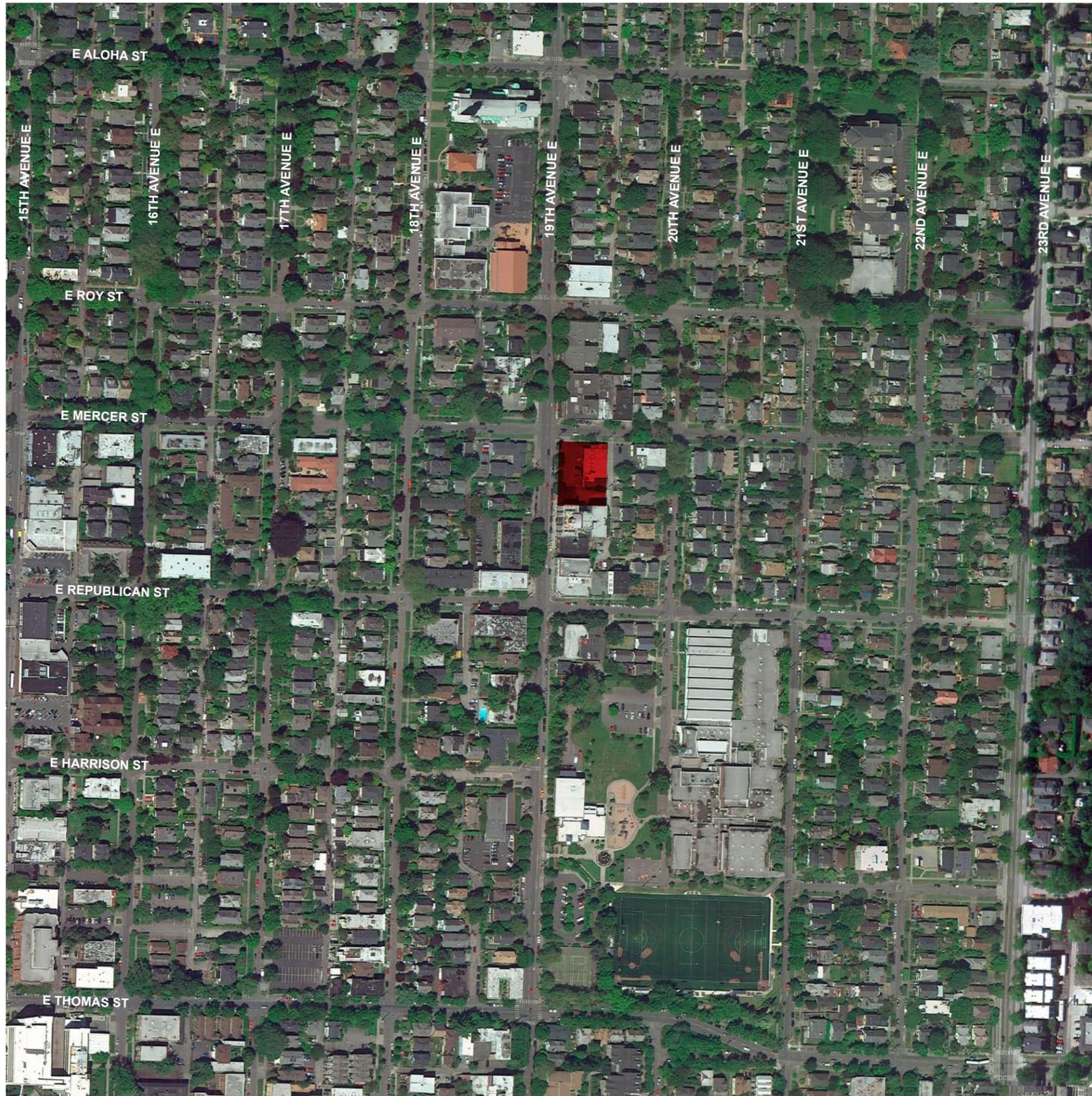


19th Avenue & Mercer Street: Mixed-Use Building
Recommendation Meeting • April 2012





Property Address
526 19th Avenue E

Owner
19th + Mercer Partners LLC

Developer
Lake Union Partners
Patrick Foley
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Existing Site Conditions

1. Please describe the existing site, including location, existing uses and / or structures, topographical or other physical features, etc.

Location

The proposed project is located at the southeast corner of the intersection of 19th Avenue E, on the north by E Mercer Street and on the east by an existing improved alley. A four-story apartment building abuts the property along the south property line.

Existing Uses & Structures

The project site is comprised of two lots previously under separate ownership. The north lot is occupied by a single-story commercial building with an intervening asphalt paved parking lot accessed by curb cuts on both 19th Avenue E and E Mercer St. The building is currently occupied by a two businesses, *Holiday Gift & Craft Shop* and *STRENGTHstudio*.

The south lot is also currently occupied by a small single-story commercial building with a gravel parking lot accessed from the alley. The building is occupied by one business, *Capitol Hill Hair Salon*.

The existing structures and paved surfaces located on the project site are proposed to be demolished. The proposed project would occupy the entirety of the site.

Physical Features

The project site is bounded on the west by 19th Avenue E, on the north by E Mercer Street and on the east by an existing improved alley. A four-story apartment building abuts the property along the south property line.

19th Avenue E has a narrow concrete sidewalk and four mature street trees (European Hornbeams) evenly spaced along the length of the site. E Mercer Street has a wider sidewalk ROW which allows a planting strip with small ornamental trees (Cherry) to parallel the concrete sidewalk. The existing alley is concrete and considered fully improved.

The topography of the site is relatively flat along 19th Avenue E with a rise in elevation of approximately six-inches from north to south. A change in grade is much more noticeable along E Mercer Street as the elevation drops more than four feet along the length of the property's frontage. The grade drops slightly from north to south along the alley with the site's low-point occurring near the southeast corner of the site.



Site Context: Present Land Use

3. Please describe neighboring development uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, landmarks, etc.

Upper 19th Ave commercial: Vios, Tully's, H₂O₂ Salon,

Capitol Hill Montlake Dentistry

St. Joseph's Church & School

Holy Names Academy

19th Ave upper core: Monsoon, Kingfish Cafe, Fuel,

Moonjar, Ensemble Theatre, Aikido, professional offices

Proposed development location

19th Ave lower core: El Cuento Spanish Immersion,

Country Doctor Community Clinic, professional offices

Meany Middle School & the Nova Project

Miller Community Center

Present Uses

- Retail / Office
- Mixed-use
- Multi-family
- Public Institution
- School
- Park



Site Context: 19th Avenue E

19th Avenue E marks the western edge of the proposed site and is the site's primary frontage as well as the primary connection to the surrounding neighborhood. Zoning along 19th Avenue E is largely residential with single family (SF 5000), predominately at its north end, to low-rise residential (LR2 & LR3) primarily to the south prior to intersecting Madison. Beyond the commercial corridor along Madison, pockets of commercial zoning (NC1-30 & NC1-40) also occur along 19th Avenue E to house services for the surrounding community. In addition to the pockets of commercial zoning, institutional uses such as the Miller Community Center & Playfield, St Joseph's Church & School, and the Stevens School figure prominently along 19th Avenue and further reinforce its central position in the community.

Despite the zoning along 19th Avenue E being NC1-40 for a block to the north and south of the proposed site, the existing buildings proximate to the site reflect a wide range of densities and uses. Along the east side of the street and north of the proposed site are an apartment building (The Parkside) and a mixed-use apartment building (The Park housing Kingfish Café and Fuel Coffee). Immediately south of the proposed site are a mixed-use apartment building (Capitol Court) and two wood-framed structures housing community services (Betty Lee Manor and Country Doctor).

On the west side of 19th Avenue E and immediately opposite the site is a small 10-unit SHA. Further to the south are two single-family houses, an apartment building and a mixed-use apartment building. North of the SHA development is a commercial office complex with a small street frontage occupied by Monsoon restaurant.



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- 1 Country Doctor Community Clinic, Betty Lee Manor & Capitol Court Apartments
- 2 The Park Apartments, 606 19th Avenue E
- 3 Parkside Apartments, 620 19th Avenue E
- 4 Commercial offices, 1818 E Mercer St
- 5 Multifamily housing, 1821 E Mercer St
- 6 Mixed-use building, 501 19th Avenue E

Site Context: E Mercer Street

E Mercer Street borders the northern edge of the site and maintains the tranquil nature of the surrounding residential streets due largely to the wide planting strips and narrowness of the street. The street is moderately sloped down from west to east. The zoning to either side of the intersection with 19th Avenue E is primarily single-family (SF 5000), with a small pocket of more intensive zoning (NC1-40 and LR2) occurring near the intersection and consistent with encouraging a neighborhood center.

Across E Mercer Street to the north of the proposed site is the relatively blank sidewall of the Park Apartment Building and the front of a two-story wood-framed light industrial building (Wood Specialties). Further to the east, the buildings abruptly change to single-family residences. On the south side of E Mercer and on the opposite side of the alley from the proposed site is a three-story multi-family building (Phoenix Condos).

To the west of 19th Avenue E, E Mercer Street has a highly residential character, supported by the modest scale of the SHA development at the SW corner and the large, heavily landscaped buffer at the office building on the NW corner. Further west on E Mercer Street, the buildings immediately change to single-family residences.



- 1 Multi-family housing, 1821 E Mercer Street
- 2 Phoenix Condos, 535 20th Avenue E
- 3 Single family residence, 2003 E Mercer St
- 4 E Mercer Street
- 5 Wood Specialties, 1908 E Mercer Street
- 6 The Park Apartments, 600 19th Avenue E

Site Context: Pedestrian Environment



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The streetscape along 19th Avenue E is characterized by the mature tree canopy that is consistently present from Madison Street north to its terminus at Interlaken Drive E save for some notable exceptions. The sidewalk width fluctuates from block to block, but is usually the width of a typical residential walk (6-feet).

The relationship between the sidewalk and the buildings it passes is dictated by the use of the building. Residential structures, whether single-family houses or multi-family apartments, tend to have large heavily landscaped setbacks with street trees at the curb line. The relationship changes when the building is commercial, as the buildings typically build up to the front lot line with fewer plantings and a stronger street presence. Setbacks at commercial spaces tend to serve as outdoor extensions of the interior space.

In some instances, commercial uses have extended onto the sidewalk where no setbacks have been provided leaving limited space for passers-by and site furniture. Elsewhere commercial spaces have been leased to tenants with no street presence resulting in inactive street fronts.



- 1 Kingfish Cafe, 600 19th Avenue E
- 2 The Park Apartments, 606 19th Avenue E
- 3 Parkside Apartments,
- 4 Monsoon, 615 19th Avenue E
- 5 Multifamily housing, 1821 E Mercer Street
- 6 Apartment building, 509 19th Avenue E
- 7 Capitol Court Apartments, 514 19th Ave E

Context: Existing Site

The project site combines two previously separate lots to form a site of roughly 150' by 120'. Two single-story commercial buildings currently occupy the lot and are proposed to be demolished.

Existing curb cuts, one on 19th Ave E and one on E Mercer St, provide access to an asphalt surface parking lot located in front of the northern building. The surface lot will also be demolished and the curb cuts removed.

A gravel parking lot along the rear lot line of the smaller south lot is currently accessed from the alley and approximates the location of the proposed garage entry.

The four somewhat evenly spaced street trees line the frontage along 19th Ave E are mature European Hornbeams in relatively healthy condition and will be kept. The existing hedge between the sidewalk and surface parking lot will be removed.

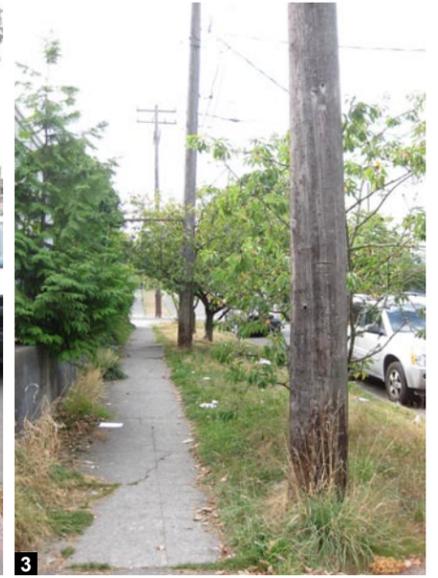
Four small ornamental Cherry trees are currently in the planting strip along E Mercer and will likely be affected by utility work. We would like to replace these trees with more substantial street trees and will discuss with SDOT.



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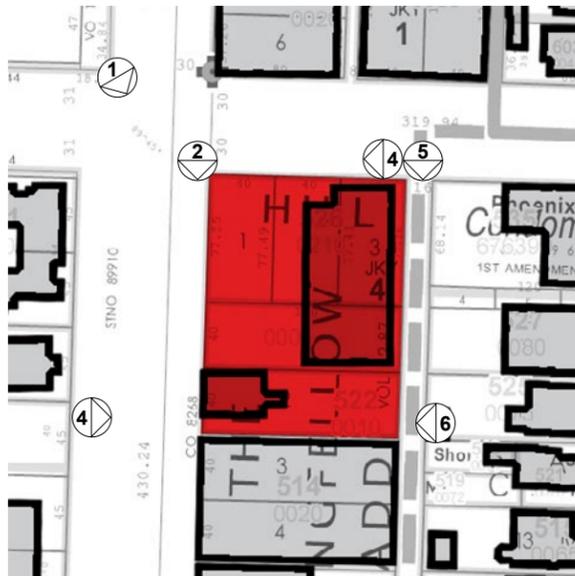
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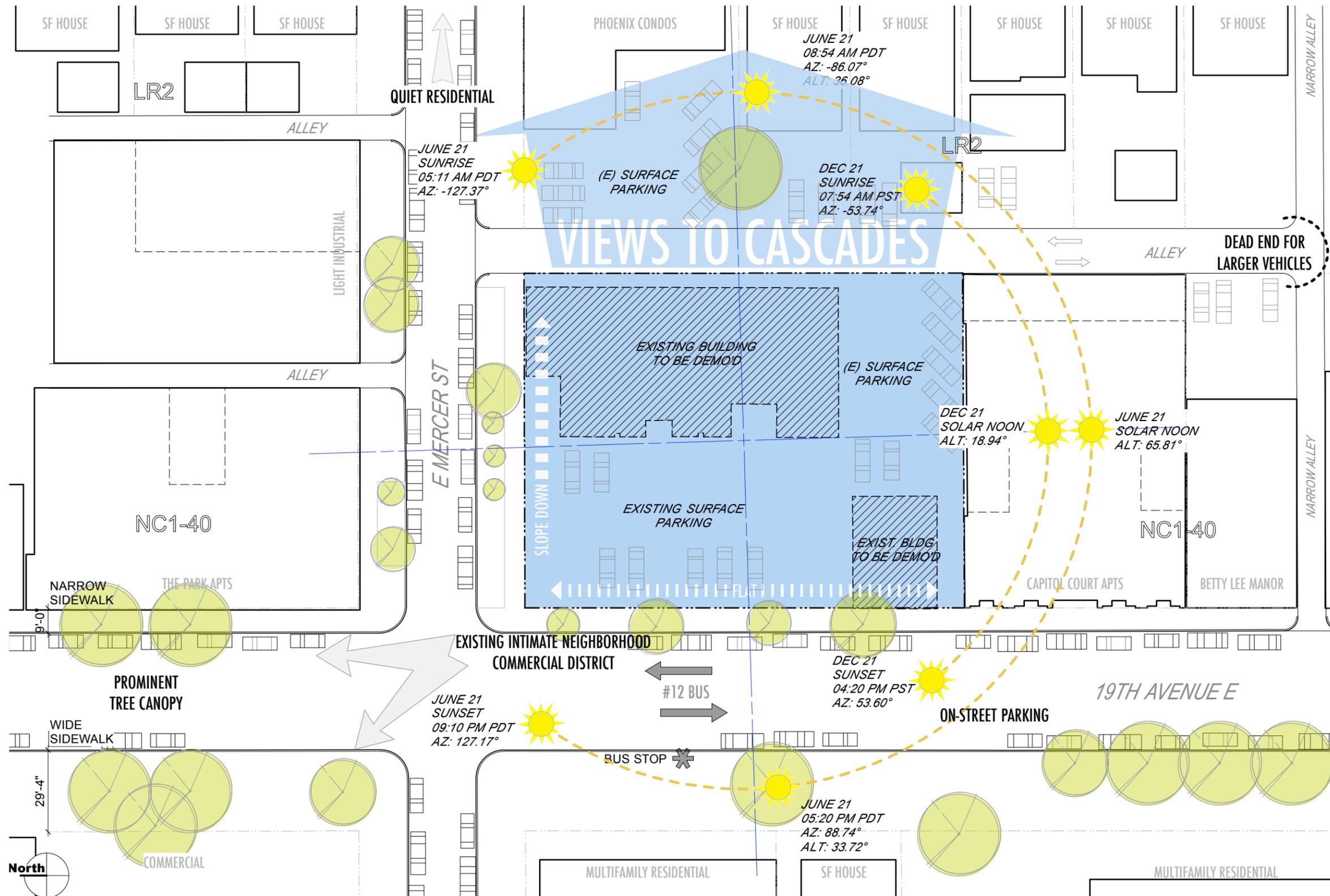
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Context: Preliminary Site Analysis



Topography

- Relatively flat N-S dropping much more steeply W-E
- A slight rise across site N-S of roughly 6-inches with a drop of 5-6 feet W-E
- Alley relatively flat dropping approximately a foot N-S

Neighboring Buildings

- Four-story Capitol Court Apartments abuts south property line
- Three-story Park Apartments located on 19th Ave E to the north of the site adjacent to a one and two-story light industrial building
- Three-story Phoenix Condos located across the alley on E Mercer St
- 20th Ave E is predominately single-family residences with some recent townhouse developments in the vicinity
- Two-story SHA housing complex located across 19th Ave E adjacent to two single-family residences
- 18th Avenue E predominately single-family residences

Existing Alley

- 16-foot wide improved alley to remain

Street Traffic

- 19th Ave E is a collector arterial connecting to Aloha St to the north and Thomas St to the south
- MT #12 runs N-S on 19th Ave E and is the only bus service within 4 blocks east or west
- E Mercer St is narrow with limited through traffic

Streetscape

- Narrow tree-lined sidewalk along 19th Ave
- Wide planting strip and heavy vegetation along E Mercer St

Solar Access

- Good morning and late afternoon light access; mid-day light impeded by Capitol Court building

Building Mass

- Desire to reinforce urban edge along 19th Avenue and address corner and unique block structure north to the north

View Access

- Partially tree obscured territorial views to the east likely at the third and fourth levels

Envelope Analysis

Structure Height

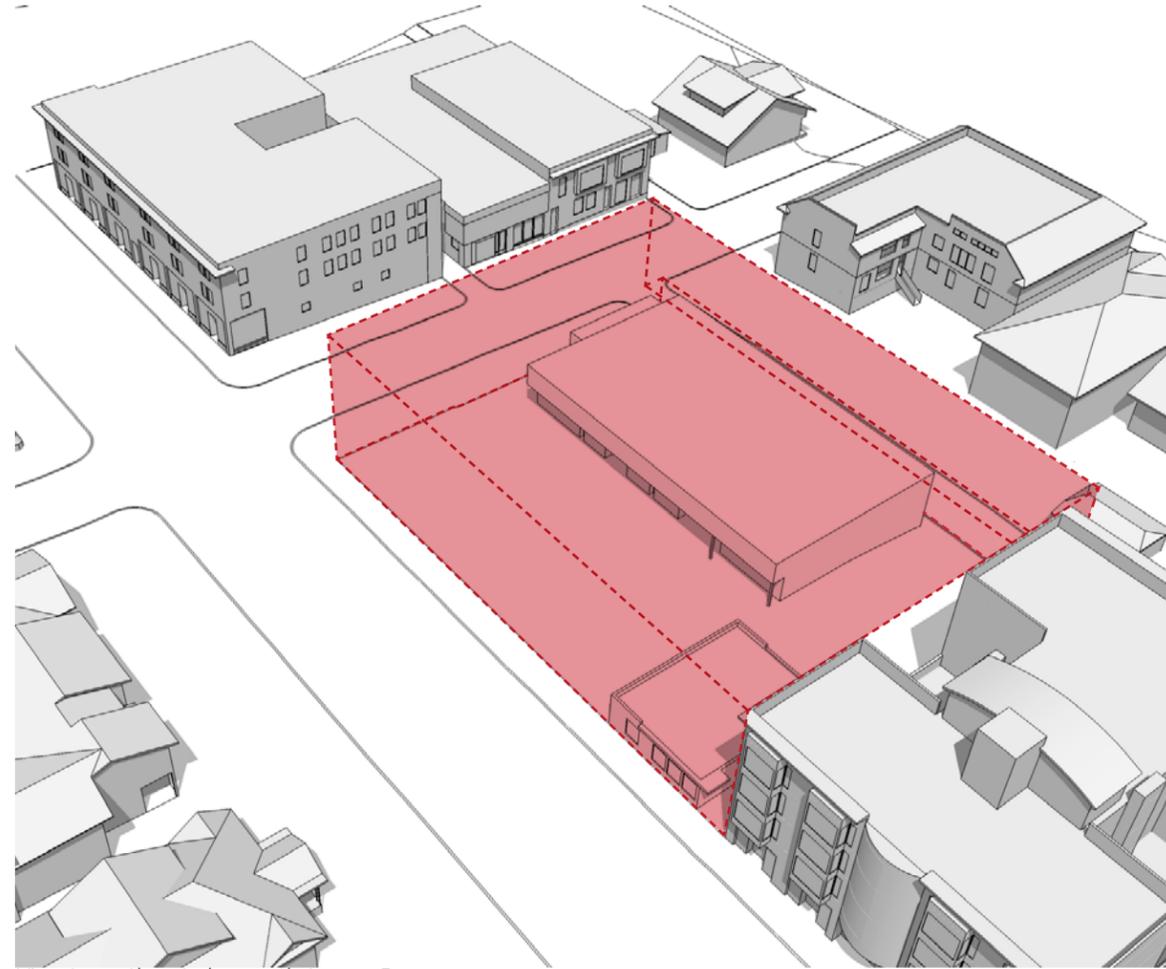
- The underlying site zoning specifies a maximum structure height of 40' (SMC 23.47A.012 A)
- A additional four-feet of structure height is permitted when a floor-to-floor height of at least 13' is provided for non-residential uses at street level and the Director determines the additional height will not affect views to natural features and the downtown skyline (SMC 23.47A.012 A1)
- The average grade plane elevation is +371.22' resulting in a maximum elevation of +415.22'

Floor Area Ratio

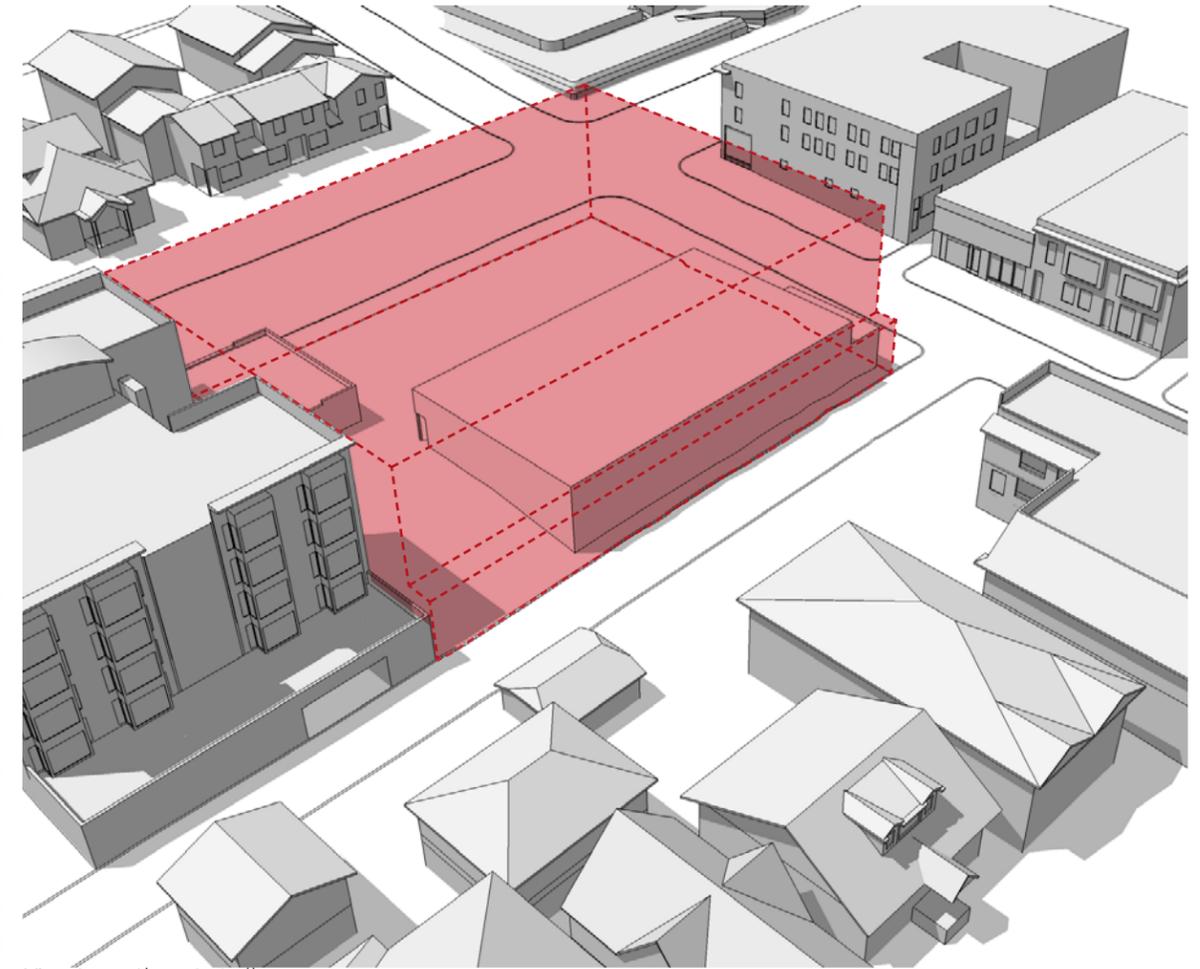
- The maximum allowable FAR for residential and non-residential mixed-use is 3.25 per SMC23.47A.013 Table A
- The aggregate lot area of the proposed site is 18,944-sf
- The allowable gross area of the building is 61,568-sf
- Portions of the structure that are completely underground are exempt from FAR limitations (SMC 23.47A.013 D6)

Setback Requirements

- A fifteen foot setback required at rear lot line when across an alley from a lot in a residential zone for any portion of a structure above 13-feet up to 40-feet, increasing by 2-feet for each 10-feet above 40-feet (SMC23.47A.014 B3)
- One-half the width of the abutting alley may be counted as part of the required setback (SMC 23.47A.014 B4)



View to northeast above 19th Avenue E

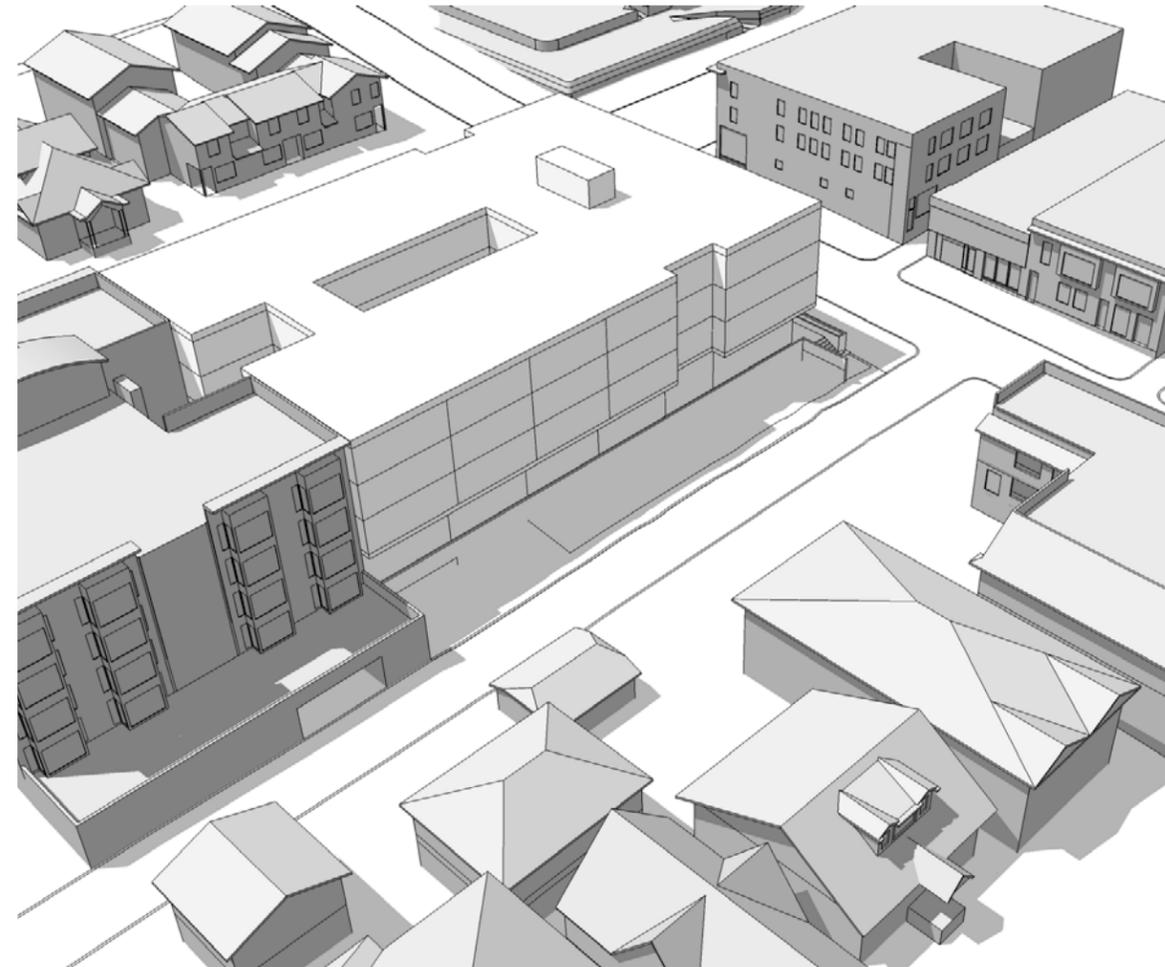


View to northwest at alley

Design Proposal: Alternate 3 – Courtyard Block (Preferred)



View to northeast above 19th Avenue E



View to northwest at alley

Like the previous alternates, the Courtyard Block provides continuous retail at street level, but with a marginally less efficient residential floor plate above.

Approximately 6,200-sf of commercial space is provided at street level along with a widened restaurant terrace and sidewalk along 19th Avenue.

Three and a half residential levels yield 50 residential units comprised of 26% two bedrooms, 42% one-bedrooms and 32% studio units with an average unit size of 760-sf and nearly 2,000-sf of residential storage.

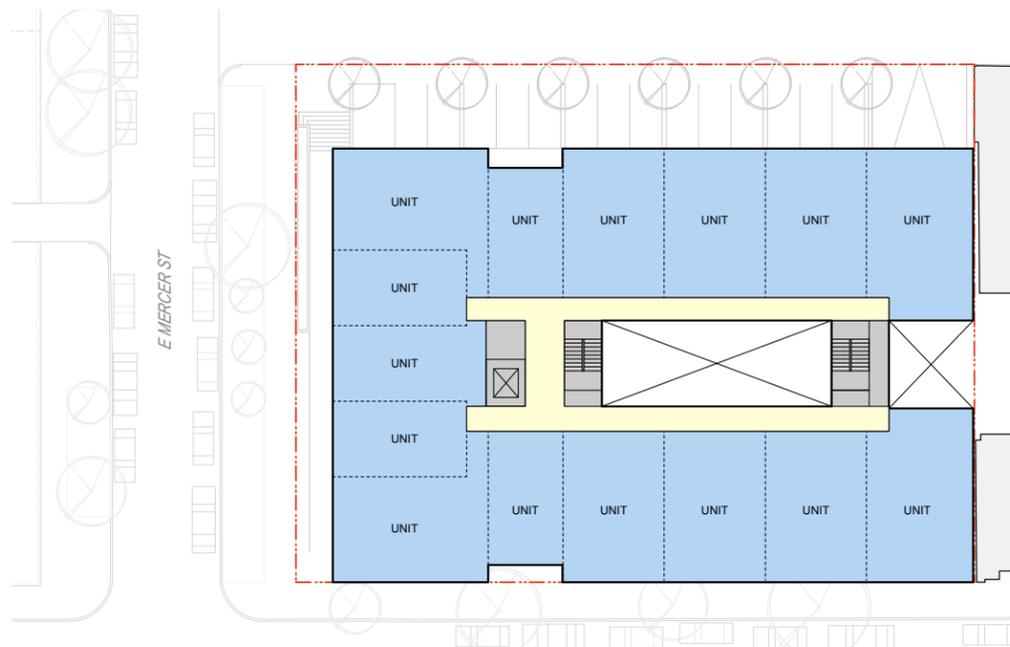
An enclosed parking garage entered near the southeast corner of the site contains 35 parking spaces with an additional 14 surface parking spaces located off alley. Six spaces are required for commercial use leaving 43 spaces for a 0.86 resident parking ratio.

Advantages

- Provides day-lit, ventilated corridor
- Minimizes garage size
- Wider terrace adjacent to restaurant
- Wider sidewalk with weather protection
- Addresses courtyard of adjacent building

Disadvantages

- Parking along alley requires departure
- No sight triangle at garage entry
- Requires counting public space to satisfy resident amenity space requirement



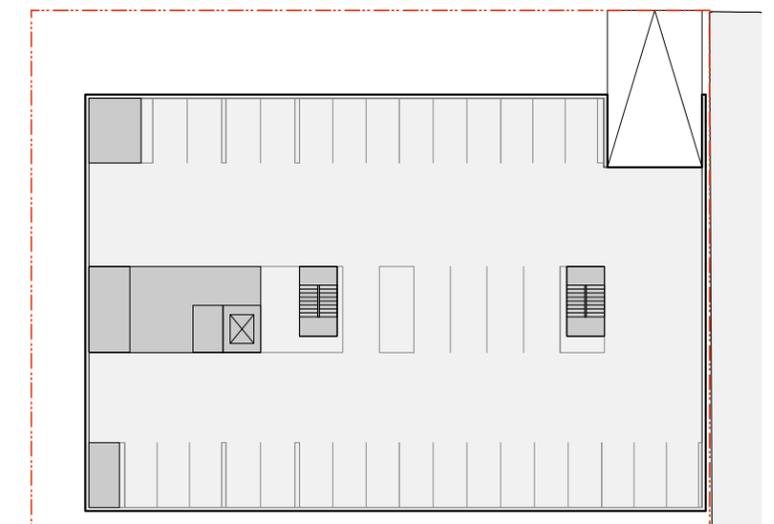
Typical residential level

19TH AVENUE E



Street level

19TH AVENUE E



Parking level

Requested Development Standards Departures

At the time of the Early Design Guidance meeting, the project team anticipated four potential development standard departure requests. In the course of developing the design and refining the zoning code analysis for the proposed project, four Development Standard Departures were identified and two previously noted departures were reclassified as Type I Administrative Departure Requests.

The first two departure requests, Development Standard Departure Request #1 & #2, concern resident amenity space. Only one of the two requests is necessary for the project to proceed as proposed.

Development Standard Departure Request #3 seeks leniency on the sizes required for commercial spaces in an effort to create a clear separation between commercial and residential parking—commercial parking along the alley and residential within the garage.

The last departure request, Development Standard Departure Request #4, concerns the terrace along E Mercer Street which causes the street level building enclosure location to be greater than allowed from the street property line.

NO	STANDARD	REQUEST	RATIONALE
1	<u>SMC 23.47A.024 A Residential Amenity Area</u> Provide amenity areas equal to 5% of the total gross floor area in residential use	To provide less than the 5% residential amenity space. Propose 4.25% (1,857-sf), which is 317-sf less than required	The proposal provides 1,857-sf of qualifying amenity area at the central courtyard space. This area is equivalent to 85% of the code required amenity area (2,174-sf) and is of sufficient size, dimension and location for all residents of the building to utilize. Other spaces (street level balconies [425-sf], restaurant terrace [1,282-sf] & the widened sidewalk along 19th Avenue [632-sf]) are provided as part of this project that do not qualify as residential amenity space based on size, location or access, but serve as amenities to residents and should be considered as part of the departure request
2	<u>SMC 23.47A.024 B5 Private Balcony Dimension</u> Private balconies to be 60-sf minimum with no horizontal dimension less than 6 feet	Allow balconies not meeting minimum depth requirement of 6'-0" to be counted as residential amenity space	The balcony spaces at the east side of the ground level residential units meet or exceed the minimum area requirements for residential amenity spaces (one at 65-sf and four at 90-sf for a total of 425-sf). The balconies extend along the full width of the units. Additional depth would reduce the enclosed area of the units. Paired or sliding doors will be provided to improve access to the outdoor space at each unit
3	<u>SMC 23.54.030 B2 (a) Nonresidential Parking Space Ratios</u> When providing 11–19 parking spaces, a minimum of 25% of the spaces up to a maximum of 65% shall be striped for small vehicles and a minimum of 35% shall be striped for large vehicles	Allow 100% of nonresidential parking spaces provided to be striped for small vehicles	The code requirement for nonresidential parking is 5 spaces of which 75% (4 spaces) are required to be large spaces. The proposal provides 13 spaces yielding a requirement of 5 large spaces. The 13 small surface spaces provided along the alley for nonresidential use provides quick and easy access for nonresidential use and the location at exterior of the building provides a clear, secure separation of residential and nonresidential uses
4	<u>SMC 23.47A.008 A3 Basic Street Level Requirements</u> Street-level street-facing facades to be located within 10-ft of the property line unless wider sidewalks, plazas or other landscaped or open spaces are provided	Allow street level facade along E Mercer Street to be located approximately 13'-6" from the street lot line	The outdoor terrace located along E Mercer Street is intended to engage the street and complement outdoor dining experience of neighboring restaurants to the north of the site. To provide adequate space for dining, a set back of approximately 13'-6" is provided.

NO	STANDARD	REQUEST	RATIONALE
1	<p>SMC 23.47A.016 D1 (c) 2 Landscaping & Screening SMC 23.47A.032 G Parking Screening</p> <p>Surface parking across an alley from a lot in a residential zone must have 6-foot high screening along the abutting lot line and a 5-foot deep landscaped area inside the screening</p>	<p>Eliminate screening and landscape buffer requirement to allow parking spaces to be accessed directly from the alley</p>	<p>Three parcels are located on the opposite side of the alley from the proposed project. All are zoned Ir-2. The two northernmost parcels are multifamily uses and have existing on-grade parking abutting the alley. The southernmost parcel is single family and has a garage abutting the alley. The proposed on-grade parking is compatible with current uses along the alley in the vicinity of the project and is consistent with the waiver criteria described in smc 23.47A.016 D1e(2)</p> <p>Additionally easily accessed commercial parking provided along the alley would increase its use by nonresidents and lessen parking impact resulting from the proposed project. Use of permeable pavers, trees and other landscaping will serve to mitigate its appearance</p>
2	<p>SMC 23.54.030 D3 Driveway Slope</p> <p>No portion of a driveway shall exceed a slope of 15 percent</p>	<p>Allow a parking garage entry driveway slope of 15.7%</p>	<p>The code section allows authorization of a steeper slope based on site topography provided the additional slope permitted is the least amount necessary and is still useable as access to the lot.</p> <p>The entry ramp is located at the low point of the site and accessed directly from an existing improved alley (el +367.31'). The street level slab elevation is established by the need for street level access along 19th ave e (+373.04'), A change in elevation of 5.73' (5'-8 3/4").</p> <p>The driveway must provide access to an ada accessible van space with a required minimum clearance of 8'-2". The change in elevation is reduced by the structural slab thickness, insulation and necessary equipment allowances (overhead door & fire sprinklers). To lessen the amount of slope required at the entry ramp, the east half of the ground level slab is raised 2-1/2". In order to achieve the necessary clearances a slope of 15.7% is required.</p>

Two previously noted potential departures have been determined to be Type I Administrative Departure Requests. Justification for these departures are made to and granted by the Director, but the Design Review Board can review and advise DPD on the requests.

The first departure request, Administrative Departure Request #1, involves two sections of the land use code pertaining to the screening and buffering of surface parking when adjacent to a residential zone.

Administrative Departure Request #2 concerns the steepness of the parking garage entry ramp.

Response to Early Design Guidance

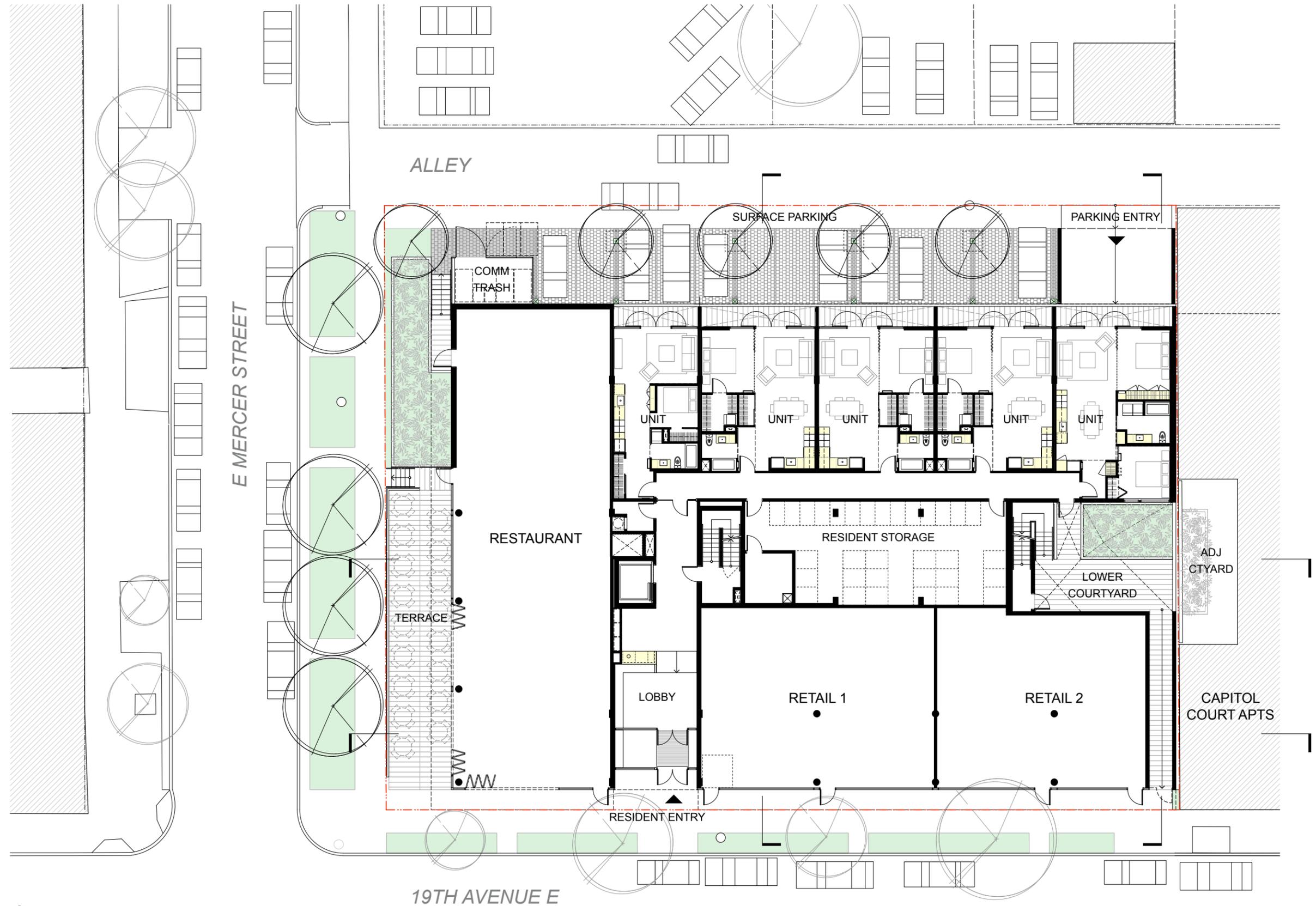
The following siting and design guidance were identified by the Design Review Board members at the Early Design Guidance meeting and noted in the published meeting notes.

GUIDELINE	GUIDANCE	RESPONSE
<p>A-2 Streetscape Compatibility. The siting of the buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.</p>	<p>The upper levels of the proposed building extend beyond the wall of the first floor by setting back the storefronts. This increases the width of the sidewalk along 19th Avenue E and provides a modest shelter above it. The Board observed the potentially awkward condition for the pedestrian at the juncture of the new structure and the different setback of the adjacent building to the south.</p>	<p>This guideline specifies “acknowledging and reinforcing desirable spatial characteristics of the existing right-of-way.” In this circumstance, the existing sidewalk width and street tree pits create a walkway that is too narrow to support the required street level commercial uses thus necessitating the setback. To mitigate any potential awkwardness at the juncture with the Capitol Court Apartments to the south, the planting beds have been shortened to provide an approximately 13’ wide sidewalk to ease the transition. Additional plantings have been added to address concerns about exposing the side of the building. Please see pages 40-41</p>
<p>A-5 Respect for Adjacent Sites. Buildings should respect adjacent properties by being located on their sites to minimize disruption of privacy and outdoor activities of residents in adjacent buildings.</p>	<p>See guidance for A-7.</p>	<p>The enclosed egress stair has been opened to join the courtyard with the light court (now referred to as the “lower courtyard”). For purposes of structural efficiency, egress requirements and better distribution of light and ventilation along the corridors, the open stair bridges between the residential wings. The courtyard has been widened approximately two-feet to allow the stair to be a single run configuration to increase visibility and connection to the lower courtyard. The plantings and paving provide connectivity, and demarcate separate spaces (“living rooms”) intended to promote use by multiple groups. Widened walkways beside the stair at each level provide additional opportunity to enjoy the space. A cascading stair between the upper and lower courtyards connects the spaces while maintaining the egress pathway.</p>
<p>A-7 Residential Open Space. Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.</p>	<p>The Board endorsed Scheme #3 with the conjoining courtyards. How these adjoining open spaces work together to enhance their use and avoid an awkward transition needs careful attention. An open stair within the courtyard is preferable. Reorienting the stair may result in a more dramatic space. The quality of the courtyard will influence the Board’s decision on the related departure.</p>	<p>The 1,857-sf of amenity space the courtyard provides (excluding the raised walkways connecting floors) now represents 85% of the required amenity area. Should a departure be granted for the minimum balcony depth requirement, the project provides ample residential amenity area to forego pursuing a departure from the residential amenity area requirement. Please refer to Development Standard Departure Requests #1 & #2 on page 12.</p>
<p>A-8 Parking and Vehicle Access. Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties, and pedestrian safety</p>	<p>See guidance for D-8</p>	<p>Concerns about the commercial trash collection and storage stemmed primarily from its proximity to an adjacent terrace shown along the length of the building’s north side in the preferred option and adjacent to the proposed path of travel from the alley to the restaurant space. It was suggested that the trash enclosure be shifted to the south away from the path of travel and terrace.</p>
<p>D-6 Screening of Dumpsters, Utilities and Service Areas. Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.</p>	<p>See guidance for D-8.</p>	<p>The configuration of the alley is difficult for collection vehicles to navigate. We feel locating the trash enclosure at the north end of the site proximate to E Mercer St is advantageous for collection vehicles and its adjacency to the proposed restaurant space is necessary. The location also avoids burdening the street level residential units with the noise and odor associated with restaurant trash. To address the Board’s specific concerns about proximity to the terrace and path of travel, the terrace design has been revised to create two separate zones—dining to the west and service to the east with a large stormwater planter buffering the two spaces. The proposed path of travel to the restaurant from alley parking spaces is by way of the existing sidewalk on E Mercer Street, which is likewise buffered by the planter.</p>
<p>D-8 Treatment of Alleys. The design of alley entrances should enhance the pedestrian street front.</p>	<p>Noting their reservations regarding the allowance of parking adjoining the alley, the Board members stated a desire for a truly operational alley and adjoining service / parking area that accommodates trash and recycling retrieval, accommodates garbage trucks, shifts the commercial trash away from E Mercer Street and the adjacent open space, and considers the habitability of the residential units overlooking the parking and alley. The area should be well designed with generous plantings. The Board urges the applicant to meet with SDOT to resolve the edges of the alley and E Mercer Street to accommodate trucks. The parking area should have permeable pavers rather than asphalt.</p>	<p>Residential trash and recycling collection occurs internal to the building at the parking level. On collections days, the building management will transport the containers to the alley to be staged in front of the commercial trash enclosure. This location provides proximity to E Mercer Street to ease collection, but is also 14’ from the public walkway with intervening landscape to minimize its impact. The relationship of the street level residential units to the parking along the alley is aided in part by the topography of the site, which provides a separation in floor/grade elevation of approximately 5’ – 5-1/2’ along the residential units. A series of small balcony spaces along the alley provides additional separation from the parking improving security, controlling sight lines and mitigating glare from headlights within the units. Finally, the appearance, durability and thoughtfulness of the plantings and paving at the alley were cited for their importance to enduring success of the design. Permeable paving, vines and trees interspersed between parking spaces were proposed in support of the preferred option at the EDG meeting. Further refinement of the design has led to plant and material choices that provide durability and low maintenance while achieving the desired aesthetic and usability. Refer to pages 36-39.</p>

GUIDELINE	GUIDANCE	RESPONSE
<p>C-4 Exterior Finish Materials. Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.</p>	<p>The Board did not discuss this guideline, but the choice and detailing of materials will likely be a consideration at the Recommendation meeting.</p>	<p>Annotated elevation drawings are shown on pages 22-27. Information about materials are outlined on page 53.</p>
<p>D-9. Commercial Signage. Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.</p>	<p>An example of the type of commercial signage should be presented at the Recommendation meeting.</p>	<p>Commercial signage is depicted in the renderings shown on pages 41 and 44</p>
<p>D-10 Commercial Lighting. Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building facade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscape areas and / or on signage.</p>	<p>The applicant will need to present a conceptual commercial lighting plan for the Recommendation meeting.</p>	<p>Pages 46-47 describe the intended exterior lighting concept at street level with cut sheets of intended lighting fixtures. Lighting in the street level commercial spaces will be selected and provided as part of tenant improvements conducted by future tenants in these spaces. Pages 48-49 provide evening renderings.</p>
<p>D-11 Commercial Transparency. Commercial storefronts should be transparent, allowing a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.</p>	<p>Images presented at EDG indicated generous storefront glazing.</p>	<p>Please refer to the elevation drawings on pages 22 and 24-25 for a depiction of the glazing along the 19th Avenue E and E Mercer Street frontages.</p>

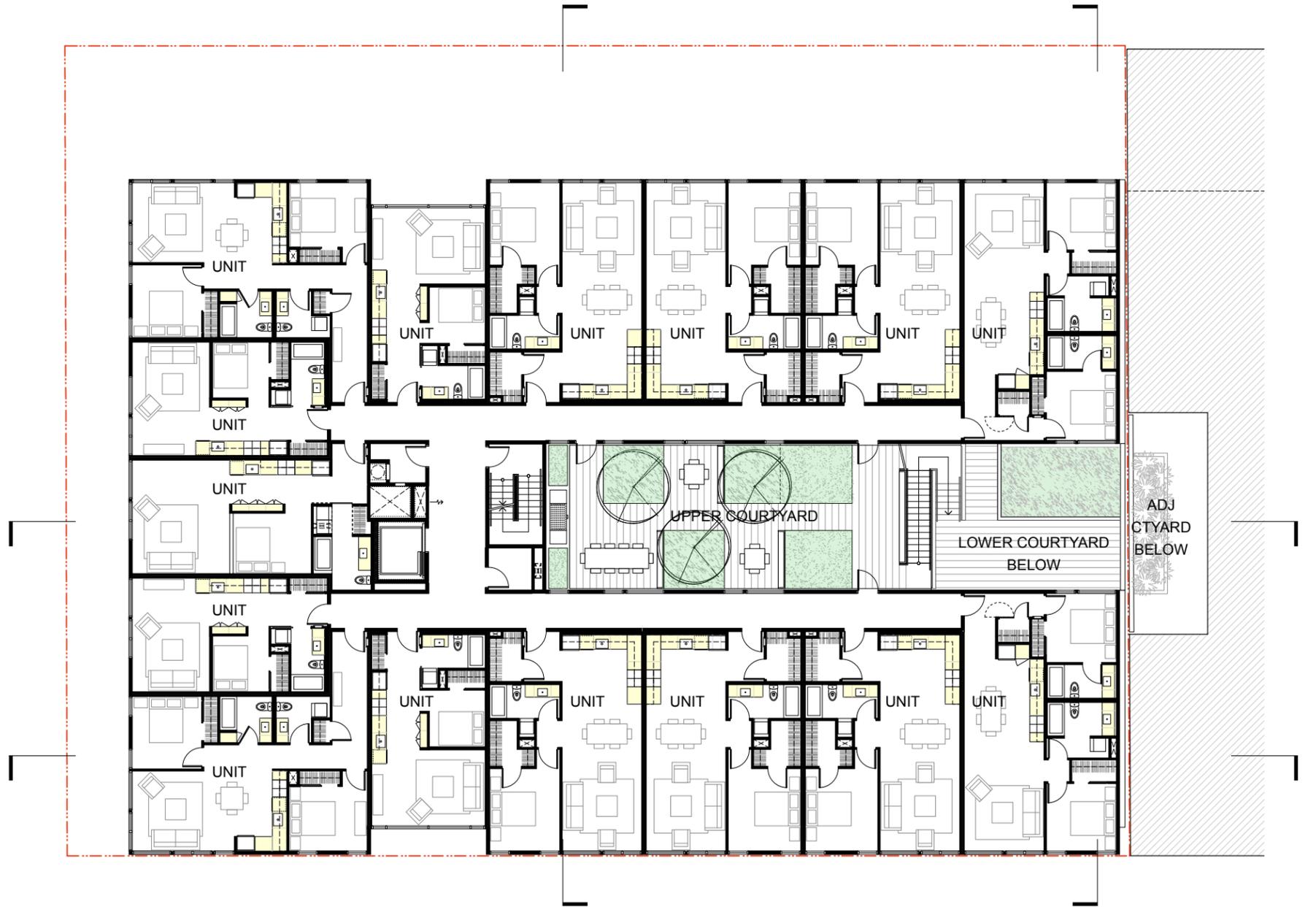


Design Proposal: Street Level Floor Plan





Design Proposal: Second Level Floor Plan





Design Proposal: West Elevation , 19th Avenue E



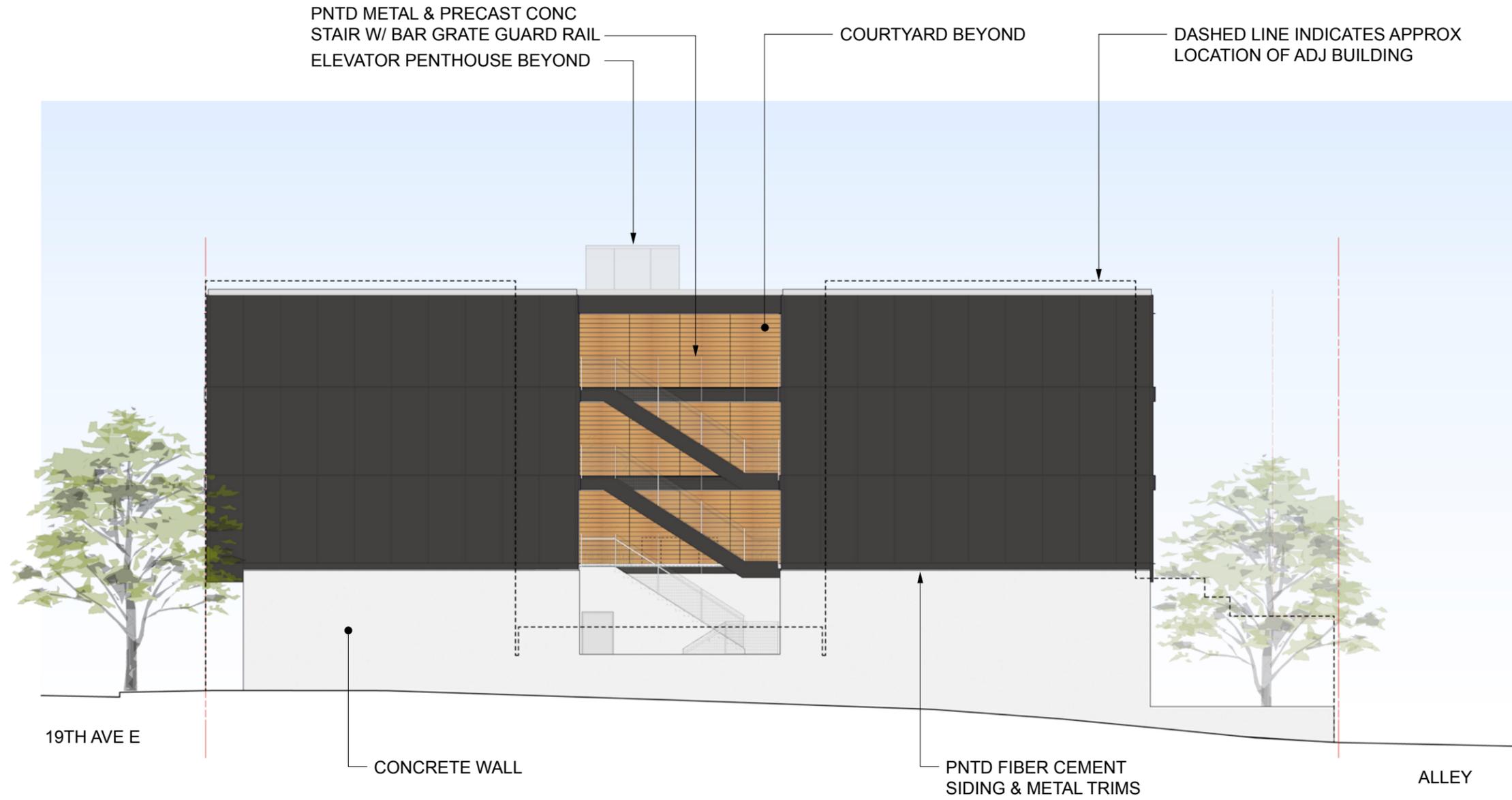


Design Proposal: North Elevation, E Mercer Street



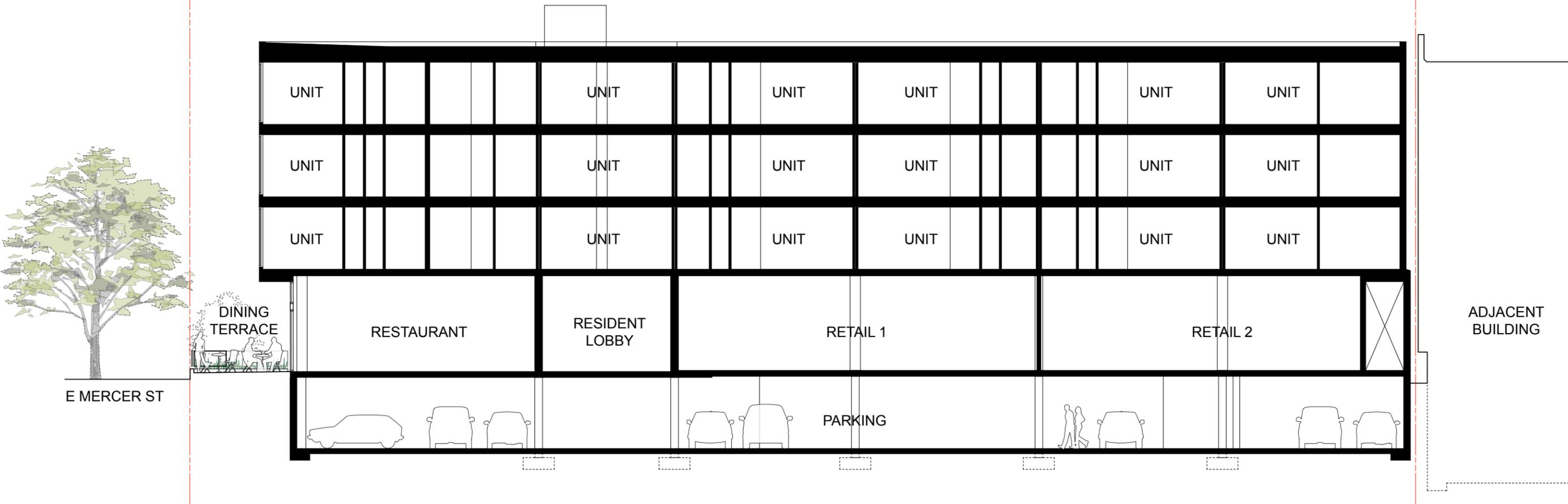


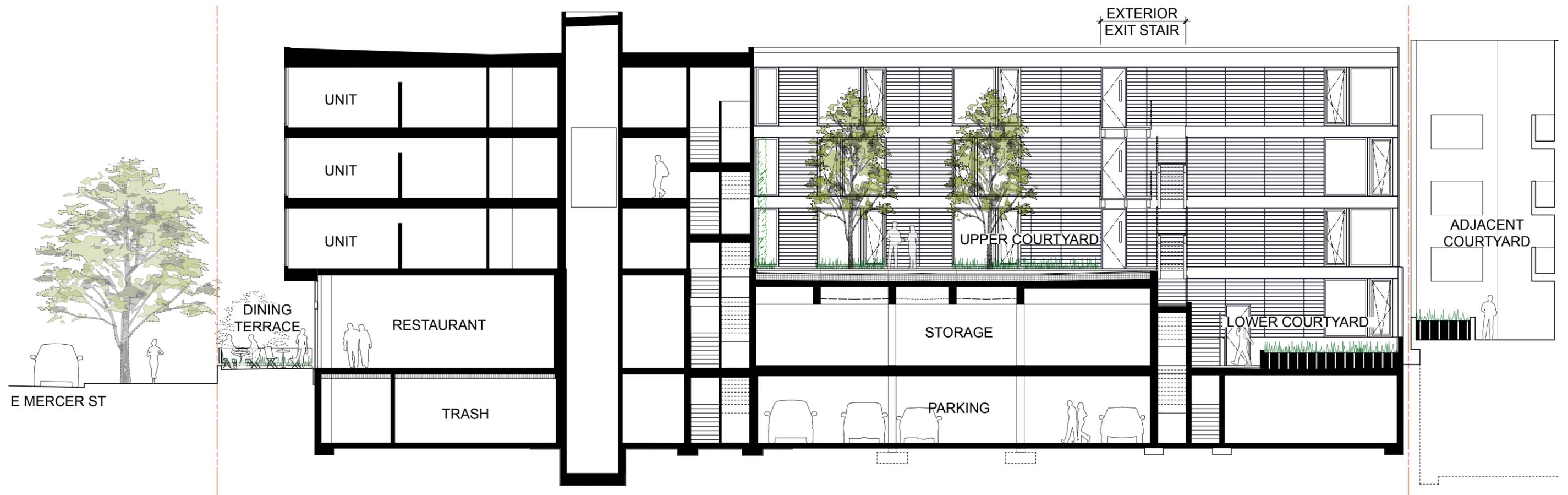
Design Proposal: South Elevation at Property Line

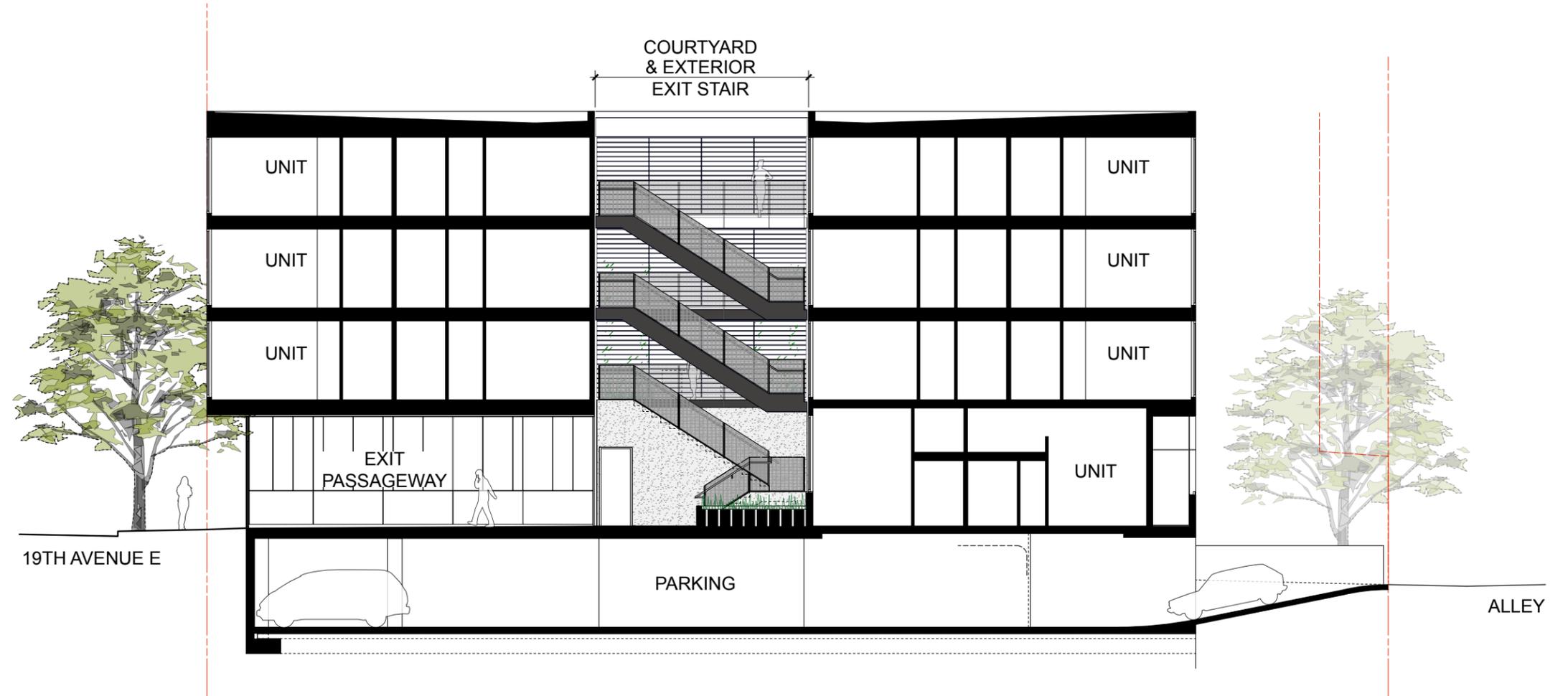


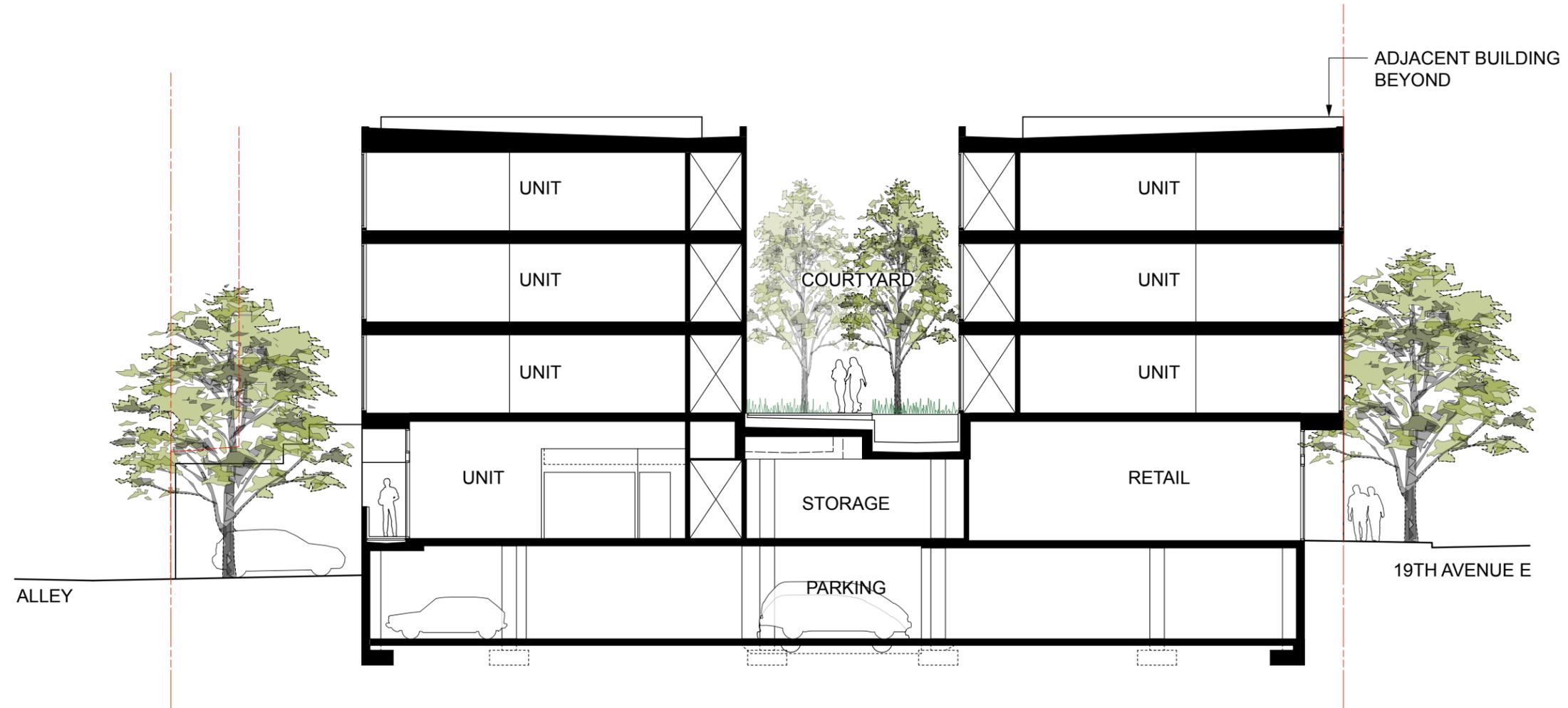


Design Proposal: Building Section

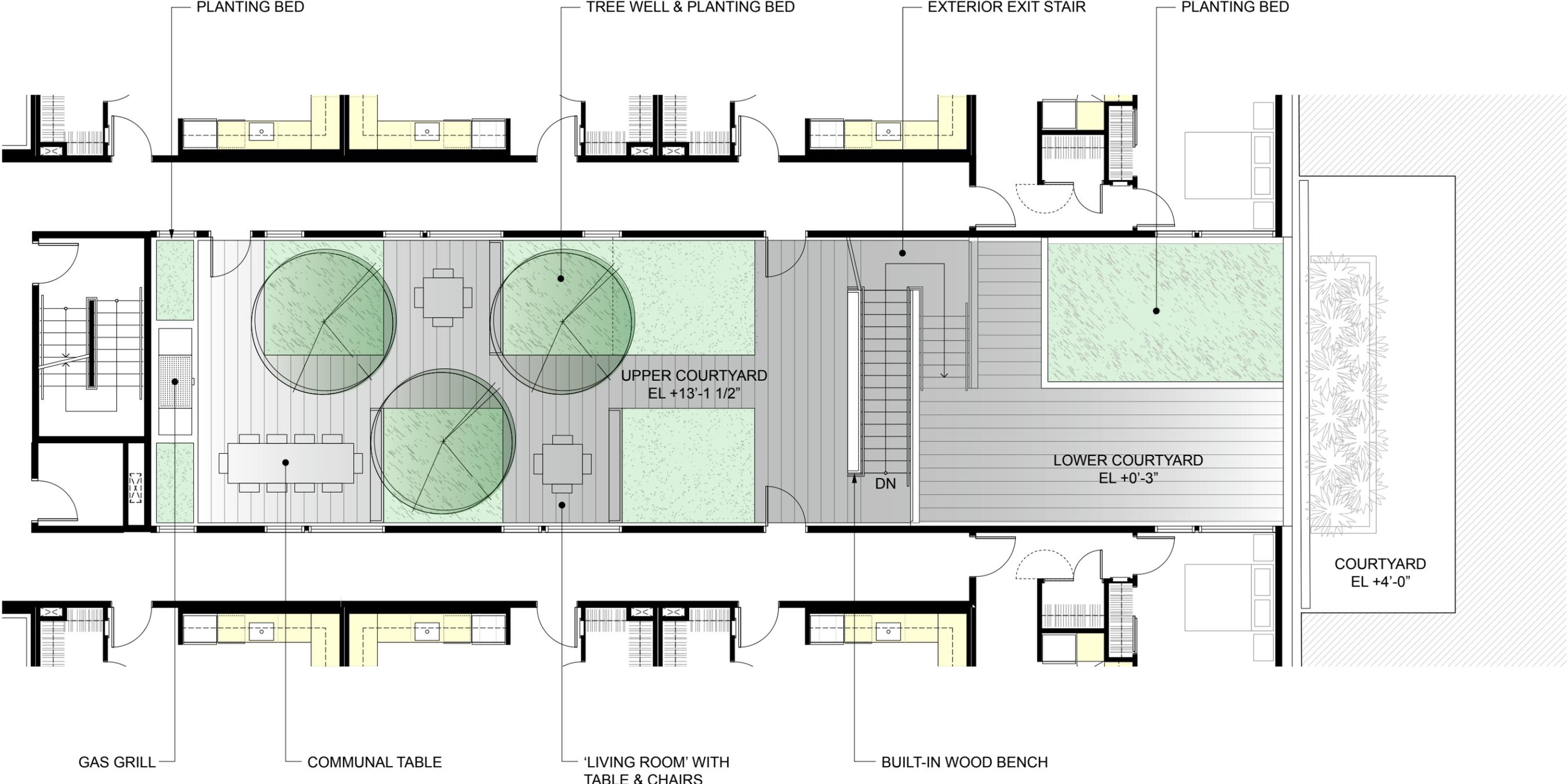






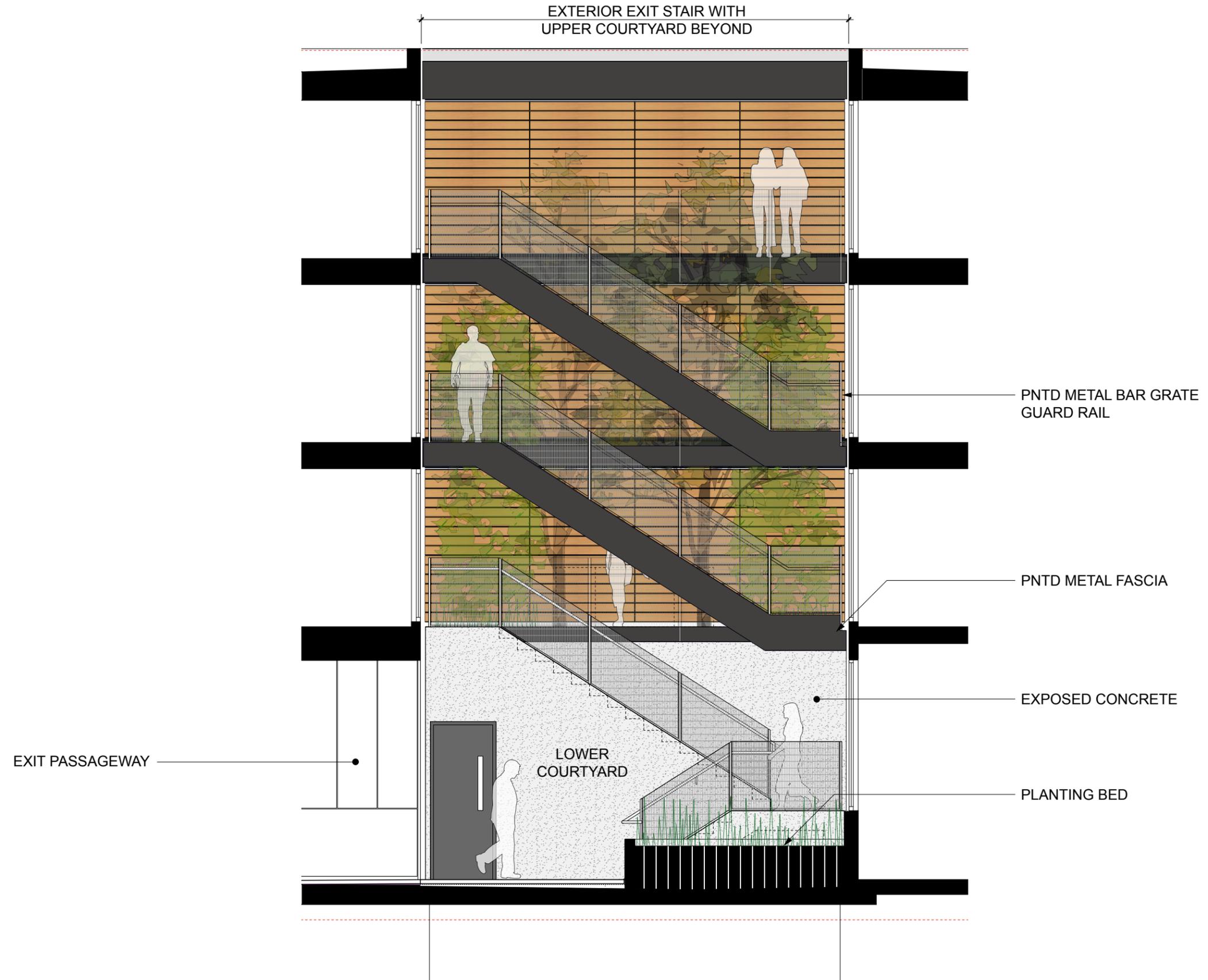


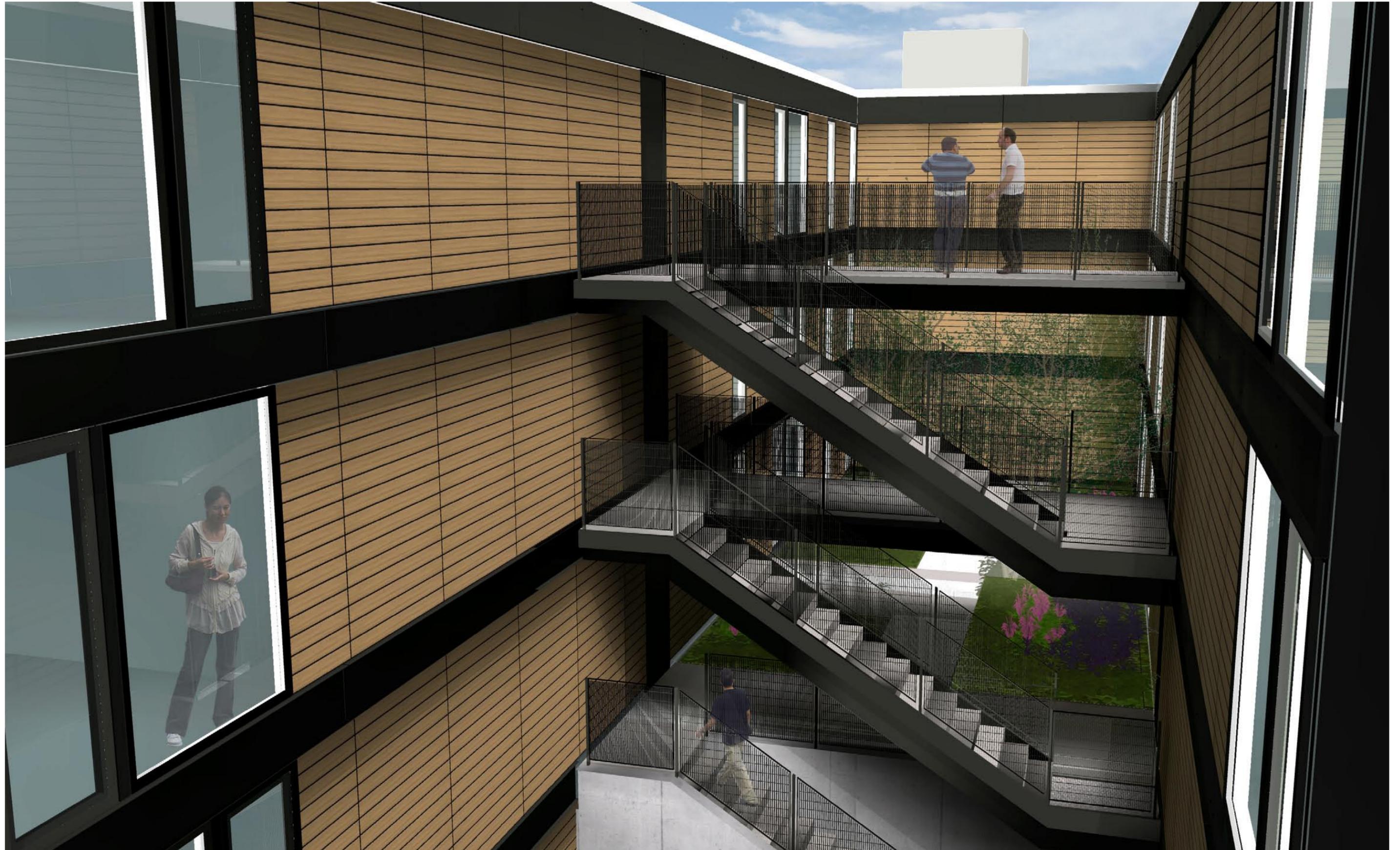
Design Proposal: Upper & Lower Courtyard Plan



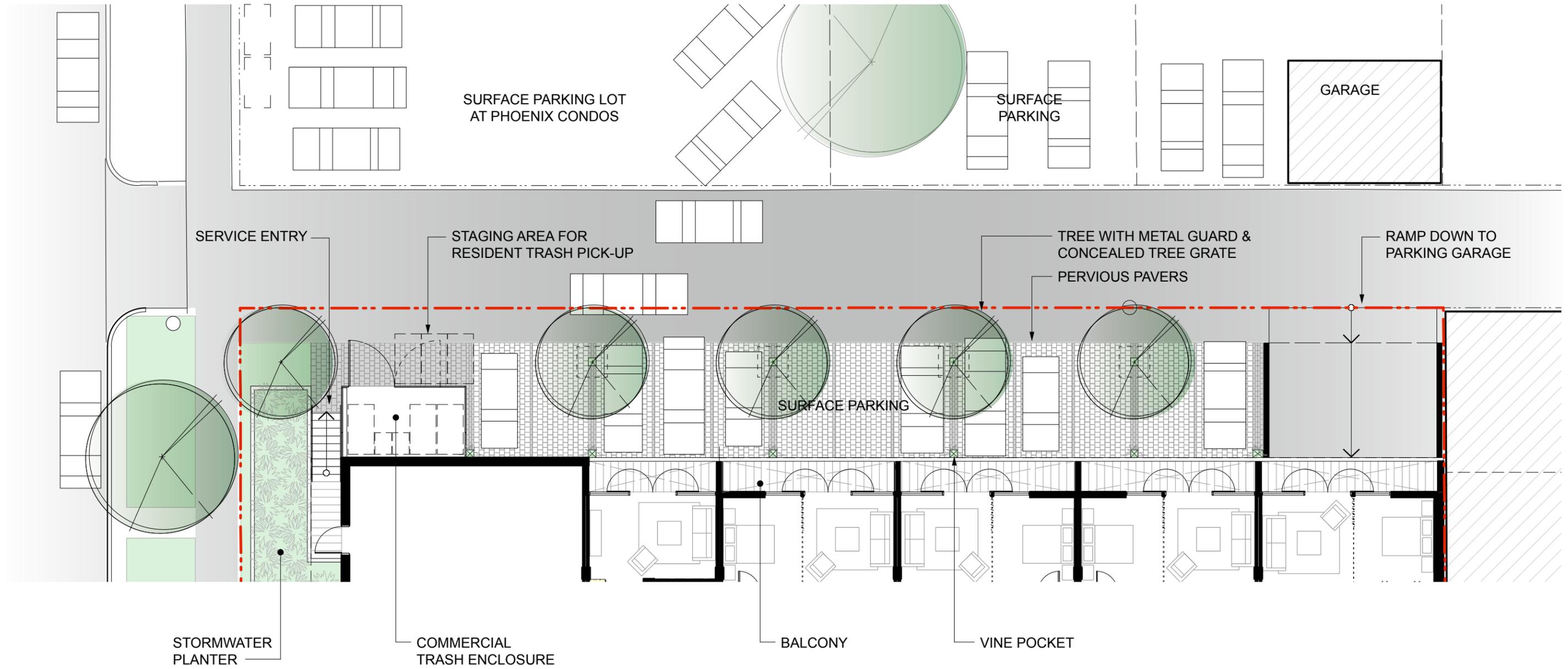


Design Proposal: Partial Stair Section & Elevation



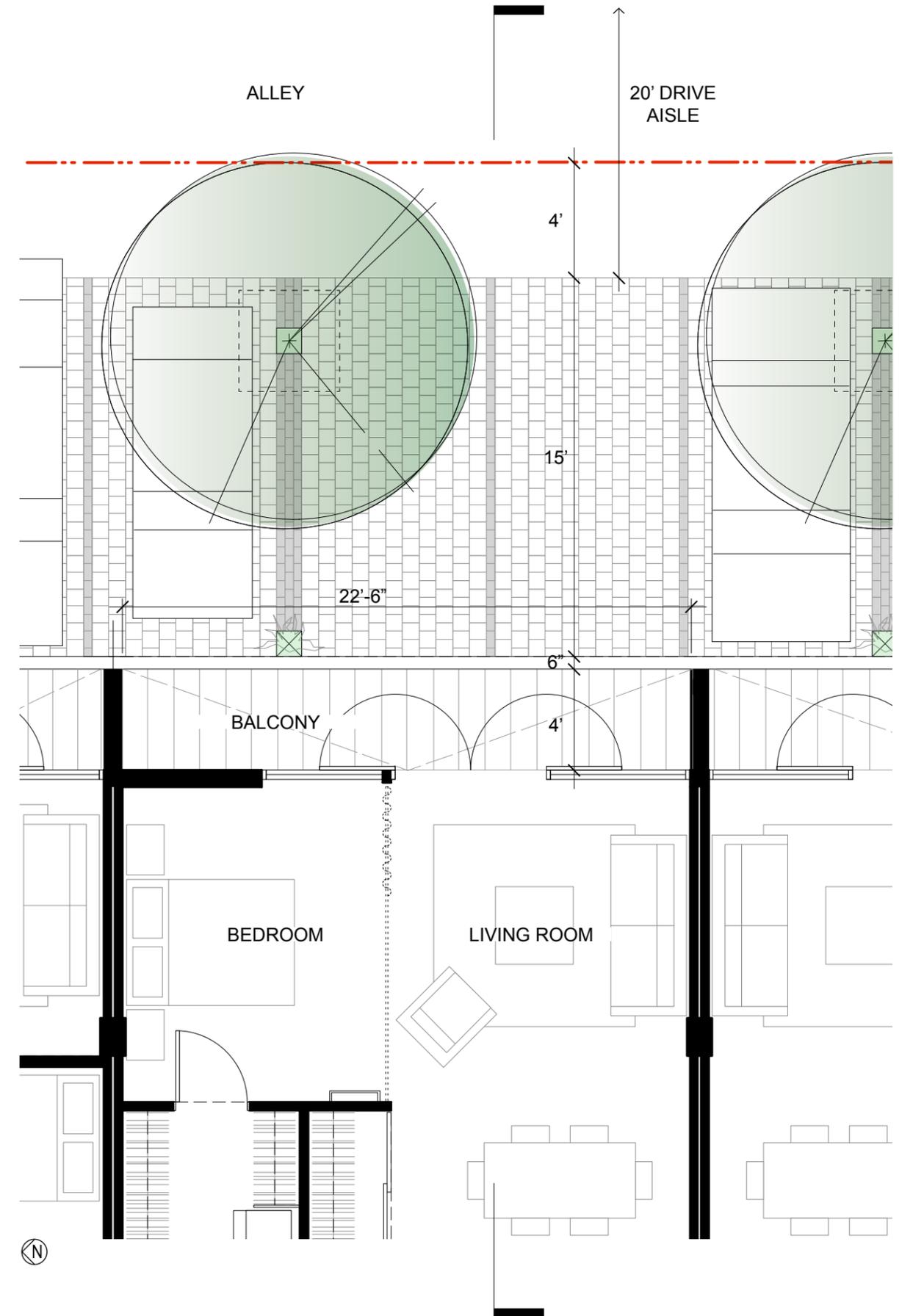
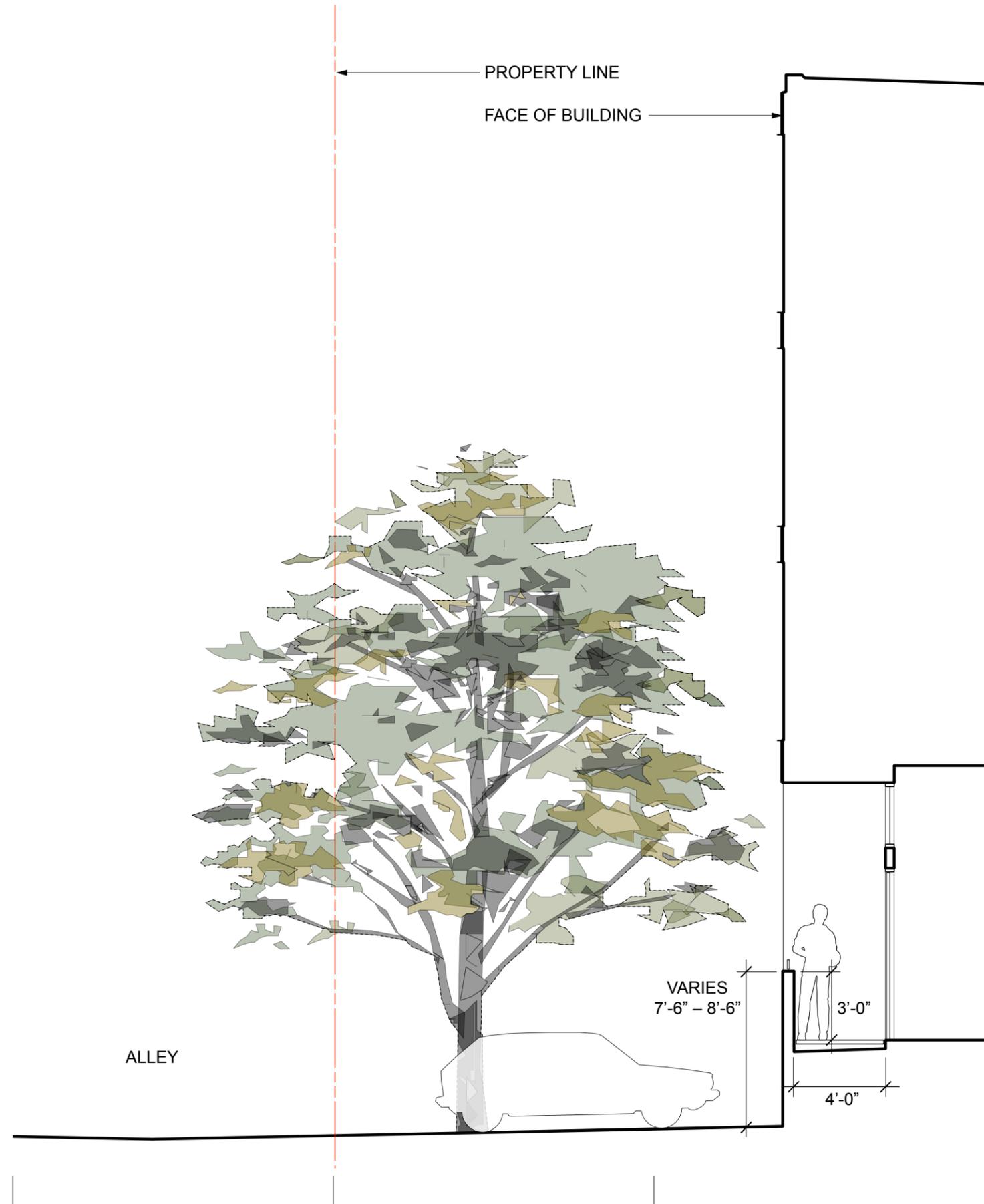


Design Proposal: Partial Alley Plan



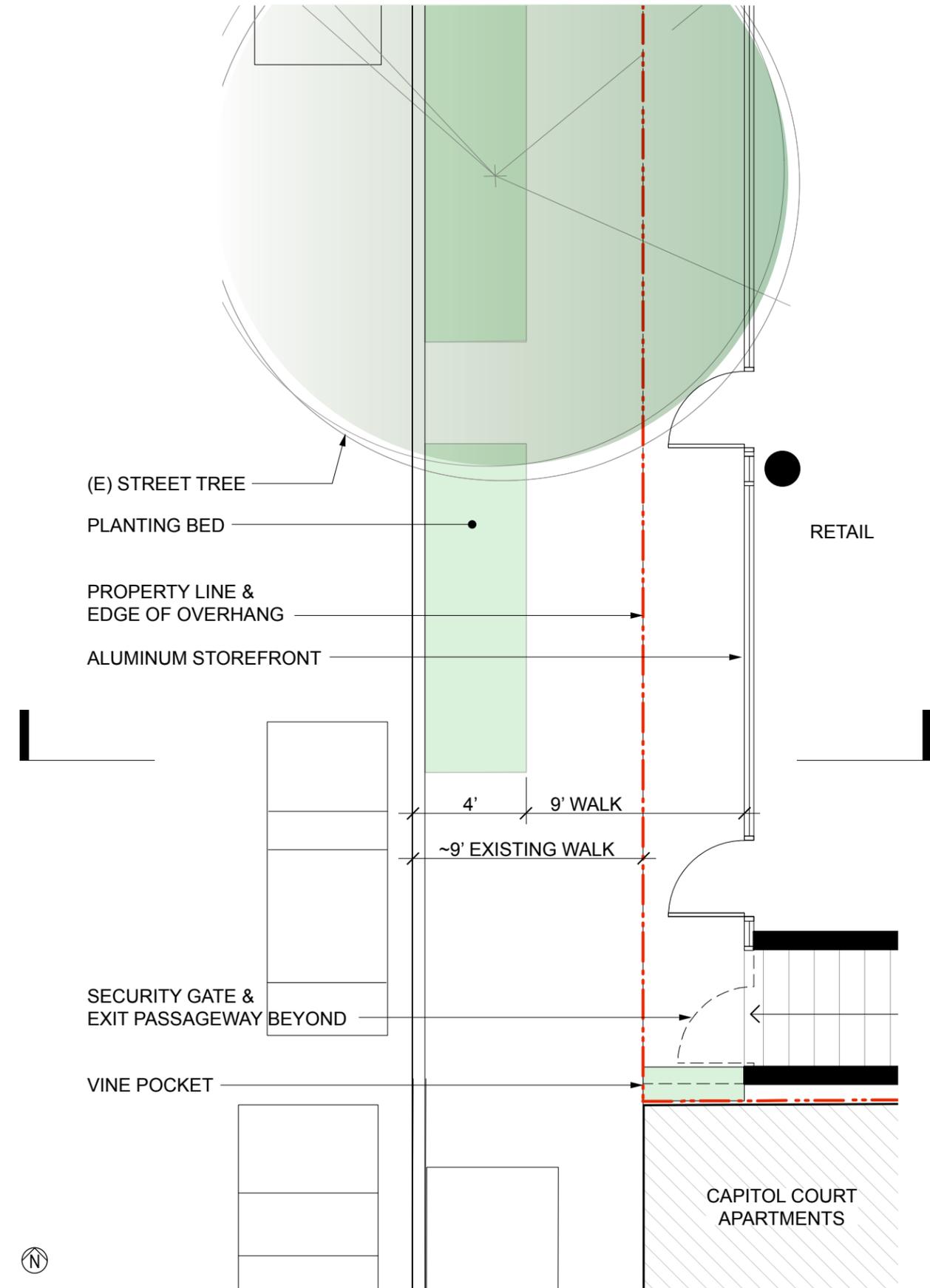
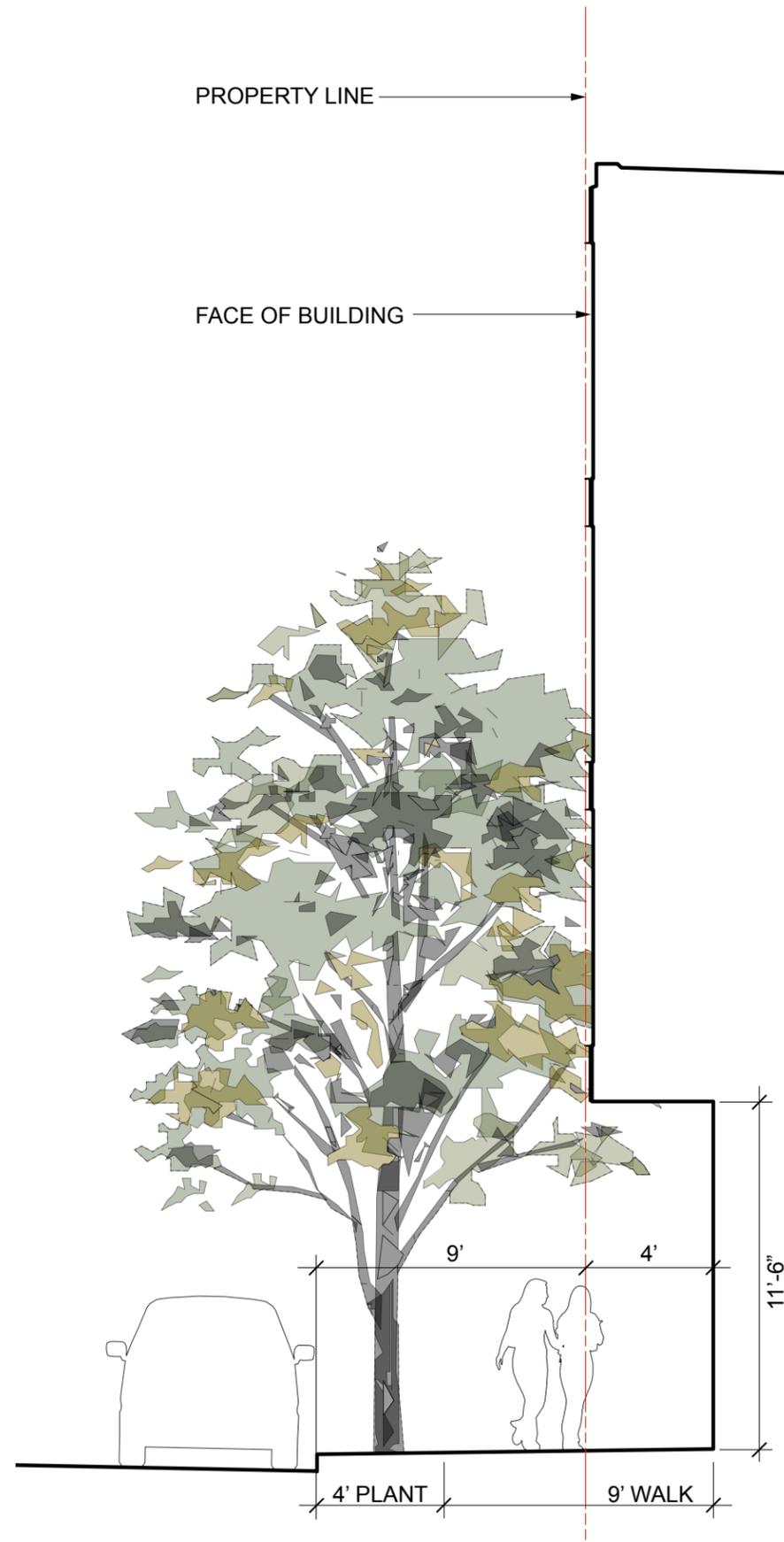


Design Proposal: Balconies at Alley



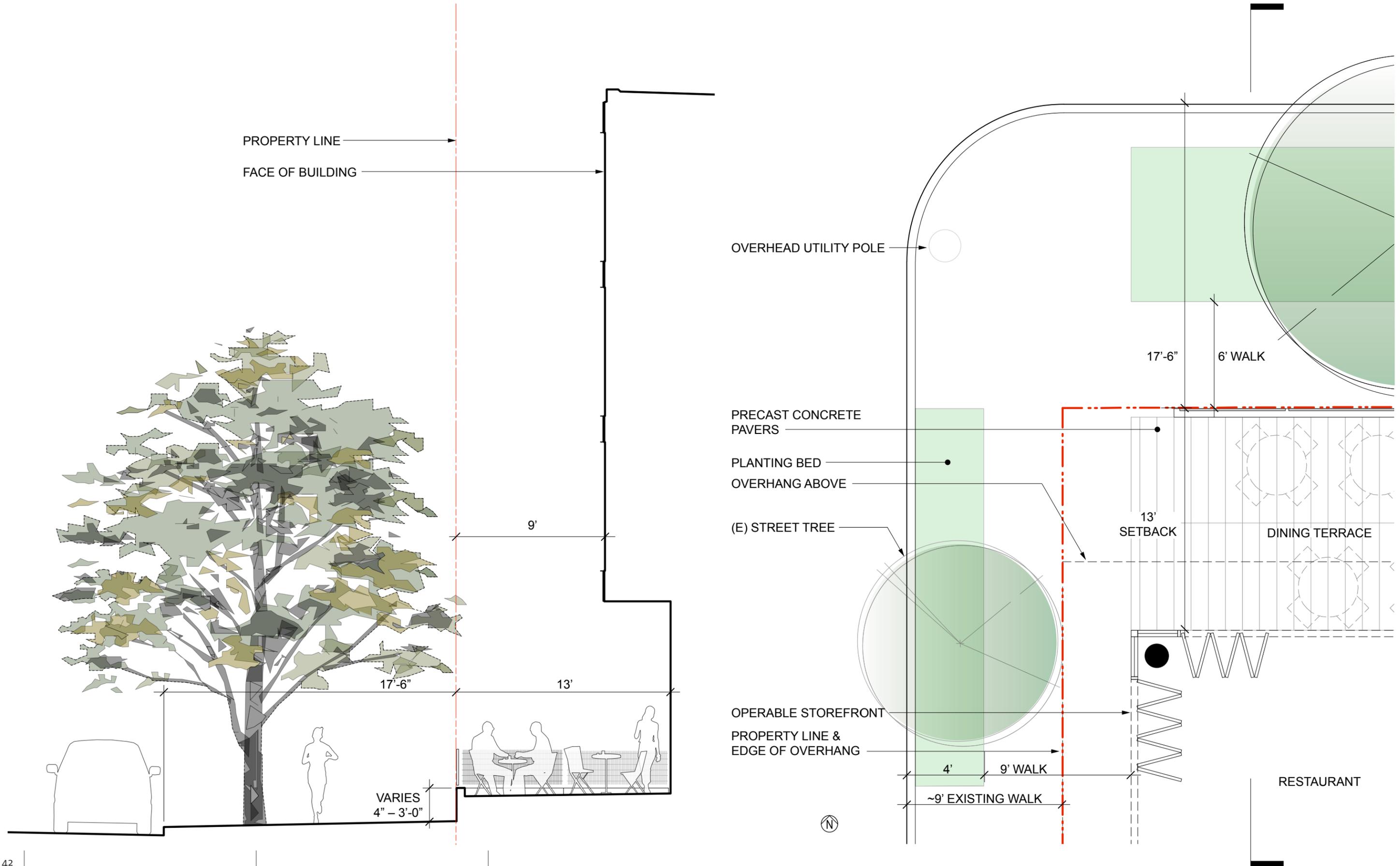


Design Proposal: 19th Avenue E Streetscape





Design Proposal: E Mercer Streetscape



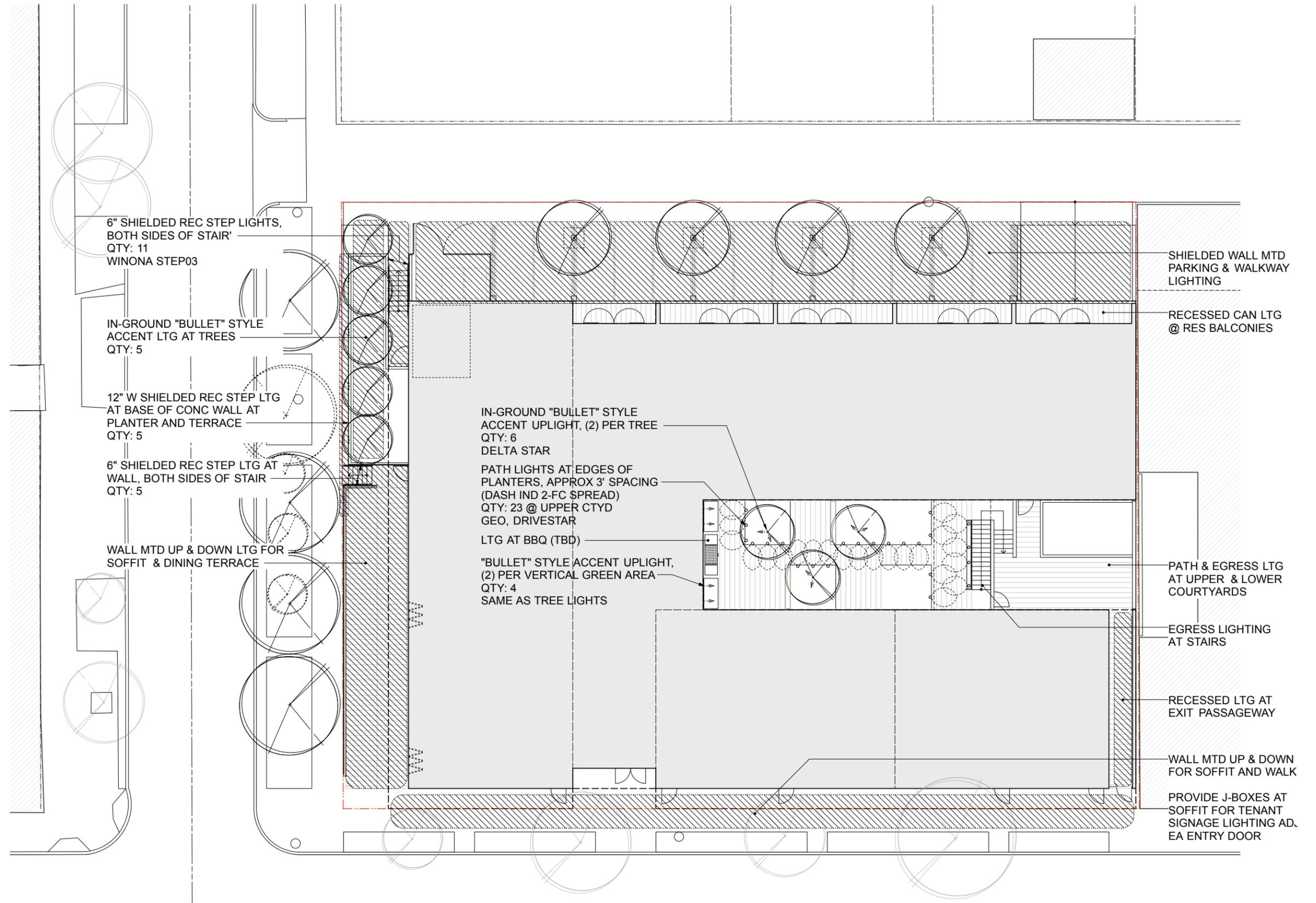


Rendering: Dining Terrace Close-up





Design Proposal: Lighting Plan



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Products / Wall Ceiling / ALL LIGHT

ALL LIGHT - Specification Sheet

by Rodolfo Dordoni, 2002

Save as PDF

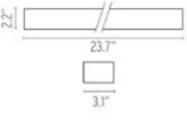
Mounting	Ceiling and wall
Lamp (Bulb) Description	1 x 24W T5 Bi-Pin Fluorescent
Environment	Indoor/Outdoor
Finish	Opal
Technical and Product Description	ALL LIGHT indoor or outdoor wall light providing diffused or direct/indirect light. Rectangular opal polycarbonate enclosure accommodates slip on steel cover available in several finishes, may be mounted vertically or horizontally.
Electrical	
Emergency	Without
Switching	N/S
Voltage (V)	120
Physical	
Supply	N/S
Cord Length (inches)	N/S
Construction material	Polycarbonate, Steel
Weight	3.2 lbs



Click on a SKU below to switch model view

FL018071 Opal

Dimensions



Installation and Use

Certifications

ADA

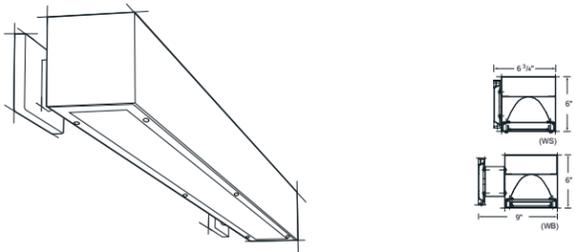
Bulbs

24W T5 Bi-Pin Fluorescent



Type
Job Name
Catalog Number

P61 Special Applications



ordering

series	lamp rows	nominal length	shielding	color/finish	distribution	circuiting	voltage	mounting	options
P61	1T8	02'	PCL* clear polycarbonate lens	TMW textured matte white	D1 direct to wall	SC single circuit	120	SUR surface mount to ceiling	EML* EMH* DM RSE 10THD B LT FH TRS
	2T8	03'	WA white acrylic lens	YGW* gloss white	D4W asymmetric to wall	DC* dual circuit (in-line)	277	WB wall bracket (2")	
	1T5	04'			D4R* asymmetric to room		347	WS wall spacer (3/4")	
	2T5	R**					UNV*		
	1T5HO	***		YPE pewter premium color			120/277		
	2T5HO	***		Y_ _ _ _ _					
				CC custom color					

Applications Exterior wall mounts, parking structures, commercial roll-up door applications.

Features An IP65 rated aluminum 6" x 6" profile wet location luminaire. It features a one-piece extruded gasketed door frame. Available with one or two T5/T5HO or T8 lamps in cross-section. The fixture also offers a choice of symmetric or asymmetric light patterns.

Construction The housing, available in 2-, 3- or 4-foot standard lengths, is made of die-formed 18-gauge sheet aluminum, and can be through wired for continuous row applications.

Finish The standard housing finish is gloss white (YGW) using polyester powder paint. Refer to the Color Selector for optional paint colors.

Electrical T8 fixtures have instant-start electronic ballasts with less than 20% THD. T5 and T5HO fixtures have programmed-start electronic ballasts with less than 10% THD. Fixtures are IP65 rated, I.B.E.W. manufactured, and U.L. labeled "Suitable for wet locations" and "Suitable for Mounting with 4-feet of the ground". Maximum ballast size available: 1.7" width x 1.16" height.

Mounting Fixture is to be wall or surface-mounted.

Options EML: emergency battery (600-700 lumens); EMH: emergency battery (1100-1400 lumens); DM: dimming (specify manufacturer, voltage and other requirements); RSE: rapid-start electronic; 10THD: ballast with $\leq 10\%$ total harmonic distortion; B_ : specific ballast, specify manufacturer and catalog number (consult factory); LT: low temperature ballast; FH: fixture fusing (slow blow); TRS: tamper resistant.

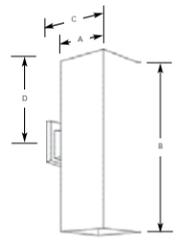
0903 Prudential Bldg. 1737 East 22nd Street, Los Angeles, CA 90058 9/11



Incandescent 6" Square Wall Outdoor

Type
P5644 -20 -30 -31

Catalog No.	Finish			Lamping	Dimensions (Inches)			
	Bronze	White	Black		A	B	C	D
P5644	-20	-30	-31	2-250W CPAR38, 150W BR40	6	18	8-7/8	8



Specifications:

General

- Extruded aluminum .125" wall thickness one piece square cylinder
- Top open for up down lighting. PB797-31 top cover lens recommended when unit is used outdoors

Mounting

- Wall mounted
- Covers any standard outlet box
- Cast mounting bracket supplied attachment of unit to wall with one almost invisible set screw

Electrical

- Medium base porcelain nickel plated brass screw shell socket

Labeling

- UL-CUL Wet location listed only when PB797-31 top cover is used
- UL-CUL listed for indoor use without cover

Progress Lighting
701 Millennium Blvd.
Greenville, South Carolina 29607
www.progresslighting.com

Rev. 8/99

Design Proposal: Lighting Fixture Examples

winonaLED STEP03 12 inch

Project Name: _____ Ref #: _____

Type: _____ Qty: _____

STEP03 12 inch is a surface mount step light with a concealed optic and 12 inch wide aperture. Eight LED colors are available in normal output configurations.

Distribution: One light distribution pattern available. Long for large area illumination.

Construction: Extruded aluminum LED module with solid aluminum, brass, or stainless steel faceplates.

Mounting: Luminaire is mounted to a standard multi-gang switch box (supplied by others) with four fasteners. Steel City H680 or equivalent (by others) recommended.

Integral Driver: Integral non-dimming drivers available for 90V-277V AC and 12V AC. Dimmable driver 12V-40V DC only.

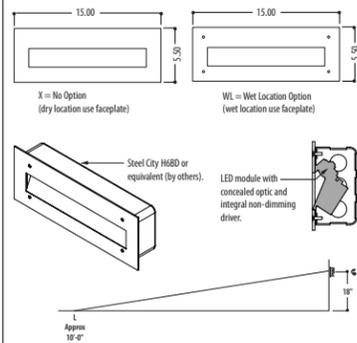
Finish: Recessed areas always have matte black finish to reduce glare. Faceplates in natural metal finishes, except stainless steel, have protective clear top coat. Faceplates in painted are finished with a two-part wet paint system. Primer only option allows for field painting.

Dimming: True 0-100% dimming is available with exclusive LightLink dimming system interface which is compatible with both 0V-10V sink and source-type dimmers.

Power Consumption: Luminaire consumes maximum of 24W depending on LED color.

UL Listed: Dry Location, Wet Location optional

NOTE: Winona Lighting reserves the right to make design revisions without prior notice.



LED - STEP03 - 12 - L

SOURCE	MOUNT	SIZE	DISTRIBUTION	LED CODE	VOLTAGE	FINISH	OPTIONS	SPECIAL
STEP03 - STEP LIGHT		12 = 12 INCH 9 = 9 INCH 6 = 6 INCH	L = LONG					

FINISH: Natural/Real Finish
ABS = ANTIQUE BRASS
BA = BRUSHED ALUMINUM
BB = BRUSHED BRASS
BS = BRUSHED STAINLESS STEEL
CMP = CUSTOM METAL FINISH
PB = POLISHED BRASS
PSS = POLISHED STAINLESS STEEL

VOLTAGE: Non-Dimming
ND277V = 277-277VAC
ND277V = 110V-277VAC
ND12V = 12VDC
Dimming
DM24V = 12V-40VDC *

OPTIONS: F = NO OPTIONS
STD = STANDARD
WL = WET LOCATION
MOD = MODIFIED

MODIFICATIONS: Please refer to spec for any modifications.

UL LISTED

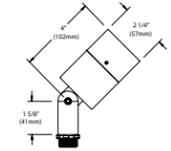
Winona Lighting | 3760 West Fourth Street | Winona, MN 55987 | 800-328-5291 | www.winonalighting.com

Revised: 10/10

FLOODLIGHTS

NITE STAR™ NS 8 WATT

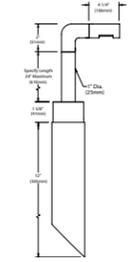
Fully machined, completely enclosed and hermetically sealed for maximum performance. Nite Star™ gives the design professional an economical yet highly architectural lighting fixture for the most discriminating of designs. Designed with 'e' technology to meet today's stringent energy demands, Nite Star™ features a flush mounted lens for high efficiency and tamper resistant, stainless steel hardware. **Keyword NS**

12 | www.bksll.com

3 WATT LITESTICK™ STYLE L

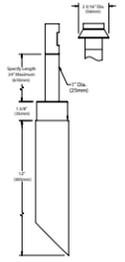
For area lighting, turn LiteStick™ on its side with a 90° transition. Manufactured from recycled, copper-free aluminum or brass materials with stainless steel hardware, LiteStick™ Style L will effectively highlight planting beds and pathways from mounting heights as low as three inches. **Keyword LTL**

48 | www.bksll.com

LITESTICK™ LT 3 WATT

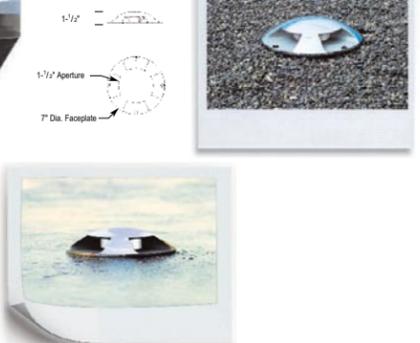
So small you might not even notice it's there. The LiteStick™ measures just one inch in diameter but packs a powerful BKSSL™ source for dynamic path lighting. Available in machined, copper-free aluminum and brass in configurable mounting heights up to 18 inches high or as an adjustable product that can adapt to the changing landscape. **Keyword LT**

48 | www.bksll.com

DR2™ T-4 Halogen

Integral or Remote Transformer

Choose from three housings to suit any installation:

- TR** Integral Transformer
 - Patented HydroLock® Technology
 - Modular Component Construction
- RD** Deep Remote
 - Patented HydroLock® Technology
 - Deep Housing
- RS** Shallow Remote
 - Shallow Housing
 - Ideal for restricted-depth installations

48 | B-K LIGHTING

Rendering: Dining Terrace Close-up





Rendering: 19th Avenue E & E Mercer Street





Design Proposal: Materials

NOTE: ELEVATION DETAIL DIAGRAM SHOWN SHADED

FIBERGLASS WINDOWS WITH BLACK FACTORY APPLIED URETHANE COATING

ALUMINUM BRAKE METAL TRIM CAP WITH BLACK PERMAFLUOR FINISH AT INTERMEDIATE POST

CLEAR CEDAR DROP LAP SIDING RAINSCREEN

ALUMINUM BRAKE METAL CLOSURE TRIM WITH BLACK PERMAFLUOR FINISH – TYPICAL FOR MISCELLANEOUS TRIMS

BLACK PAINTED BENT PLATE STEEL FASCIA WITH EXPOSED FASTENERS

PRE-FINISHED ALUMINUM LOUVER TO MATCH STOREFRONT

PRE-FINISHED BLACK GALVANIZED METAL BAR GRATING ON STAND-OFFS

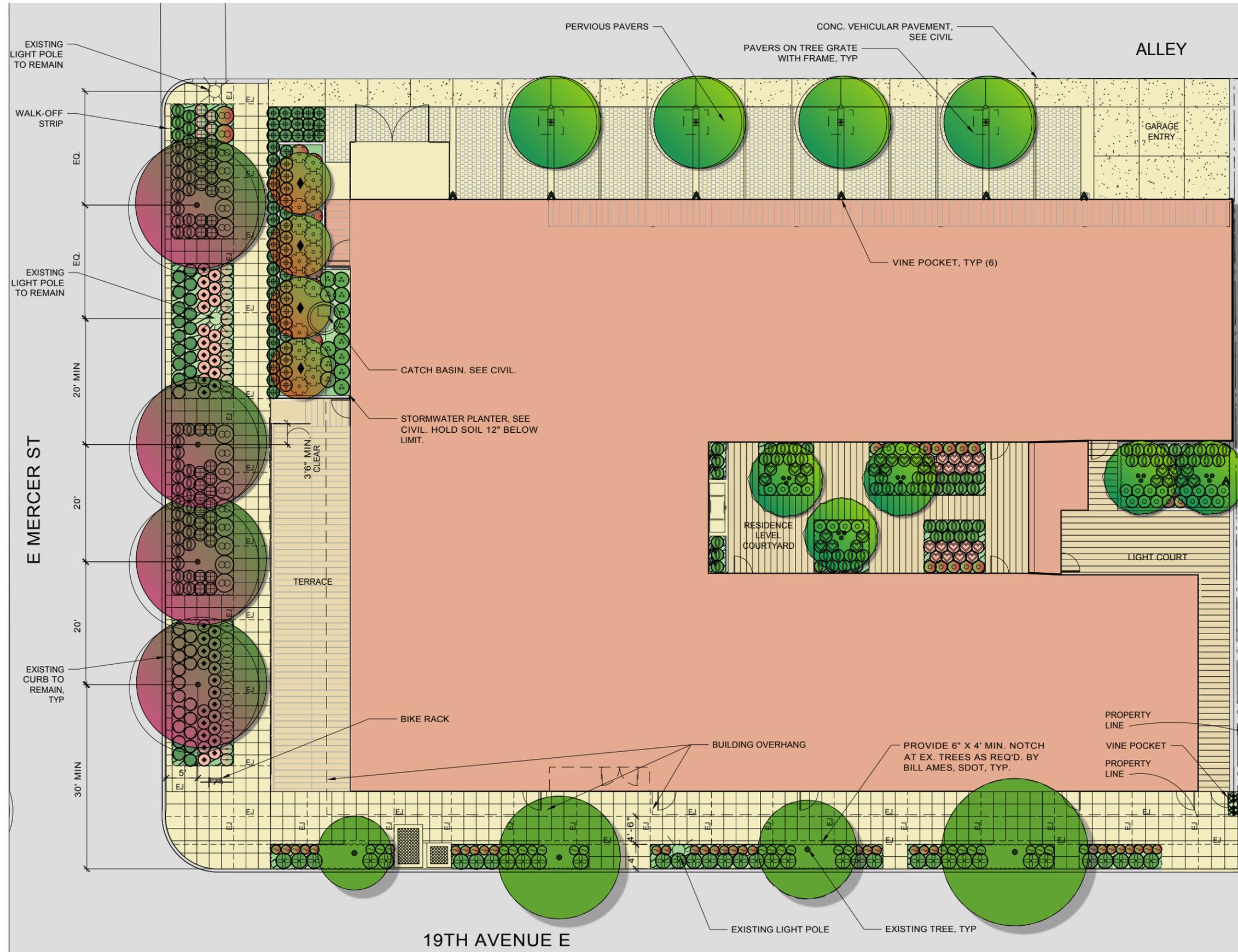
DROP-LAP CEDAR SIDING AT UNDERSIDE OF SOFFIT

ALUMINUM STOREFRONT WITH BLACK PERMAFLUOR FINISH

ALUMINUM BRAKE METAL CLOSURE PANEL WITH BLACK PERMAFLUOR FINISH



Design Proposal: Landscape





Japanese Maple
Acer palmatum



Saskatoon Berry
Amelanchier alnifolia



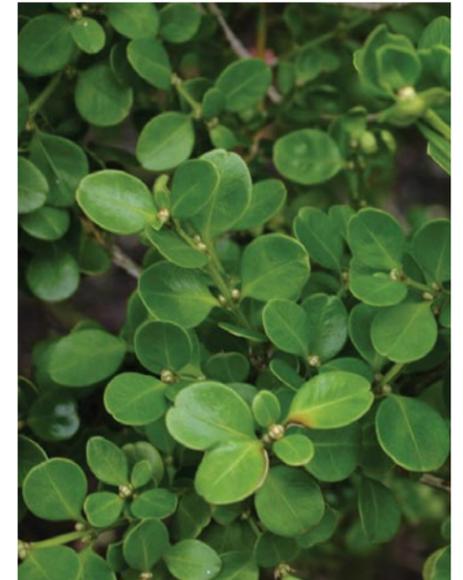
Lavalle Hawthorn
Crataegus x lavalii



'Wada's Memory' Kobus Magnolia
Magnolia kobus 'Wada's Memory'



Amur Maackia
Maackia amurensis



'Green Beauty' Japanese Boxwood
Buxus 'Green Beauty'



Purple Wood Spurge
Euphorbia 'Purpurea'



Nothern Beauty Japanese Holly
Ilex 'Northern Beauty'



Boxleaf Honeysuckle
Lonicera pileata



Nandina domestica 'Wood's Dwarf'
Heavenly Bamboo



'Cavatine' Pieris
Pieris 'Cavatine'



'Hino Crimson' Azalea
Rhododendron 'Hino Crimson'



'Red Velvet' Flower Carpet Rose
Rosa Flower Carpet 'Red Velvet'



Dwarf Blue Arctic Willow
Salix purpurea 'Nana'



'Alpina' Spiraea
Spiraea japonica 'Alpina'



Doulgas Spiraea
Spiraea douglasii



'Carmen's Gray' Rush
Juncus 'Carmen's Grey'



David's Viburnum
Viburnum davidii

Representative Projects

Weinstein A|U is recognized as one of the Northwest's leading design firms and has continually demonstrated design excellence on a broad array of projects for State, City, Federal, private, and not-for-profit clients. We are passionate about our city and the shaping of its urban neighborhoods through the integration of architecture and urban design is central to our practice.

Well-designed and thoughtful urban housing is a special concern of ours, and we have worked aggressively to advance the expectations of mixed-use projects in Seattle, both technically and aesthetically. While each project presents very specific challenges, a number of recurring themes inform much of our work and form the basis of our approach to housing design:

- All of our buildings are situational and are inseparable from their sites. They sit comfortably amongst their established neighbors, drawing from established precedents while looking to the future
- Well-designed unit plans are essential to the success of a housing project. While the functionality of each unit type is important, the organization of units across a floor plate and their influence on building elevations is equally important
- Appropriately located and proportioned open space is a significant design determinant for most mixed-use and urban housing projects
- We avoid arbitrary façade embellishment. Instead we utilize the organization of individual units and their aggregation to establish the pattern and rhythm of multi-family facades that is furthered informed by site organization and orientation. Plans correlate to elevations and variation occurs within an established system
- The constrained budgets for typical mixed-use projects demand careful consideration of a project's primary orientation and configuration to provide cost effective sustainable design strategies
- The scale and proportion of new mixed-use buildings must address, but need not directly reflect, those of adjacent structures. Plan, section, and elevation strategies should be integrated to provide a comprehensible "read" of the building's composition and organization



- 1 Agnes Lofts, 1433 12th Avenue
- 2 Pearl Apartments, 1530 15th Avenue
- 3 2026 E Madison Mixed-Use Building (un-built)
- 4 Willis Condos, 720 Queen Anne Ave N
- 5 Ventana at the Market, 2100 Western Ave
- 6 SCCA Patient House, 207 Pontius Ave N
- 7 Bernard Apartments, 115 Warren Ave N
- 8 Belroy Apartments, 703 Bellevue Ave E (under construction)
- 9 11th Ave Apartments, 1424 11th Avenue (un-built)
- 10 Banner Building, 2600 Western Avenue

