

INDEX

Early Design



Design Evolution



Recommended Design

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GREENWOOD PLACE
14307 Greenwood Avenue North

PROJECT OVERVIEW

Project Summary

Mixed Use Development:

- 39 dwelling units
- ranging from studios at 545 sf to two-bedrooms at 1020 sf
- four floors of residential with a partial ground floor commercial are for future tenants fronting on Greenwood Avenue
- approximately 300 sf commercial/retail space
- basement level parking for 46 autos and bicycle storage
- grade level bicycle storage
- private landscaped roof terrace for residents
- elevated landscaping at deck and patios
- wood frame construction over PT concrete floor deck at ground floor
- perimeter shoring to minimize impacts on neighbors

Built Area :

- basement: 14,887 sf
- ground floor: 10,664 sf
- 2nd floor: 12,161 sf
- 3rd floor: 11,443 sf
- 4th floor: 10,353 sf

Site Area: 16,275 sf

Site zoning: NC-40



Developer's Objectives

The primary objective of this proposal is to create a vibrant urban residential enclave that will both support and catalyze future development of this North Greenwood neighborhood.

Following are the major criteria and priorities in developing our recommended design for this site:

- offer a wide range of dwelling types for the urban dweller
- create units that maximize flexibility, accessibility, views and solar access
- create a building form that follows the lead of recent new residential development in the neighborhood but establishes it's own clear identity
- reinforce small scale retail service orientation of Greenwood Avenue
- reduce auto pedestrian conflicts
- create a lively and forward looking structure that responds to the vitality of the current ad hoc mix of the neighborhood commercial fabric
- recognize the pivotal position the site has in introducing north bound travelers to the district
- exceed parking requirement minimums and promote bicycle use
- utilize the full development potential as stipulated for NC-40 zoning criteria while introducing massing and design features that reduce conflicts in scale, privacy and design with the adjacent single family neighborhood to the west

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Services and Amenities

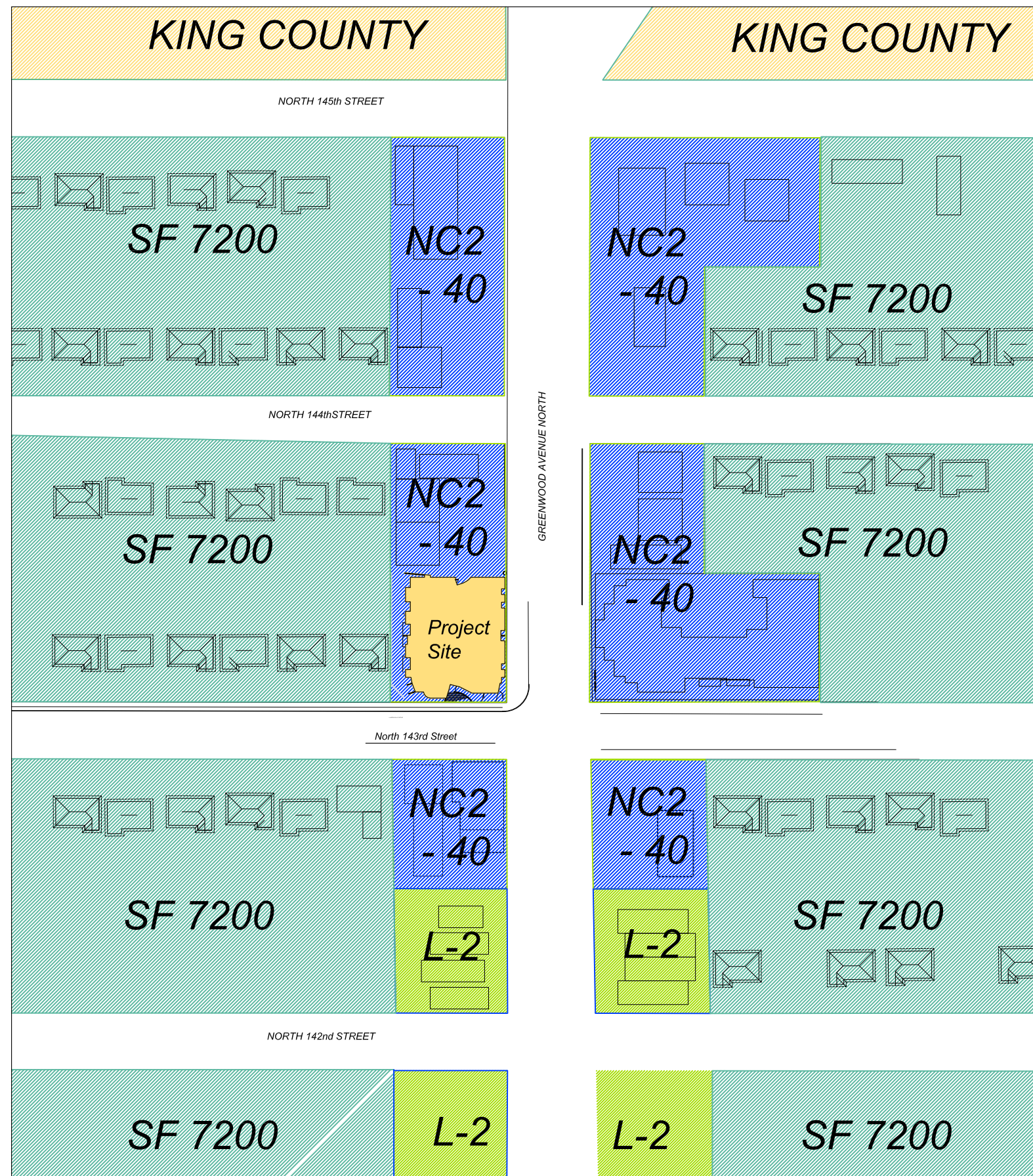
Transportation:

- Greenwood Avenue is a collector arterial
- SDOT ROW standards call for widening in this area to 69 foot curb-to-curb width limited on street parking along Greenwood Ave
- bicycle lanes are designated on Greenwood Avenue
- Interurban trail can be accessed within three blocks of the site
- Metro transit serves the site at 20 minute intervals in each direction during peak commuting times.



Street Landscaping:

- some evidence of street tree planting is present nearby but not consistent
- overhead power lines will limit street tree species for our project
- the visual character is dominated by ad hoc pole signs and fencing
- there are no pedestrian amenities except bus shelters.



Neighborhood Zoning Map

Urban Form

Land Use:

- site zoning is NC2-40
- located within an established neighborhood commercial district
- original plat dates to 1920's and has supported neighborhood services and retail since then
- "drive-up" retail is the predominant orientation for commercial activity
- commercial district is surrounded by well established single family residential community
- City boundary is two blocks north of site as the Seattle Golf Club
- Shoreline Community College, Bitter Lake, and the Aurora strip are within walking distance
- Landover Green Space is near the site



Street Character:

- a predominance of wide driveways, limited curbs and sidewalks
- commercial frontage is dominated by surface parking
- pedestrian traffic is limited
- pedestrian safety is a concern
- one new project has provided covered walkways along the sidewalks.

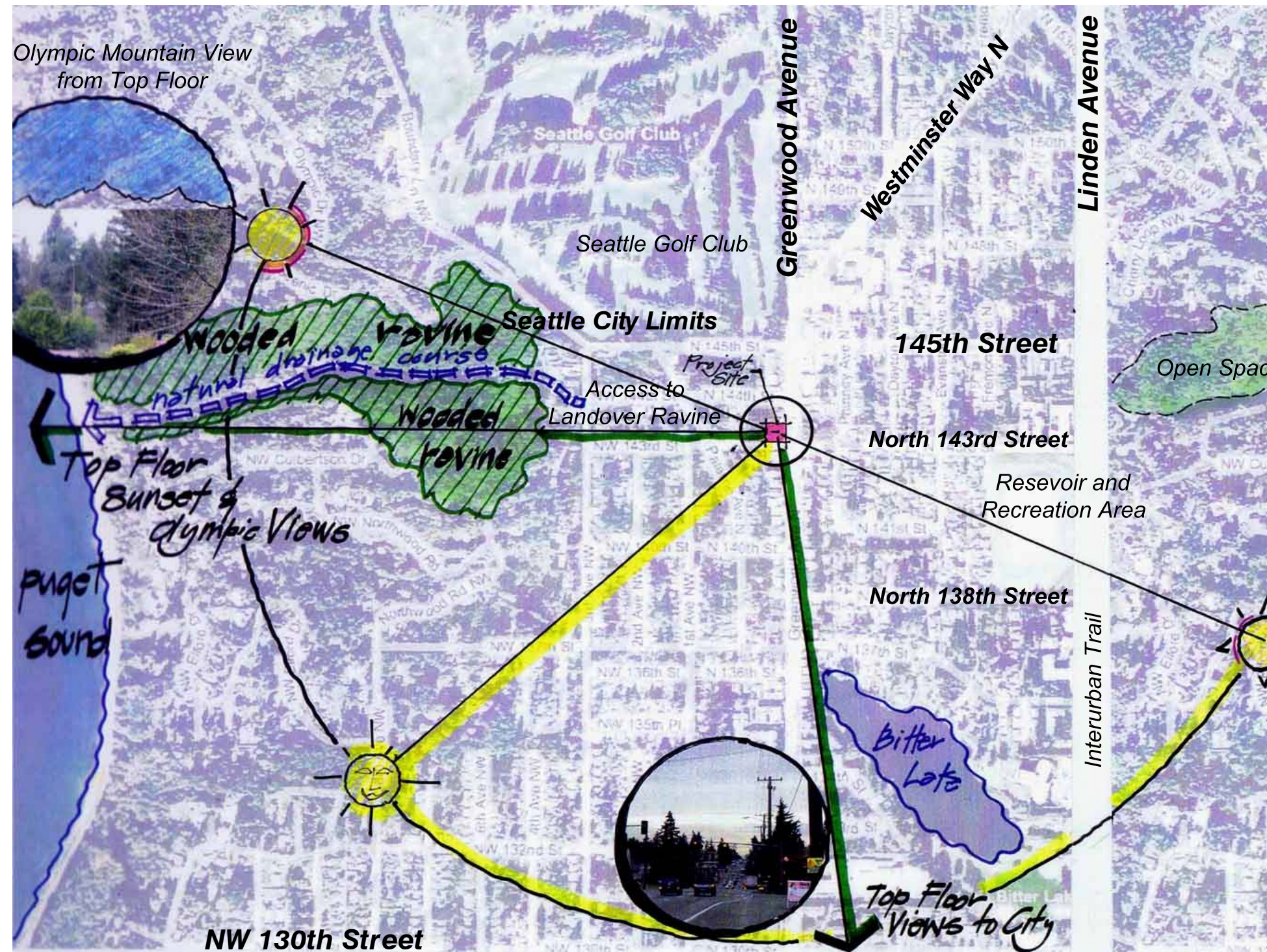


GREENWOOD PLACE
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SITE ANALYSIS

Site Specific Issues

General Site Orientation and Vicinity



Topography:

- gently sloping down from the northeast to the southwest
- existing rockery along the west property line with a maximum height of 9 feet separates the grade between site and west neighbor
- Greenwood Avenue frontage slopes at 4% which will challenge retail storefront design
- 43rd Street frontage slopes at approximately 4% which will expose a basement floor level
- site low point at the southwest corner becomes a natural entry point for basement access

Drainage:

- storm water currently sheet flows and collects at street edges along N. 143rd
- soils are densely packed glacial tills with limited infiltration potential

Solar Orientation:

- south side face of the site is well exposed to all seasons of solar exposure
- east and west elevations will be affected by winter low sun angles post dawn and pre-dusk
- open south and southwest solar exposure will create heat gain and shading issues and opportunities
- adjacent properties affected by shading will be the commercial business to the north and some morning shading of the property to the west.

Vegetation:

- two conifers on the site are under 25 years old and not significant
- a large fir tree bordering the west property line has roots that need to be avoided during construction.
- well established stands of conifers create a uniquely well established "northwest canopy" nearby

GREENWOOD PLACE
14307 Greenwood Avenue North

SITE PLAN

Design Features

- A-1 Responding to Site Characteristics**
- reinforce commercial street edge
 - echo newer retail activity
 - site frames south portal to retail district
 - enliven and activate SE corner

- A-3 Entrances Visible from the Street.**
- entry design gestures to intersection
 - residential entry is a design event
 - storefronts open but protected

- A-4 Human Activity.**
- "public" activity areas orient to the intersection
 - storefronts stretch across frontage
 - widened sidewalk is punctuated with public seating
 - bike racks encourage diverse users
 - overhangs and arcades protect

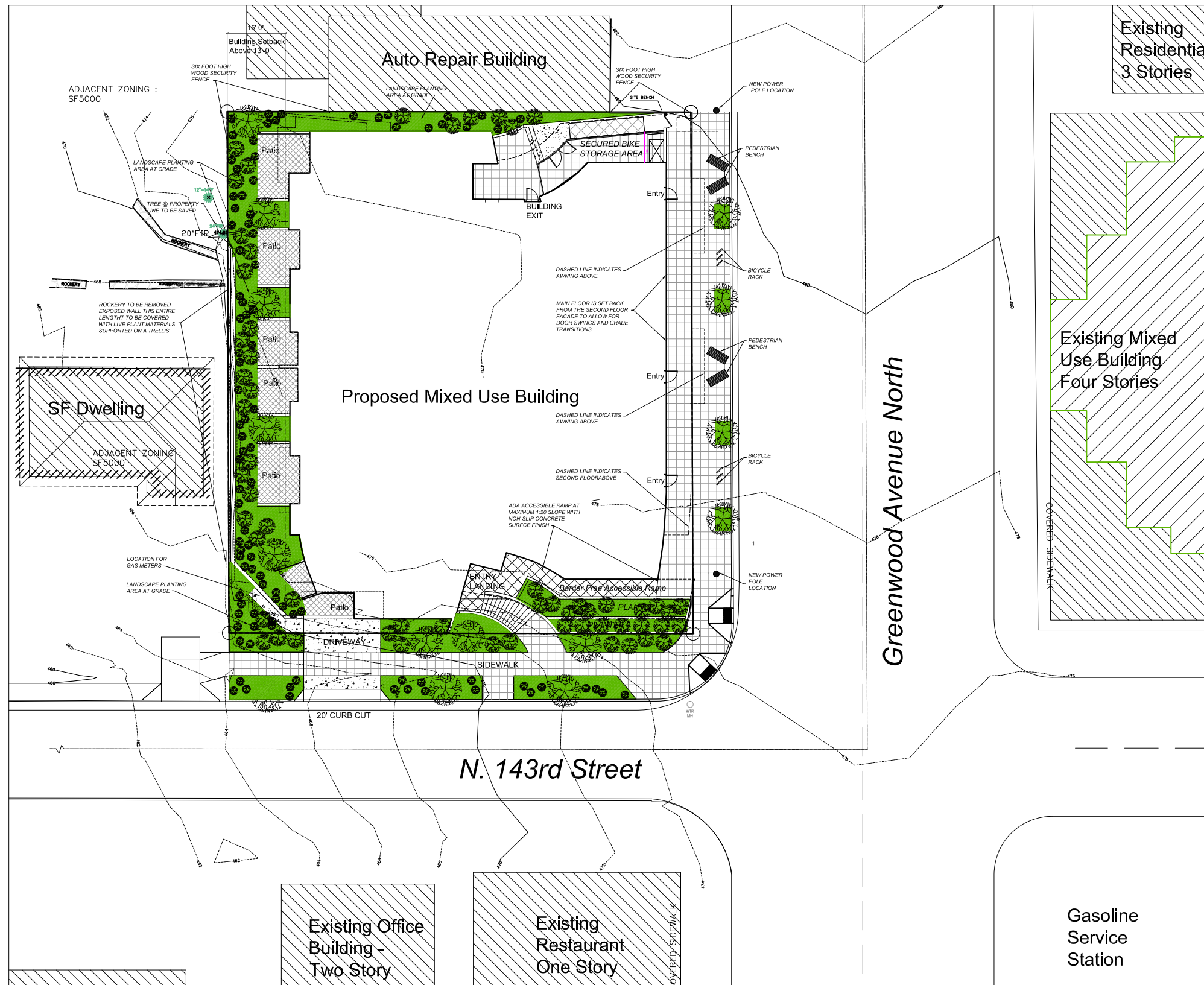
- A-5 Respect for Adjacent Sites.**
- west facade modulation maximize to break down scale
 - west side planted extensively and building setback exceeds minimums
 - west side 9' rockery removed and replaced with full height "green wall"
 - SW corner inflected away for SFD

- A-8 Parking and Vehicle Access.**
- basement parking entirely enclosed with access removed maximum distance from active pedestrian zone at intersection
 - parking access buffered from adjacent residential driveway

- A-10 Corner Lots.**
- design emphasizes pedestrian activity at corner and auto access moves as far away as possible

- C-1 Architectural Context.**
- site design respects precedent set by development across the street and anticipates similar "renewal" of the neighborhood as new projects build out to the zoning/land use criteria

- E-1 Landscaping to Enhance the Building and Site.**
- new street trees
 - biofiltration planters
 - elevated "guardrail" planters
 - soft transition at 143rd street
 - privacy fences at patios



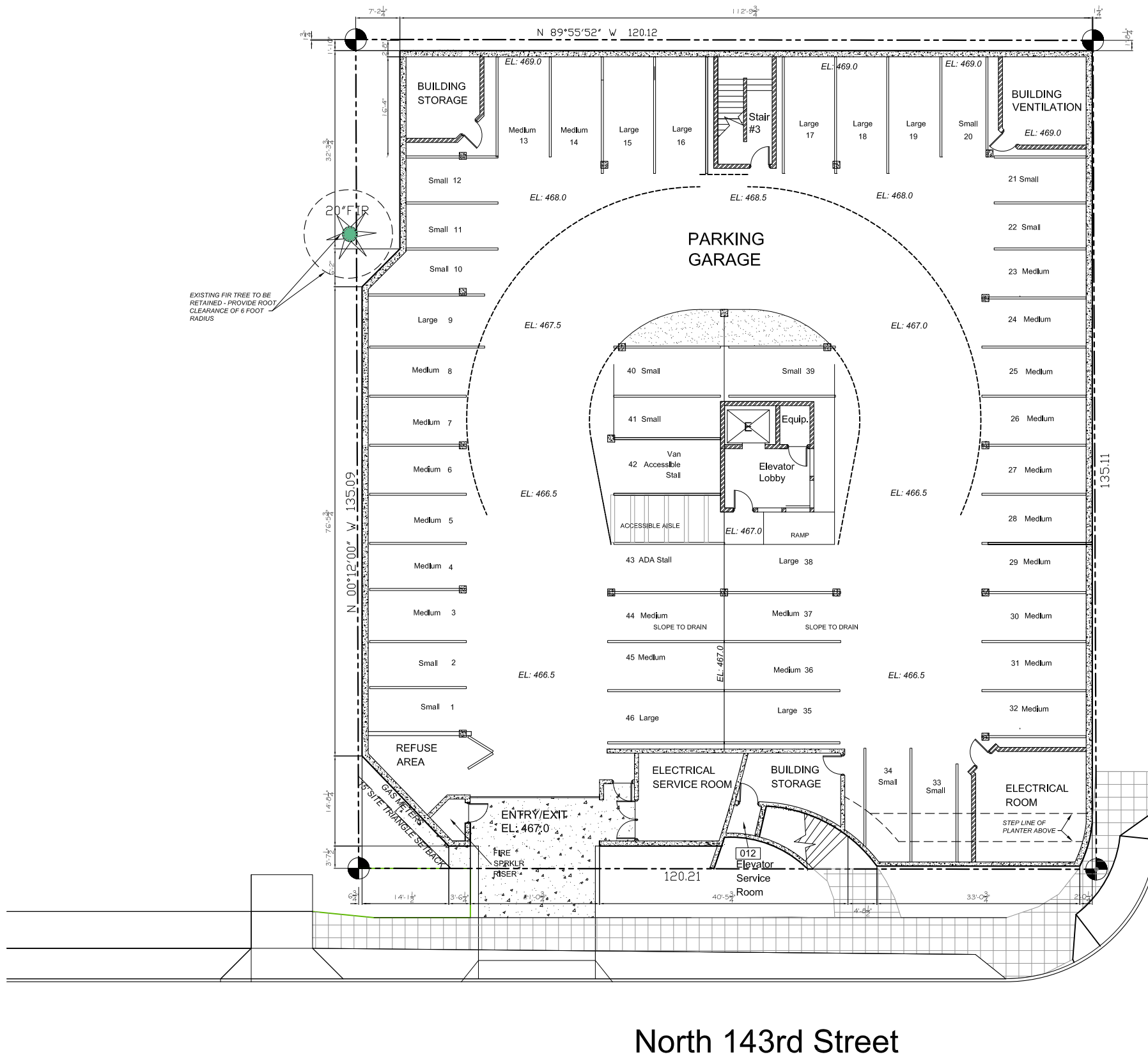
SCALE: 1" = 20' - 0"



GREENWOOD PLACE
14307 Greenwood Avenue North

ARCHITECTURAL FLOOR PLAN

Basement Floor



Greenwood Avenue North

A-1 Response to Site Characteristics

- site topography promotes basement parking with level access to N. 143rd
- parking access remote from intersection

A-8 Parking and Vehicle Access

- secured and fully enclosed parking
- 46 spaces plus bicycle storage

E-1 Landscaping to Enhance Building and Site

- new basement wall will replace existing rockery and equipped with climbing vine support hardware
- existing neighbor's tree with roots extending into the project site will be protected by setting back in this area
- shoring will be used to minimize impacts to tree roots and neighbors in general

SCALE: 1" = 20' - 0"



NORTH

GREENWOOD PLACE
14307 Greenwood Avenue North

ARCHITECTURAL FLOOR PLAN

Ground Floor



Greenwood Avenue North

Design Features

A-1 Responding to Site Characteristics

- reinforce commercial street edge
- enliven and activate SE corner

A-3 Entrances Visible from the Street.

- entry design gestures to intersection
- residential entry is a design event
- storefronts open but protected

A-4 Human Activity.

- "public" activity areas orient to the intersection
- over 80% facade transparency at Greenwood
- overhangs and arcades protect
- clear delineation of separate residential entry

A-5 Respect for Adjacent Sites.

- west side planted extensively with building setback exceeding minimums
- animated site and building modulation to break down scale
- SW corner inflected away for SFD

A-10 Corner Lots.

- ground level design activates the building corner
- stepped planters
- protected barrier free access
- unique stair design inflected towards intersection
- bold foil wall very visible from the inetersect accentuates residential entry point

SCALE: 1" = 20' - 0"



NORTH

GREENWOOD PLACE
14307 Greenwood Avenue North

ARCHITECTURAL FLOOR PLAN

Second Floor

Design Features

A-1 Responding to Site Characteristics

- private decks oriented to daylight and territorial views
- decks on west side are deeply recessed for solar shading

A-4 Human Activity.

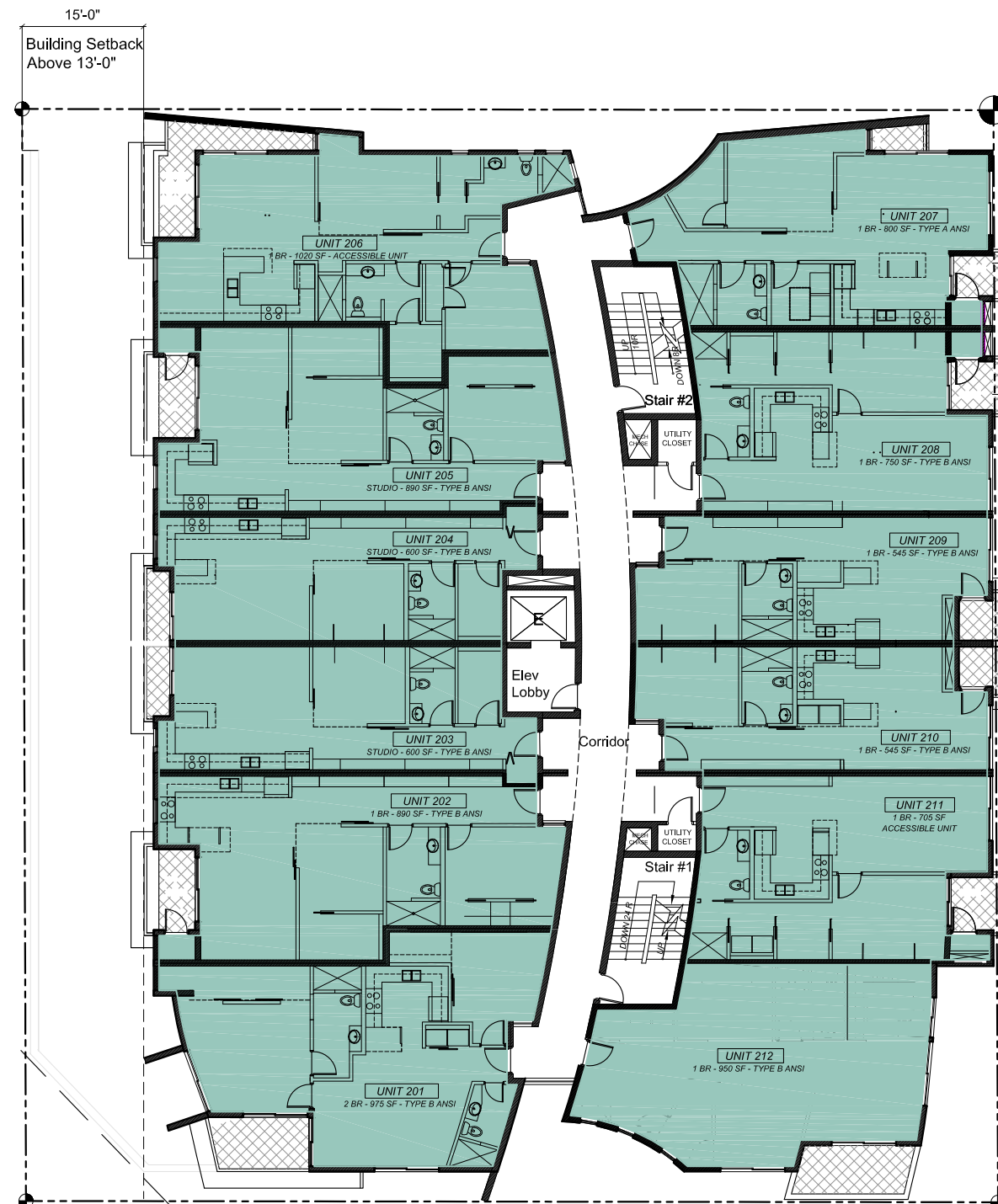
- second floor cantilevers over the extended sidewalk below providing weather protection and solar shading
- decks and operable doors/windows along Greenwood add vitality to the street experience

A-5 Respect for adjacent Sites

- deeply recessed decks on west side promote privacy by limiting sight lines
- deck rails equipped with projecting screen ledges

C-1 Architectural Context.

- site design respects precedent set by development across the street and anticipates similar "renewal" of the neighborhood as new projects build out to the zoning/land use criteria



Greenwood Avenue North

North 143rd Street

A74

SCALE: 1" = 20' - 0"



NORTH

GREENWOOD PLACE
14307 Greenwood Avenue North

ARCHITECTURAL FLOOR PLAN

Third Floor

Design Features

A-1 Responding to Site Characteristics

- third and fourth floors setback to meet clearance requirements from overhead power lines
- north wall limited for fenestration due to anticipated future development on neighboring site, but building form is articulated for visual interest until future development occurs

A-4 Human Activity.

- decks and planters along Greenwood add vitality to the street experience

A-5 Respect for adjacent Sites

- deeply recessed decks on west side promote privacy by limiting sight lines
- deck rails equipped with projecting screen ledges

E-1 Landscaping to Enhance the Building and Site.

- elevated planters add privacy and vitality to the Greenwood Avenue facade



Greenwood Avenue North

North 143rd Street

SCALE: 1" = 20' - 0"



NORTH

GREENWOOD PLACE
14307 Greenwood Avenue North

ARCHITECTURAL FLOOR PLAN

Fourth Floor

Design Features

A-4 Human Activity.

- decks and planters along Greenwood add vitality to the street experience

A-5 Respect for adjacent Sites

- deeply recessed decks on west side promote privacy by limiting sight lines
- deck rails equipped with projecting screen ledges

B-1 Height , Bulk and Scale Compatibility Height and Bulk

- southwest corner of fourth floor is carved away to make roof terrace that also breaks down the building mass to help the transition to less intensive City zoning
- southwest corner is "eased" to soften the building for adjacent to the less intensive zoning

Building Modulation

- building design of the residential uses reinforces the expression of the individual unit, deck and patios and fenestration
- creation of depth as expressed by variety in shadow patterns will add interest and character to the building

Glass and Glazing

- fenestration is generous along the best solar access and public spaces
- both deeply recessed or high set windows along the west elevation promote solar shading and privacy

Use of Landscaping

- roof terrace planters are deep (48") and tall (42") to increase privacy and enhance the building scale



Greenwood Avenue North

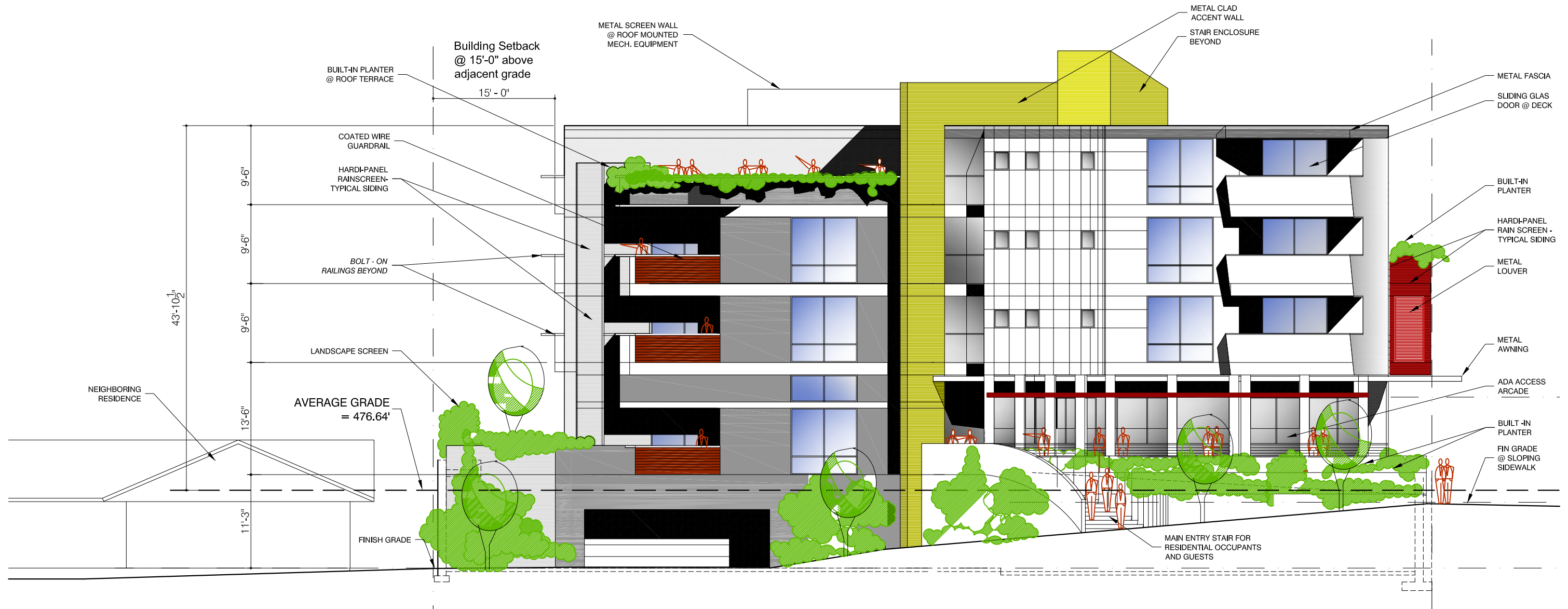
North 143rd Street

SCALE: 1" = 20' - 0"



NORTH

GREENWOOD PLACE
14307 Greenwood Avenue North



Relevant Design Guidlelines

A-3 Entrances Visible from the Street.

Entries should be clearly identifiable and visible from the street.

A-4 Human Activity.

New Development should be sited and designed to encourage human activity on the street.

A-10 Corner Lots.

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, Bulk and scale between anticipated development potential of the adjacent zones.

C-1 Architectural Context.

New buildings proposed for existing neighborhoods with a well defined and desirable character should be compatible with or compliment the architectural character and siting pattern of the neighborhood.

D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security. Paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian oriented open space should be considered.

Design Recommendations

A-3: the main residential entry is inflected towards the street corner intersection, the more intensive commercial activity zone and further highlighted by the "spring bud" green light scoop wall.

A-4: the concentration of residential and commercial pedestrian traffic at the southeast corner activates the site, heightens awareness and personal security of the area.

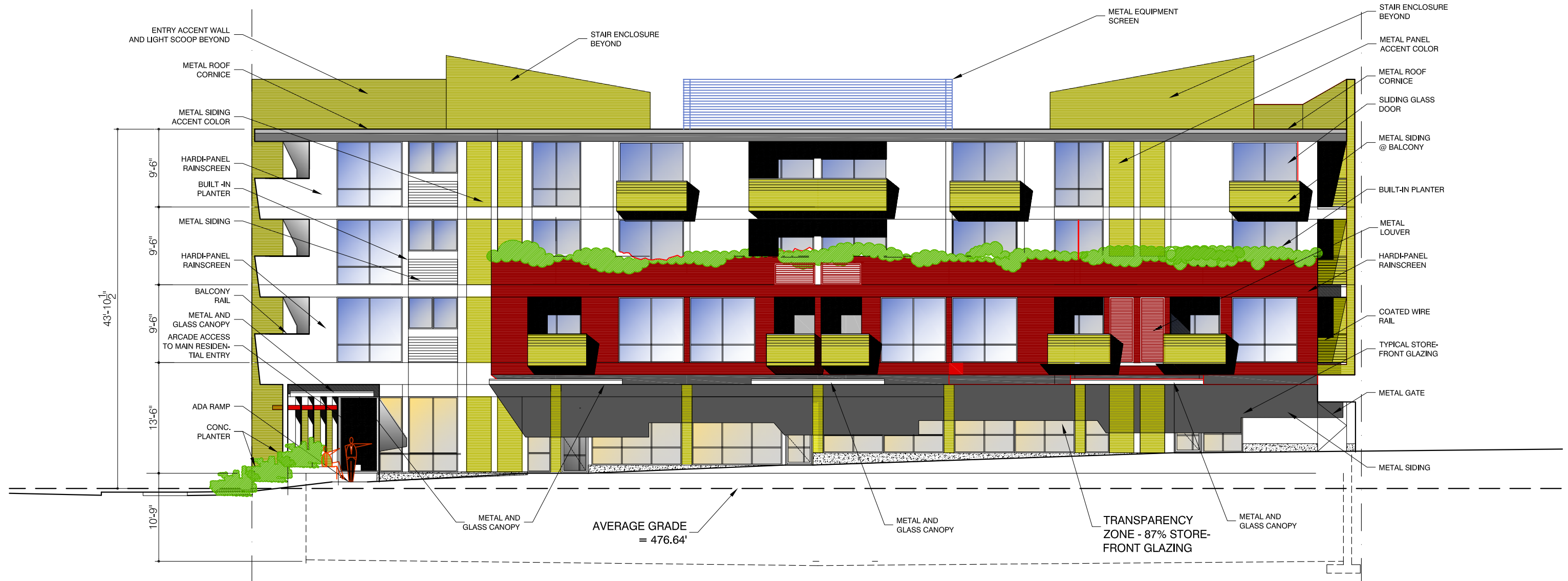
A-10: the gentle slope of the site creates a low point at the southwest corner of the property which conveniently allows for basement parking access a maximum distance from the busy Greenwood/143rd intersection.

C-1: in deference to the single family detached land use immediately to the west of the site, the design of the structure not only steps down but also has a more muted color scheme in respect for the less intense activity zone.

D-1: the design presents an open and inviting presence to the community and is designed to maximize solar exposure.

GREENWOOD PLACE
14307 Greenwood Avenue North

Greenwood Avenue Elevation



Relevant Design Guidelines

A-1 Responding to Site Characteristics

The siting of the buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

A-4 Human Activity.

New Development should be sited and designed to encourage human activity on the street.

A-10 Corner Lots.

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

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D-9 Commercial Signage.

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

D-10 Commercial Lighting.

Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours.

D-11 Commercial Transparency.

Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of the building.

Design Recommendations

A-1: new development on the site established SDOT standard cross section and profile for Greenwood Avenue.

A-4: the street is activate street with lively storefront and spontaneous protective cover

A-10: the corner lot is filled out with the confluence of the commercial zone and the focal point of the pedestrian access to the residential entry and accentuated with awning projections and accent landscaping.

C-1: the context of the existing and anticipated vitality of the ad hoc commercial neighborhood is reflected in the bold "canopy" provided but the second floor overhang.

D-1: the focal point of the corner lot is highlighted by pedestrian access and south facing sunlight open space.

D-9: commercial signage will be low key, blade style signs suspended from the second floor overhang.

D-10: lighting in the soffits plus the vibrant retail storefronts intended to be vibrant in the evening.

D-11: Over 80% of the Greenwood street frontage will be transparent.

GREENWOOD PLACE
14307 Greenwood Avenue North



Design Review Guideline

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between anticipated development potential of the adjacent zones.

Design Review Recommendation

The Board acknowledged the reduction in building scale at the property's southwest corner in response to the transition to a lower scale zone. The treatment of the proposed west facade will be scrutinized at the Recommendation meeting. See guidance A-5. The decks, fenestration and choice of materials should possess a residential scale compatible with the building's surroundings.

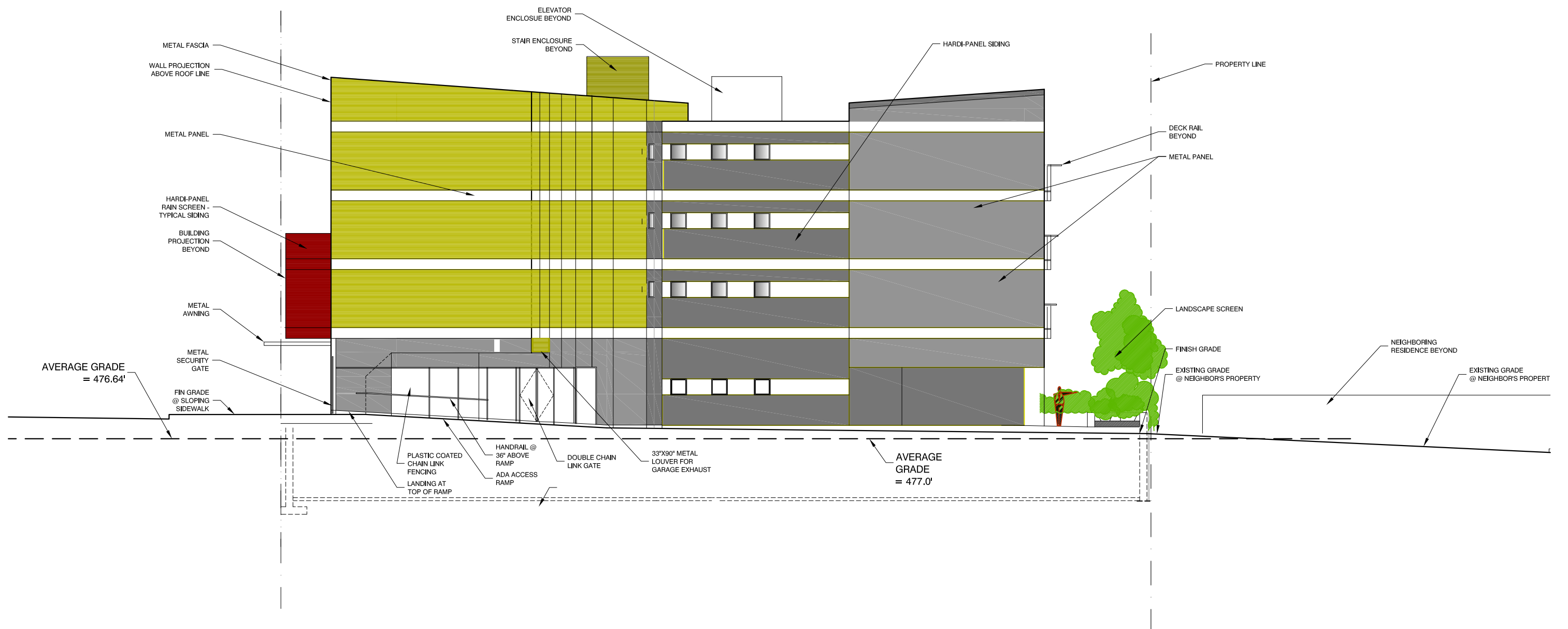
Design Recommendations

The recommended design proposes :

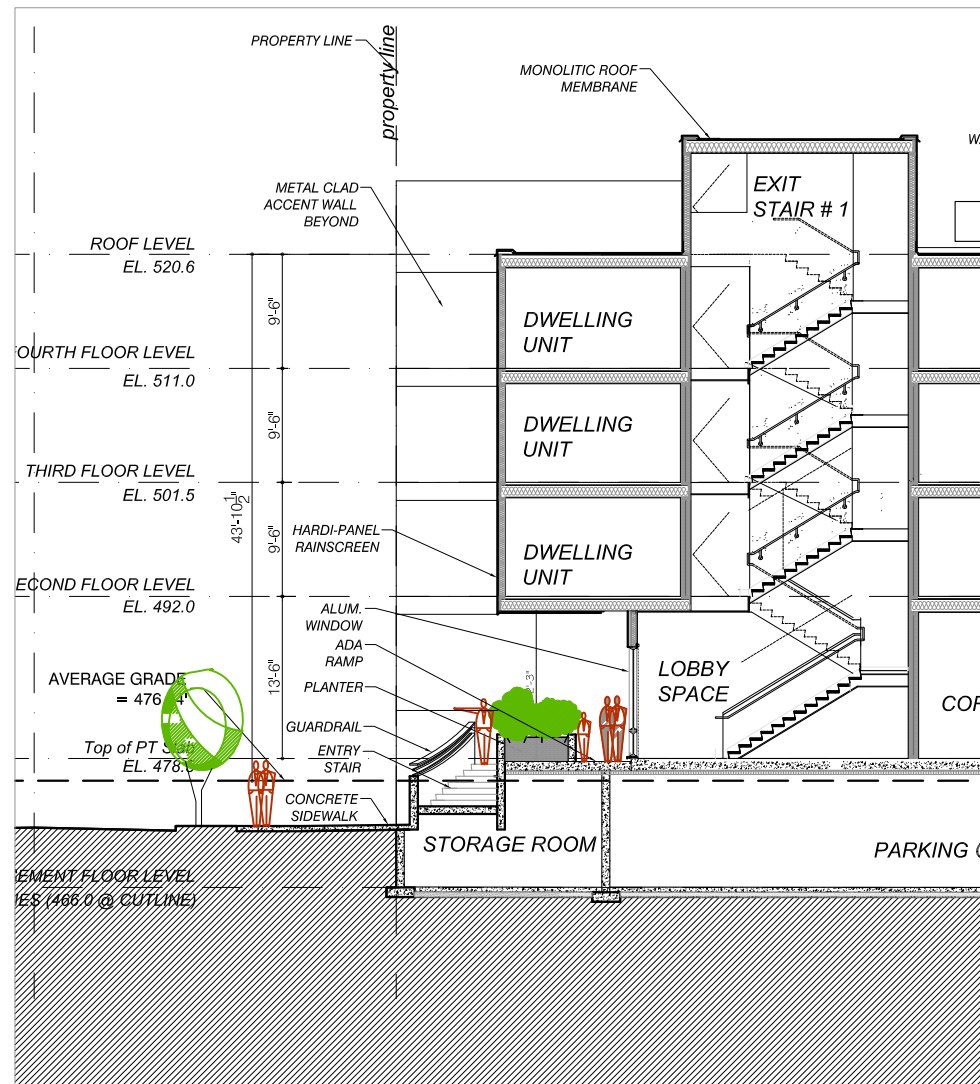
- stepping down of the southwest corner massing for roof terrace
- the west facade has been substantially modulated with decks, built-in guardrail screens and view privacy "fin" walls
- the landscaping within the building setback on the west side has been expanded and devised to provide a scale break up for the new building
- the existing nine foot tall rockery will be replaced with climbing vines over the exposed basement wall that will form a greenwall edge to the adjacent property
- fenestration on the west facade will be smaller or deeply setback at deck
- windows will be more residential in character and scale than elsewhere in the building.

GREENWOOD PLACE
14307 Greenwood Avenue North

North Elevation



GREENWOOD PLACE
14307 Greenwood Avenue North



Section at Residential Entry

SCALE: 1" = 25' - 0"



Enlarged South Elevation

SCALE: 1" = 25' - 0"

- B-1 Height, Bulk and Scale Compatibility**
 - **Glass and Glazing**
Fenestration emphasizes the use behind the glass and maximized solar access to residential uses

Maximized transparency at retail store frontages
 - **Use of Landscaping**
Install elevated planters to break down scale, add privacy and enliven urban edge
 - **Modulate Scale with Finish Materials**
Treat functional building elements with differing materials; deck guardrails vs. siding vs. overhangs.

Pedestrian Environment

- D-1 Pedestrian Open Spaces and Entrances**
 - Convenient and attractive access to the entry areas is
 - walkway and street frontages will be lighted from above and low level "wash" lighting
- D-2 Blank Walls**
 - blank wall situations have been treated with storefront windows
- D-3 Retaining Walls**
 - grade transitions are stepped planters vs. tall retaining walls
- D-12 Residential Entries and Transitions**
 - gradual transition occurs from commercial strip to residential orientation



GREENWOOD PLACE
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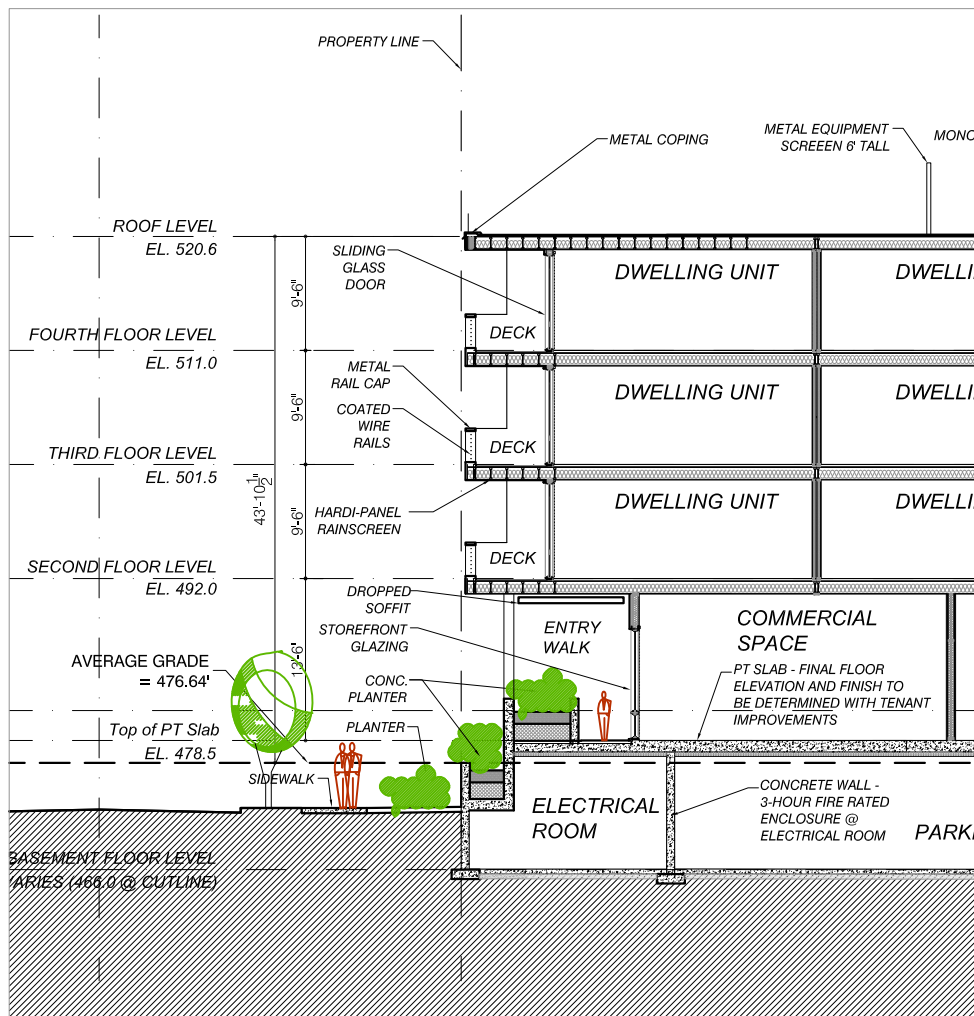
Visual Emphasis for Entry



Activate Commercial

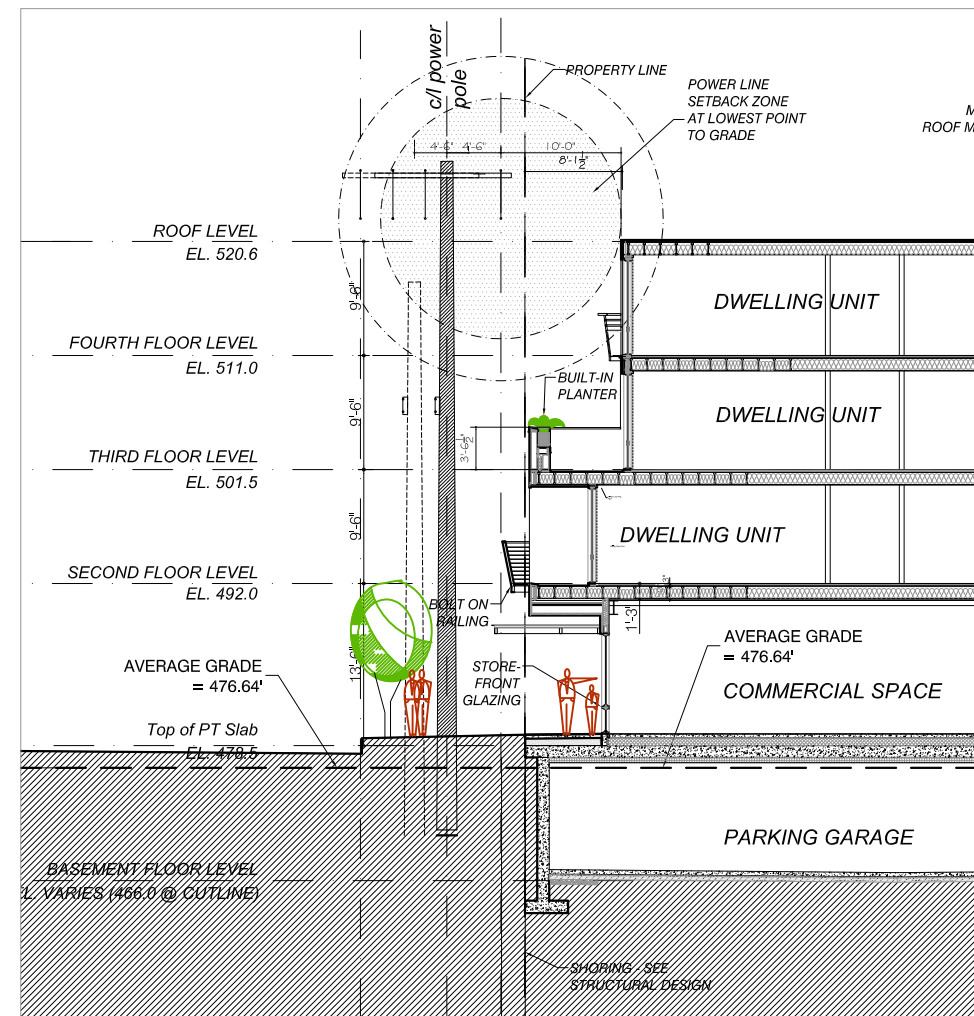


Set Back Encourages Activity



Section at N. 143RD Street

SCALE: 1" = 25' - 0"



Section at Greenwood Avenue

SCALE: 1" = 25' - 0"

Pedestrian Environment

D-9 Commercial Signage

- commercial signs will be blade style discretely hung from overhangs

D-10 Commercial Lighting

- storefronts will illuminate the sidewalks, backed up with overhead soffit lighting

D-11 Commercial Transparency

- 80% transparency is achieved for commercial frontage

D-12 Residential Entries and Transitions

- sidewalk is widened for the comfort of pedestrians and possible sidewalk cafes that turn the corner to the protected residential access area

GREENWOOD PLACE
14307 Greenwood Avenue North



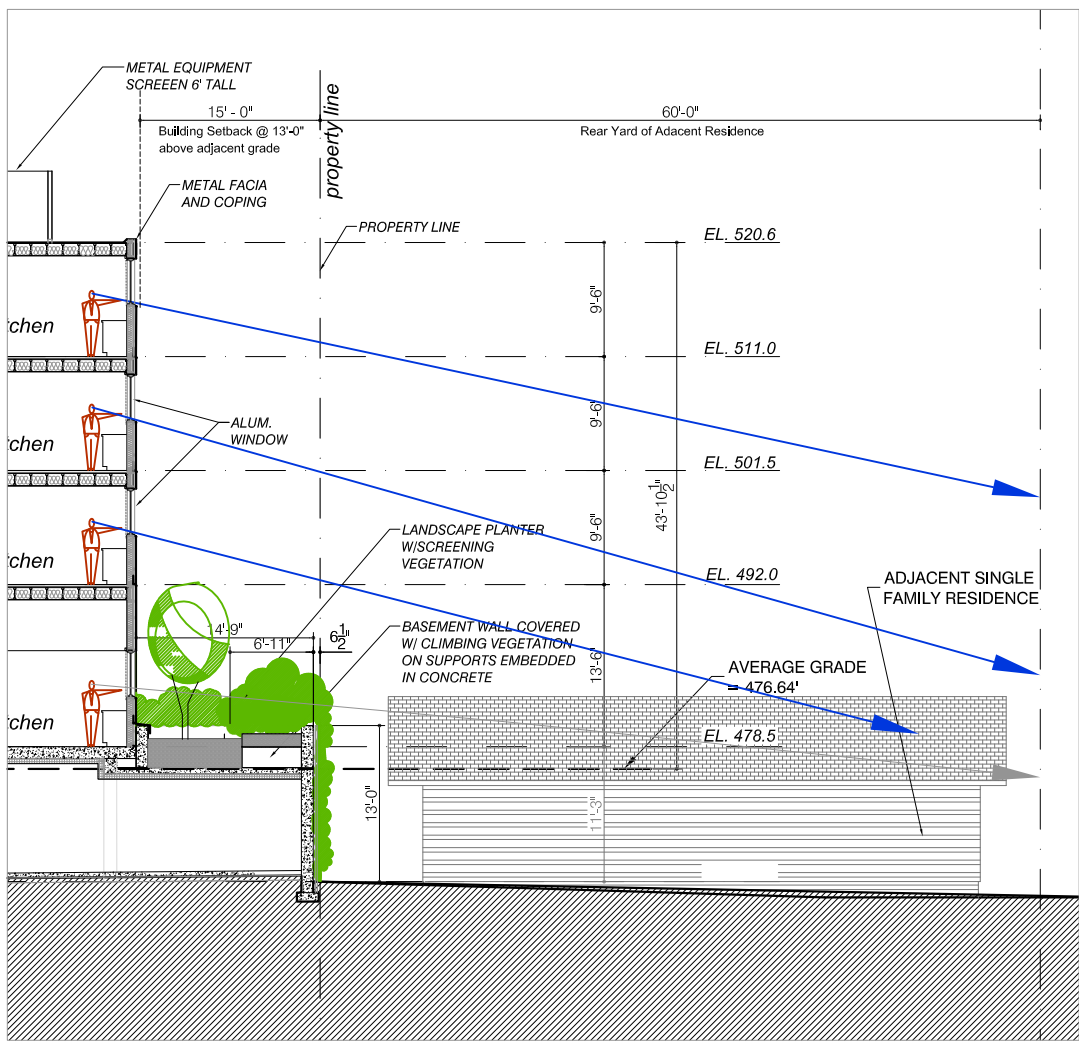
Visual Interplay of Modulation



Private Patio

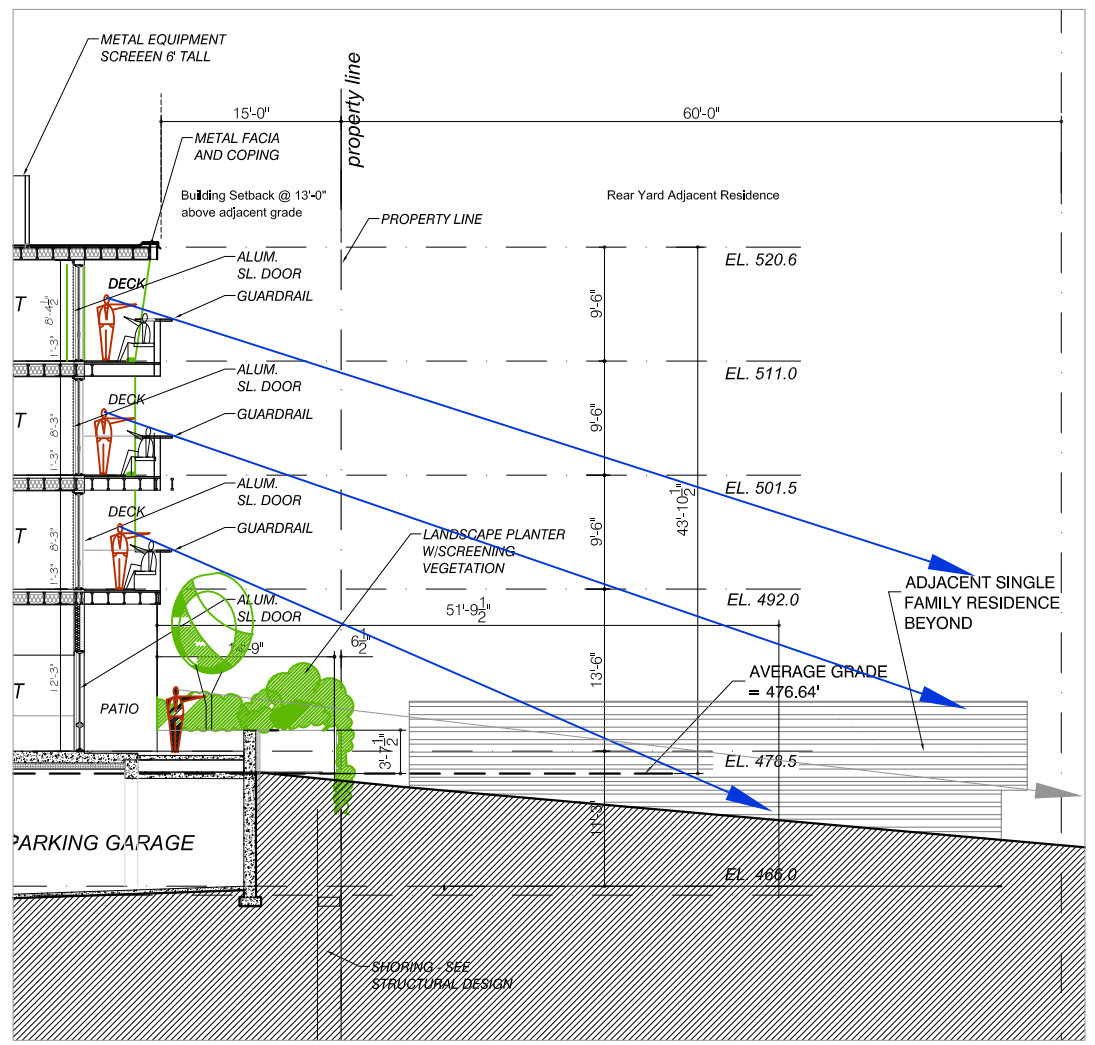


Patio Fencing and Landcaping



Building Section at Greenwood Avenue

SCALE: 1" = 25' - 0"



Building Section at Greenwood Avenue

SCALE: 1" = 25' - 0"

A-5 Respect for Adjacent Sites
To be sensitive to the less intensely zoned property to the west we have:

- intense buffer landscaping
- introduce muted but layered color scheme
- design deck rails to enhance privacy
- punctuated the facade with deck/visual screen projections

B-1 Height , Bulk and Scale Compatibility Height and Bulk
To be sensitive to the less intensely zoned property to the west we have

- stepped the building away from the less intensely zoned property to the west at the southwest corner
- increasing setback from the code minimum
- punctuated the facade with deck/visual screen projections

Building Modulation
The design of the residential functions reinforces:

- the expression of the individual units, decks, patios and fenestration
- creates of depth in the facade due to the variety of shadow patterns

Glass and Glazing
Fenestration is designed for balance of privacy and views:

- larger windows are set deeply back at deck areas
- windows not set back are set so that the sills will block standing views to neighboring yards

E-1 Use of Landscaping
Establish green screen for privacy along west property line :

- install dense and diverse plantings for entire length
- install climbing vine "green wall" over exposed basement walls



GREENWOOD PLACE
14307 Greenwood Avenue North

Response to Early Design Guidance Review Comments Site Planning

Design Review Guidleline	Design Review Recommendation	Response to Early Design Guidance
<p>A-1 Responding to Site Characteristics The siting of the buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.</p>	<p>The Board agreed that the proposed building could be shifted to the south, closer to the right-of-way. After deliberation, the Board members conveyed a lack of attachment to the two existing conifer trees.</p>	<p>The proposed design has revised the building footprint south. The two conifer trees will be removed. We have however, revised our concept to preserve an existing tree bordering our west property line.</p>
<p>A-3 Entrances Visible from the Street. Entries should be clearly identifiable and visible from the street.</p>	<p>The proposed arcade along Greenwood Ave. was discouraged. Board members did not believe that an arcade would facilitate pedestrian activity or encourage commercial development. Locating the commercial space closer to the right-of-way was encouraged.</p>	<p>The proposed arcade has been removed from the commercial frontage. We have, however, retained the original concept of setting back the commercial facade. This has been driven by new information regarding an SDOT requirement to set our new curb back 34'-6" from the street centerline. The resulting sidewalk would have been only 10'-6" wide. We believe the increased depth, together with the second floor cantilevered "canopy", will promote sidewalk activity and outdoor cafe seating.</p>
<p>A-4 Human Activity. New Development should be sited and designed to encourage human activity on the street.</p>	<p>Design of the commercial level frontage and its relationship to the right-of-way represents a critical component of future success. Ensure that the design meets ADA accessibility standards for the formal residential entry. The Board discussed the location of the residential entry and indicated that its placement on either street would meet its expectations for the development.</p>	<p>The proposed residential entry remains will face North 143rd Street with clear provision for ADA accessibility compliance visible from both frontage streets. This will encourage activation of the corner and provide protected entry for visitors. We have introduced a sculptural wall extending the curving floor plan corridor orientation that will visually accent the residential access from the busy intersection. This wall will be a bold and bright color to help vitalized the space.</p>
<p>A-5 Respect for Adjacent Sites. Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.</p>	<p>Design of the west facade that defers to the adjacent residence. Placement of decks and fenestration should ensure privacy. At the recommendation meeting, the Board expects to review two east/west cross sections, to include the neighboring house, and two north/south sections.</p>	<p>The proposed building design facing the westerly property line designed limit direct orientation of views and activity towards the less intensely zoned property. Outdoor spaces facing west in the proposed design feature setbacks that exceed zoning code minimums, divers evergreen landscaping and deck railing designs with built-in screening that will minimize disruption of privacy and outdoor activities.</p>
<p>A-8 Parking and Vehicle Access. Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties.</p>	<p>Noting option #3, the Board urged the applicant to shift the driveway away from the west property line. The driveway's proximity to the shared property line seemed to be a burden to the neighbor.</p>	<p>The access point and associated curb cut for vehicle entry to the below grade parking has been shifted east so that it exceeds 15 feet from the common property line with the residence to the west. The access is setback from the property line to minimize stacking issues.</p>
<p>A-10 Corner Lots. Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners..</p>	<p>The southeast corner of the structure will have considerable visibility from the street. The Board members conveyed their interest in the architect's resolution. Keeping with the informal nature of the urban context, there is no need to make a grandiose or obvious statement at the corner.</p>	<p>The informality of the locale, while not reflective of a consistent design standard, does have a vitality that is based on it's ad hoc growth. The project design responds to the visual spontaneity of the neighborhood character with enough restraint to control the rational for variety tied to building functions and urban design. The design intends to promote a shift towards a clearly defined business district with less automobile dominance.</p>

GREENWOOD PLACE
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Response to Early Design Guidance Review Comments

Height, Bulk and Scale

<i>Design Review Guidleline</i>	<i>Design Review Recommendation</i>	<i>Response to Early Design Guidance</i>
<p>B-1 Height, Bulk and Scale Compatibility Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, Bulk and scale between anticipated development potential of the adjacent zones.</p>	<p>The Board acknowledged the reduction in building scale at the property's southwest corner in response to the transition to a lower scale zone. The treatment of the proposed west facade will be scrutinized at the Recommendation meeting. See guidance A-5. The decks, fenestration and choice of materials should possess a residential scale compatible with the building's surroundings.</p>	<p>The proposed design retains the stepping of the southwest corner massing in deference to the less intensely zoned adjacent property. In order to break down the scale, the west facade design includes:</p> <ul style="list-style-type: none"> • modulation tied to the individual units and decks • built-in guardrail screen "shelves" and view privacy "fin" walls at upper level decks • individual decks have been deeply recessed to enhance privacy while creating deep shadow lines in order to break down scale • landscaping at the lower level residential units is devised to provide scale break up, visual privacy and softening of the built form • lower level patios are setback from the property line to respect privacy • the existing nine-foot tall rockery along the west property line will be removed and the above grade portions of the new basement wall will be equipped with hardware designed to support climbing vine plant material that will eventually form a "green wall" to soften the built form of the project • building colors and materials are significantly muted yet contrasting enough so that they will reinforce the formal modulation designed into the west facade (see west and south elevation drawings); the color shift occurs on the west side of the residential entry accent color wall • the stepped down massing of the southwest corner has been done in concert with the building corner "inflecting" away in plan from the west property line to improve solar access and privacy • the massing step down has been softened further with the inclusion of built-in, elevated planter "guardrails" to soften edges • to insure visual privacy, the upper floor decks at the southwest corner of the building will have privacy "fin walls" placed to limit the line of sight between neighbors • fenestration on the face of west facade will be a substantially smaller residential scale with sills set high enough to block line of sight from a standing position (see diagram in west side sections)

GREENWOOD PLACE
14307 Greenwood Avenue North

Response to Early Design Guidance Review Comments

Architectural Elements and Scale

Design Review Guidleline	Design Review Recommendation	Response to Early Design Guidance
<p>C-1 Architectural Context. New buildings proposed for existing neighborhoods with a well defined and desirable character should be compatible with or compliment the architectural character and siting pattern of the neighborhood.</p>	<p>The architectural gestures, based on the sketches, appear out of scale with the site. During design development, the architect should consider the intimacy of the site's context and neighbor's desire for an unpretentious building.</p>	<p>The intimacy of this neighborhood is generated partly by the spontaneous diversity of its ad hoc fabric. In our project design, the building form, colors and ground plane design elements have take cues from existing patterns. The look forward however, towards a more uniform street frontage profile on Greenwood Avenue as is supported by the City zoning controls that anticipate redevelopment of the neighborhood over time. The proposed design acknowledges this by approximating the zoning envelope to define the commercial right-of-way edge and yet modulated in a way that responds to pedestrians, vehicular passengers and the visual spontaneity of the neighborhood.</p>
<p>C-2 Architectural Concept and Consistency. Building design elements, details and massing should create a well proportioned and unified form and exhibit overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.</p>	<p>Noting option #3, the Board urged the applicant to shift the driveway away from the west property line. The driveway's proximity to the shared property line seemed to be a burden to the neighbor.</p>	<p>The access point and associated curb cut for vehicle entry to the below grade parking has been shifted east so that it exceeds 15 feet from the common property line with the residence to the west.</p>
<p>C-3 Human Scale. The design of new buildings should incorporate architectural features, elements and details to achieve good human scale.</p>	<p>The architect was encouraged to activate the building's Greenwood Ave front, particularly at street level. Consider installing benches, art and other community friendly amenities.</p>	<p>As recommended, we have omitted the arcade on Greenwood Avenue. We have setback the commercial storefronts and allowed a second floor cantilever as a canopy to encourage more pedestrian activity. We have but added suggested locations for street furniture, street trees, bicycle racks and cantilevered awnings for weather protection and building shading (each being subject to SDOT approval and permitting. Further, the ground floor facade character will remain primarily transparent to promote human interest and activity. The upper floors of the building facades have now been developed to articulate interior,r and other building functions, that animate and bring meaning, depth and interest to the expression of the building image.</p>
<p>C-4 Exterior Finish Material. Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.</p>	<p>The Board acknowledged a neighbor's desire for a building with natural, muted colors compatible with the neighborhood context. the Board requested a materials board for the next meeting.</p>	<p>The proposed color scheme acknowledges the desire for muted colors where the building is visible to the residential neighborhood. It does however, make a shift towards the more vital and vibrant colors of business activity zones. We believe the design has been informed by the duality of the site image. The end result is basically a two sided facility with each side influencing the other. Contrasting color/hue/value compositions to articulated important building functions such as the primary residential entry and other functional elements are useful design elements in create a image embedded in it's place.</p>

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Response to Early Design Guidance Review Comments

Pedestrian Environment

Design Review Guideline	Design Review Recommendation	Response to Early Design Guidance
<p>D-1 Pedestrian Open Spaces and Entrances Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian oriented open space should be considered.</p>	<p>No specific comment.</p>	<p>The proposed design incorporates an "accent" entry stair for residential access that include seating areas, landscaping and excellent solar exposure. The ADA access ramp is entirely protected from the weather and is easily accessible from either frontage street.</p>
<p>D-2 Blank walls. Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.</p>	<p>Depending upon the depth of the proposed garage, blank walls facing the property to the west and N. 143rd Street could be problematic.</p>	<p>We refer to our notes in Section B - Height, Bulk and Scale, I regarding treatment of the blank walls. Regarding the frontage facing N. 143rd Street, we have designed extensive landscape planters that are, terraced to break down the scale and disguise the potential blank wall of the basement parking garage.</p>
<p>D-3 Retaining Walls. Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where higher retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscapes.</p>	<p>No specific comment.</p>	
<p>D-6 Screening of Dumpsters, Utilities and Service Areas. Building sites should locate service elements, loading docks and mechanical equipment away from the street front where possible.</p>	<p>If placement of the recycling and waste storage area occurs in the garage, the architect should show where the bulk of the residential and commercial waste material will be located during pick up days.</p>	<p>Consistent with the recently completed mixed use building across the street to the east, waste and recycling containers will be stored within the structure. Refuse collectors will have keyed access to the storage space so no exterior storage or staging will occur for this project.</p>
<p>D-7 Personal Safety and Security. Project design should consider opportunities for enhancing personal safety and security in the environment under review.</p>	<p>The architect should be cognizant of creating secure open spaces for the patios at or near grade. The placement and type of exterior lighting are also important.</p>	<p>Patio levels are in excess of ten feet above the adjacent grade along the street frontages which will strongly discourage security breaches. where patios are at grade in the northwest section of the property, access would be through the neighboring properties. The proposed design will have six foot tall security fencing along the north half of the west property line and all along the north property line with access only vi a locked gate (equipped from the occupant side with quick release hardware in case of an emergency). Patios will be lit with low level ground wash style fixtures.</p>
<p>D-9 Commercial Signage. Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.</p>	<p>The Board expects to review the applicant's concept for the type and location of commercial signage.</p>	<p>Commercial signs will be mounted on the structure, under the awnings fronting Greenwood Avenue. Each commercial business will be permitted to install one "blade" style signs that may contain the business logo and name. This sign will be mounted above reach from grade and project out from the building facade. The signs will be two sided. Neon and internal lighting will be acceptable. The maximum size will not exceed City Zoning standards.</p>

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Response to Early Design Guidance Review Comments
Pedestrian Environment (continued)

<i>Design Review Guidleline</i>	<i>Design Review Recommendation</i>	<i>Response to Early Design Guidance</i>
<p>D-10 Commercial Lighting. Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building facade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas and/or on signage.</p>	<p>Provide an exterior lighting scheme for the Recommendation meeting. Include cut sheets or designs for the most visible fixtures.</p>	<p>Lighting will typically be mounted on the building as a supplement to the merchandise lighting along Greenwood Avenue North. Along N. 143rd Street, low level bollard or semi recessed walkway lighting will be installed ramps and stairs. Ground mount uplighting will be provided in the landscape planters. Some building mounted lighting will enhance the light levels of the barrier free walkway/ramp to the primary residential guest entry. Only low level lighting will be installed at the outdoor spaces along the west property line to prevent off-site glare to neighbors.</p>
<p>D-11 Commercial Transparency. Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of the building.</p>	<p>This is always an important consideration.</p>	<p>The dominant feature of the east facade at street level facing Greenwood Avenue will be storefront type glazing and entry systems. Over 80% of this frontage will be transparent between 2 feet and 8 feet above the sidewalk. This treatment will wrap the southeast corner leading to a transition to residential uses and entry. In deference to the adjacent less intense zoning, it will not be a dominant feature of the design. The design will have a commercial storefront in the southeast corner as an edge t the barrier free access.</p>
<p>D-12 Residential Entries and Transitions. For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.</p>	<p>As noted above, the Board conveyed its flexibility by acknowledging that the location of the primary residential entry could occur on either street.</p>	<p>The proposed design retains the location of the primary residential entry at the south side of the building facing N. 143rd Street but visible to the intersection and sidewalk along Greenwood Avenue North.</p>

Landscaping

<p>E-1 Landscaping to enhance the Building and/or Site. Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.</p>	<p>The Board encourages the applicant to work with SDOT on the development within the street right-of-ways and find creative solutions for drainage retention.</p>	<p>After analysis of the underlying soils, it was determined that they will not support infiltration as a piece of our storm water management plan. SDOT has indicated that our available area for water quality/filtration does not meet their minimum. We have however, designed an on site water quality filtration system that will be embedded in the stepped planters designed for the southeast area of the site. Storm water will be allowed to gravitate through the filtration system there, and then collect in an underground vault from which it will be pumped to the City sewer collection system.</p>
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