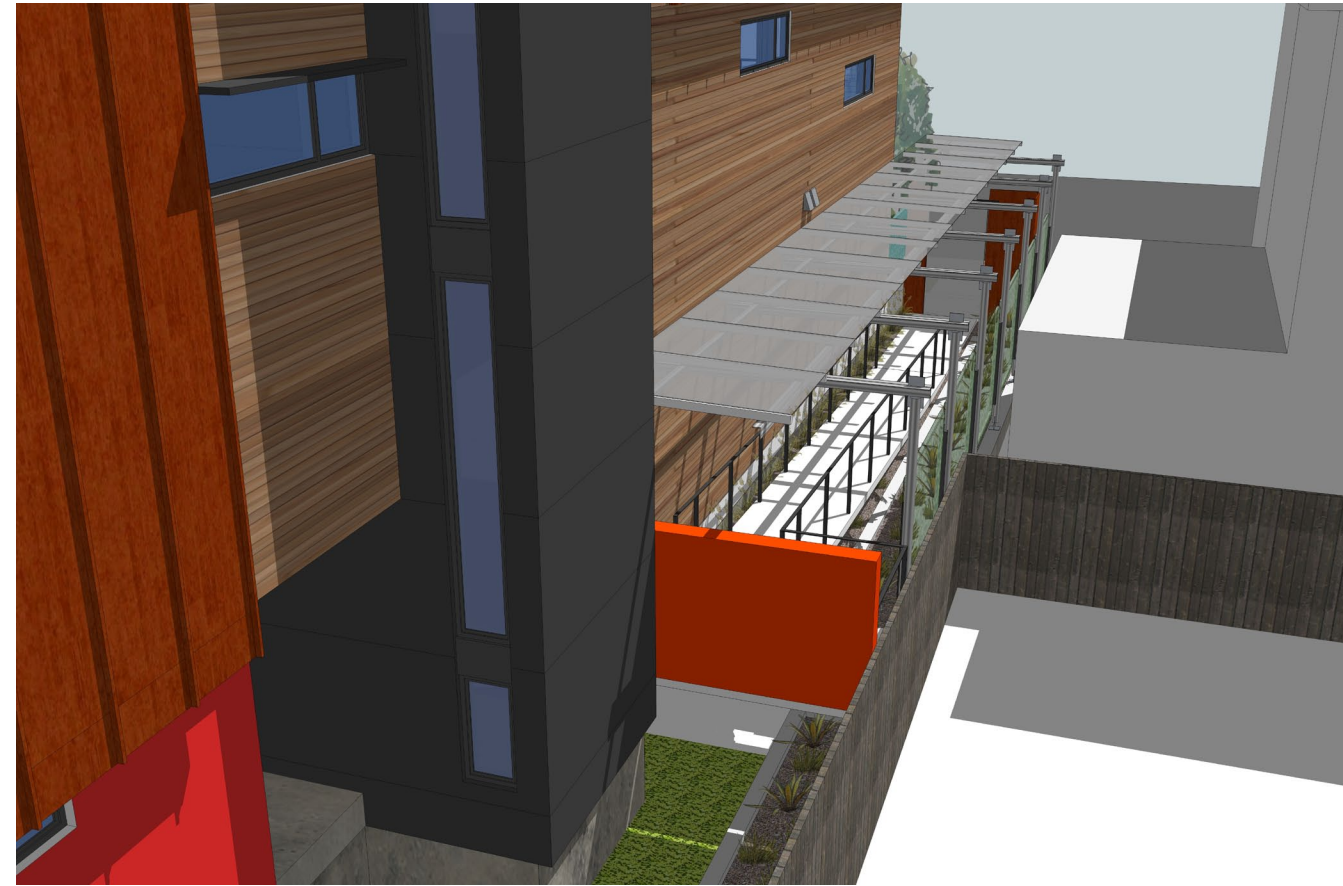
All parcels east of 12th are higher as existing grade is from 8 feet to 12 feet higher than the west side of the street. The largest of these, at 310 12th Ave. E., is as tall as the proposed project because of the higher grade, and is approximately 4 times as wide.

The south and north facades are broken into segments that are 2 or 3 stories tall. The façade elements are rendered in different materials, textures and colors, which makes for a better fit with the scale of adjacent buildings.

E-2 LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE

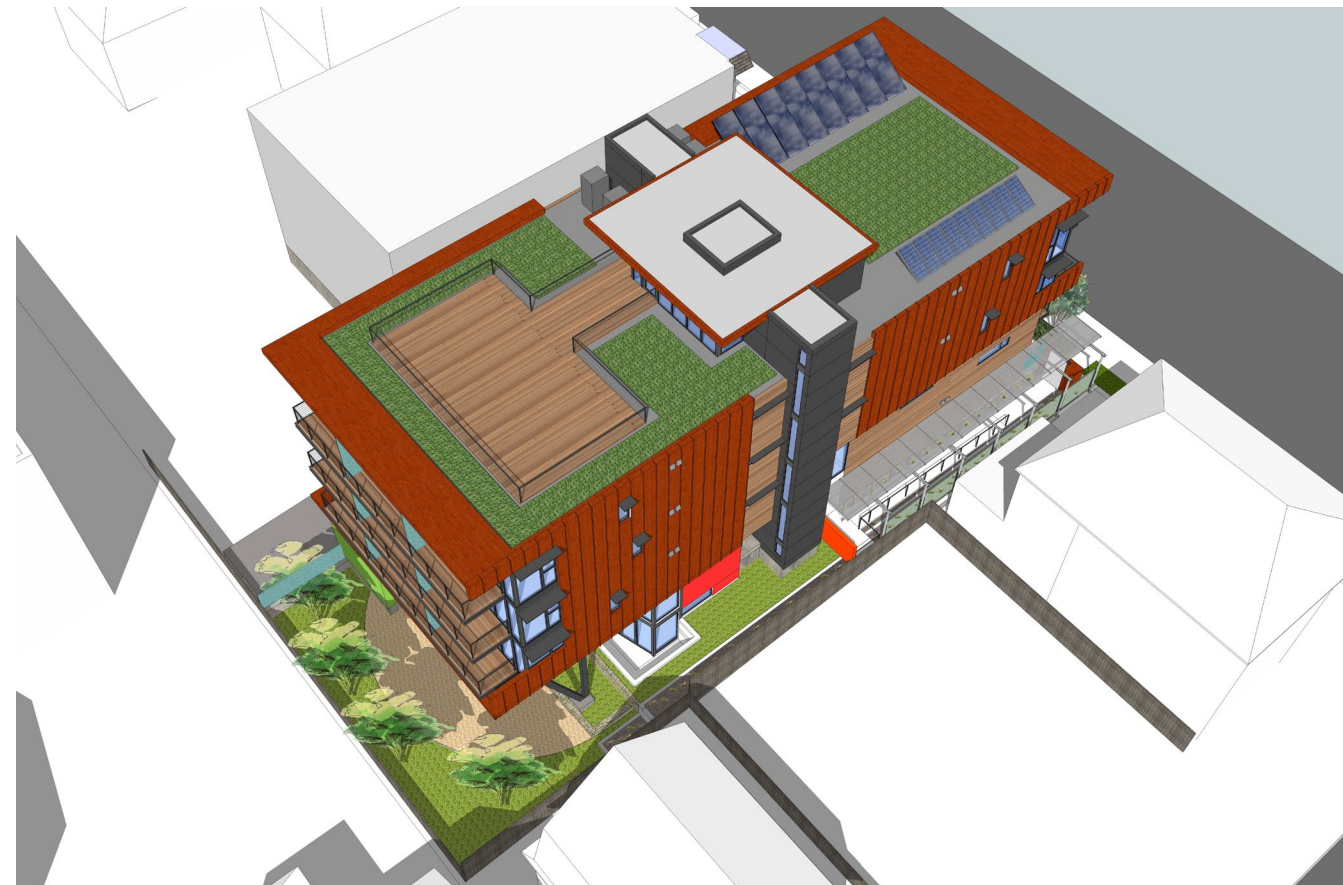
As illustrated in A-3, A-4, A-6, and E-1, the project uses landscaping to enhance both community and privacy on an urban street. The elements of the design that enhance the building and the site include:

- Stoops, and entry gates.
- Fences and hedges.
- Private courtyards.
- Entry gate at sidewalk edge.
- Ramp, trellis and canopy sequence.
- Green wall elements.
- Shared rain garden and dog walk.
- Private decks.
- Shared roof deck and green roof.



E-3 LANDSCAPE DESIGN TO ADDRESS SPECIAL SITE CONDITIONS

As discussed in E-1 and E-2, the block created by 12th Avenue East and East Denny Way and 11th Avenue East and East John Street shares a mid-block "borrowed" landscape, typical of Seattle neighborhoods. Because this site slopes from the street, down 6 feet or so, to the west property-line and the west portion of the building is elevated above the first floor, a large south and west facing garden is created. This large shared ground level open space is designed for use of the tenants as a green space and dog walk. While it is partially under the building the height, from 13 feet to 16 feet, allows south and west sun to penetrate this portion of the garden. The new site construction removes existing fill to match adjacent properties at the fence line (property line) and restore topographic lines. The site conditions allow us to make a shade garden of native plants, irrigated by rain collected on the roofs during some seasons. Again the elevation of the new garden matches the elevation of the gardens and yards of adjacent properties, eliminating a rain run-off condition created by the former raised and paved parking area.



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E-1 LANDSCAPING TO REINFORCE DESIGN CONTINUITY WITH ADJACENT SITES

As discussed in D-7, shown on Sheet DR1.3, the block created by 12th Avenue East and East Denny Way and 11th Avenue East and East John Street shares a mid-block "borrowed" landscape, typical of Seattle neighborhoods. This project includes a large shared ground level open space at the west side of the site designed for use of the tenants as a green space and dog walk. The new construction removes existing fill to match adjacent properties at the fence line (property line) and restore topographic lines. The new garden reflects the gardens and yards of adjacent properties. A varied, yet continuous, fence line secures this space.

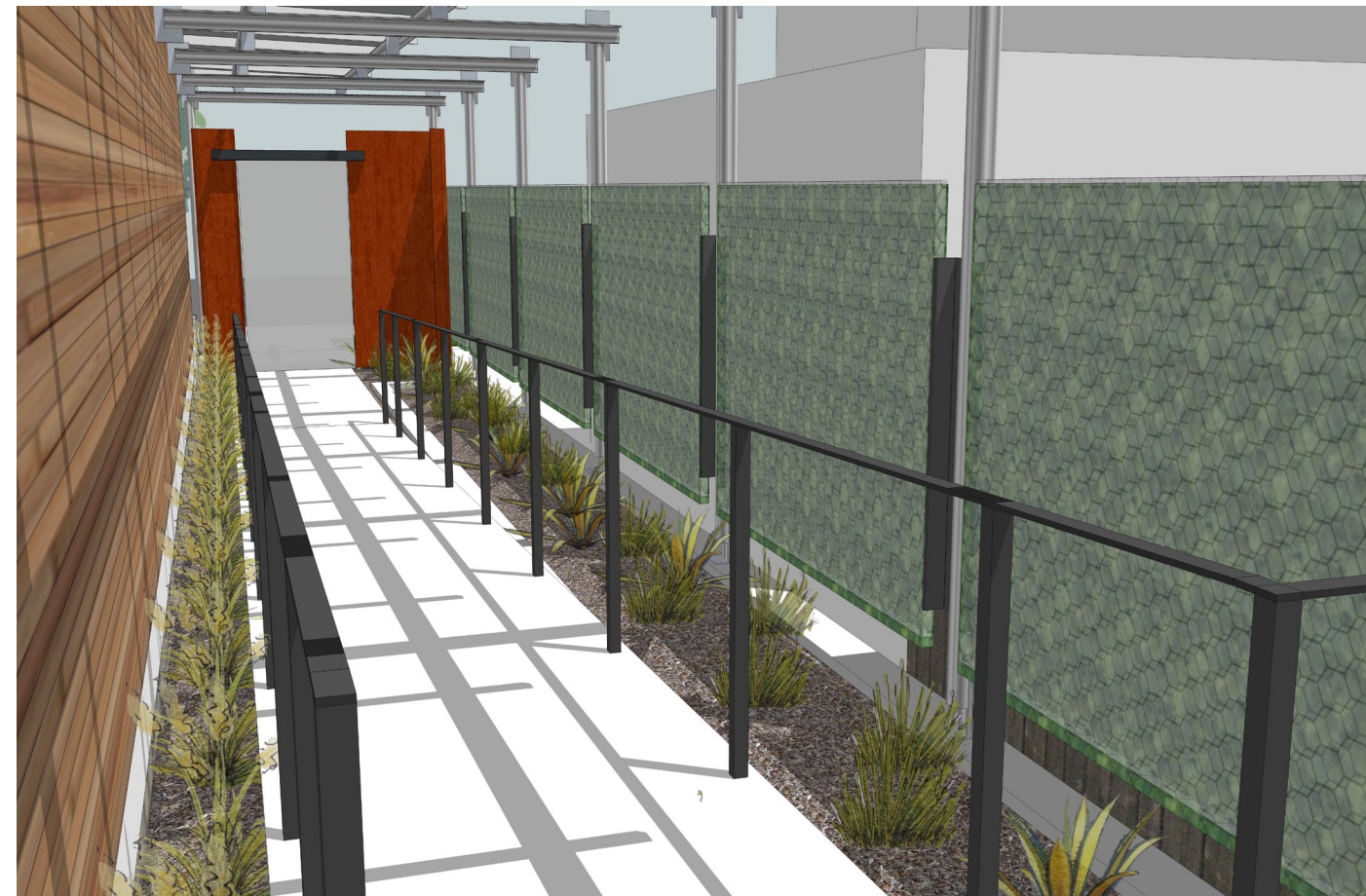


D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES

As illustrated in A-3, A-4 and A-6, (see Sheet DR1.2), each ground floor unit (at 12th Avenue East) has a defined entry with a stoop condition, at the street level. Entries and apartment glazing are recessed from the property line eight (8) or ten (10) feet. There is stoop and gate, separating each unit from the sidewalk as well as a raised planter with fence and hedge, creating a private and secure ground level entry court. A canopy formed by the deck for the unit above protects the entry door to each apartment.

The lower two floors of the south side of the building are recessed an additional 1 foot to create a pedestrian entry passage to the building. The common entry to the building is via an ADA (1:12) ramp, between planting beds, parallel to the building. The ramp passes beneath a steel framed trellis. It is enclosed on the south face by a "Green Grid" fence of 8-foot long by 6-foot high sections, and protected from rain by a glass canopy above. The canopy protects only the walkway, allowing rain into the planter beds. This passage ends on a brightly colored accent wall and is secured by a gate at the sidewalk.

The proposal takes advantage of existing topographic conditions (6 feet plus of fall from east to west) to create a shared private open space, at grade, partially beneath the west half of the building. This space is addressed in more detail in E-1, E-2, and E-3, below.



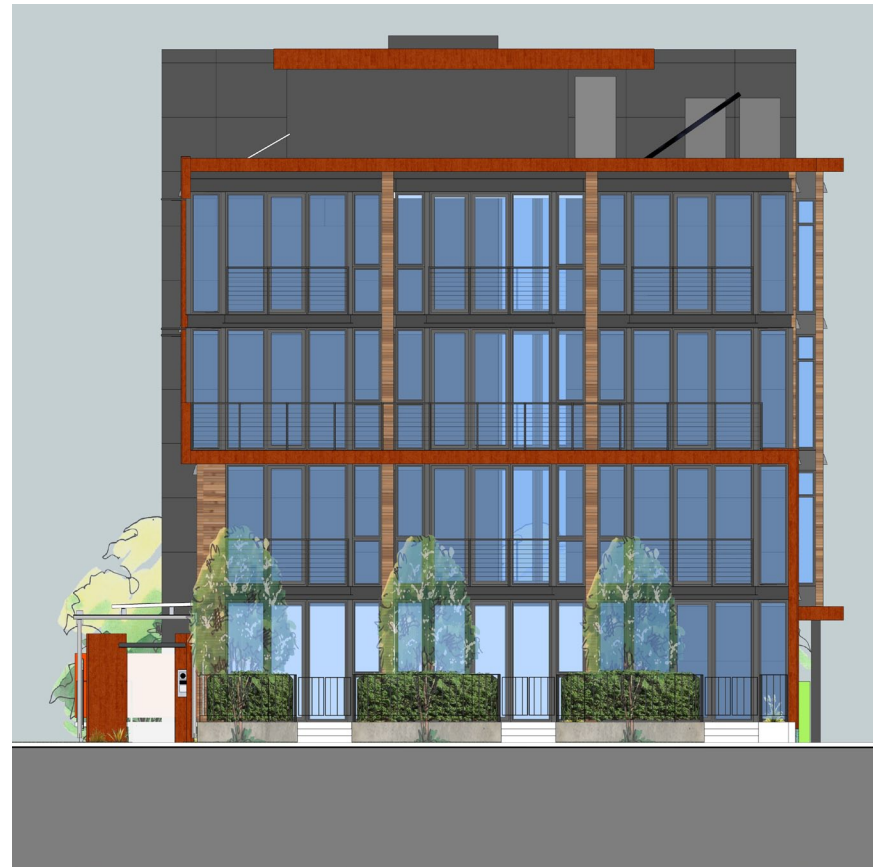
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COLOR
ELEVATIONS



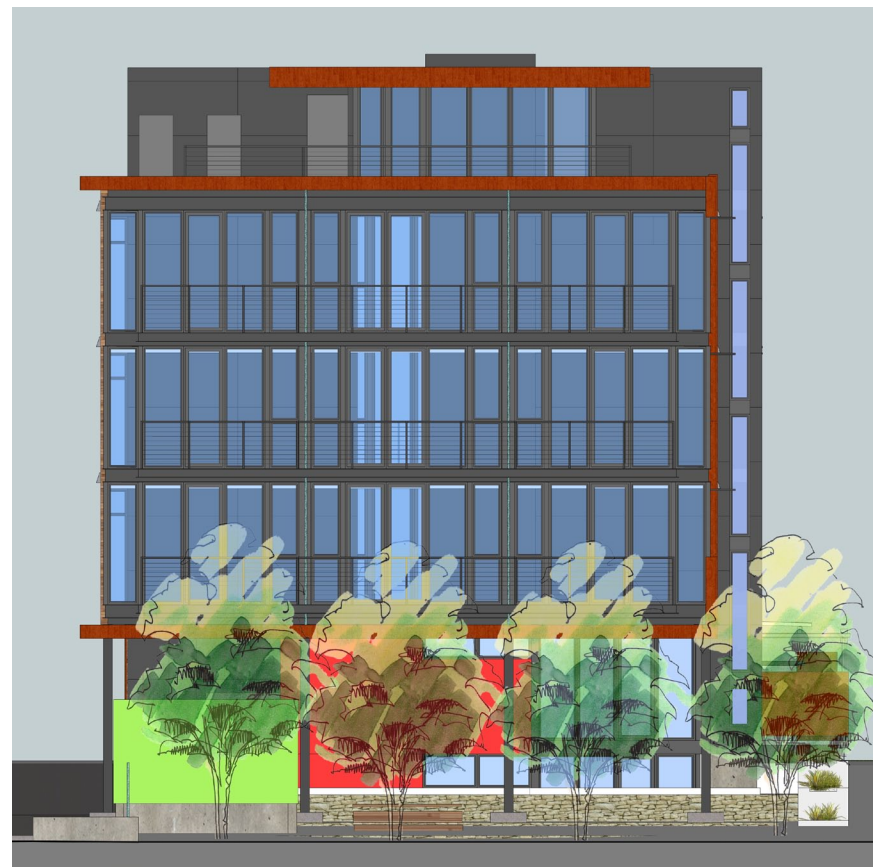
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EAST ELEVATION



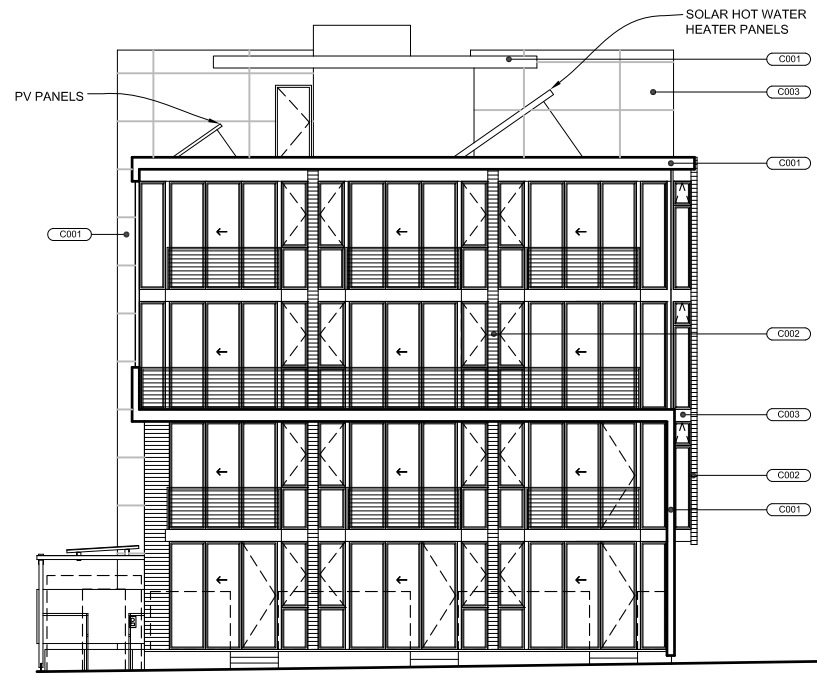
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



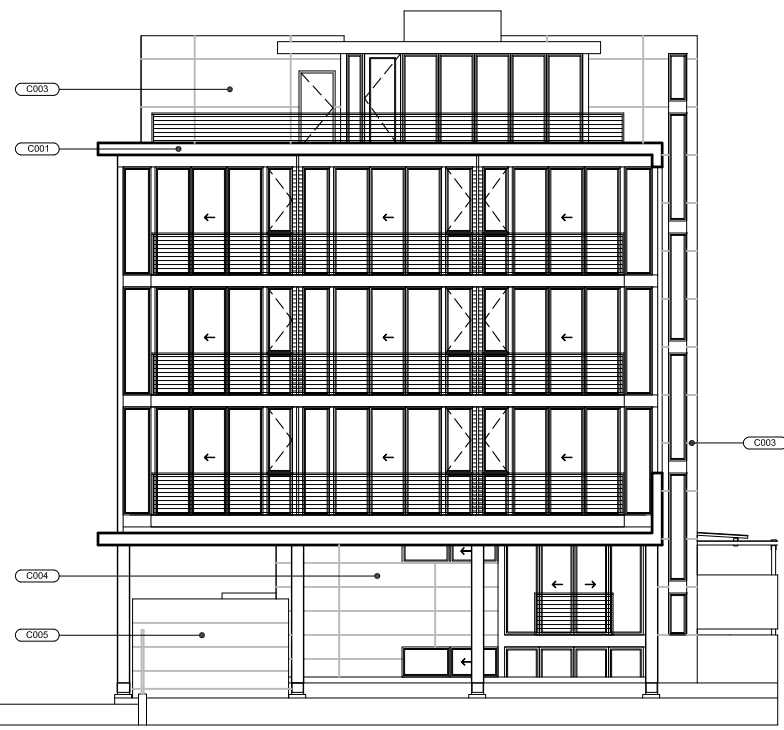
EAST ELEVATION

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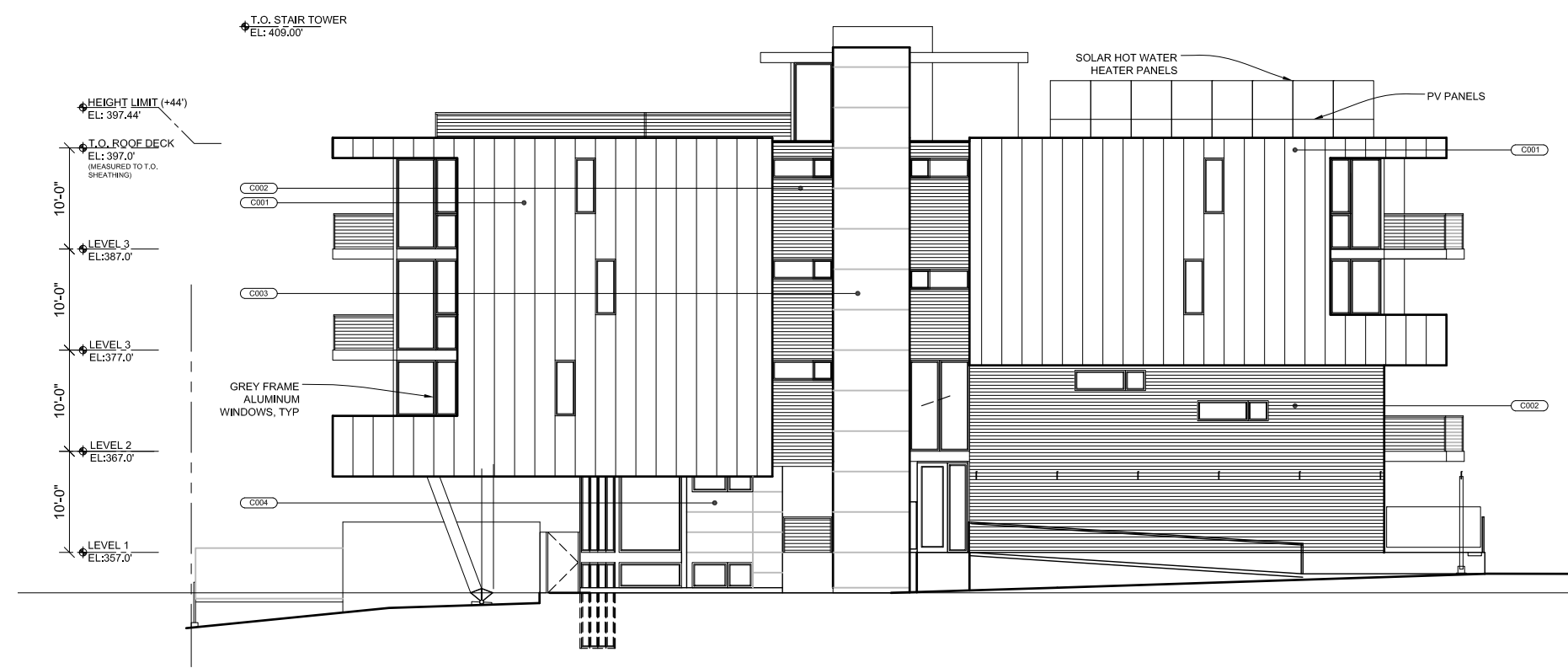
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WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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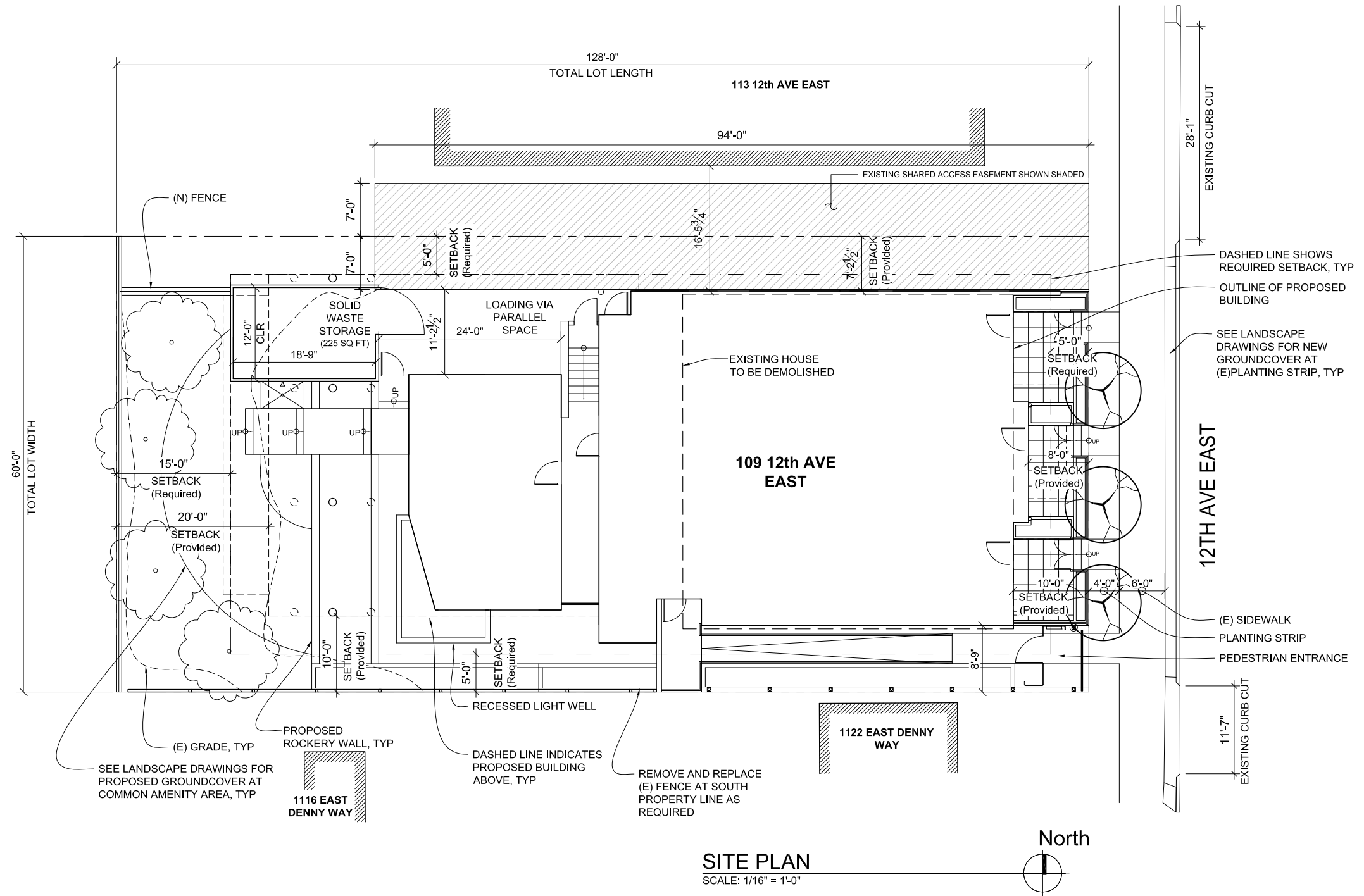
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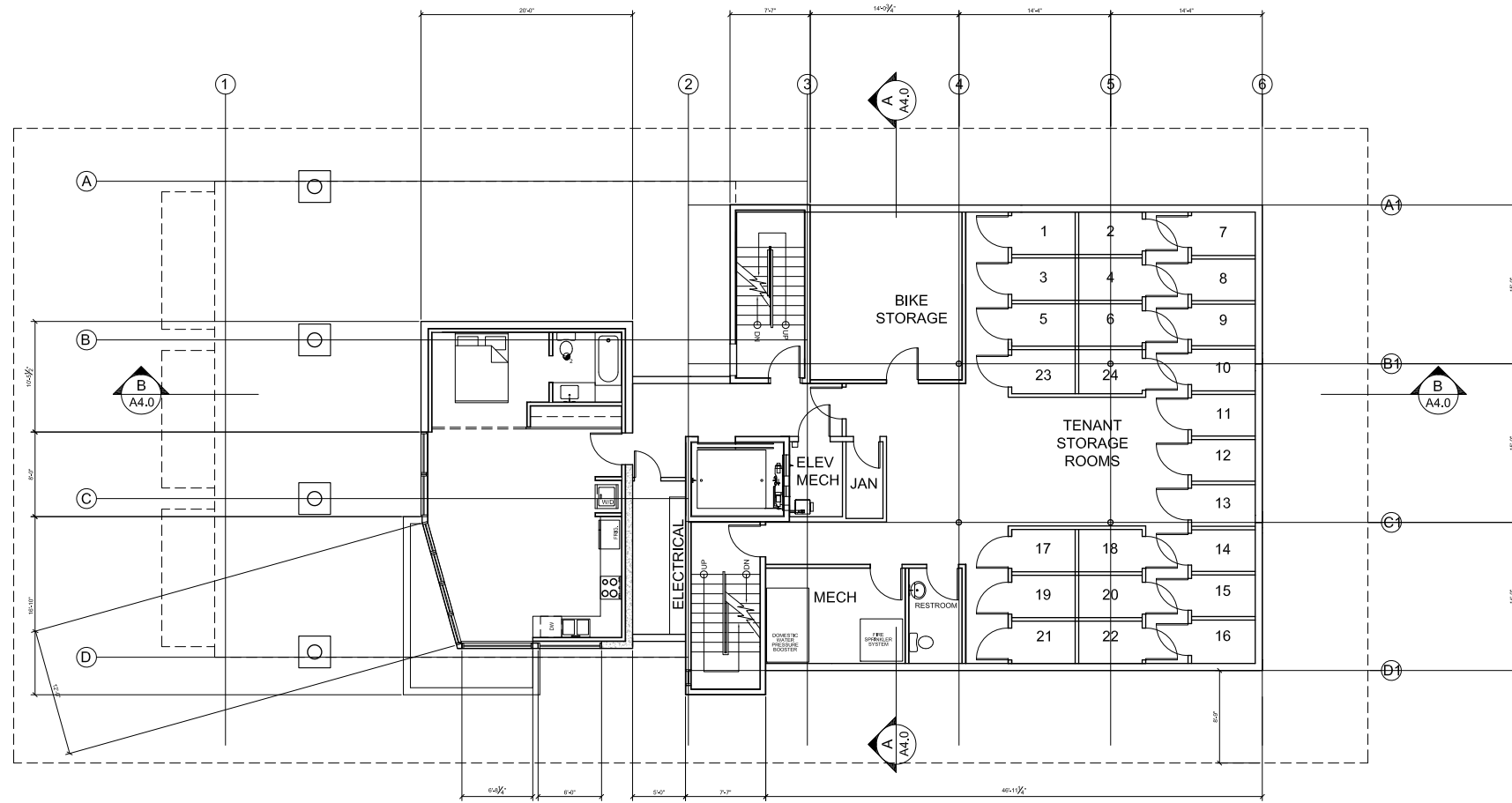
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ELEVATIONS



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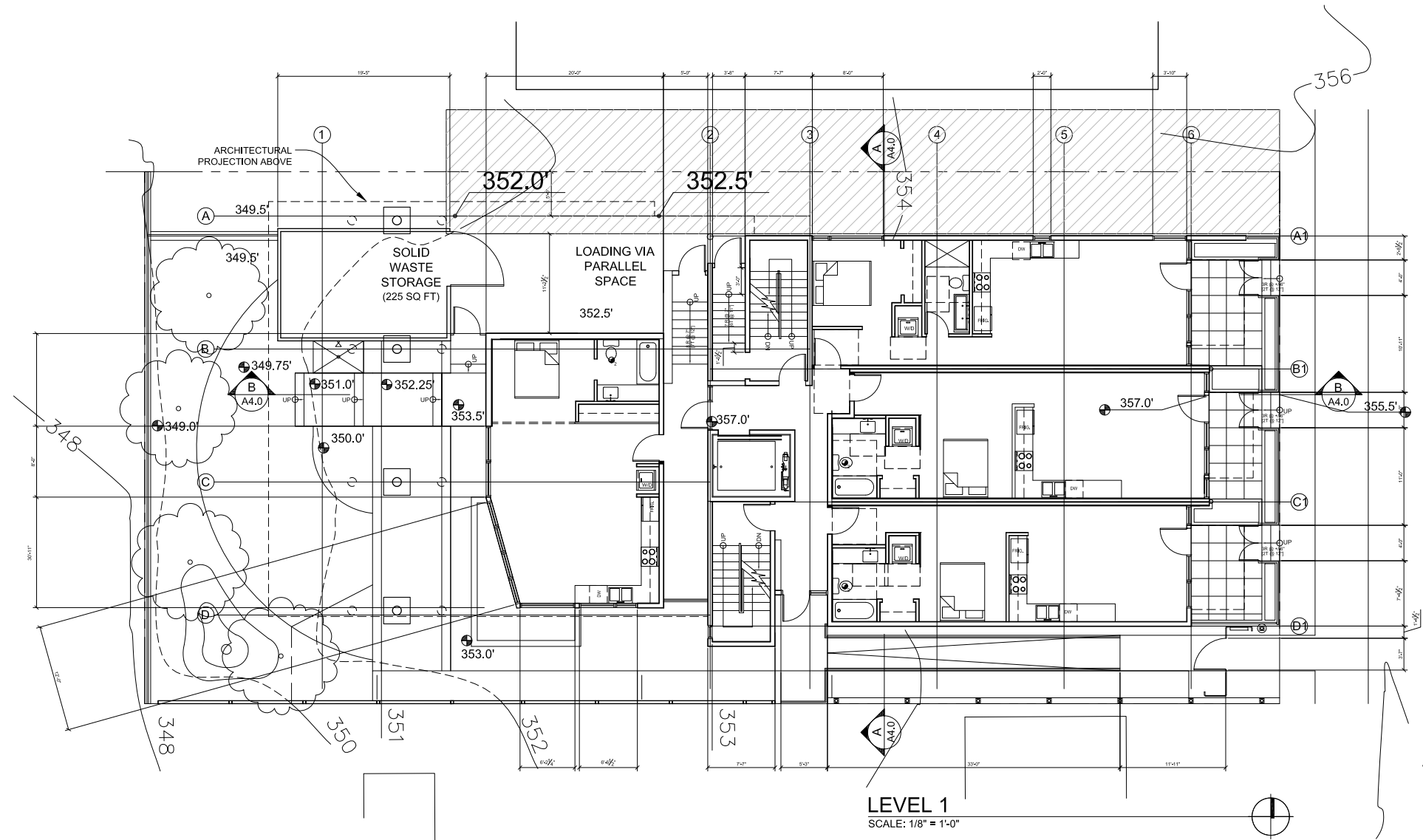
BASEMENT LEVEL

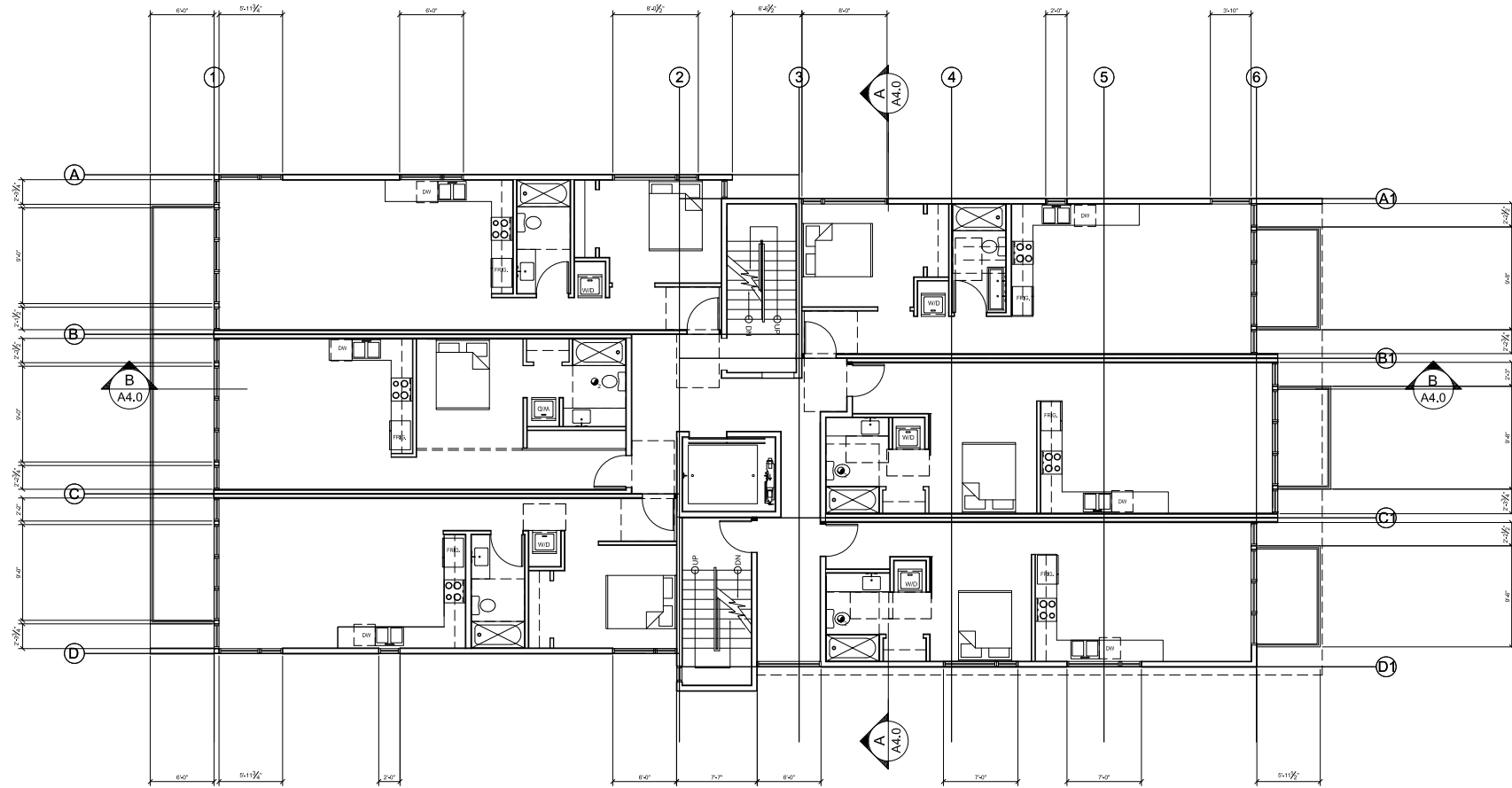
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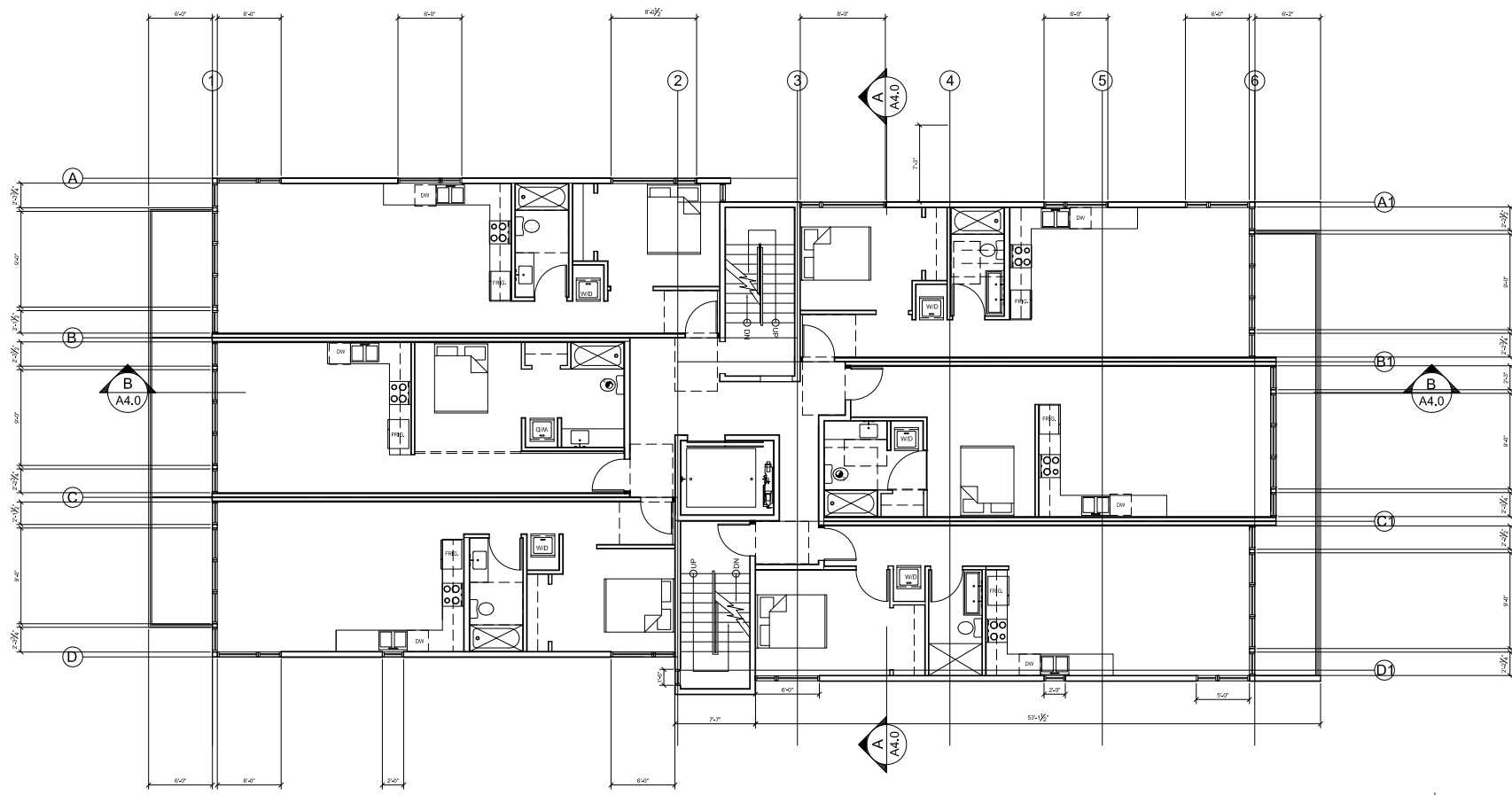
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LEVEL 3
SCALE: 1/16" = 1'-0"



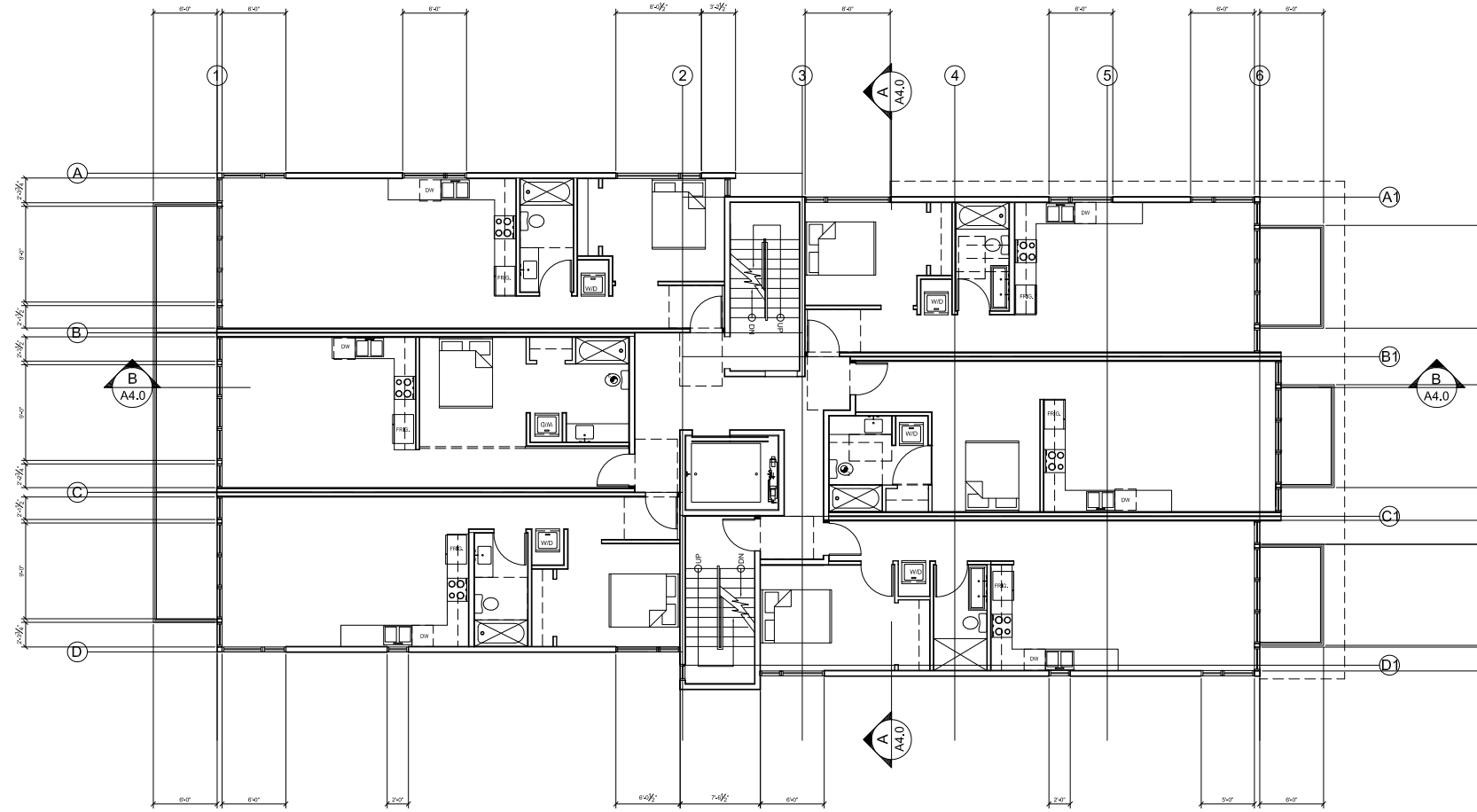
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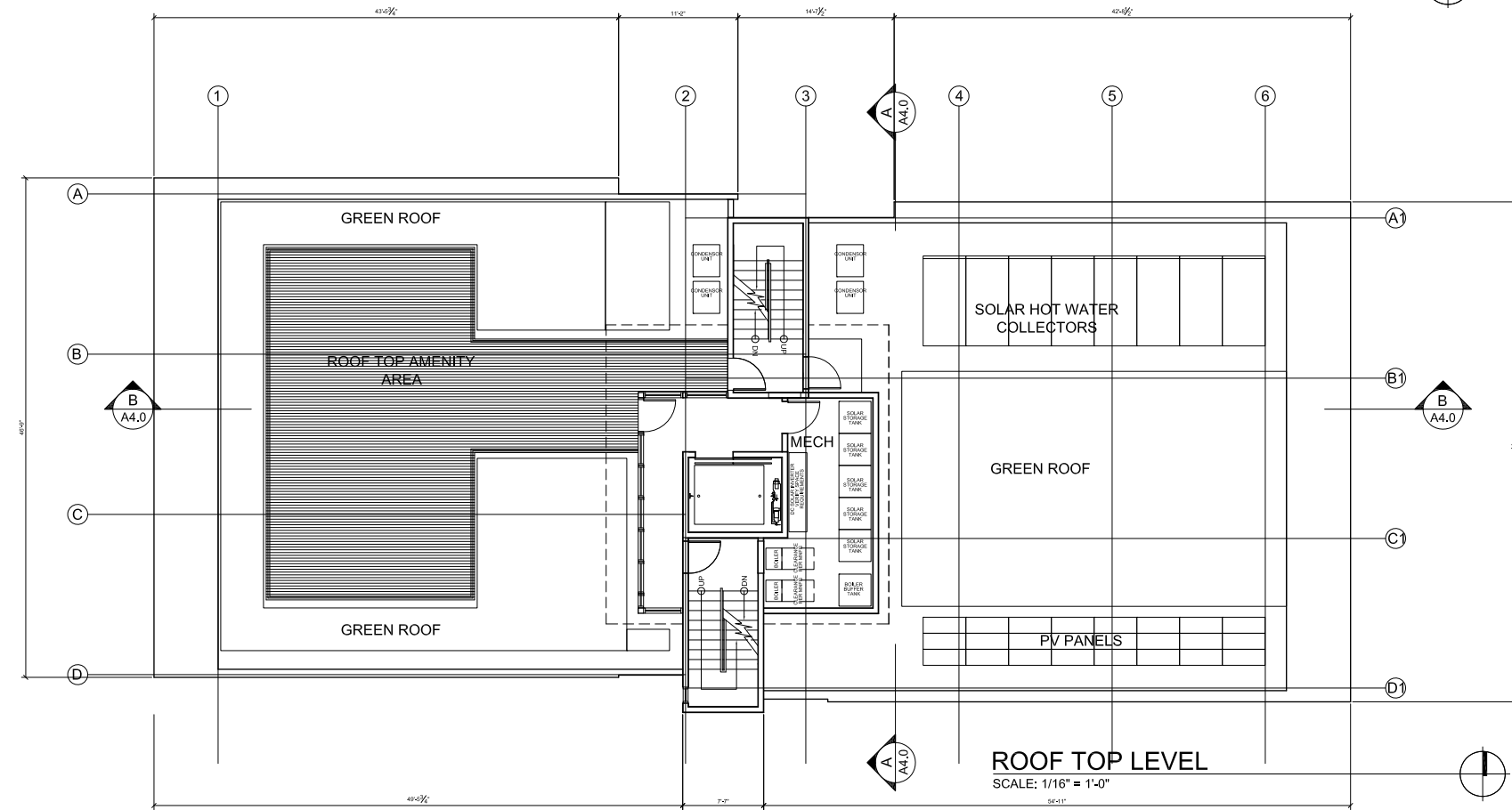
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PLANS



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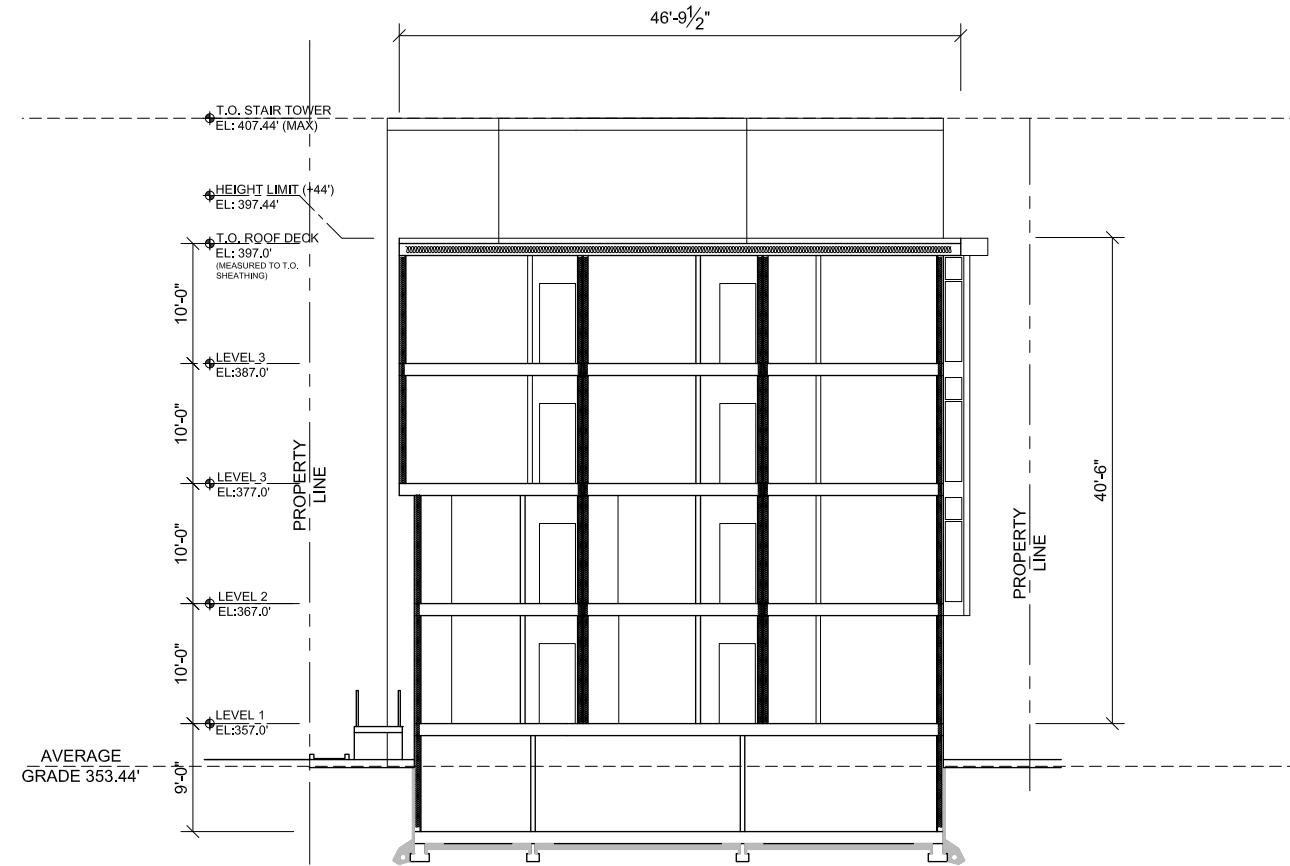


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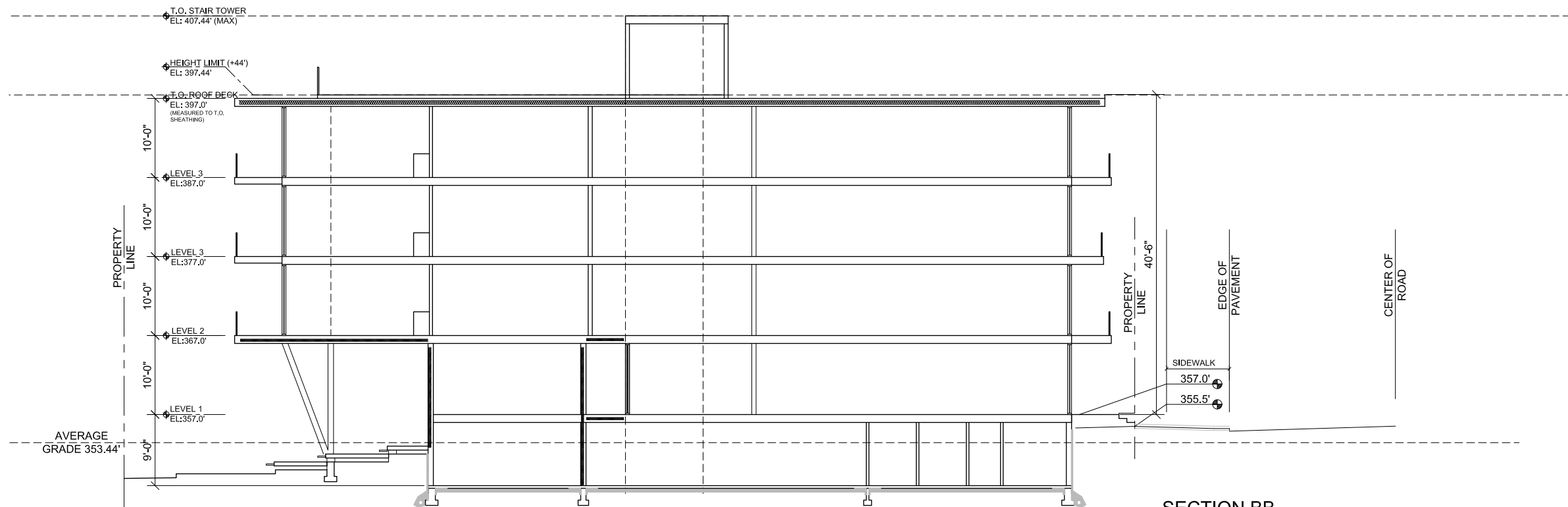


ROOF TOP LEVEL
 SCALE: 1/16" = 1'-0"





SECTION AA
SCALE: 1/8" = 1'-0"



SECTION BB
SCALE: 1/8" = 1'-0"

