

I 823 Apartments

I 823 I 8th Avenue

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PROJECT OVERVIEW

Please describe the applicant’s development objectives, indicating types of desired uses, structure height, number of residential units, amount of commercial square footage, and number of parking stalls, etc.

The proposed project is a multi-story, residential apartment building containing residential apartment units in the upper levels and parking in a subterranean garage. The height of the building is anticipated to reach the maximum limit of 40 feet. The existing site maintains vehicular access from the developed alley. All vehicular access, refuse / recycling storage, and other services are proposed from the alley. Refuse / recycling storage is within the building envelope. An accessible residential entrance lobby is located along 18th Avenue and an additional entry is located along E. Denny Way connecting the sidewalk level to the courtyard space. Residential amenity space will be provided through a combination of the following: street level landscaped areas, private decks, and a common area courtyard at the ground level along both street side facades. Construction of this project requires the demolition of two existing two-story single family residences.

DEVELOPMENT SUMMARY

Number of residential units:	32 units
Number of parking stalls:	15 stalls
Area of residential levels:	27,797 sf
Area of parking level:	4,599 sf
Total area:	32,396 sf

SUSTAINABILITY OBJECTIVES

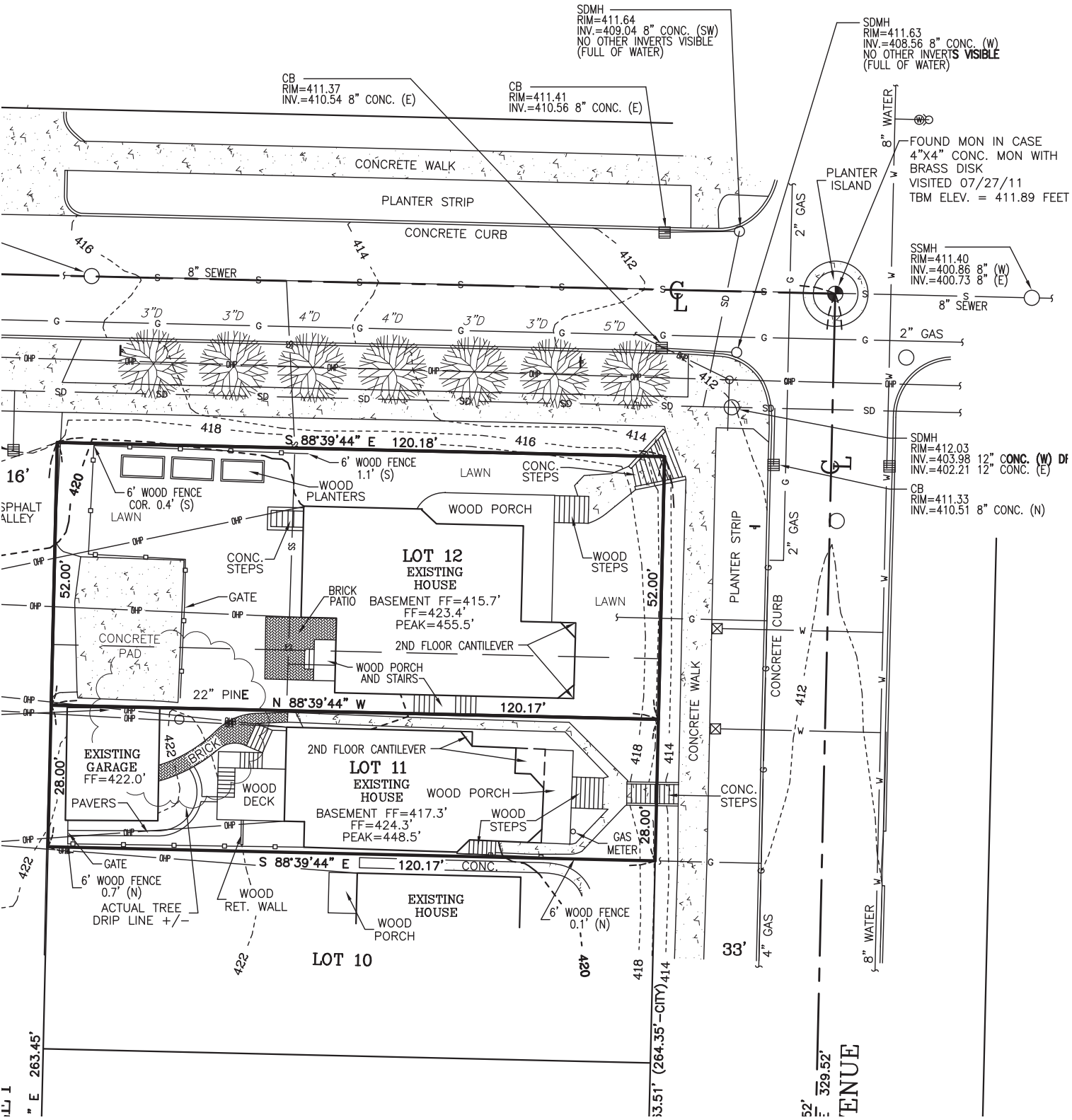
Built Green, Four Star

PROJECT INFORMATION

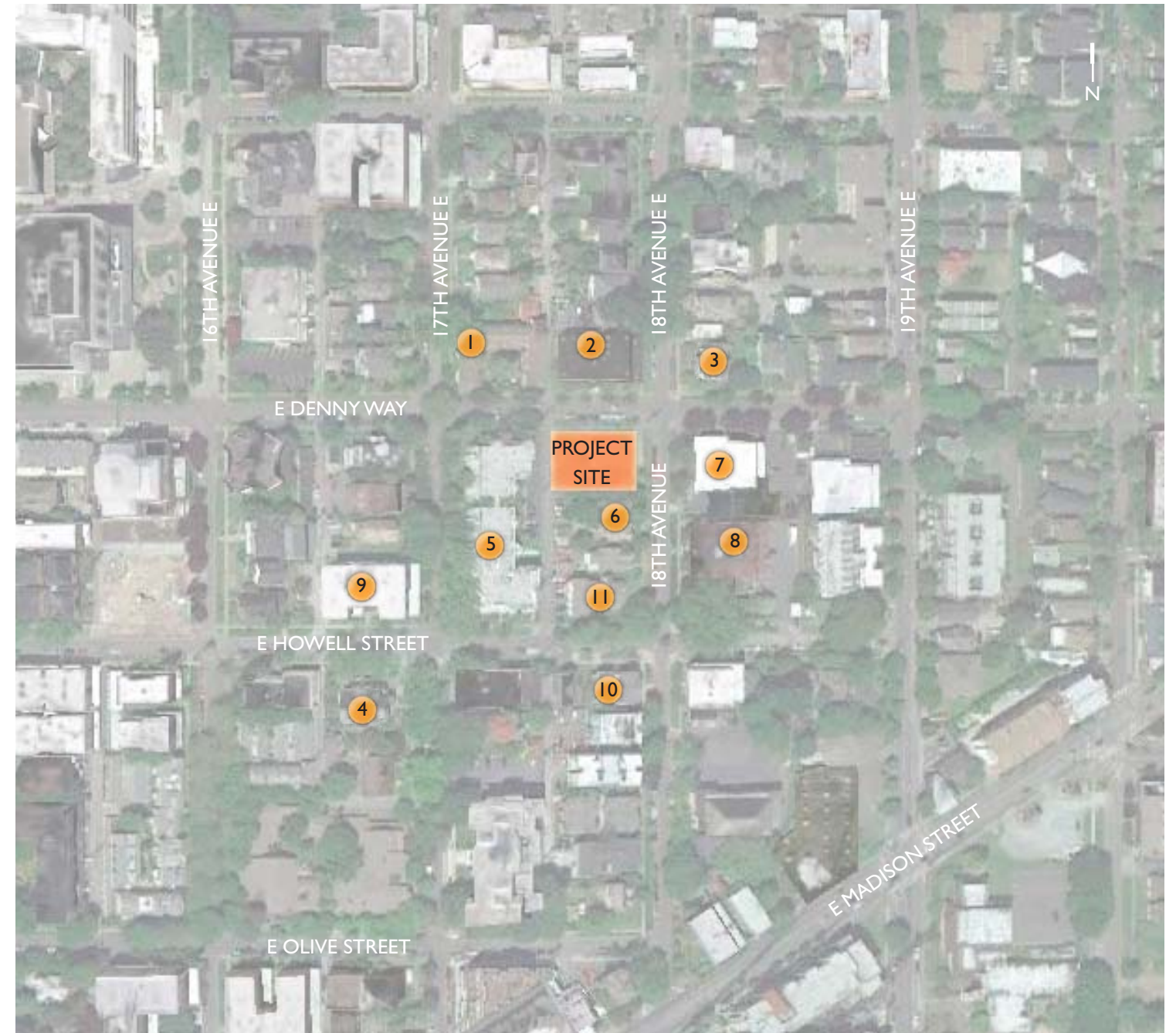
Address: 1819 and 1823 18th Avenue

DPD Project #: 3012667 - MUP

Project Team:	
Owner:	DENNY I8, LLC, A Rudd Development Co. Project
Contractor:	Rudd Development Co., E. Marc Rudd, Manager
Architect / Applicant:	grouparchitect, Brian Palidar AIA CSBA, www.grouparch.com
Landscape Architect:	Thomas Rengstrof and Associates, Thomas Rengstorf ASLA, www.thomasrengstorfassociates.com



SITE CONTEXT



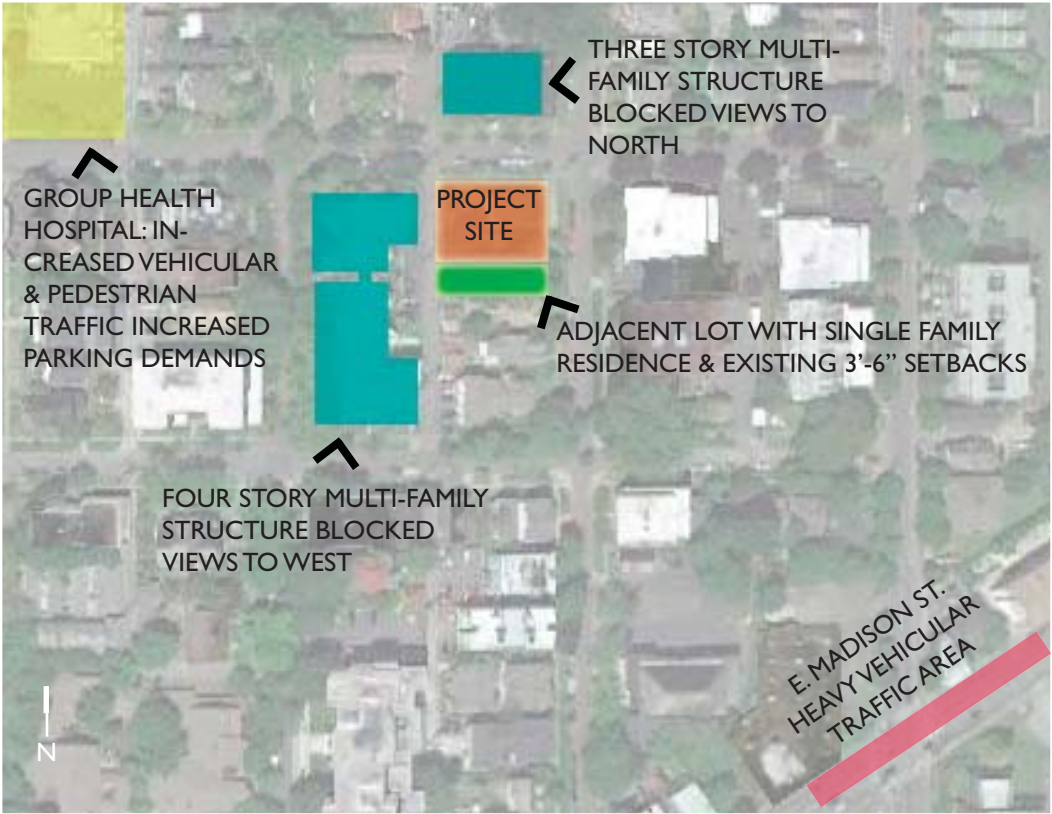
ADJACENT BUILDINGS

1. LaQuinta Apartments
2. 1720 E Denny Way Apartments
3. 102 18th Ave E, Duplex
4. *Galbraith House/Seattle Mental Health

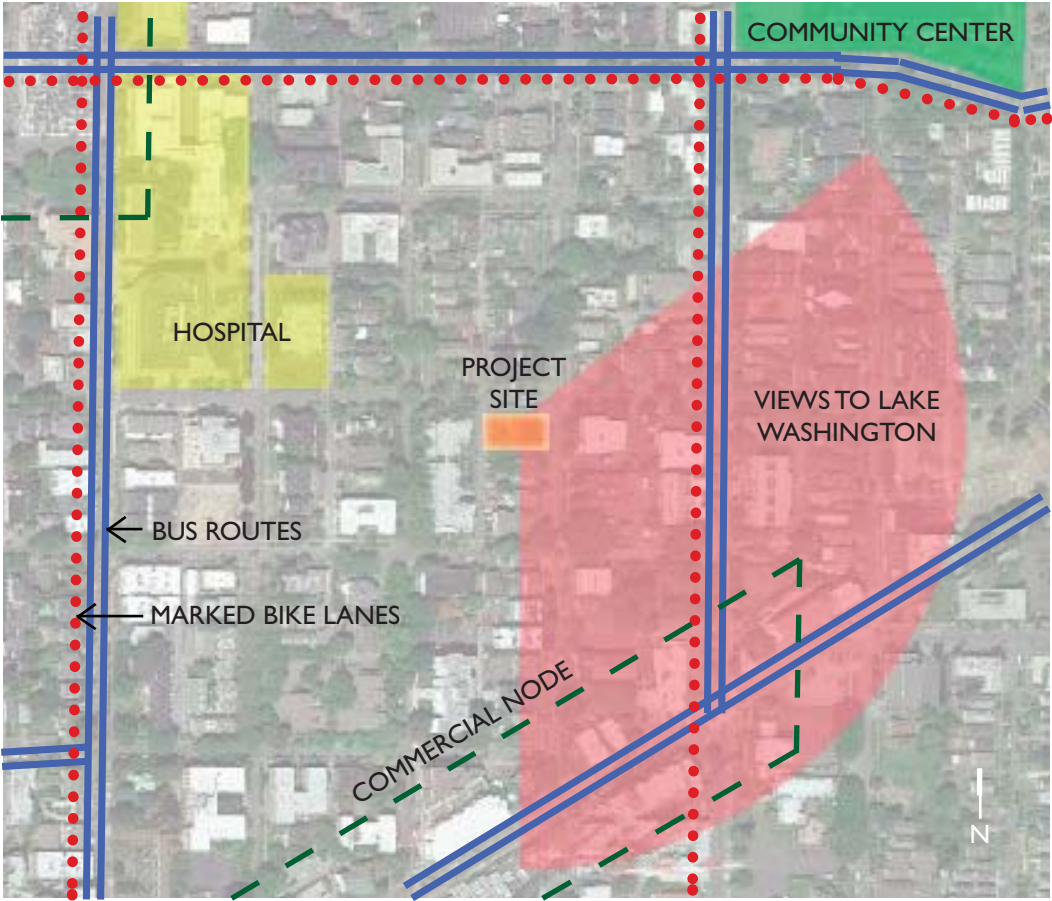
5. Fred Lind Manor Retirement Home
6. 1815 18th Ave, Single Family Home
7. Fortune View Condominiums
8. Union Gospel Union

9. *Hillcrest Apartments
10. E Howell Tomehomes
11. Talbot Hyde Apartments

* indicates City of Seattle Designated Landmark



SITE CONSTRAINTS



SITE OPPORTUNITIES



MULTI-FAMILY SENIOR HOUSING SINGLE FAMILY TOWNHOMES COMMERCIAL INSTITUTION

ADJACENT USE DISTRIBUTION

GENERAL ZONING / BUILDING INFORMATION

Parcel Number: 808090-0055 & 808090-0056
Zoning: LR-3
Lot Size: 9,614 s.f.
Overlay: Madison-Miller Residential Urban Village
Mapped ECA: None
Streets: E Denny Way and 18th Avenue
Codes: Seattle Land Use Code (current edition),
2009 Seattle Building Code (SBC)

ZONING ANALYSIS (SEATTLE LAND USE CODE)

SEATTLE MIXED ZONING (23.45)

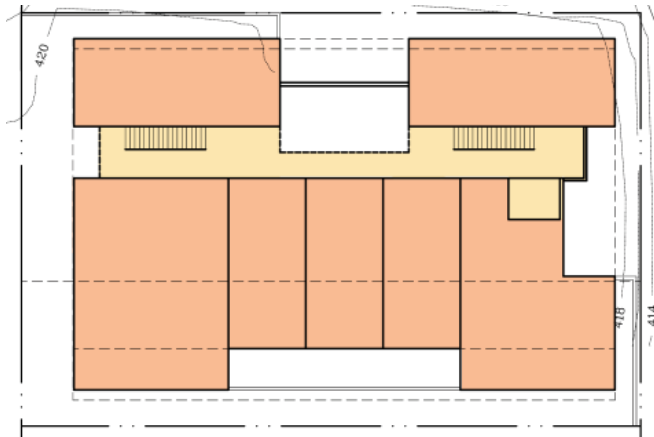
- 23.45.510 FAR limited to 2.0 for LR-3 Apartments within Urban Villages and meeting the requirements of 23.45.510.C
- 23.45.510.C Project shall meet green building performance standards (LEED Silver or Built Green 4-Star)
- 23.45.510.C4a Access to parking shall be from the alley unless conditions of 23.45.536.C2 are met
- 23.45.510.E4a Portions of a story that extend no more than 4 feet above existing or finished grade are exempt from FAR limits, as long as the requirements of 23.45.510.C are met.
- 23.45.512 No density limits are required, as long as the requirements of 23.45.510.C are met.
- 23.45.514 40' height limit (pitched roof, butterfly roof, and parapet exceptions)
- 23.45.518 Setbacks:
Front 5 feet
Rear 10 feet (with alley)
Side 5 feet min & 7 feet average, for facades greater than 40' in length
- 23.45.518.H1 Eaves and roofs may project into required setbacks a maximum of 4' if they are no closer than 3' to any lot line
- 23.45.522 Residential amenity area req'd = 25% of lot area, 50% must be at common area accessed at ground level. Common areas must be 10' square min and no less than 250 sf.
- 23.45.524 Landscaping shall meet a Green Factor score of 0.6 or greater.
- 23.45.527.A Apartment structure within Urban Village shall not exceed 150' structure width
- 23.45.527.B1 Maximum combined facade length within 15 feet of a non-street side lot line shall not exceed 65% of lot line length
- 23.45.529.B Project is subject to Design Review and not subject to the provisions of the Design Standards

PARKING (23.54)

- 23.54.015 No required parking for Residential uses within 1,320 feet of a street with Frequent Transit Service
- Chart E (D) Bicycle parking required: 1 stall / 4 units for Residential uses

EARLY DESIGN GUIDANCE / RECOMMENDATIONS

Original EDG Meeting Date: February 8, 2012



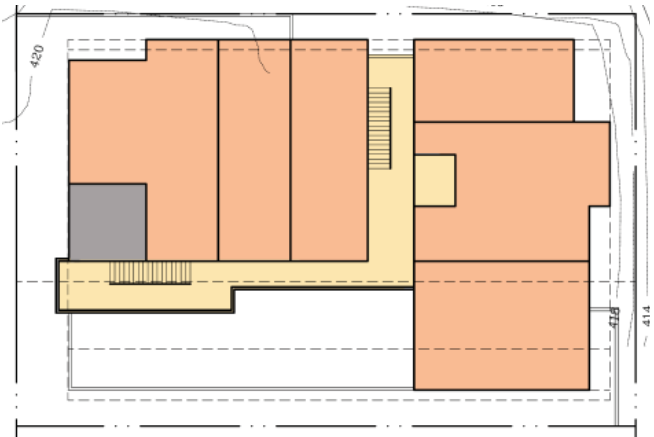
EDG OPTION C: TYPICAL UPPER LEVEL PLAN



EDG - OPTION C “STREET COURTYARDS”

DISTINGUISHING FEATURES

Prominent landscaped courtyard toward Denny visible to public way with entry court along 18th Avenue. Parking accessed from 18th Avenue.



EDG OPTION D: TYPICAL UPPER LEVEL PLAN



EDG - OPTION D “TREE COURT - PREFERRED SCHEME”

DISTINGUISHING FEATURES

Southwest courtyard visible to public way with entry court along 18th Avenue. Courtyard at SW corner created to allow for substantial replacement of tree removed for proposed development. Parking accessed from 18th Avenue.

BOARD COMMENTS

ALLEY ACCESS PARKING: Parking access should be from the alley.

MODULATION: The board appreciated how this option broke up the structures massing along the street facades.

OPEN SPACE: The board favored a scheme where open space was distributed throughout the project, the strong street-side modulation of this option supported that desire.

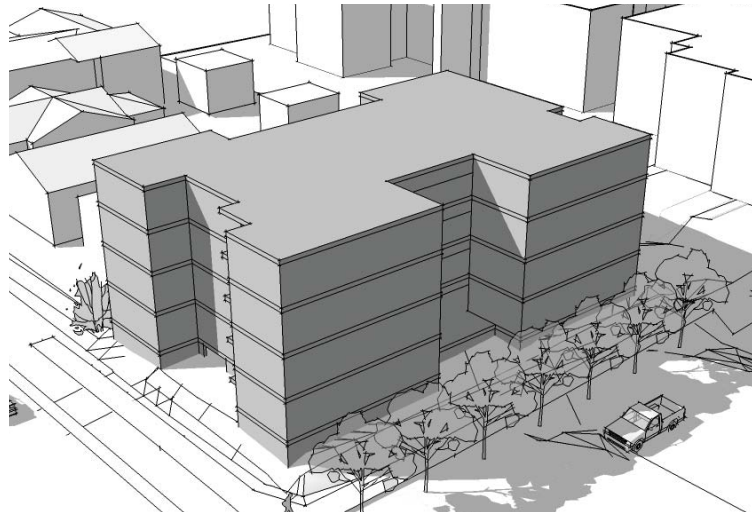
CONSISTANT DETAILING: The board encouraged simplified and consistent detailing, especially at rooflines. Option C offered quieter detailing which minimized the attention of the structure's scale.

BOARD COMMENTS

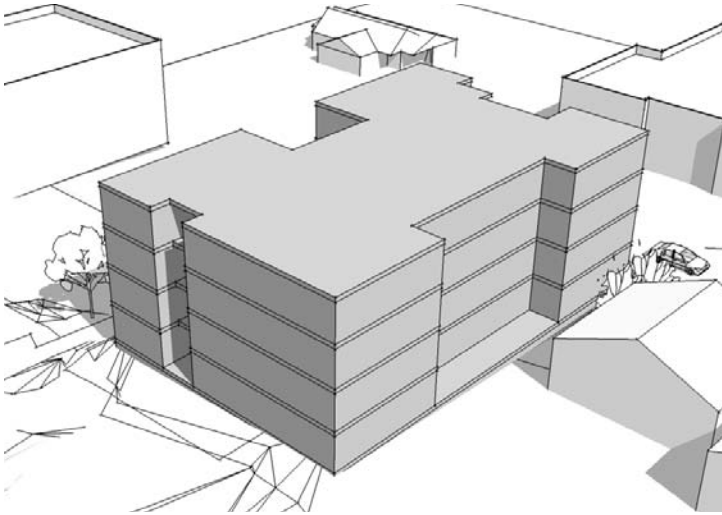
ALLEY ACCESS PARKING: Parking access should be from the alley. The massing configuration of Option D offers an opportunity to place the parking ramp from an alley access point at the current Southwest courtyard location. A combination of a ramp in this location with the streetside courtyards of Option C was strongly encouraged as a massing direction for the project.

MASSING: The gesture of a Southwest courtyard increases the perceived massing of the project along the streetscape. Massing should reflect the neighborhood scale and be reduced, such as in upper level setbacks or strong modulation.

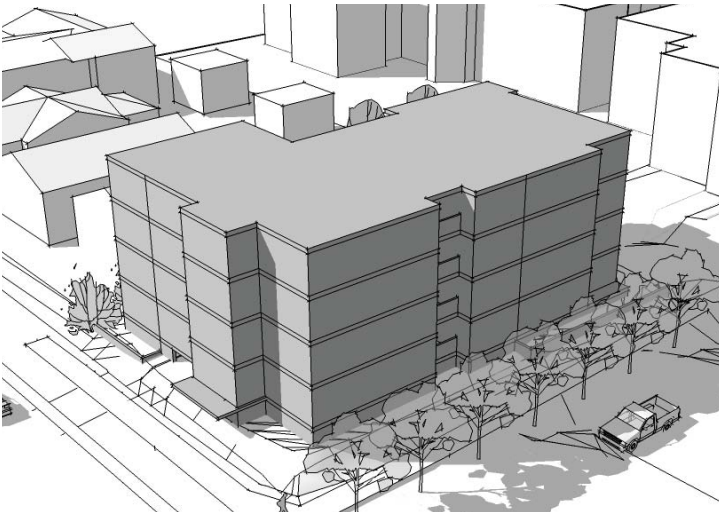
CONNECTION TO STREETSCAPE: The board expressed concern about potential blank wall conditions at sidewalk grade where parking level occurs and encouraged units at grade level as an alternative.



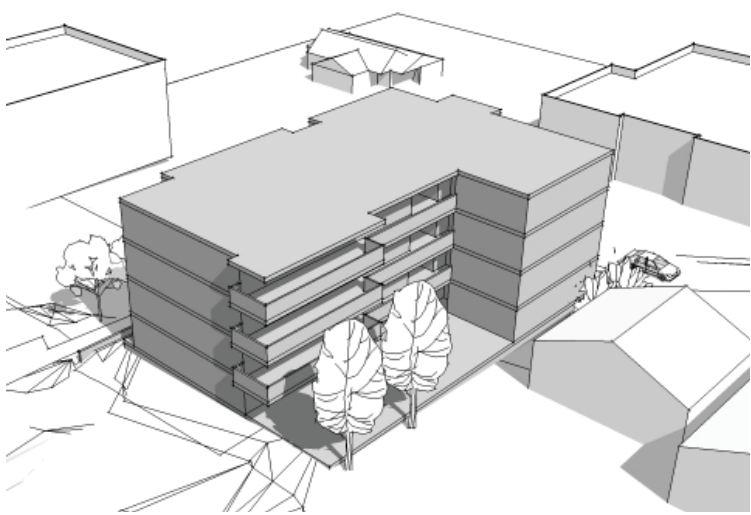
EDG OPTION C: NE MASSING



EDG OPTION C: SW MASSING



EDG OPTION D: NE MASSING



EDG OPTION D: SW MASSING

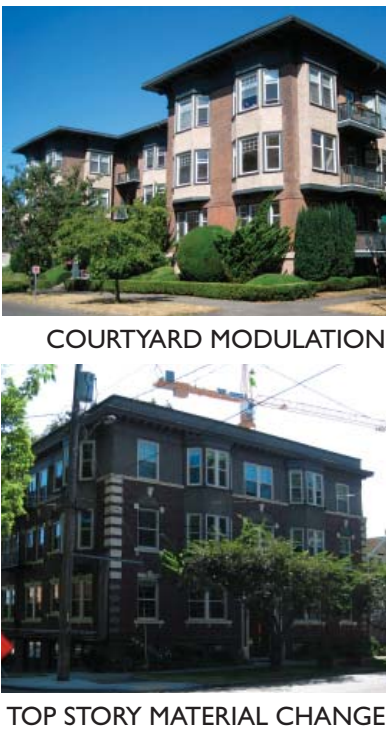
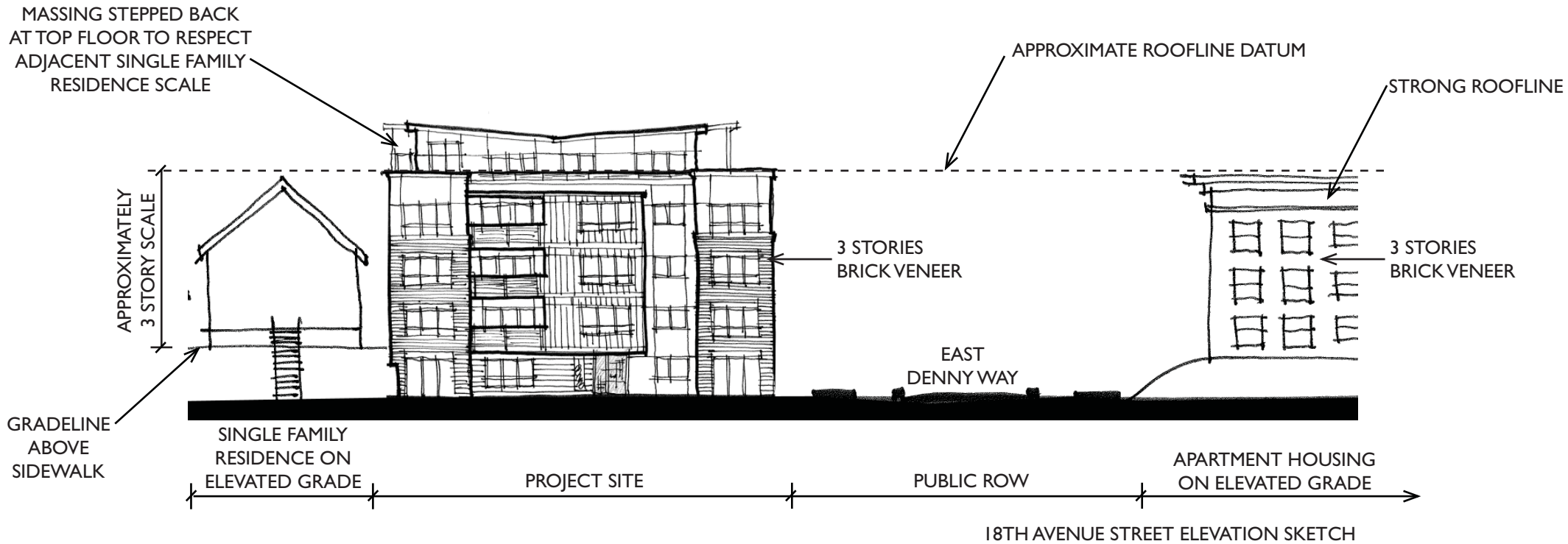
CONTEXT ANALYSIS

The Design Review Board requested that the proposed design respond to the neighborhood scale and material use. An investigation of the adjacent massing and material use informed the design gestures in the proposed structure.

The proposed building incorporates recessed courtyard spaces along both street facades. This gesture reduces massing at the streetscape. Along East Denny Way, this gesture creates the illusion of two smaller primary structures on the lot. Neighborhood precedence, such as the Hillcrest Apartments on East Howell Street also employ this reduction in massing technique.

The proposed building's top story steps back to provide a rooftop open space garden and private patios along 18th Avenue and the corner of 18th and East Denny Way. The stepped back story reduces bulk and sets the parapet height of the massing of the proposed structure in relationship to the scale of adjacent structures.

The proposed building incorporates 3 stories of brick veneer, a commonly used material in the immediate neighborhood. Each material employed, whether brick, cement board paneling, or metal siding, is used to express a clear modulation. The horizontal material transition between brick and cement board at the 3 story level serves to reduce perceived height and scale.





ENTRY WITHOUT CANOPY



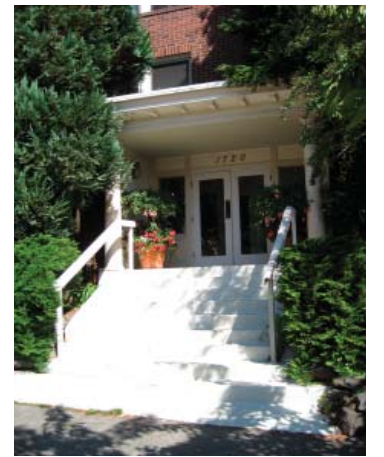
ENTRY GATES TO PRIVATE AREAS



CONCEPT SKETCH
OF PROPOSED PROJECT



SITE WALL



PROCESSIONAL STAIR



LAYERED LANDSCAPE



SITE WALL & PRIVATE STAIRWAY

STREETSCAPE ANALYSIS

The Design Review Board requested that the proposed design respond to the site with a strong connection to the streetscape, engaging the sidewalk and neighborhood “without barriers”. An investigation of the neighborhood context of site walls and entries informed design gestures in the proposed structure’s relationship to the neighborhood streetscape. Well detailed site walls create a frame for the building and can serve to enhance a layered landscape plan. Processional stairs invite the structure’s courtyard or entries to meet the sidewalk, inviting pedestrians into the site even when there is grade differential. Decorative gates provide a means to distinguish between private and public areas while still an inviting and enriched entry sequence.

The proposed building incorporates layered landscaping within site walls, processional stairs, and decorative gates as a way of responding to the streetscape at a pedestrian scale.

PRIVACY STUDY & DESIGN RESPONSES

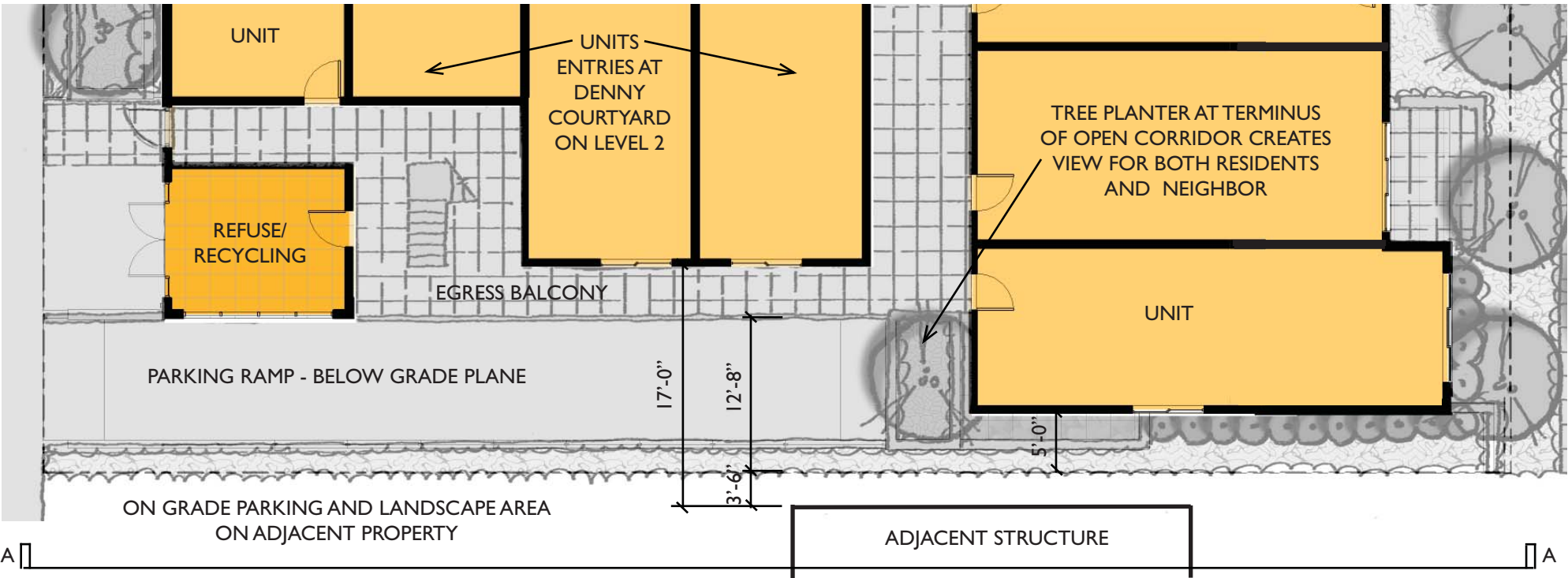
To mitigate the impact that proposed development and the adjacent building have on one another, we conducted a privacy study. Site photos were used to approximate the location of windows in the adjacent building. Due to the parking ramp location, much of the proposed Southern facade is setback well beyond code minimums. In order to minimize activity on the egress corridor, as well as to protect entries with generous overhangs for residents, unit entries to South facing units are located either facing toward the East or West or facing South, setback into the recesses of the structure. A large planter, which will be sized to allow for a tree, is located at the terminus of the North-South open corridor. The planter will act as a buffer to between the adjacent building and proposed circulation patterns.



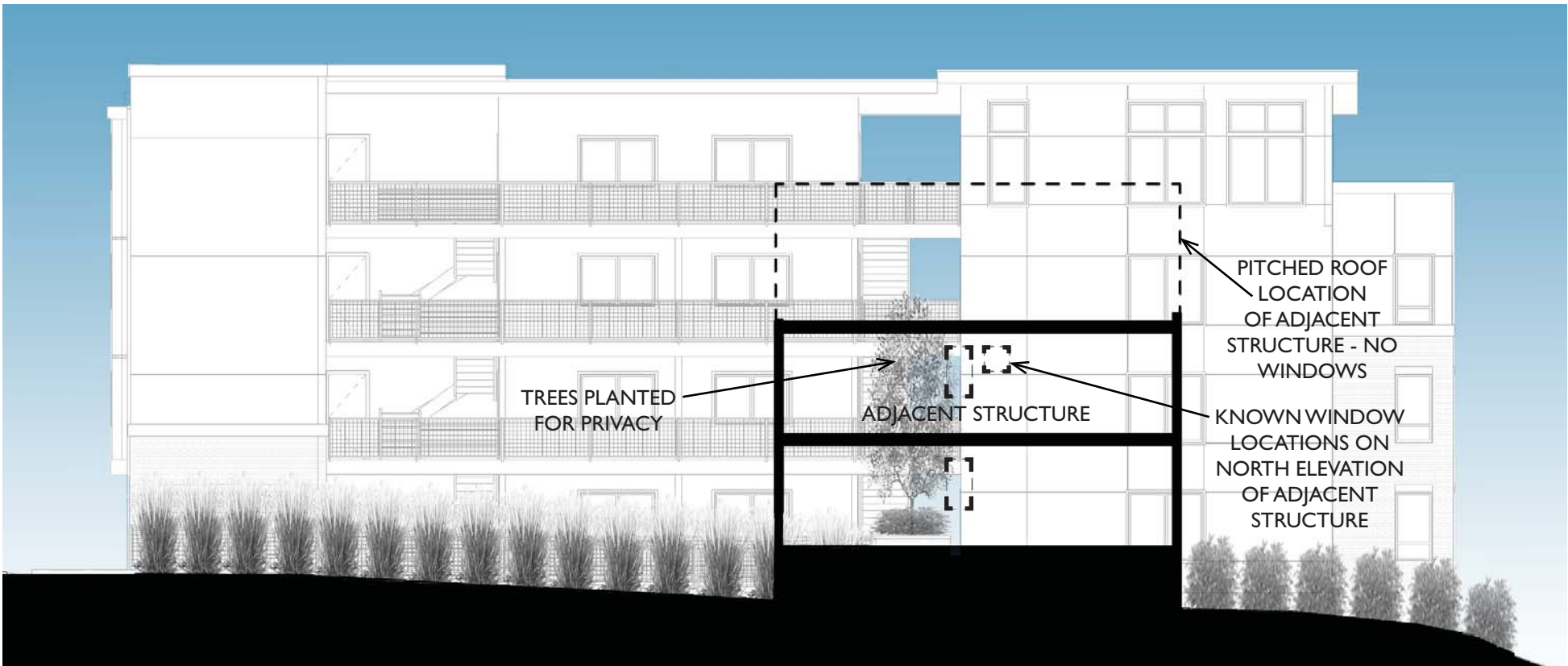
ADJACENT STRUCTURE - FROM 18TH AVENUE



ADJACENT STRUCTURE - FROM ALLEY



PLAN: LEVEL 2 ALONG SOUTHERN PROPERTY LINE



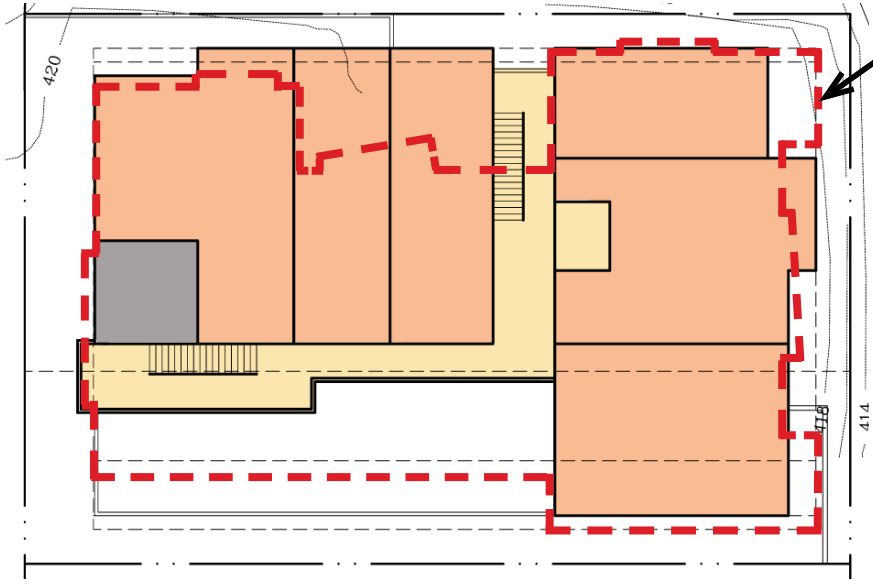
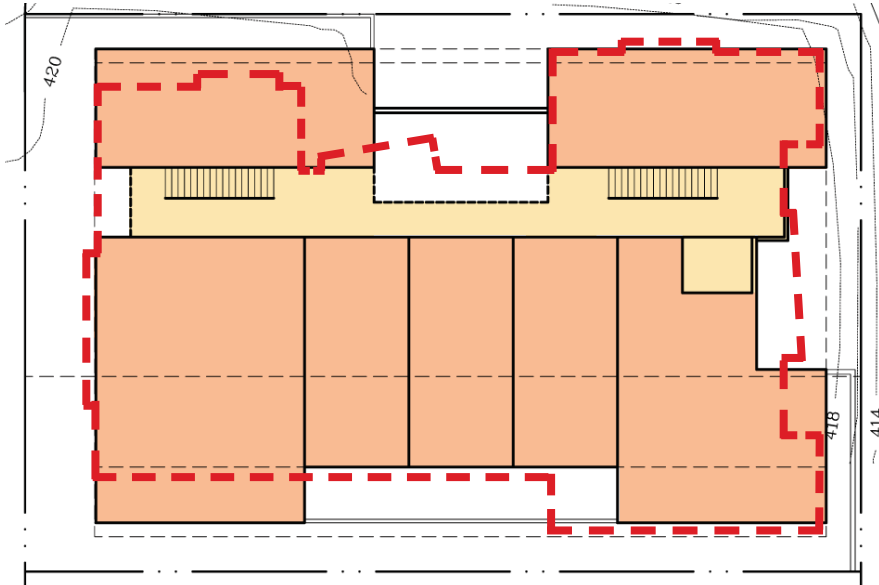
STUDY SECTION / ELEVATION A-A: LOOKING NORTH FROM ADJACENT STRUCTURE



EDG - OPTION C
"STREET COURTYARDS"

EDG - OPTION D
"TREE COURT - PREFERRED SCHEME"

PROPOSED BUILDING



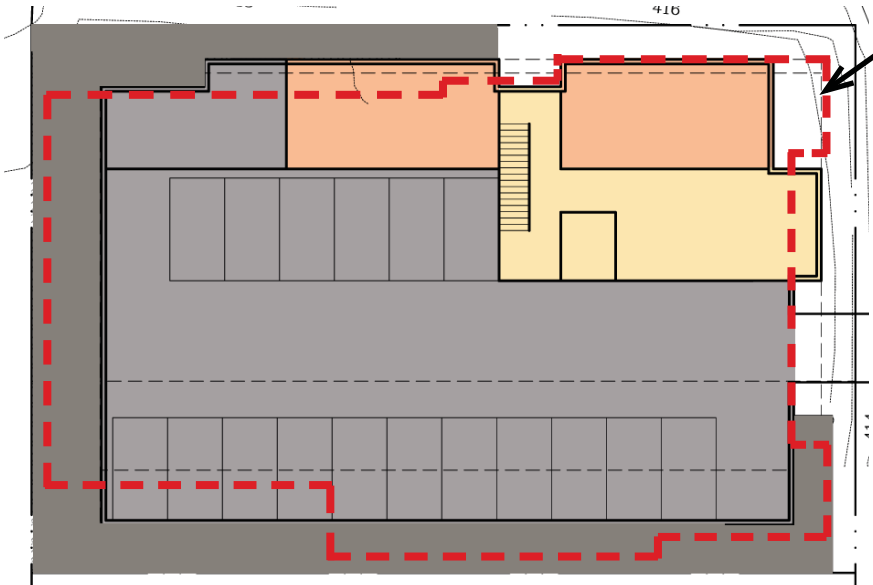
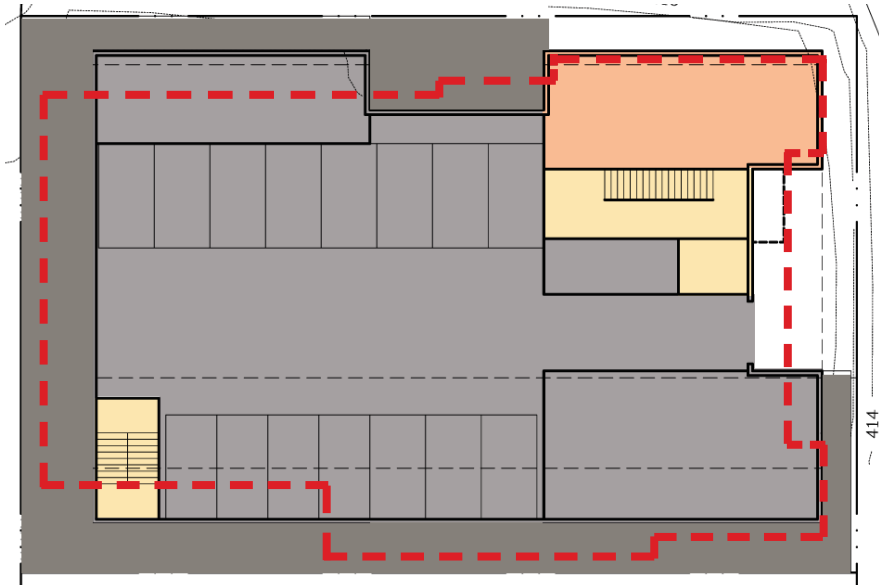
LINE OF PROPOSED
BUILDING
TYPICAL LEVEL



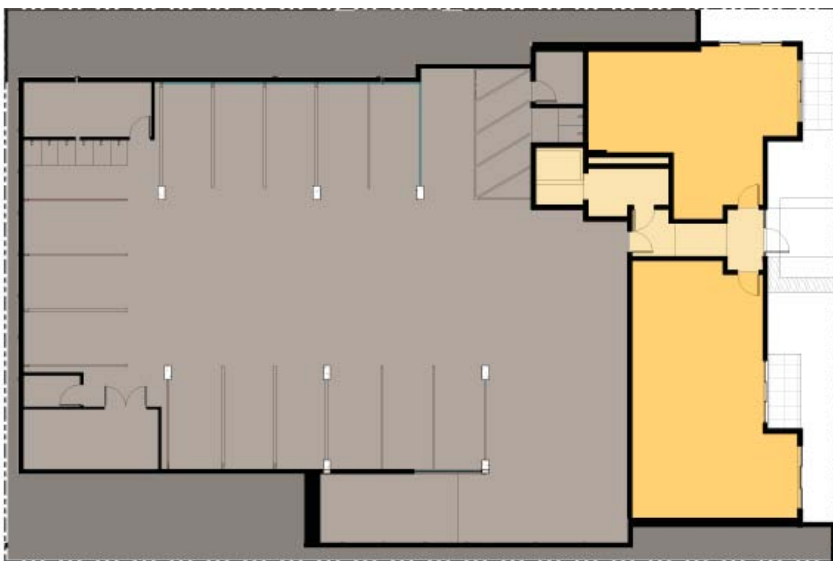
EDG OPTION C:TYPICAL LEVEL

EDG OPTION D:TYPICAL LEVEL

PROPOSED BUILDING:TYPICAL LEVEL



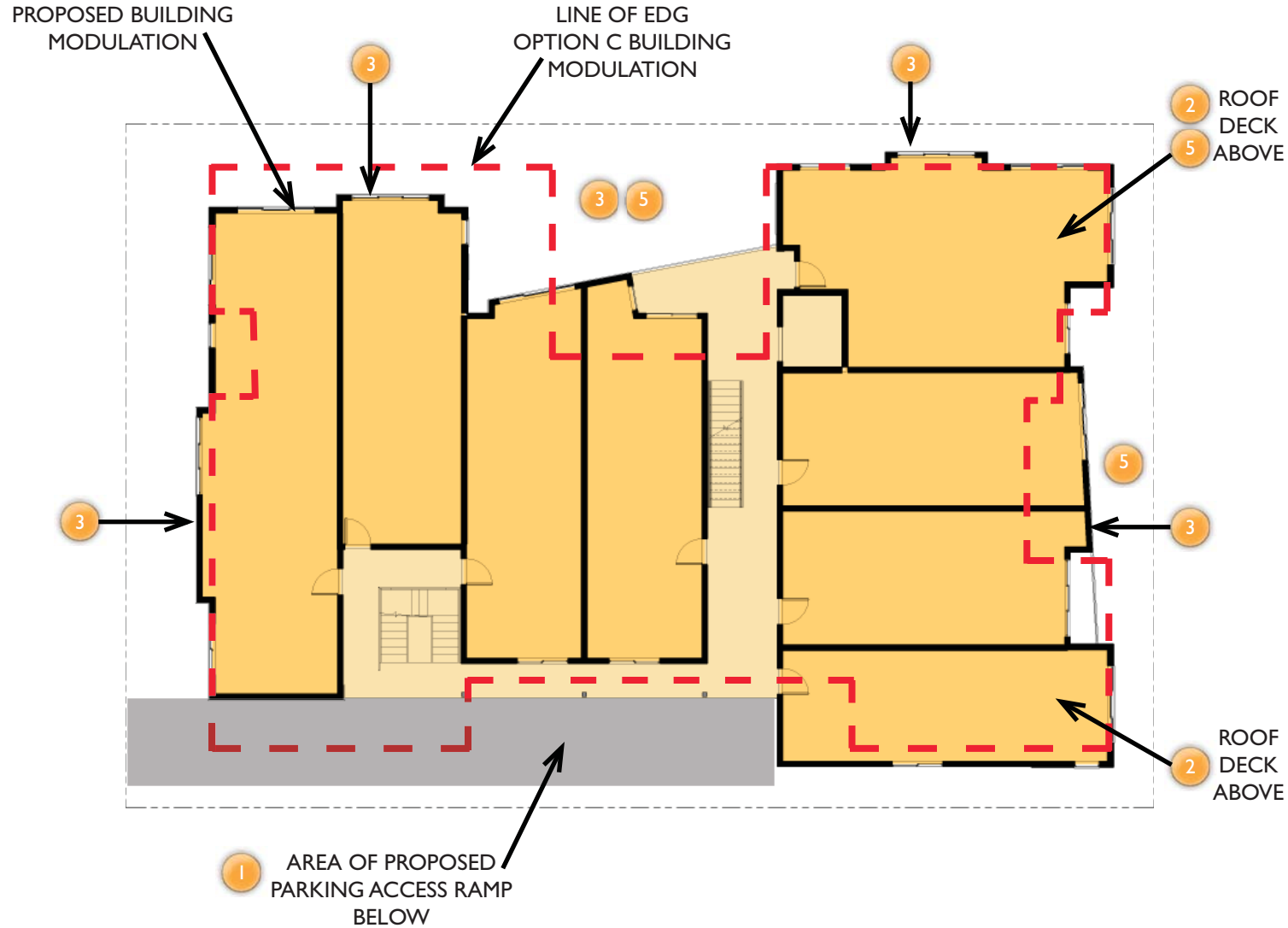
LINE OF PROPOSED
BUILDING
GROUND LEVEL



EDG OPTION C: GROUND LEVEL

EDG OPTION D: GROUND LEVEL

PROPOSED BUILDING: GROUND LEVEL



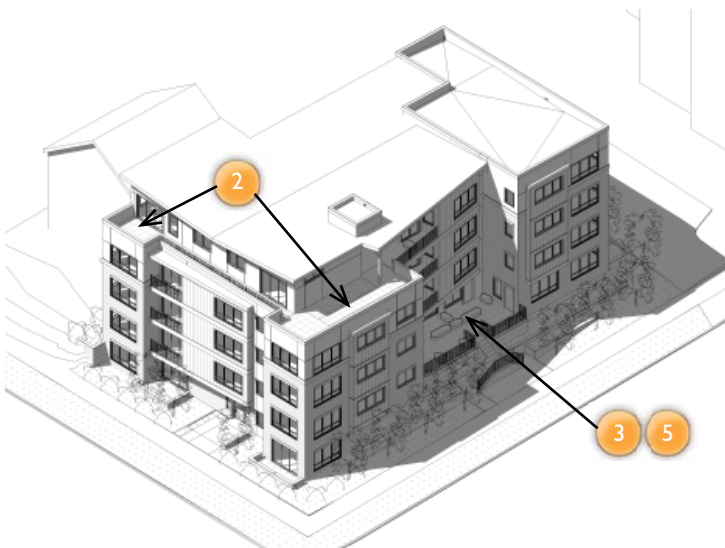
NORTHEAST PERSPECTIVE

DESIGN EVOLUTION

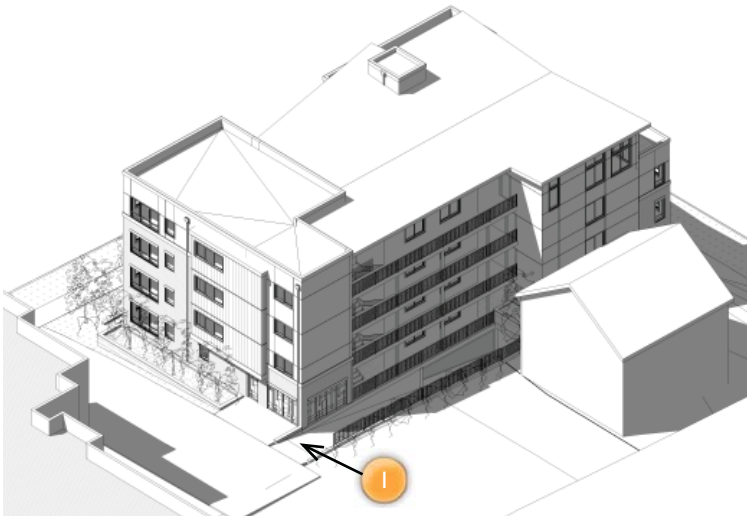
The Design Review Board noted aspects of Option C as preferred for the final design proposal. These aspects included a strong streetside building modulation along both East Denny Way and 18th Avenue and the distribution of open space throughout the project versus a concentration in one location. The Board was open to options for the location and size of the main building entry and stated a favorable openness to its location along 18th Avenue. The Board did not favor parking access from 18th Avenue as proposed during EDG. The Board encouraged the use of a parking ramp in the location of the courtyard presented in Option D (located at the Southwest corner of the site) combined with the desirable building modulation of Option C along the street facades. The Board further encouraged reduced massing at the upper level, units at sidewalk grade where possible, and detailing consistent with the neighborhood. The proposed project represents a combination of both Options C and D in response to the comments and guidance given at the February 8th, 2012 EDG Meeting. The changes are summarized below:

SUMMARY OF CHANGES

- 1 ALLEY ACCESS PARKING: Parking ramp located along south property line and accessed from alley.
- 2 MASSING REDUCTION: The top level of the structure has been pulled back from the NE corner of the site and along the entire facade of 18th Avenue. The area will be use for a combination of common area roof deck space and private roof deck space. Structure at NW corner steps back away from alley entrance and sidewalk to create additional landscaping and transisional space to alley ROW.
- 3 MODULATION: Courtyards located along 18th Avenue and East Denny Way. Facade modulation in the form of bays are located throughout project.
- 4 CONSISTENT DETAILING: Use of materials and locations, as well as parapet roof detailing, is consistent with both neighborhood and within building itself. Bays use the same detailing and window configurations and are located consistently throughout the project. Use of metal is consistent color and finish and limited to bays, entry gates, screening, railings, and stairs.
- 5 OPEN SPACE: Private open space is provided within courtyard along East Denny Way and 18th Avenue, as well as a roof garden.
- 6 CONNECTION TO STREETScape: Units at street-level created along 18th Avenue and the corner of 18th and Denny. Courtyard along East Denny Way makes a strong gesture to the street with plantings and stair access. Units have direct access from courtyard to actively engage the space.



NORTHEAST CORNER MASSING



SOUTHWEST CORNER MASSING

- R1

SITE PLANNING

A-2 Streetscape Compatibility

The overall building massing provides large inset modulations along both East Denny Way and 18th Avenue creating courtyard spaces along the streetscape. There are two units along 18th Avenue which have primary entrances and glazing area at sidewalk grade, engaging the streetscape along 18th Avenue with frequent access and use. Four units along East Denny Way have their primary entrances located at the common elevated courtyard, engaging the use of the courtyard and the visual interest from the public streetscape. The courtyard at East Denny Way may be accessed by a pedestrian scaled stair accessed from the sidewalk in addition to an accessible access point to the courtyard from the interior of the structure. The secure entry to the building is set beyond the open area of the courtyard to maintain an open and welcoming connection to the sidewalk and neighborhood.
- R2

A-7 Residential Open Space

Two main courtyard spaces are provided along both East Denny Way and 18th Avenue. Along East Denny Way, the building is setback from the Northwest corner slightly for increased landscape area and transitions into a large courtyard area located on top of the partially below grade parking level. The courtyard is defined on three sides by the building's massing and on the fourth by terraced landscape areas. Four unit entries are located at the courtyard area to create an active and vibrant common area. Along 18th Avenue, the building recesses to create a pair of private residential patios flanking the building entry courtyard, an area with increased landscaping, a waterfeature, and pedestrian bench seat.
- R3

A-8 Parking & Vehicle Access

The project proposes a 70' long driveway ramp to the subterranean parking level which will be accessed from the alley. The entrance to the ramp is sited as close as possible to the Southern lot line in order to maximize the distance to the entrance to the alley at East Denny Way and to provide an efficient parking stall layout. Narrow but tall shrubs are proposed along the shared property line to provide visual privacy to adjacent property.
- R4

HEIGHT, BULK & SCALE

B-1 Height, Bulk & Scale Compatibility

The overall building's massing has been reduced by providing courtyard setbacks along both East Denny Way and 18th Avenue. Along Denny, the 22' deep courtyard above the partial story of the parking level is significant and creates the illusion of two smaller primary structures on the lot instead of one larger and more massive building. A rooftop garden and private patios have been incorporated at the top story, greatly reducing the massing at the top floor along the entire width of the building along 18th Avenue. The building structure at the Northwest corner steps back away from alley entrance and sidewalk to allow additional landscaping and transitional space to alley ROW.
- R5

ARCHITECTURAL ELEMENTS & MATERIALS

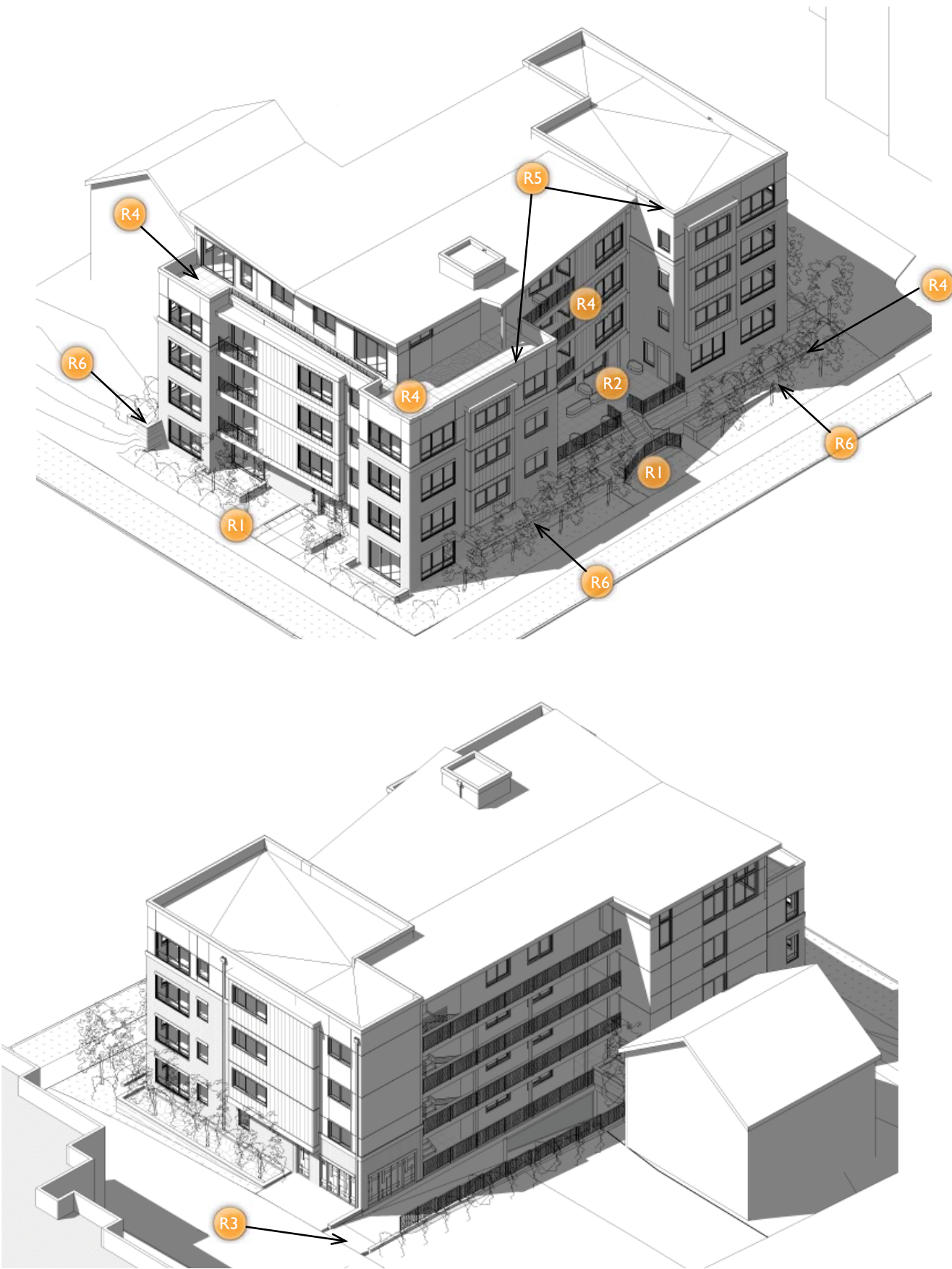
C-2 Architectural Concept and Consistency

The building proposes the use of three materials, a thin veneer brick, cement board panels and flat panel metal siding to distinguish the modulations in a consistent manner. The roof maintains a consistent parapet height and trim details, with the exception of a "penthouse" level, where a single butterfly roof is introduced and captured by the height of the adjacent parapet. To reduce the massing of the structure, the penthouse level is stepped back from the outer face of the building's footprint. Railings and screening fencing proposed are consistent in coloring and detailing.
- R6

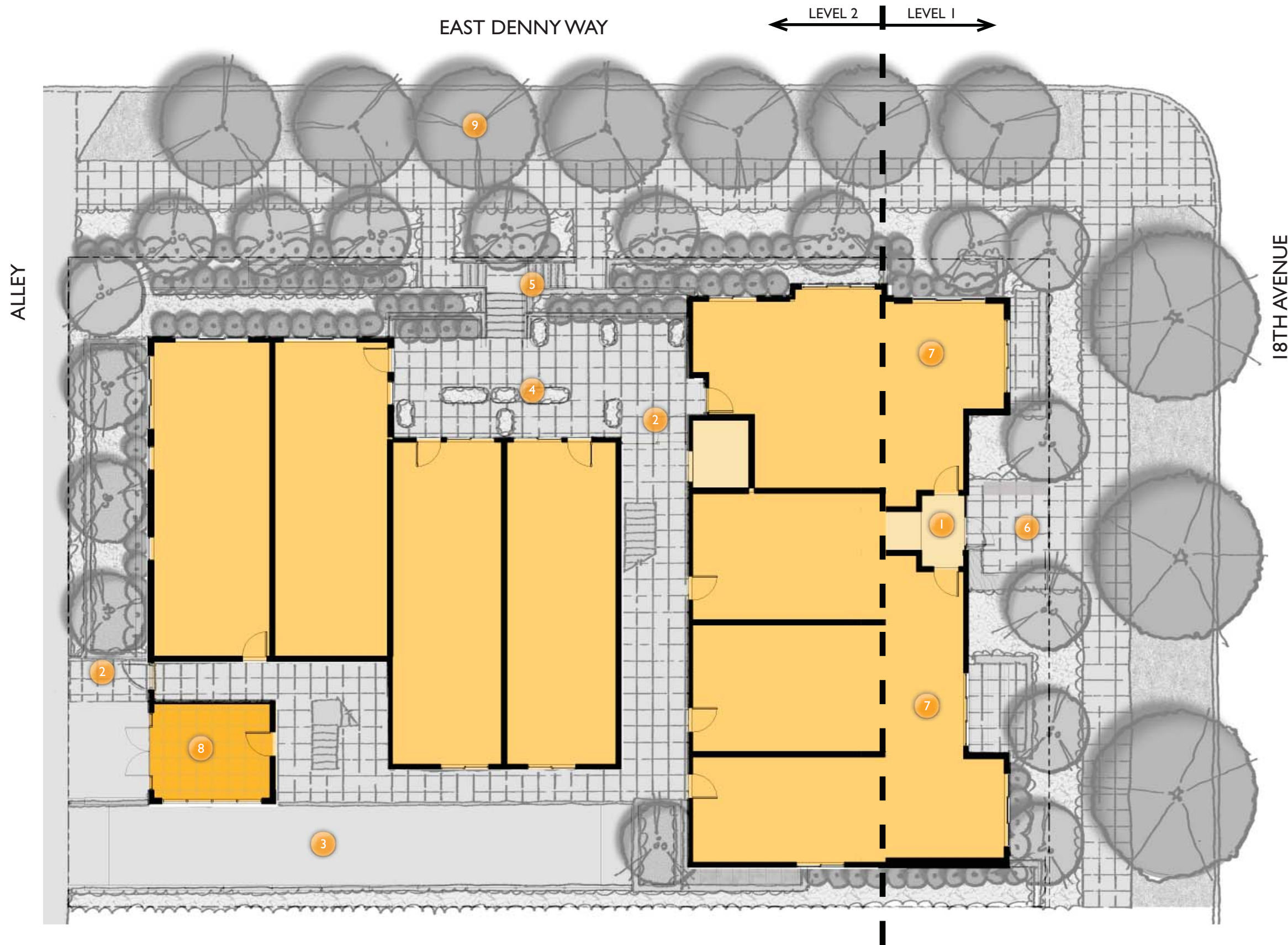
PEDESTRIAN ENVIRONMENT

D-3 Retaining Walls

Stepped planter areas are provided along East Denny Way and at the Southeast corner of the site. The wall heights along Denny range from 1'-3" to 4'-11", however, the depth of the planters are generous enough to sustain plantings in layers and in varying heights throughout the project to mitigate any visible blank wells. At the Southeast corner of the site, no planter is proposed between the building and the sidewalk. A limited amount of retaining wall, averging 5 feet in height, is proposed in order to excavate to provide sidewalk grade units, as requested by the Board.

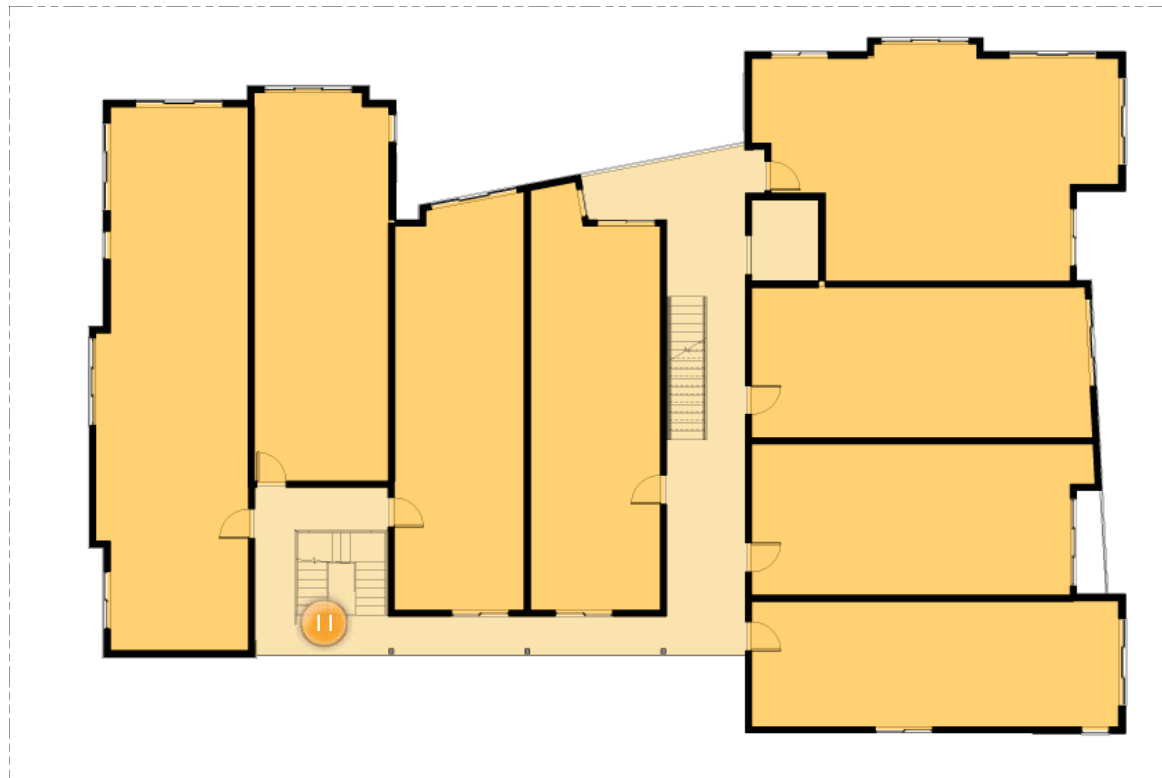


COMPREHENSIVE SITE PLAN

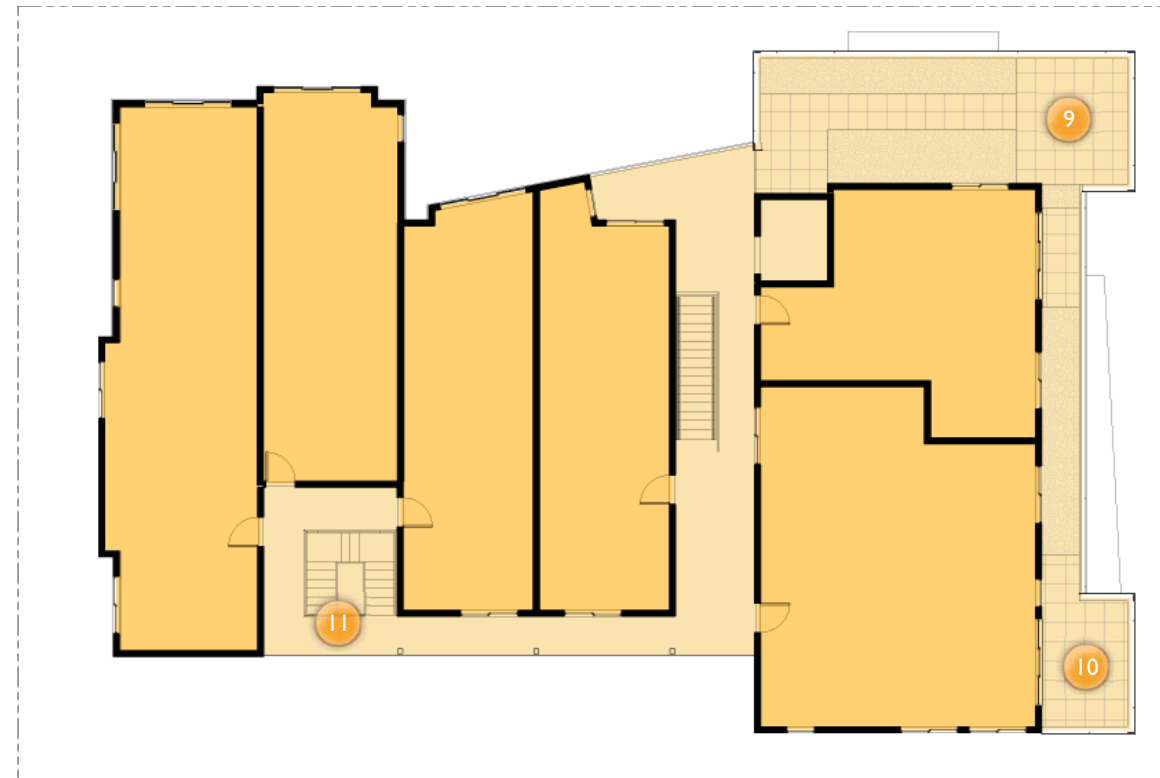


PLAN LEGEND

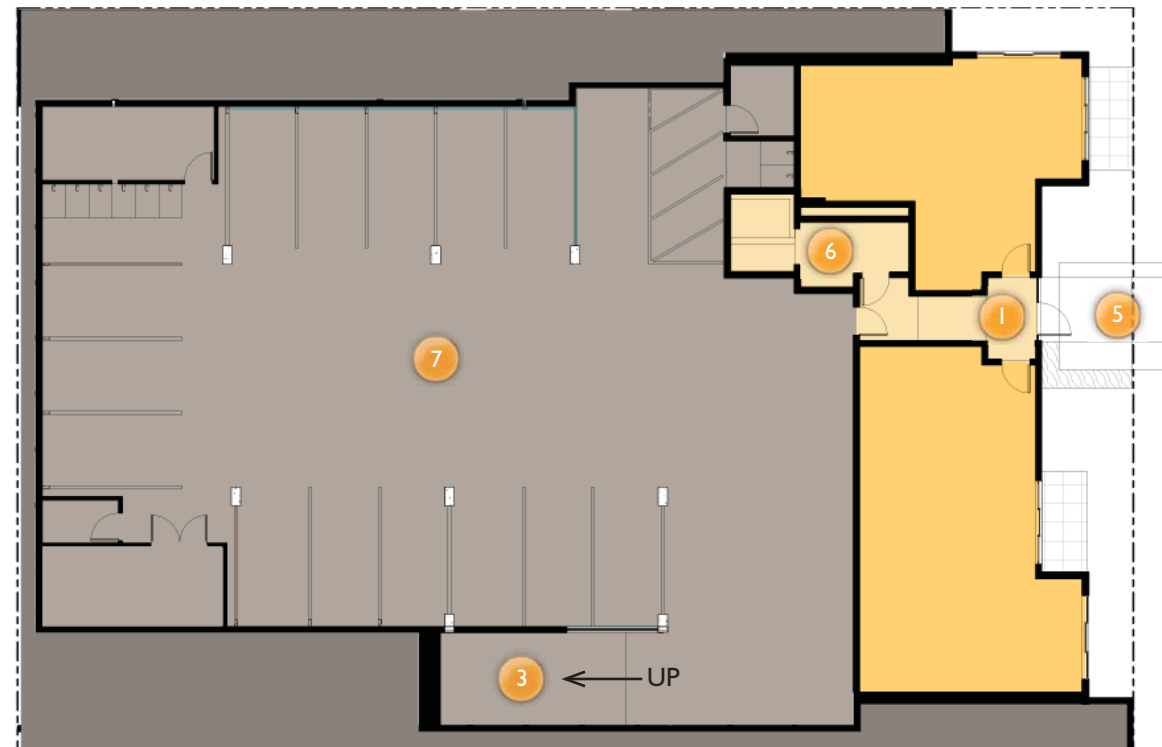
- 1 MAIN PEDESTRIAN ACCESSIBLE ENTRY (SECURE)
- 2 EGRESS EXIT (SECURE)
- 3 PARKING LEVEL VEHICULAR ACCESS
- 4 OPEN SPACE COURTYARD
- 5 STAIR TO OPEN SPACE COURTYARD
- 6 BUILDING ENTRY COURT WITH WATER FEATURE
- 7 RESIDENTIAL UNIT AT SIDEWALK GRADE
- 8 REFUSE AND RECYCLING STORAGE AREA
- 9 EXISTING STREET TREES TO REMAIN



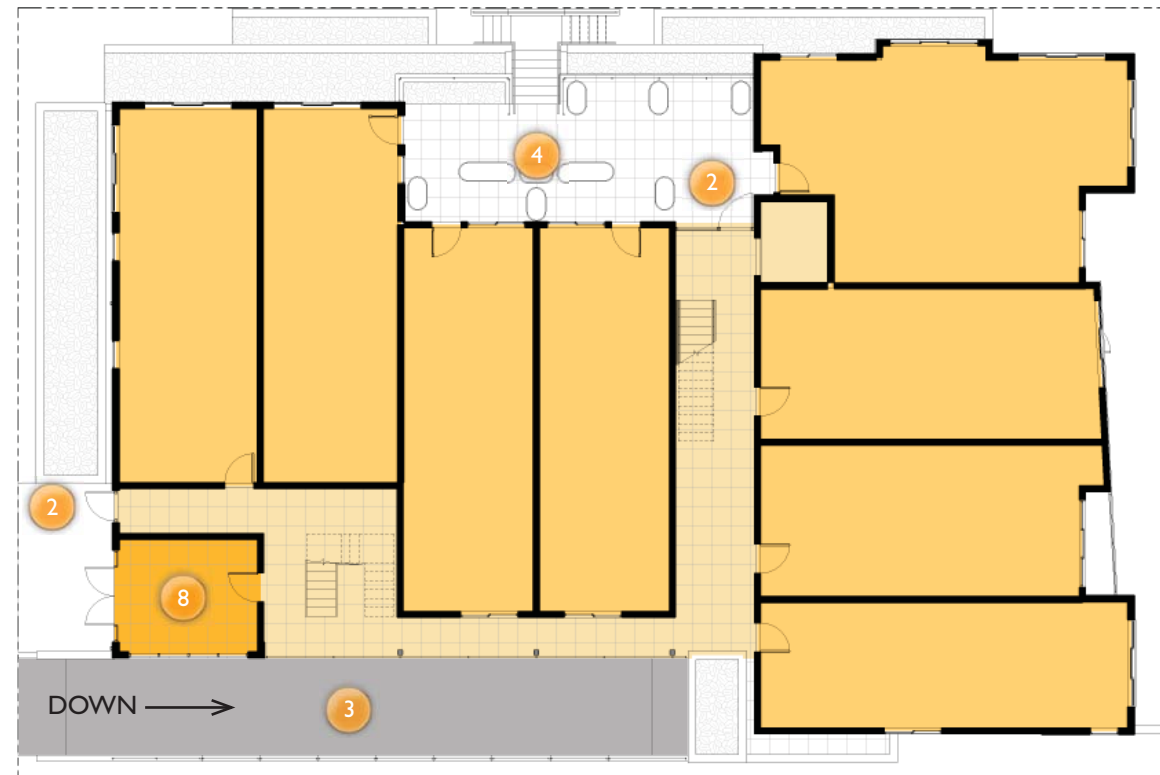
LEVELS 3 & 4



LEVEL 5 / ROOF DECK



PARKING / LEVEL 1



LEVEL 2

PLAN LEGEND

- 1 MAIN PEDESTRIAN ACCESSIBLE ENTRY (SECURE)
- 2 EGRESS EXIT (SECURE)
- 3 PARKING LEVEL VEHICULAR ACCESS
- 4 OPEN SPACE COURTYARD
- 5 STAIR TO OPEN SPACE COURTYARD
- 6 RESIDENTIAL LOBBY
- 7 BELOW GRADE PARKING
- 8 REFUSE AND RECYCLING STORAGE AREA
- 9 COMMON ROOF DECK AMENITY
- 10 UNIT ROOF DECK
- 11 EXTERIOR EGRESS BALCONIES

EXTERIOR MATERIALS



1 CEMENT PANEL SIDING - BODY

Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is “Connected Gray”, SW-6165 by Sherwin Williams.

2 CEMENT PANEL SIDING - ACCENT

Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is “Grizzle Gray”, SW-7068 by Sherwin Williams.

3 METAL PANEL SIDING

Metal panel 12” vertical siding. Prestige Series “Zincalume”, by AEP-Span.

4 SHIP-LAP SIDING

Stained clear cedar with a 6” exposure ship-lap siding reveal. Color is 078 Natural Stain, by Sikksens.

5 BRICK VENEER

Lightweight brick veneer “Slimbrick” tile by Mutual Materials, color Mauna Loa 2 1/4” x 7 5/8”, running bond

6 HEADER AND WALL CAPS

Pre-cast concrete at window location headers within the brick wall and a pre-cast watertable cap at brick to cement board horizontal material transitions. Pre-cast wall-cap at concrete retaining walls.

7 RESIDENTIAL WINDOWS

Vinyl windows, color to be “adobe”.

8 RAILINGS, GATES, & SCREENS

Metal railing, decorative gates, screening, and components to be anodized aluminum to match metal panel siding.

9 RETAINING WALLS

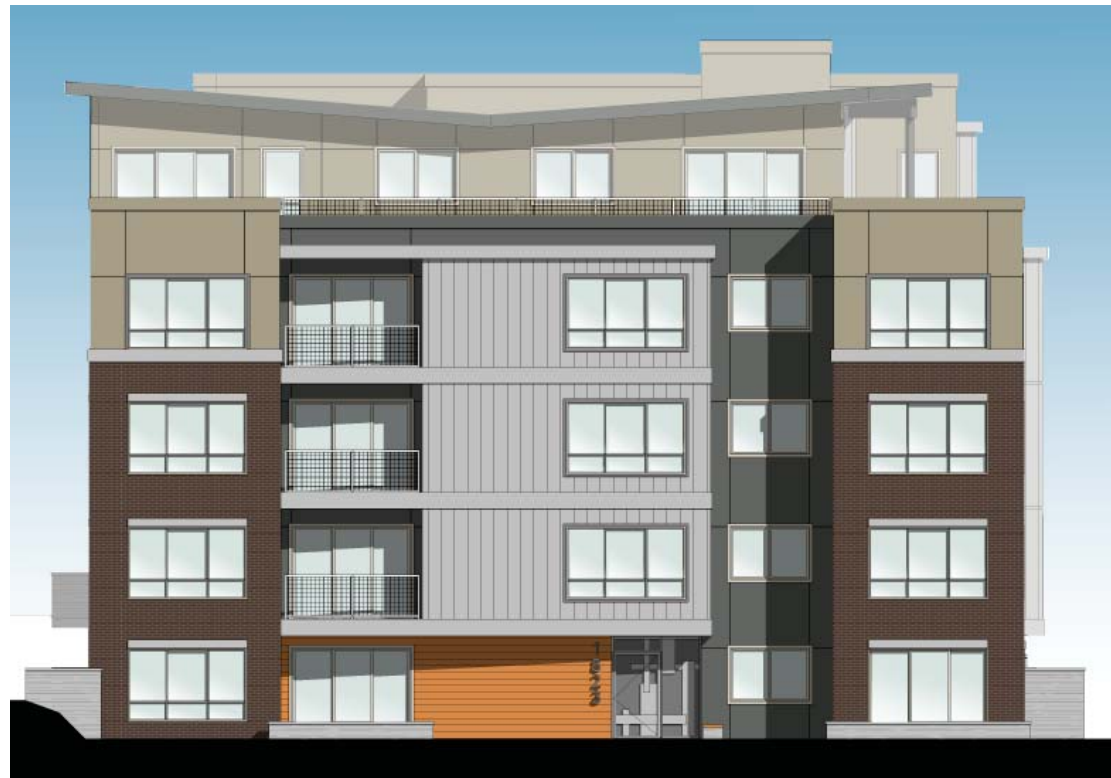
Architectural concrete walls with cast reveal joints.

EXTERIOR MATERIAL LOCATIONS



- 2 METAL FASCIA AND ROOF OVERHANG
PAINTED TO MATCH CEMENT PANEL ACCENT
- 1 METAL CORNICE AND PARAPET CAP
PAINTED TO MATCH CEMENT PANEL BODY
- 1 CEMENT BOARD PANEL SIDING - BODY
- 2 CEMENT BOARD PANEL SIDING - ACCENT
- 7 VINYL WINDOW
- 6 PRE-CAST WATERTABLE CAP
- 3 METAL VERTICAL PANEL SIDING
- 8 METAL RAILING
- 5 BRICK VENEER
- 6 PRE-CAST HEADER
- 9 CONCRETE RETAINING WALL
WITH REVEAL JOINTS
- 8 DECORATIVE METAL ENTRY GATE
- 4 CEDAR SHIP-LAP SIDING
- 6 PRE-CAST WALL CAP

EXTERIOR ELEVATIONS



EAST ELEVATION (18TH AVENUE)



NORTH ELEVATION (EAST DENNY WAY)



WEST ELEVATION (ALLEY)



SOUTH ELEVATION (ADJACENT TO NEIGHBOR)



PERSPECTIVE: CORNER OF EAST DENNY WAY AND 18TH AVENUE

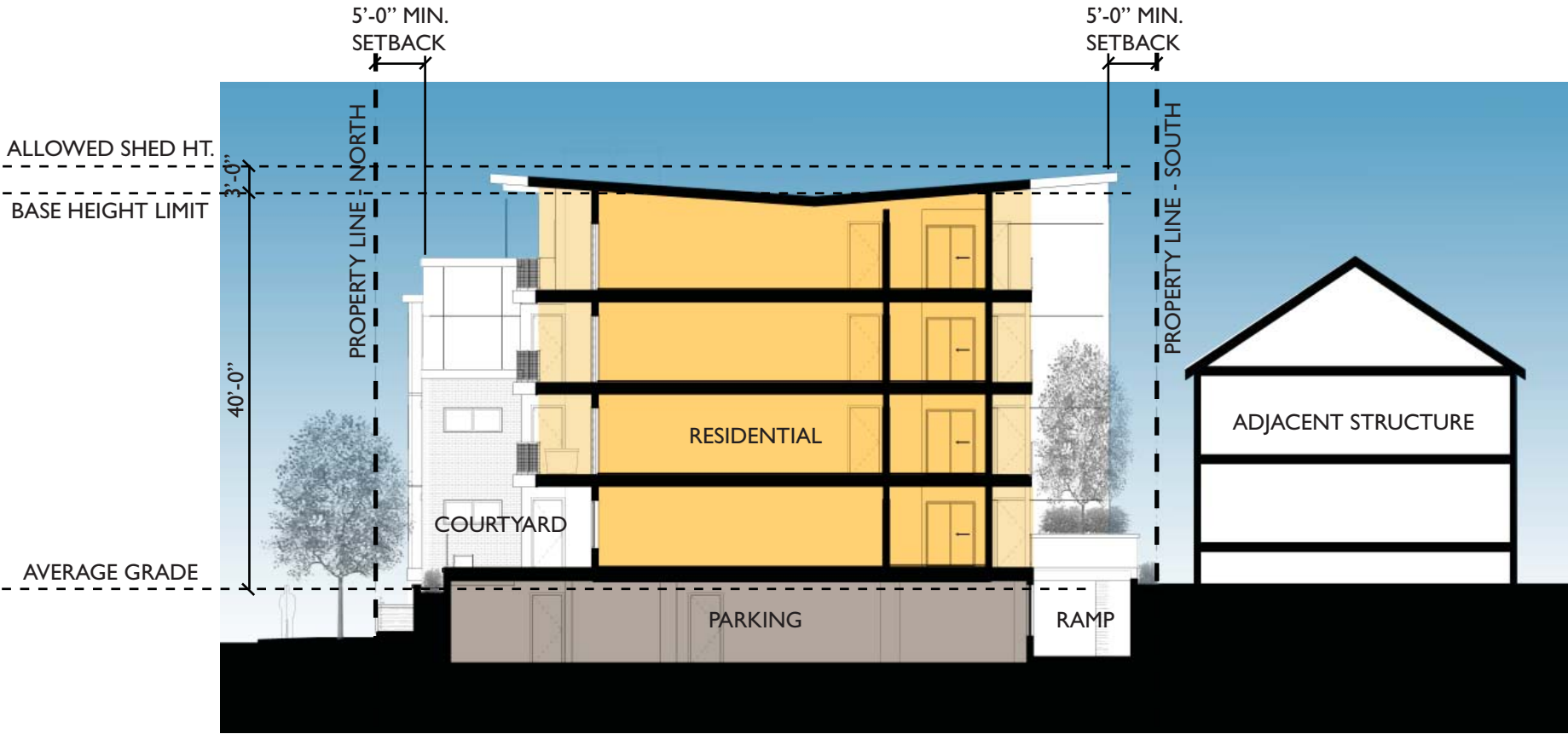




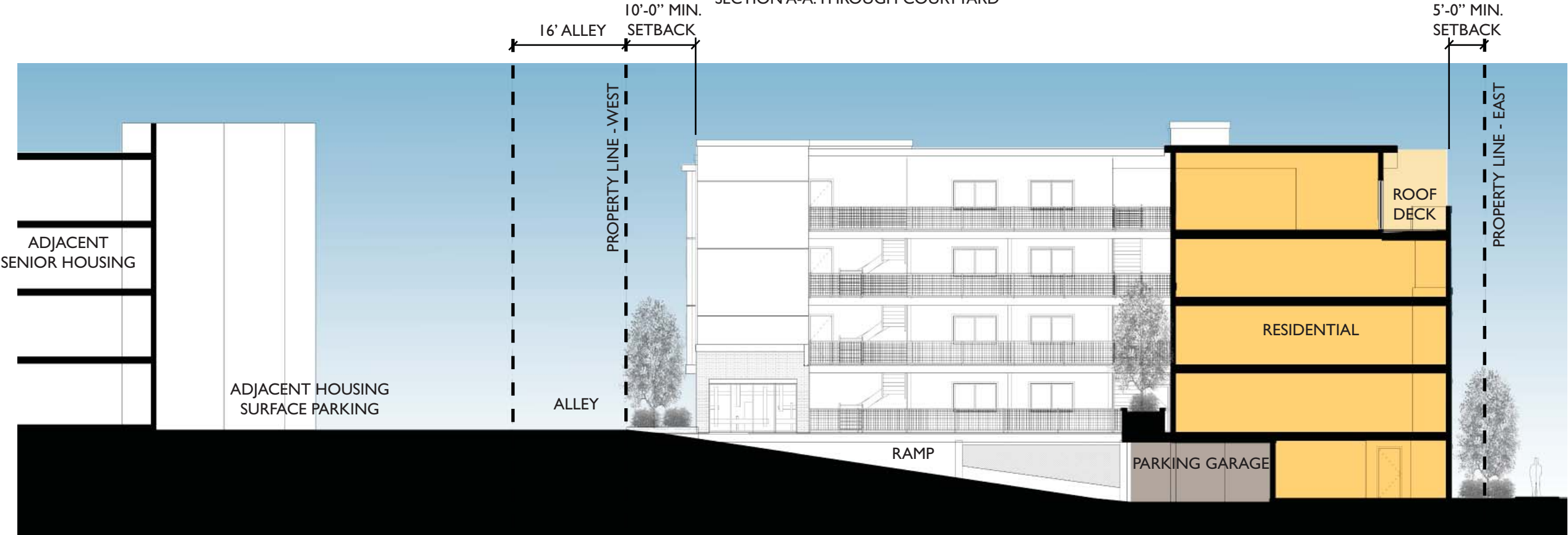
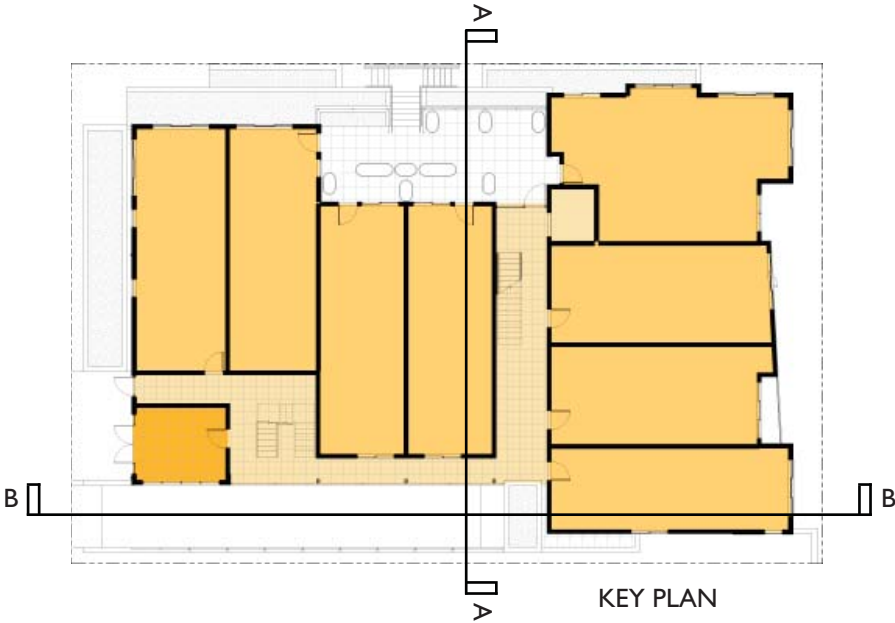




PROJECT SECTIONS



SECTION A-A: THROUGH COURTYARD

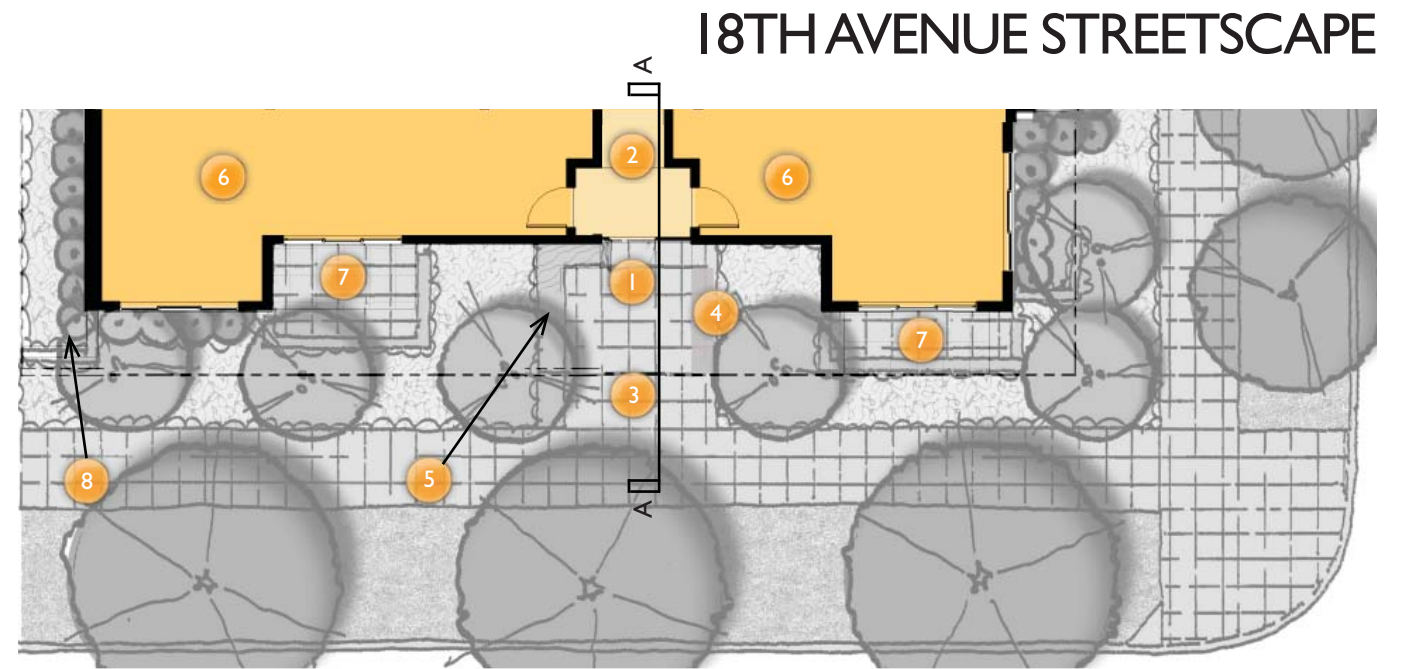


SECTION B-B: THROUGH DRIVEWAY RAMP

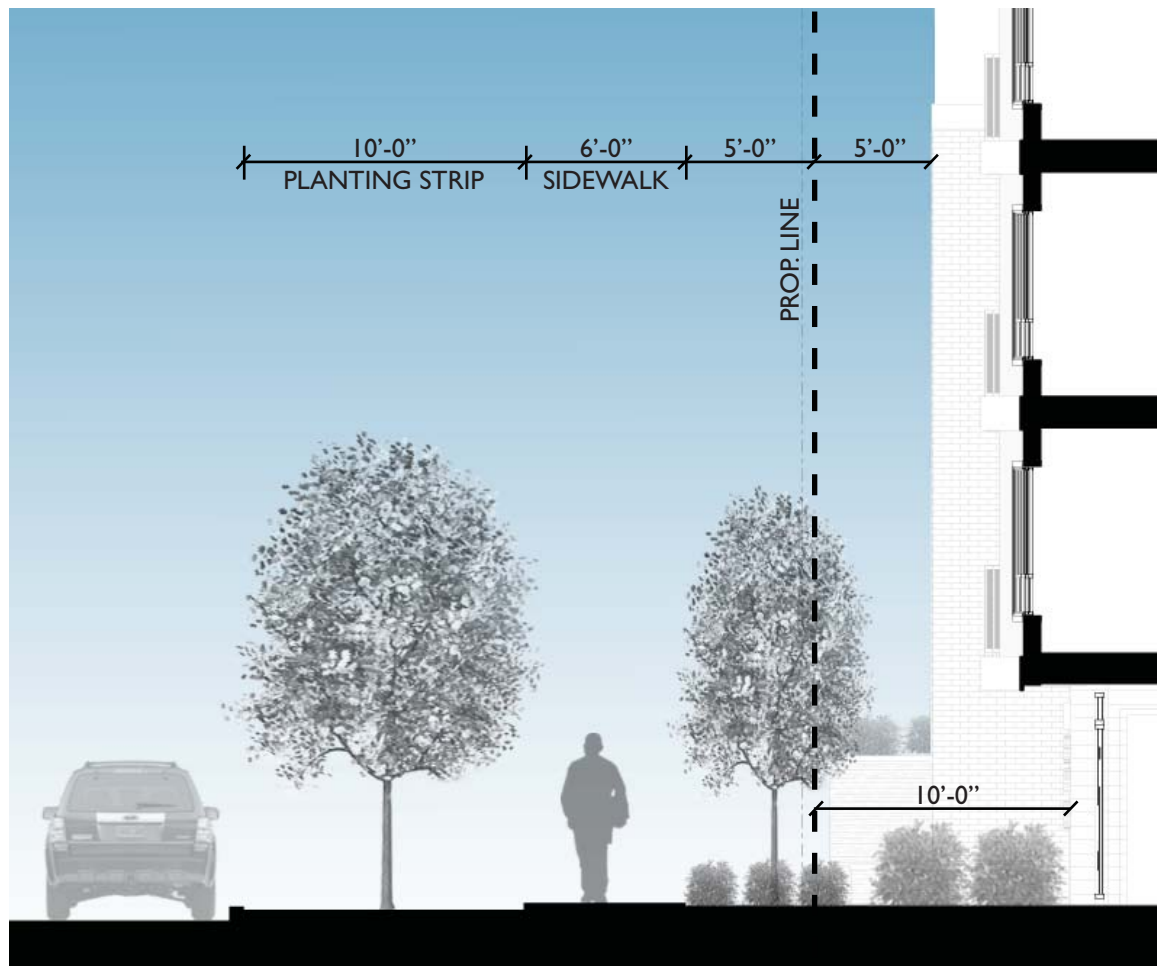


EXAMPLE ENTRY PRECEDENCE

- PLAN LEGEND**
- 1 DECORATIVE GATE
 - 2 OPEN LOBBY
 - 3 PAVED ENTRY COURT
 - 4 BENCH
 - 5 WATER FEATURE
 - 6 RESIDENTIAL UNIT AT GRADE
 - 7 PRIVATE UNIT PATIO AREA
 - 8 RETAINING WALL TO RETAIN NEIGHBORING GRADE



PLAN: STREETScape ALONG 18TH AVENUE



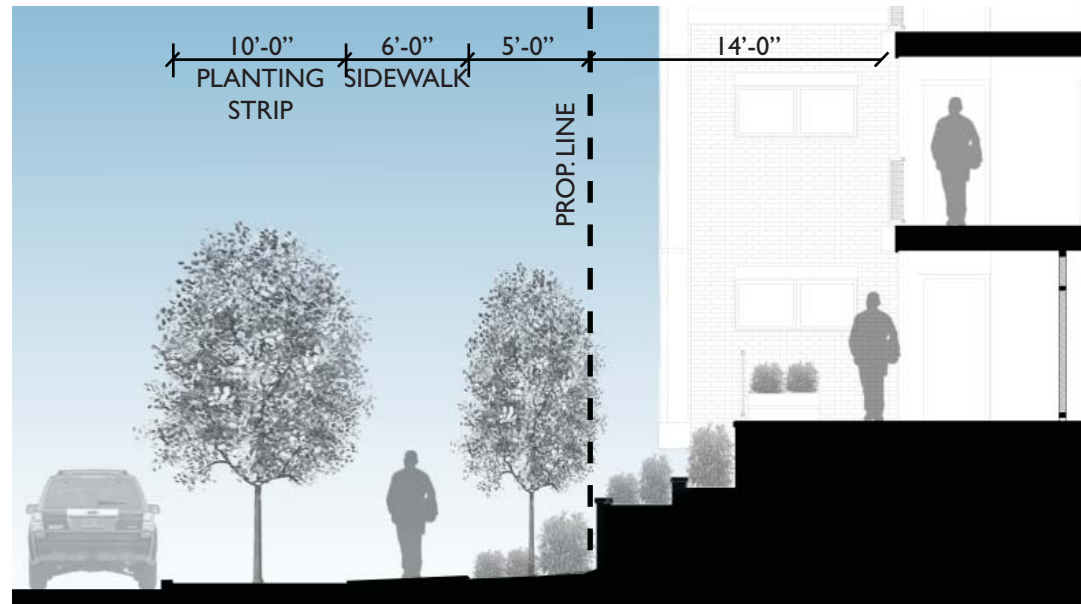
AA: STREETScape SECTION 18TH AVENUE ENTRY



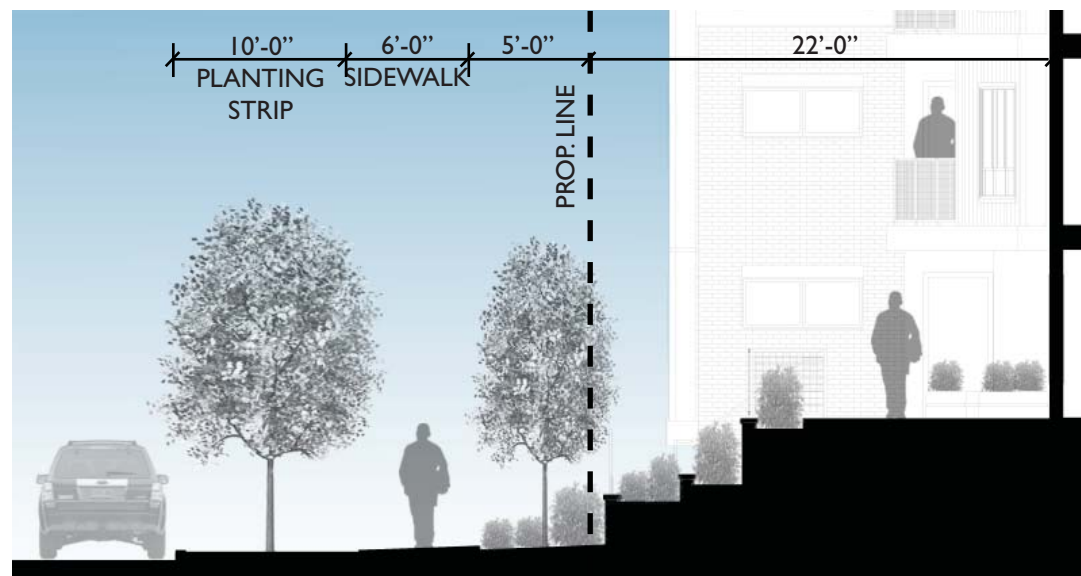
PERSPECTIVE: SIDEWALK ALONG 18TH AVENUE



EXAMPLE SITEWALL PRECEDENCE



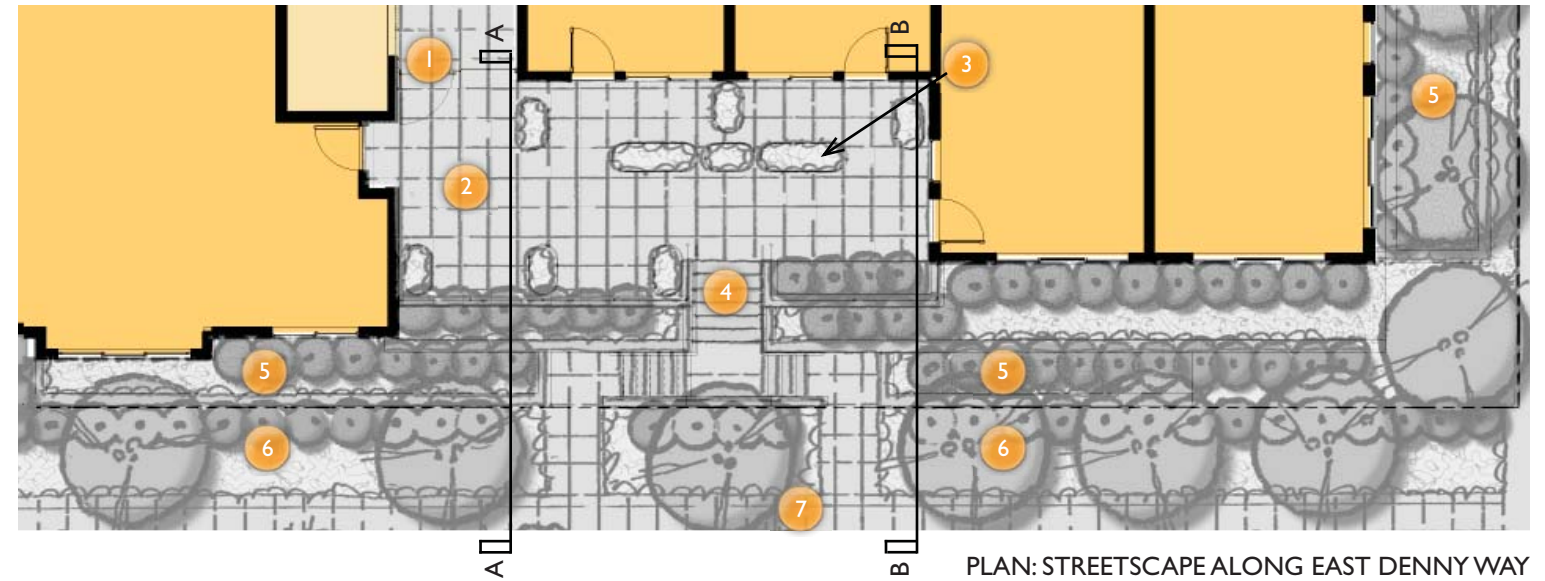
AA: STREETSCAPE SECTION



BB: STREETSCAPE SECTION

PLAN LEGEND

- 1 DECORATIVE GATE
- 2 COMMON COURTYARD
- 3 COURTYARD PLANTERS
- 4 STAIRS
- 5 PLANTERS
- 6 AT GRADE LANDSCAPING
- 7 SIDEWALK



PLAN: STREETSCAPE ALONG EAST DENNY WAY



PERSPECTIVE: SIDEWALK ALONG EAST DENNY WAY



COMMON ROOF DECK: BIRD'S EYE VIEW



EAST DENNY WAY COURTYARD: BIRD'S EYE VIEW

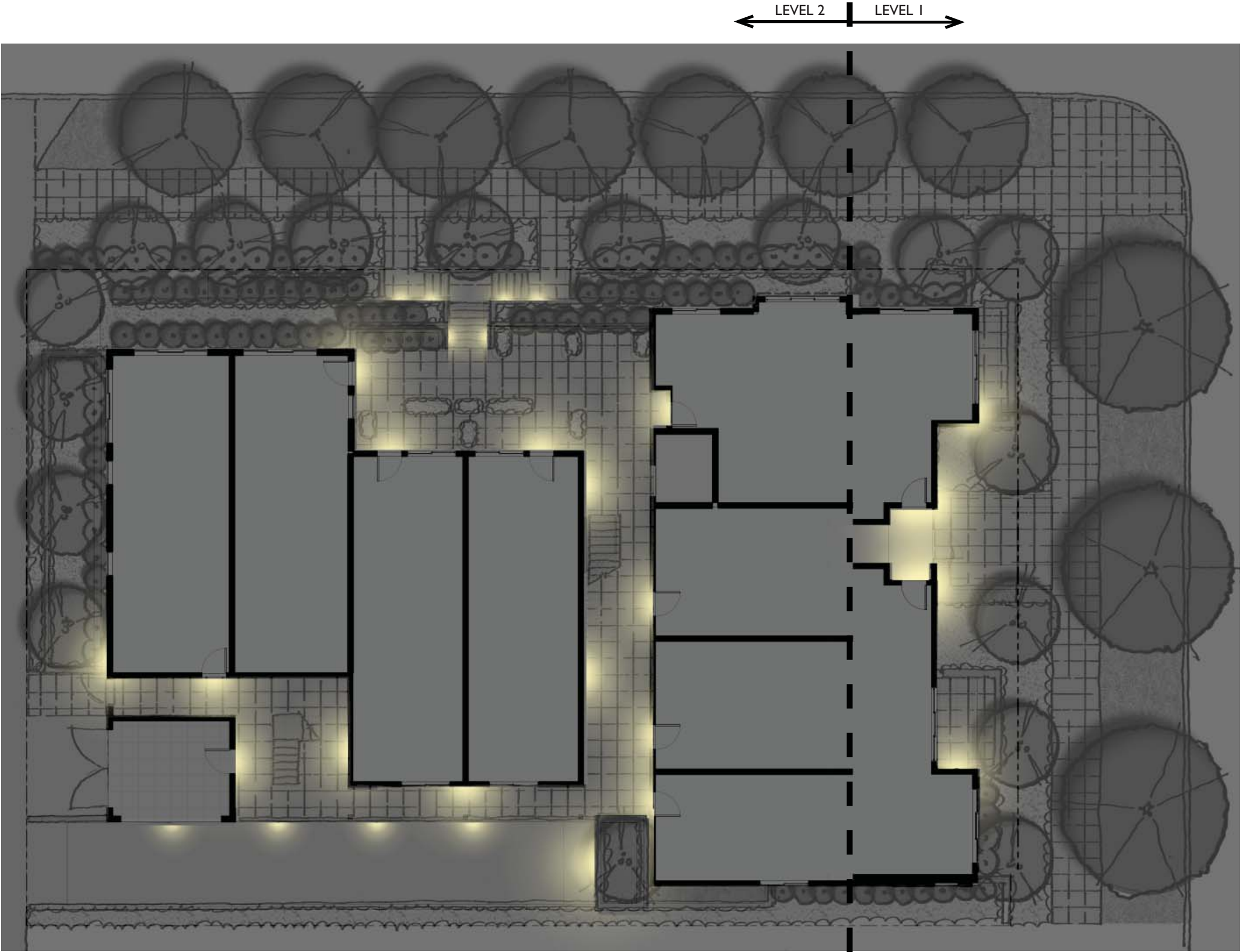
- 1 COMMON ROOF DECK AREA
- 2 ACCESS PATHWAY
- 3 PLANTING AREA
- 4 UNIT TRANSOM UNIT WITHIN VAULTED HEIGHT
- 5 BUTTERFLY ROOF OVERHANG

- 6 COMMON AREA COURTYARD
- 7 DECORATIVE GATE (SECURE)
- 8 PLANTERS AT COURTYARD

- 9 STAIRS TO SIDEWALK
- 10 PLANTING AREA
- 11 UNIT ENTRY

- 12 METAL GUARDRAIL
- 13 OVERLOOK FROM OPEN CORRIDOR ABOVE
- 14 PRIVATE RESIDENTIAL DECK

SITE LIGHTING PLAN



ENTRY POINT AND UNIT SCONCE



STEP LIGHTING

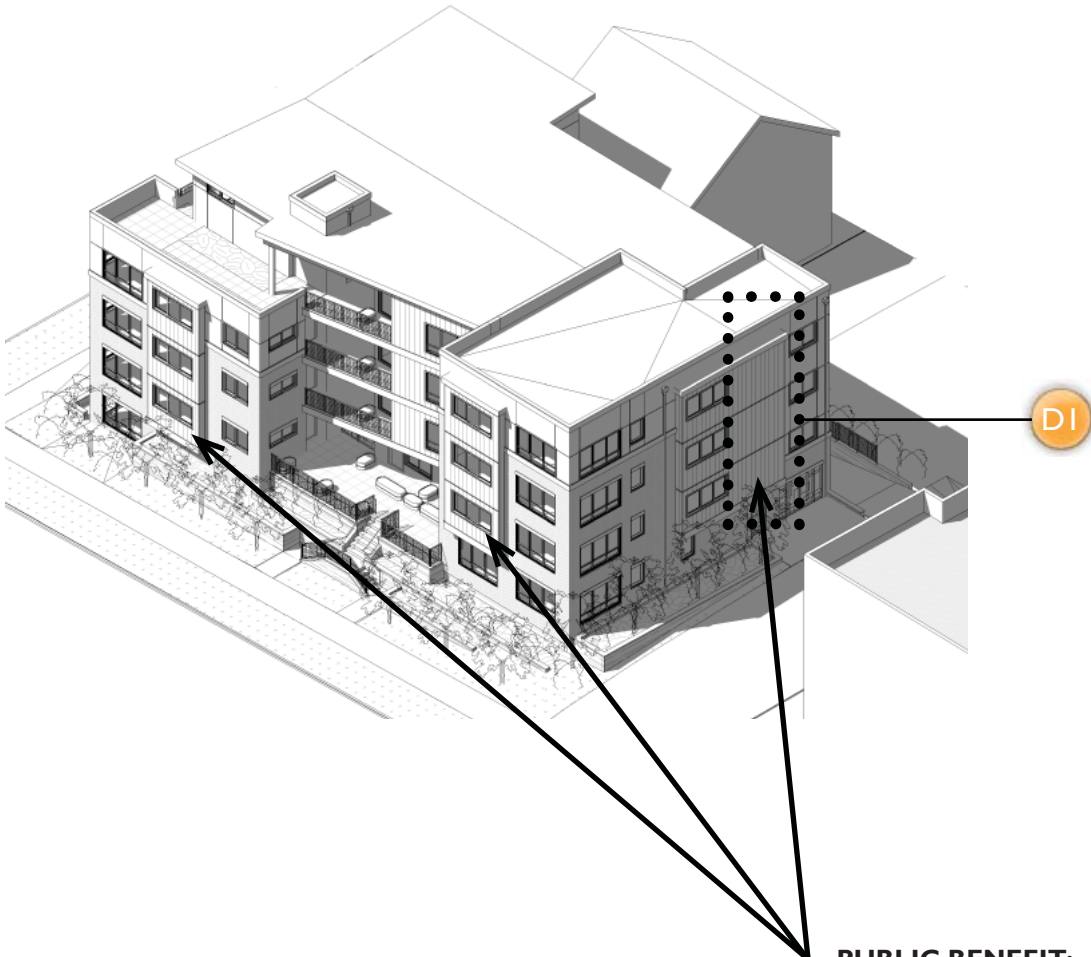


RAMP LIGHTING - DARK SKY

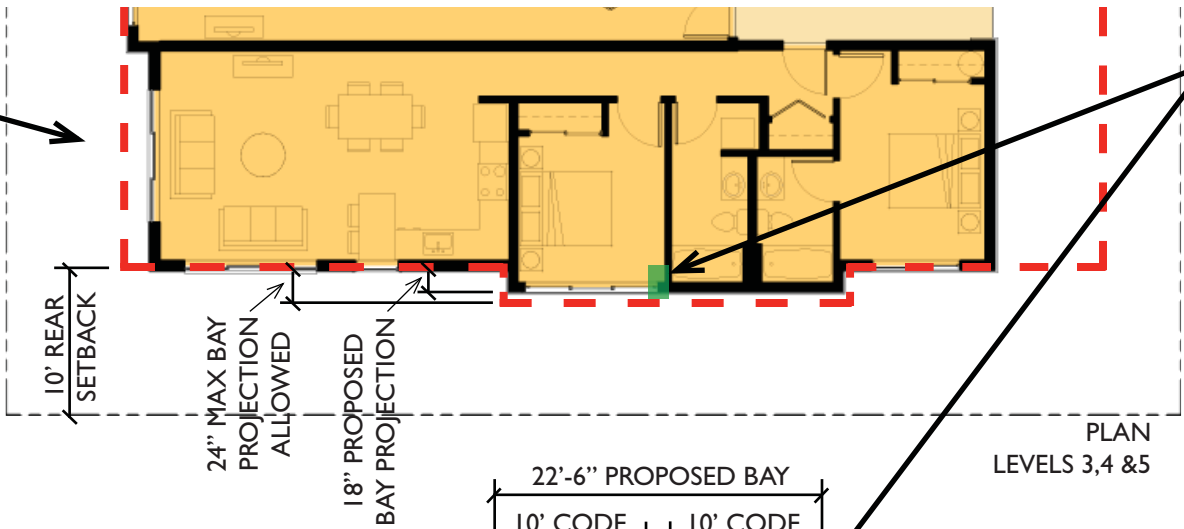


DEPARTURE NUMBER	LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
D1	SMC 23.45.518.H3b	BAY PROJECTION	Bay projection into setback is limited to 10' maximum width	Project proposes a 22'-6" in width projected bay into the rear alley setback area. The bay's code compliant attributes include: 18" projection into setback (24" allowed) and occupies 28% of façade area (30% allowed).	The overall project maintains visually consistency by proposing one larger bay than 2 smaller code compliant bays as other facades of the project proposes a one bay typology. Project proposes a bay projection in order to achieve reasonable unit depths and widths while providing the DRB-requested courtyard along 18th Avenue. In return, generous setbacks beyond code minimums are given along the streetscapes of East Denny Way and 18th Avenue.
D2	SMC 23.45.522.D5a	COMMON AREA MINIMUM DIMENSION	Common amenity area shall have a minimum horizontal dimension of 10'.	Project proposes common amenity area minimal dimension at one location of 8'-6" for a distance of 3'-0" at a bay projection along East Denny. Ground level maintains 10' minimum dimension.	Large courtyard along East Denny Way creates a reduction of massing along the street facade. The irregular layout of the courtyards necessitates some dimensions to fall below the 10' minimum. The East Denny Way courtyard overall dimensions are 39'-1" by 19'-3", well in excess of the minimum 10' dimensions required. The ROW landscaping between the sidewalk and the building is enhanced to match the project design of planted areas on the site.
D3	SMC 23.45.527.B1	MAXIMUM FACADE LENGTH	Maximum combined length of all portions of the façade within 15' of lot line that is neither a rear lot line nor a street or alley lot line shall exceed 65% of the length of that lot line	Maximum façade length allowed within 15' setback at the Southern property line is 78'. Project proposes a façade length of 105' within the setback. 66'-4" of the 105' length proposed has a setback of 12'-8". 39'-0" of the 105' length proposed has a setback of 5'-0".	Per DRB request, project proposes to relocate parking access from alley by shifting the building south to within 12'-8" of the lot line and provide additional setback depth in excess of code minimums to the street side along East Denny Way. The proposed setback of 12'-8" represents a combined minimum dimension of landscaping and driveway ramp width for the length of the ramp. Siting the ramp and building back at the 15' setback shifts the Western building massing toward the street, increasing apparent height, bulk and scale along Denny. Setbacks as measured to the face of exterior wall are 17', well in excess of the minimum 15' dimension required.
D4	SMC 23.45.518 - TABLE A	STREET SIDE SETBACK	Side setback: 5' minimum	Project proposes a side setback of 3'-6" along E. Denny Way for a projected bay. Bay is 12' in length, does not occupy the ground level, and is 3 stories in height.	Project proposes bay projection within a portion of the side setback in order to achieve reasonable unit depths and widths while providing the DRB-requested courtyard along 18th Avenue. Generous setbacks beyond code minimums are given along the streetscapes of East Denny Way and 18th Avenue. These courtyard spaces directly relate to the sidewalks and will be visually pleasing for the pedestrian. The 5' minimum side setback is maintained at the ground level to adequately provide layered landscaping.

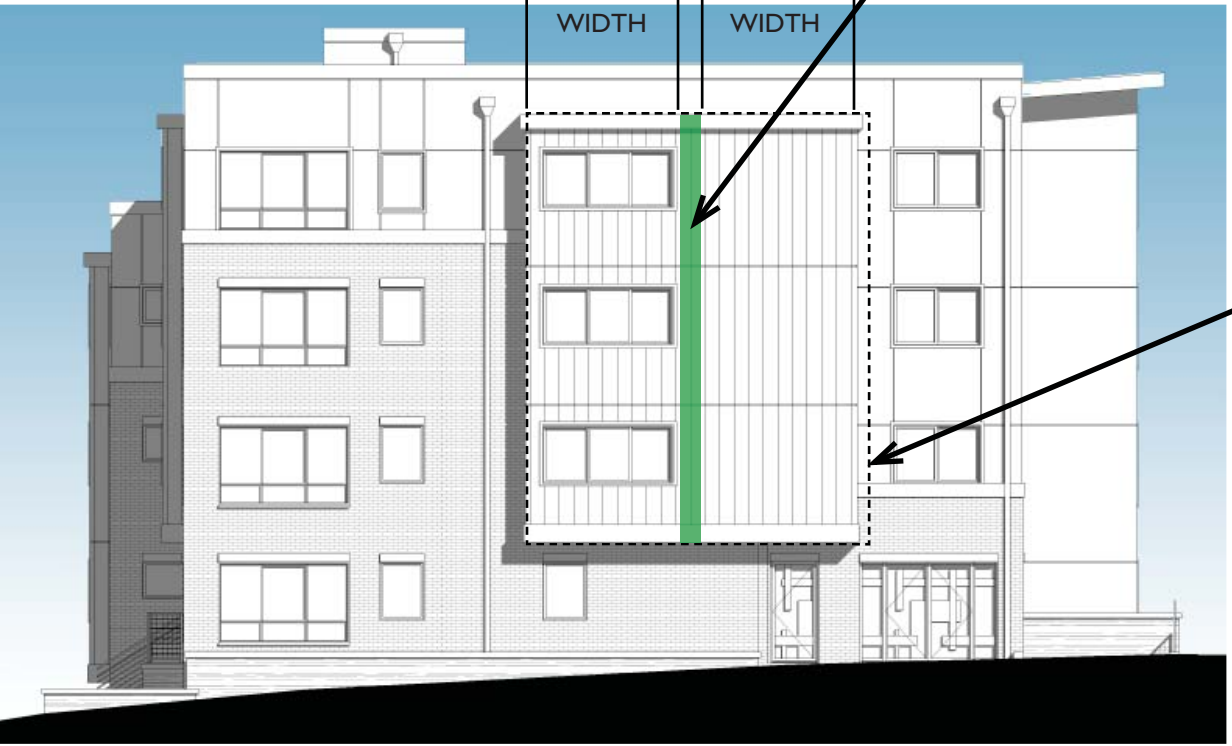
DI: BAY PROJECTION



LINE OF CODE COMPLIANT ENVELOPE WITH A TWO BAY CONDITION OCCUPYING ALLOWED 30% OF FACADE AREA



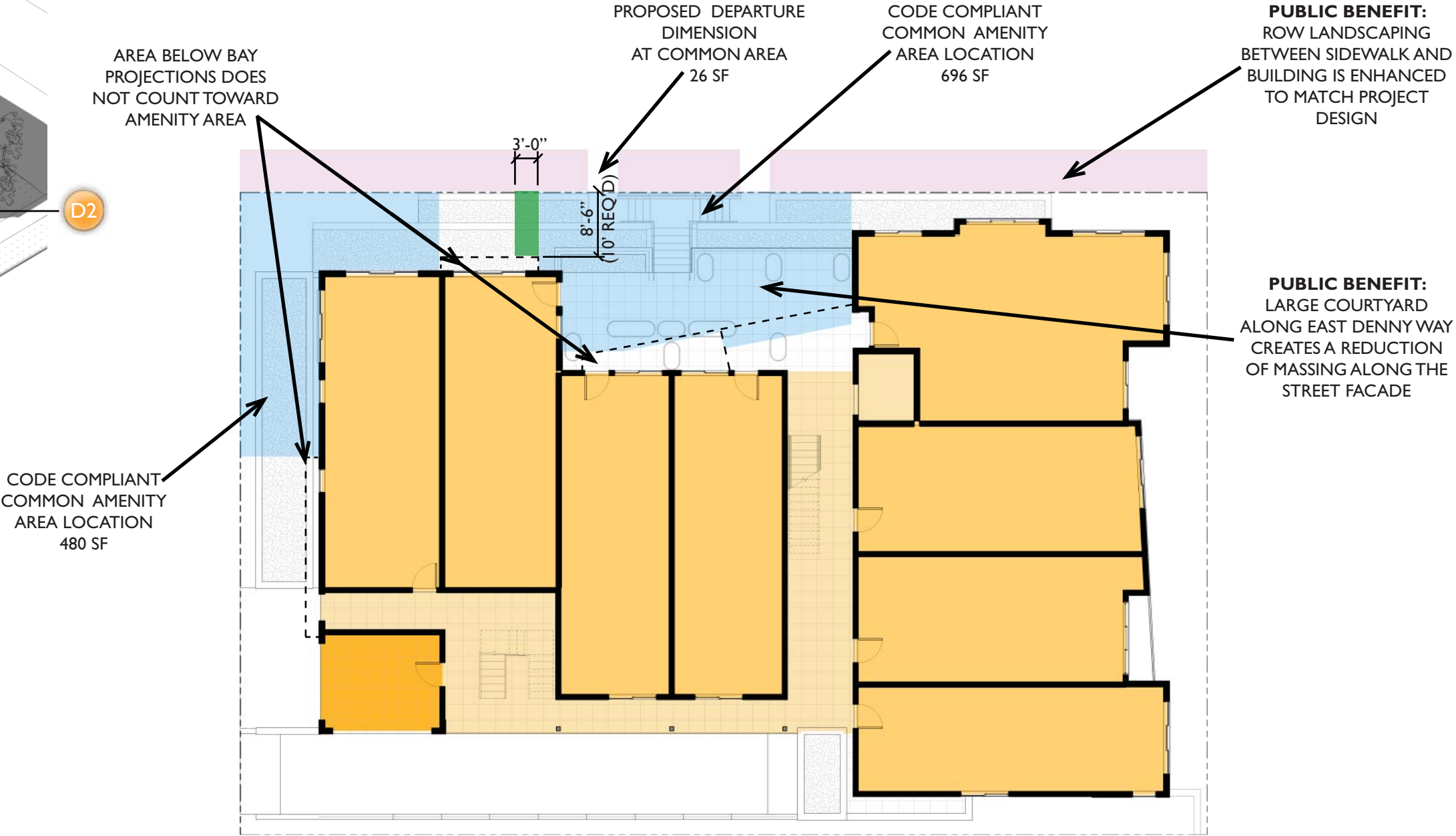
PUBLIC BENEFIT:
DEPARTURE ALLOWS FOR A ONE BAY ARCHITECTURALLY CONSISTANT MODULATION INSTEAD OF TWO DISTINCT CODE-CONFORMING BAYS ALONG THE ALLEY FACADE. A ONE BAY MODULATION IS ARCHITECTURALLY CONSISTANT WITHIN THE CONTEXT OF THE PROJECT. IT MIMICS BAY PROJECTIONS ALONG EAST DENNY WAY AND IS PROPORTIONALLY CONSISTANT IN THE RATIO OF FACADE TO BAY AREA AS OTHER FACADE/BAY LOCATIONS.



WEST ELEVATION (ALLEY)

DEPARTURE NUMBER	LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
DI	SMC 23.45.518.H3b	BAY PROJECTION	Bay projection into setback is limited to 10' maximum width	Project proposes a 22'-6" in width projected bay into the rear alley setback area. The bay's code compliant attributes include: 18" projection into setback (24" allowed) and occupies 28% of façade area (30% allowed).	The overall project maintains visually consistency by proposing one larger bay than 2 smaller code compliant bays as other facades of the project proposes a one bay typology. Project proposes a bay projection in order to achieve reasonable unit depths and widths while providing the DRB-requested courtyard along 18th Avenue. In return, generous setbacks beyond code minimums are given along the streetscapes of East Denny Way and 18th Avenue.

D2: COMMON AREA MINIMUM DIMENSION

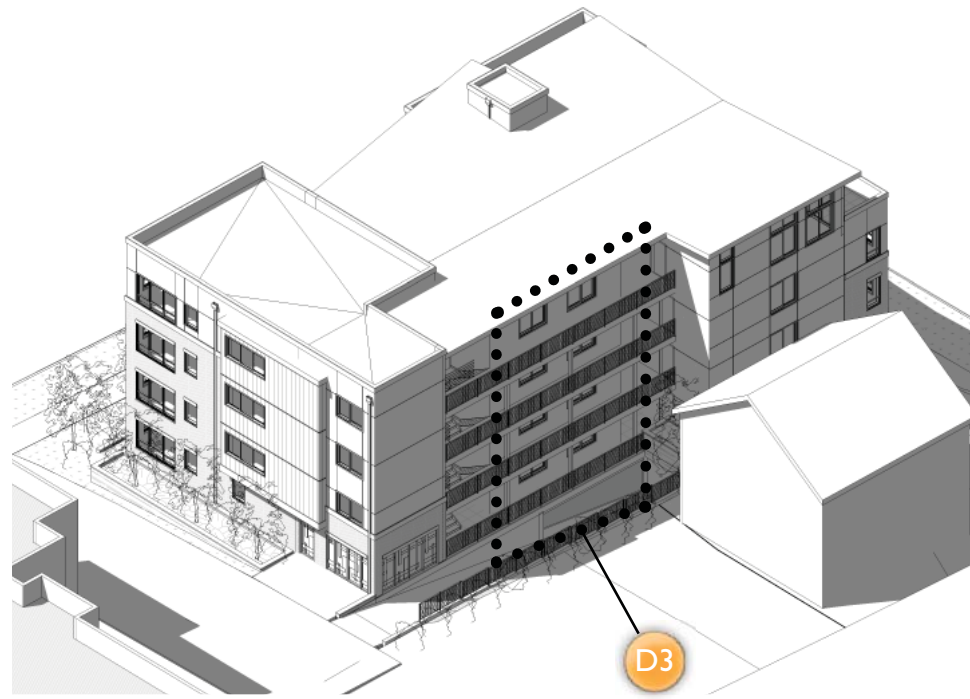


GROUND LEVEL COMMON AMENITY AREA REQUIRED = 1202 SF

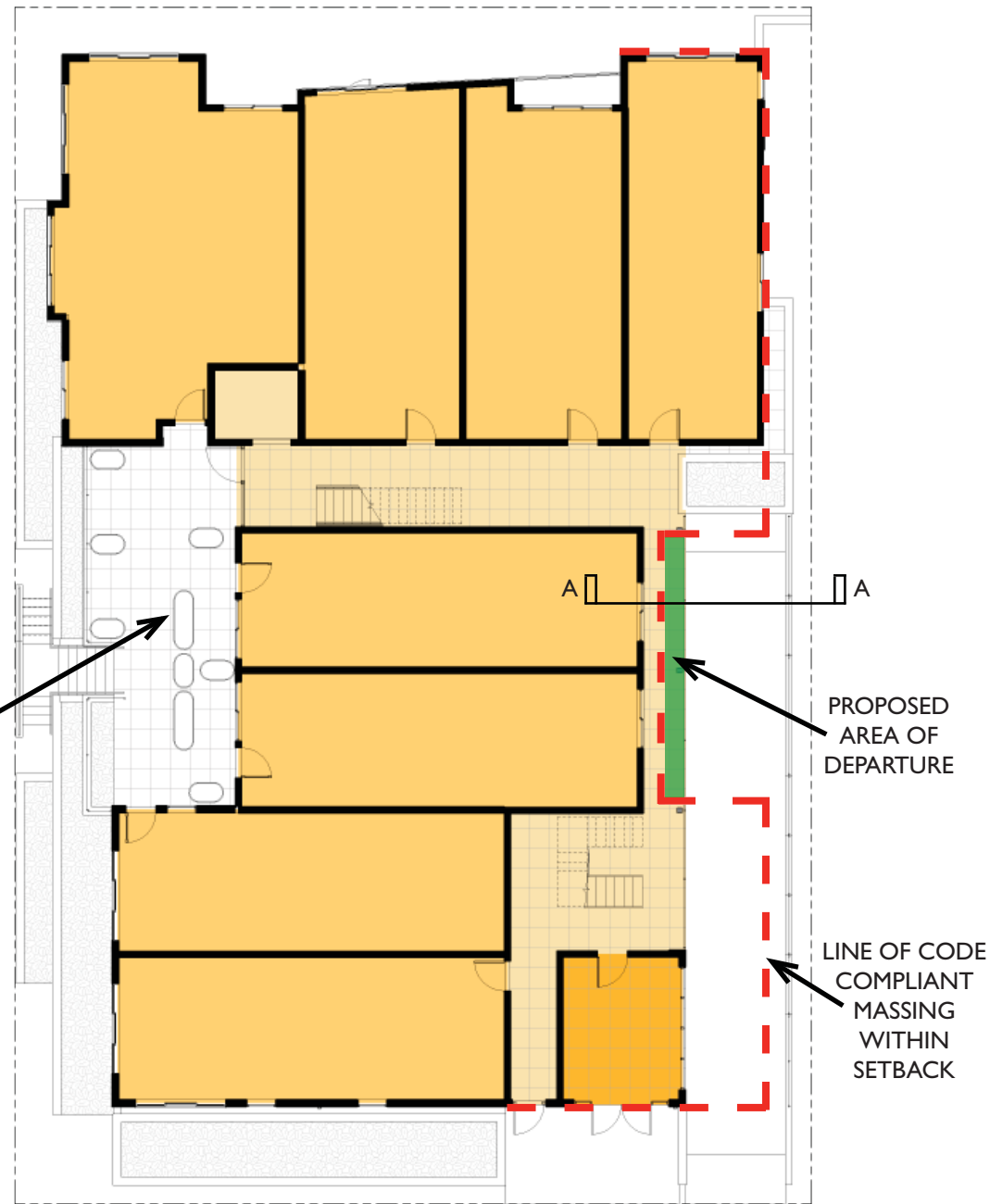
CODE COMPLANT AREA PROVIDED = 1176 SF

AMOUNT OF DEPARTURE AREA REQUESTED = 26 SF

DEPARTURE NUMBER	LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
D2	SMC 23.45.522.D5a	COMMON AREA MINIMUM DIMENSION	Common amenity area shall have a minimum horizontal dimension of 10'.	Project proposes common amenity area minimal dimension at one location of 8'-6" for a distance of 3'-0" at a bay projection along East Denny. Ground level maintains 10' minimum dimension.	Large courtyard along East Denny Way creates a reduction of massing along the street facade. The irregular layout of the courtyards necessitates some dimensions to fall below the 10' minimum. The East Denny Way courtyard overall dimensions are 39'-1" by 19'-3", well in excess of the minimum 10' dimensions required. The ROW landscaping between the sidewalk and the building is enhanced to match the project design of planted areas on the site.

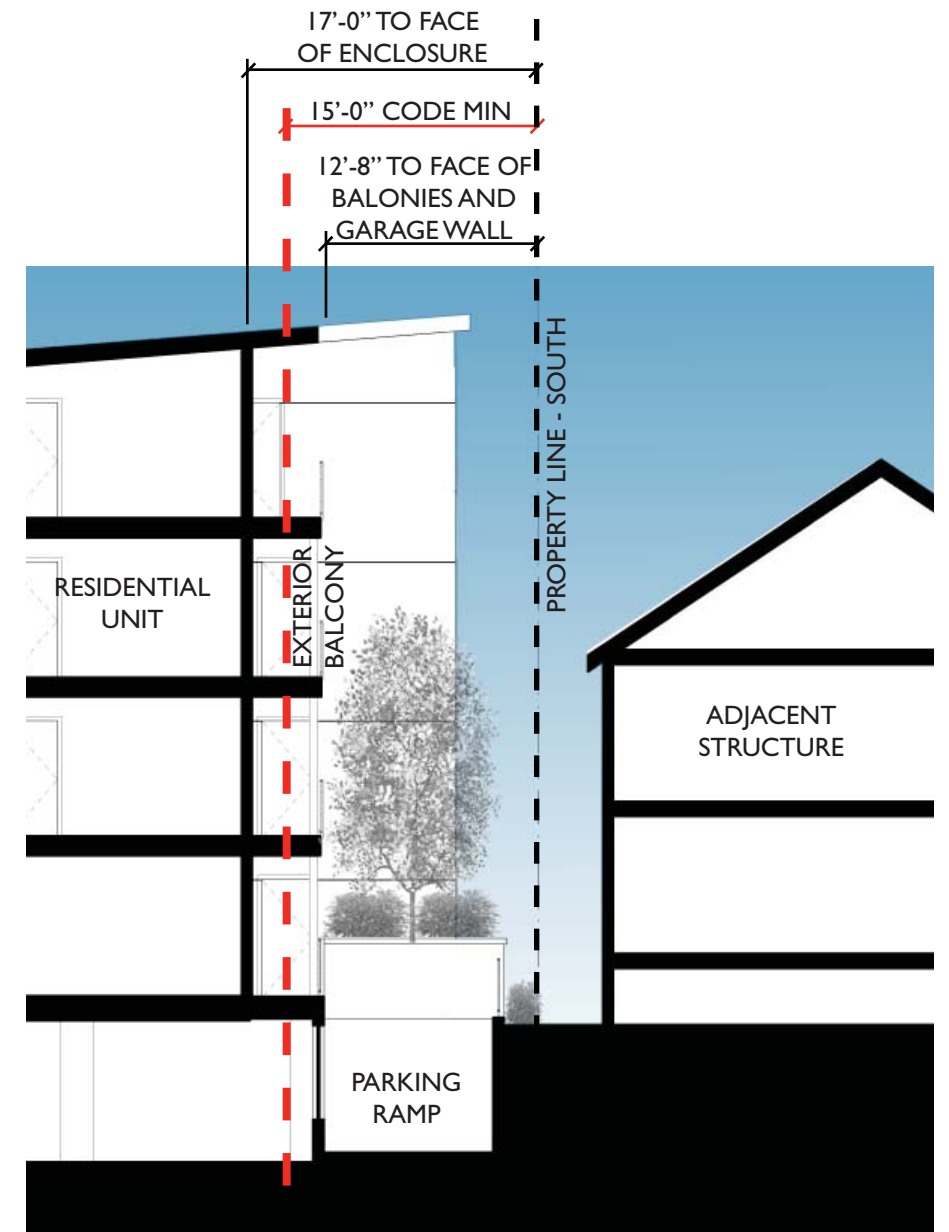


PUBLIC BENEFIT:
DEPARTURE CREATES INCREASED
DEPTH FOR STREET FACING
COURTYARD ALONG E. DENNY WAY



PLAN - SETBACK STUDY

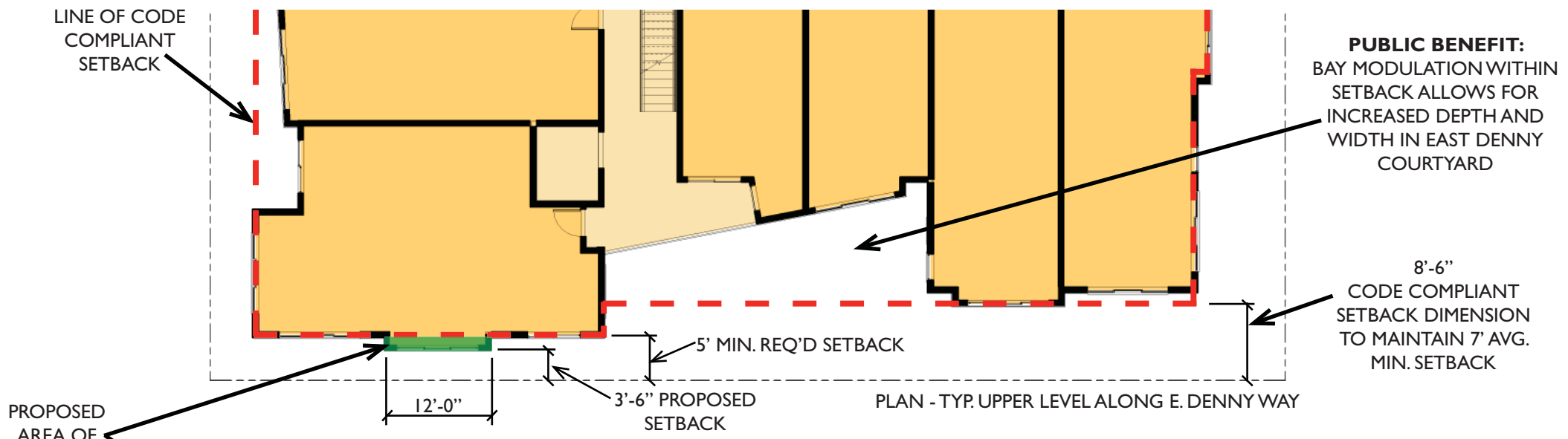
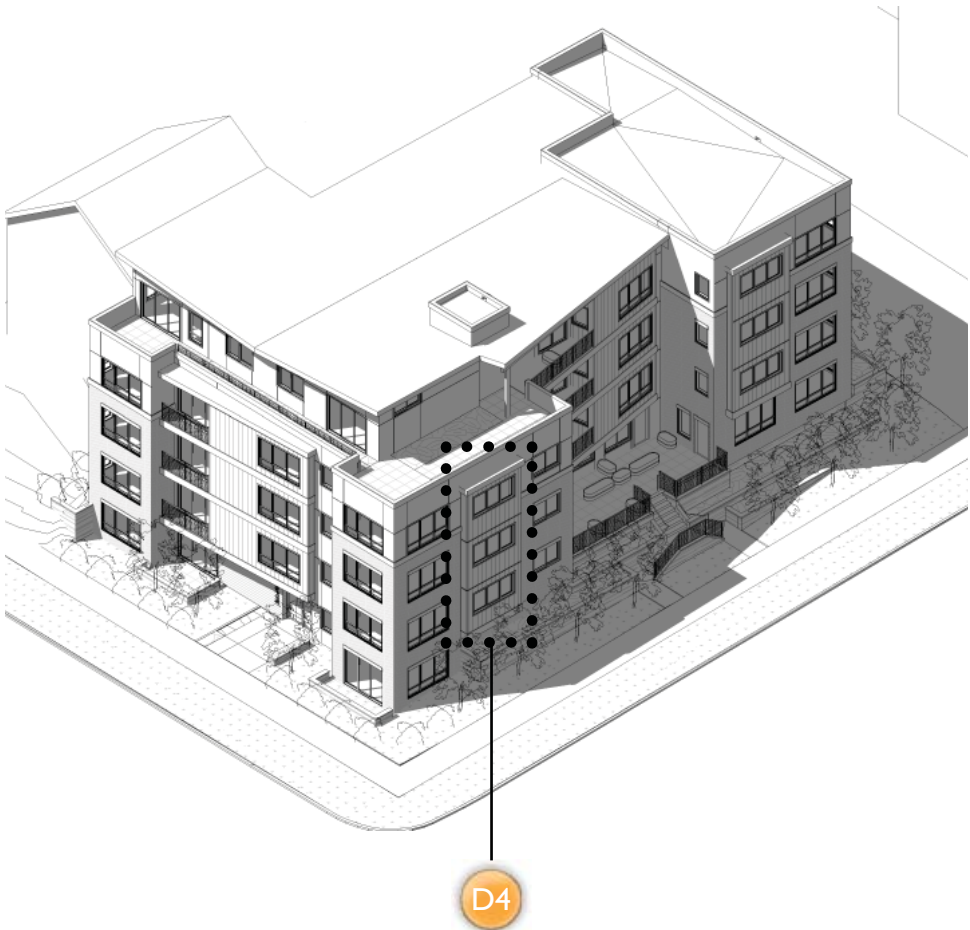
D3: MAXIMUM FACADE LENGTH



SECTION A-A

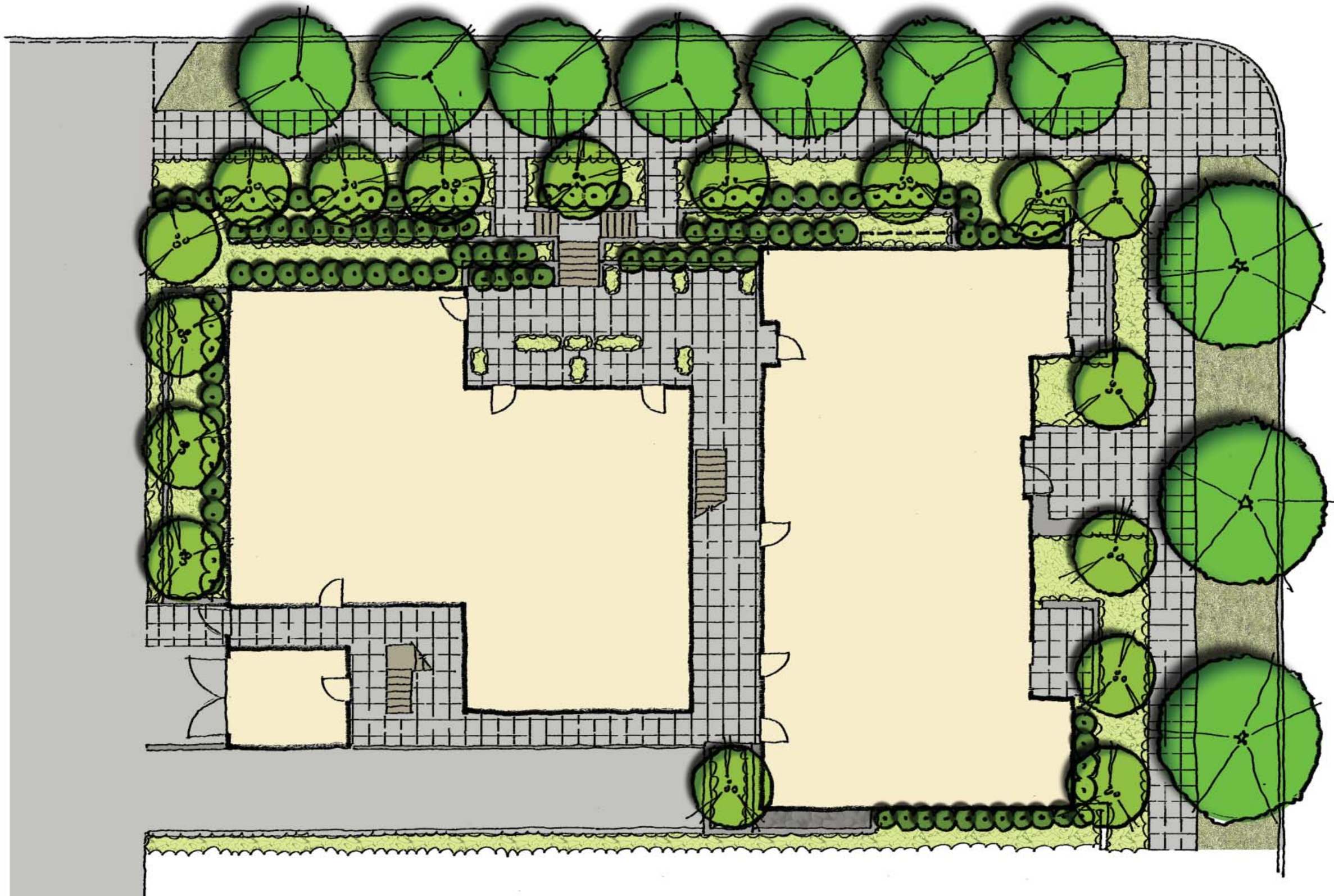
DEPARTURE NUMBER	LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
D3	SMC 23.45.527.B1	MAXIMUM FACADE LENGTH	Maximum combined length of all portions of the façade within 15' of lot line that is neither a rear lot line nor a street or alley lot line shall exceed 65% of the length of that lot line	Maximum façade length allowed within 15' setback at the Southern property line is 78'. Project proposes a façade length of 105' within the setback. 66'-4" of the 105' length proposed has a setback of 12'-8". 39'-0" of the 105' length proposed has a setback of 5'-0".	Per DRB request, project proposes to relocate parking access from alley by shifting the building south to within 12'-8" of the lot line and provide additional setback depth in excess of code minimums to the street side along East Denny Way. The proposed setback of 12'-8" represents a combined minimum dimension of landscaping and driveway ramp width for the length of the ramp. Siting the ramp and building back at the 15' setback shifts the Western building massing toward the street, increasing apparent height, bulk and scale along Denny. Setbacks as measured to the face of exterior wall are 17', well in excess of the minimum 15' dimension required.

D4: STREET SIDE SETBACK



NORTH ELEVATION (E. DENNY WAY)

DEPARTURE NUMBER	LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
D4	SMC 23.45.518 - TABLE A	STREET SIDE SETBACK	Side setback: 5' minimum	Project proposes a side setback of 3'-6" along E. Denny Way for a projected bay. Bay is 12' in length, does not occupy the ground level, and is 3 stories in height.	Project proposes bay projection within a portion of the side setback in order to achieve reasonable unit depths and widths while providing the DRB-requested courtyard along 18th Avenue. Generous setbacks beyond code minimums are given along the streetscapes of East Denny Way and 18th Avenue. These courtyard spaces directly relate to the sidewalks and will be visually pleasing for the pedestrian. The 5' minimum side setback is maintained at the ground level to adequately provide layered landscaping.





HYDRANGEA



LAVENDER



DAYLILY



LILY TURF



EUPHORBIA



JAPANESE MAPLE



SNOWBERRY



PIERIS



MAIDEN GRASS



BAMBOO



CURRENT



DAYLILY



SWORD FERN



SPIRAEA



CREeping MAHONIA



BLUE OAT GRASS



JAPANESE SNOWBELL



NANDINA



FEATHER REED GRASS