



DRB Recommendation
DPD PROJECT #3012582
OCTOBER 24, 2012*
ASSISTED LIVING
223 W GALER St SEATTLE, WASHINGTON

*THIS BOOKLET CONSISTS OF THE ORIGINAL DRB RECOMMENDATION PACKET
SUBMITTED TO DPD ON OCTOBER 17, 2012 PLUS THE ADDITIONAL MATERIAL
PRESENTED AT THE PUBLIC RECOMMENDATION MEETING ON OCTOBER 24, 2012

223 W GALER ST

presented by

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DESIGN RECOMMENDATION MEETING

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Ægis Living Communities



*There are too many things to see and do,
not to take advantage of every second.*

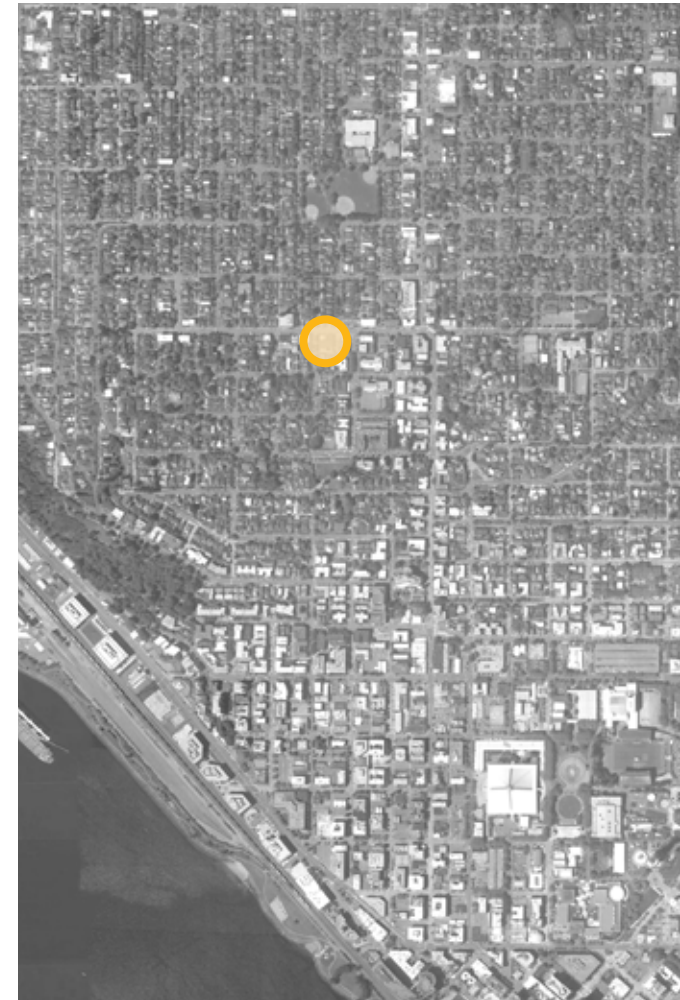


*We can help,
let us give you a hand
so you can go out and enjoy life.*



*Life's calling.
So answer.*

- **Assisted Living**
 - Nurturing personal care
 - Health and wellness based
 - Restaurant style dining
 - Array of activities tailored to senior interests & abilities
 - Average Entry Age 82
 - Memory Care Floor & Roof Garden
- **Locally Owned**
- **35 Locations**
- **Long Term Ownership and Commitment to Neighbors**



Development Objectives + Program

The 223 W Galer St site is an exceptional property located close to shopping, dining, and outdoor activities in the Upper Queen Anne Residential Urban Village. Aegis Living seeks to develop 57 assisted living apartment homes that includes one specialized floor programmed to serve residents with memory care needs. Outdoor roof terraces will be provided for both the assisted living and memory care residents. Market research has shown that this neighborhood is under-served by assisted living providers.

The development site includes an under-developed NC2-30 commercial parcel with an existing warehouse/office building on it. The current building will be demolished.

A four story building complying with a contract rezone to NC2-40 zoning is proposed. As many assisted living residents have difficulty with mobility, automobile use is rare and most residents do not have cars. 21 below grade parking stalls are provided and targeted mostly for staff and visitors. Drop off is intended to be available at the main entry off the street as well as from the parking garage in inclement weather.

Programmatically, the ground floor will be mixed-use, and will also be activated by resident serving common areas such as dining, a grand living room, and an in-house "bistro." A neighborhood scale public-use retail space, likely to be a café or book shop, will be featured near the corner of W Galer St and 3rd Ave W. Other activity rooms, such as a theater, class rooms, spa/massage, a library and a "brain gym" will be located one floor down. All meals are provided for residents and served in a group dining room. Each assisted living apartment also has a small kitchenette.

Site Analysis

LOCATION: 223 W Galer Street

TOPOGRAPHY: Site slopes downhill from NW corner to the SE corner of the site with an elevation change of approx 6'-0"

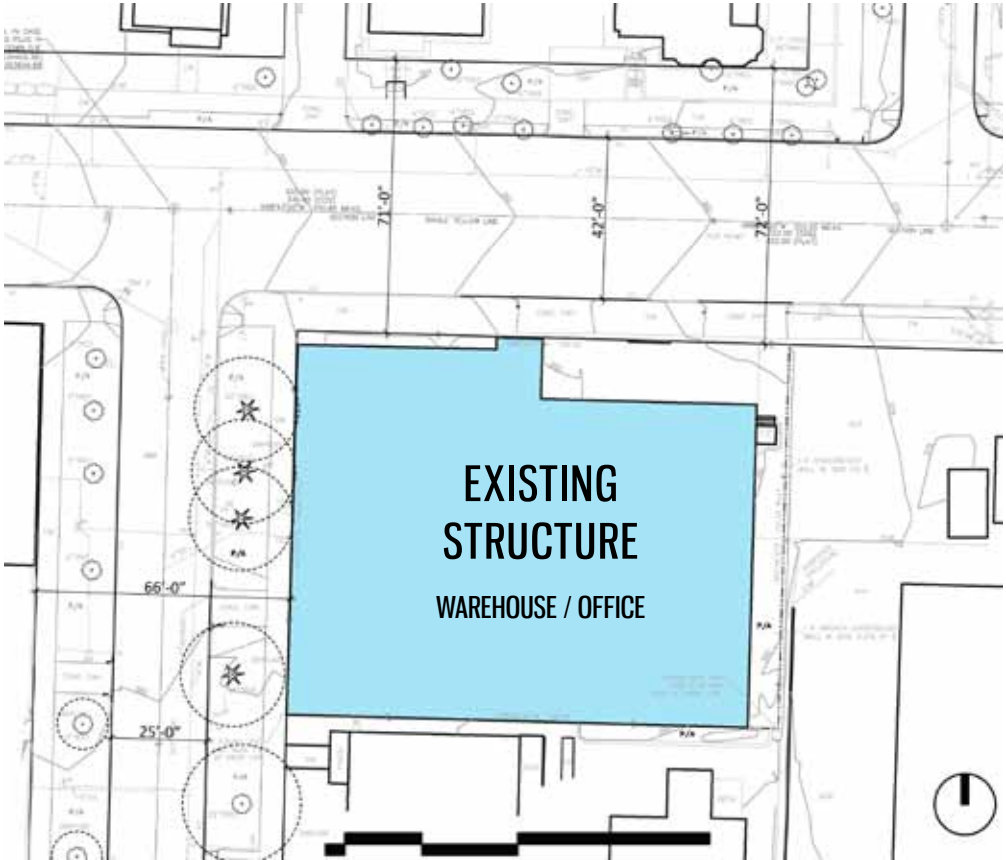
ACCESS: Site access is from W Galer St and 3rd Ave W. There is no alley access for this site.

TRANSIT: Site is on King County Metro's #2 bus route which affords direct access to Downtown, First Hill, and Madrona Park / Lake Washington. Bus stops are one block East and West of site.

The site is within 1,320 foot walking distance of frequent transit service (15 minute service).

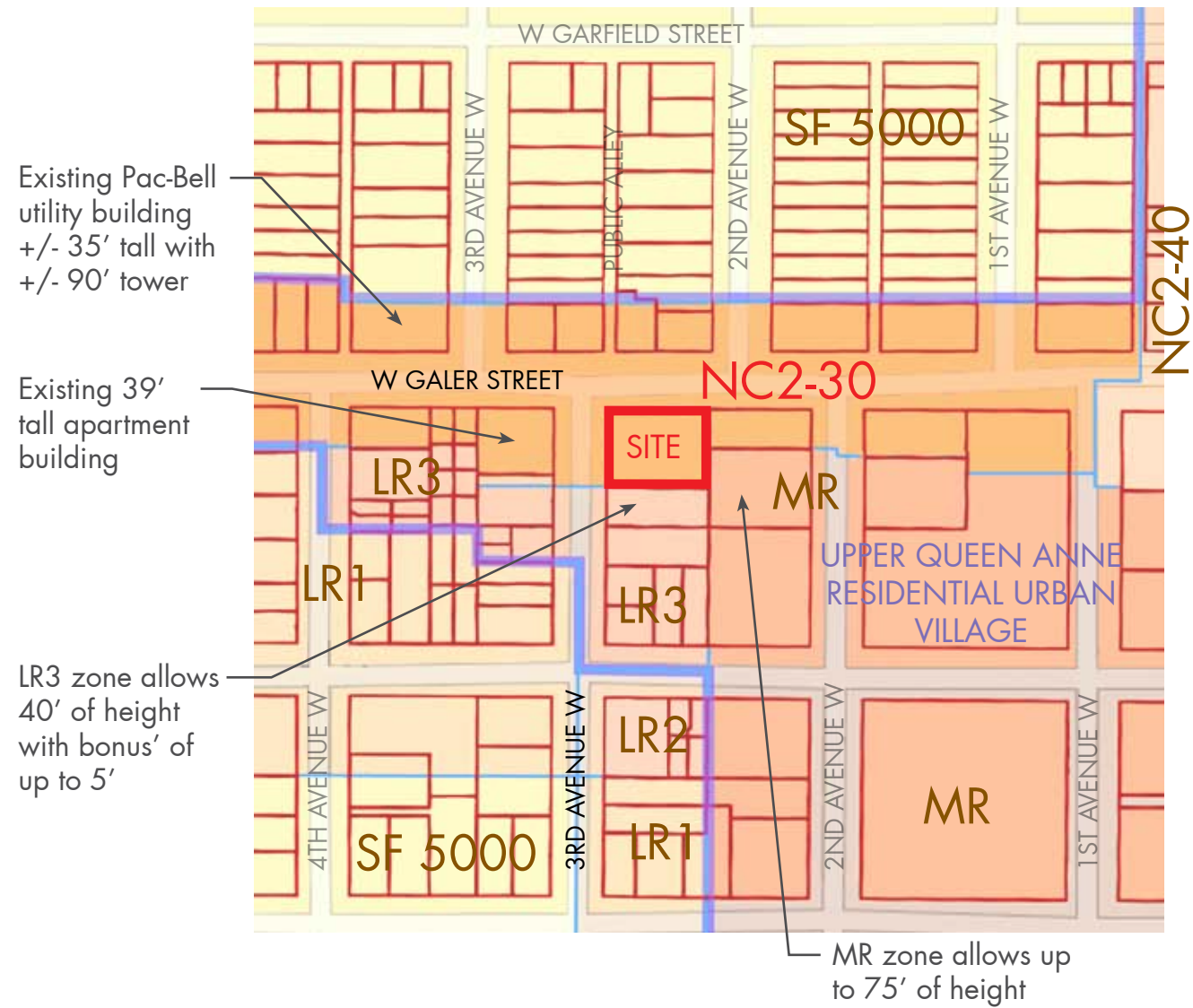


ENVIRONMENTAL ANALYSIS DIAGRAM



SITE SURVEY

Zoning + Land Use Summary



ZONING MAP



EXISTING LAND USE DIAGRAM

Key Zoning + Land Use Issues

Zone: NC2-40 (Contract Rezone)

Within: Upper Queen Anne Residential Urban Village

Site Area: 12,800 SF

Street Level Use

SMC 23.47A.005.C.1: Residential uses are generally permitted anywhere in a structure in NC1, NC2, NC3 and C1 zones, except as provided in subsections 23.47A.005.C.2 and 23.47A.005.C.3.

SMC 23.47A.005.C.3: Residential uses may not exceed, in the aggregate, 20 percent of the street-level street-facing facade when facing an arterial or within a zone that has a height limit of 85 feet or higher, except that there is no limit on residential uses in the following circumstances or locations:

b. The residential use is an assisted living facility or nursing home and private living units are not located at street level.

SMC 23.47A.005.C.4: Residential uses may occupy 100 percent of the street-level street-facing facade in a structure if the structure:

c. Is not located in a pedestrian-designated zone or a zone that has a height limit of 85 feet or higher; and

d. Does not face a designated principal pedestrian street.

Retail

SMC 23.47A.008.B.3.a: Avg depth of non-residential use = 30 feet from street-level facade, 13' min floor-to-floor height.

Structure height

SMC 23.47A.012.A:

The height limit for structures in NC2-40 zones is 40 feet.

SMC 23.47A.012.A.1: In zones with a 30 foot or 40 foot mapped height limit:

a. the height of a structure may exceed the otherwise applicable limit by up to 4 feet, subject to subsection 23.47A.012.A.1.c, provided the following conditions are met:

1) Either

i. A floor-to-floor height of 13 feet or more is provided for nonresidential uses at street level;

Above height limit

SMC 23.47A.012.C.2: +4'-0" for open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls.

SMC 23.47A.012.C.4.b&f: +16'-0" for screened mechanical equipment, stair and elevator penthouses, provided: combined area of all rooftop features < 24% roof area.

Floor Area Ratio

SMC 23.47A.013.A.1: All gross floor area not exempt under subsection D of this Section is counted against the maximum gross floor area allowed by the permitted FAR.

SMC 23.47A.013 Table A.3: Total permitted for all uses within a mixed- use structure containing residential and non-residential uses. 40' Height Limit FAR = 3.25

SMC 23.47A.013.D: The following gross floor area is not counted toward FAR

1. Gross floor area below grade;

Setback requirements

SMC 23.47A.014.B: Setback requirements for lots abutting or across the alley from residential zones.

SMC 23.47A.014.B.1: A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The third side connects these two sides with a diagonal line across the commercially-zoned lot (Exhibit A for 23.47A.014).

SMC 23.47A.014.B.2: A setback is required along any rear or side lot line that abuts a lot in a residential zone, as follows:

a. Ten feet for portions of structures above 13 feet in height to a maximum of 65 feet;

SMC 23.47A.014.B.3: For a structure containing a residential use, a setback is required along any rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows:

a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet;

SMC 23.47A.014.B.5: No entrance, window, or other opening is permitted closer than 5 feet to an abutting residentially-zoned lot.

SMC 23.47A.014.E.5.a: Fences, freestanding walls and other similar structures six (6) feet or less in height above existing or finished grade, whichever is lower, are permitted in required setbacks. The six (6) foot height may be averaged along sloping grade for each six (6) foot long segment of the fence, but in no case may any portion of the fence exceed eight (8) feet.

SMC 23.47A.014.E.6: Setback requirements do not limit underground structures.

Required parking and loading

SMC 23.47A.030.A: Off-street parking spaces may be required as provided in Section 23.54.015, Required parking.

SMC 23.47A.030.B: Loading berths are required for certain commercial uses according to the requirements of Section 23.54.035.

Required parking and loading

SMC 23.47A.032.A.1.c: If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines as determined through 23.47A.032.C, and curb cuts are permitted pursuant to Section 23.54.030.F.2.a.1).

SMC 23.47A.032.A.1.d: For each permitted curb cut, street-facing facades may contain one (1) garage door, not to exceed the maximum width allowed for curb cuts. SMC 23.47A.032.C: When a lot fronts on two or more streets, the Director will determine which of the streets will be considered the front lot line, for purposes of this section only. In making a determination, the Director will consider the following criteria:

1. The extent to which each street's pedestrian-oriented character or commercial continuity would be disrupted by curb cuts, driveways or parking adjacent to the street;

2. The potential for pedestrian and automobile conflicts; and

3. The relative traffic capacity of each street as an indicator of the street's role as a principal commercial street.

Transportation concurrency level-of-service standards

SMC 23.47A.033: Yes

Required parking

SMC 23.54.015 Table B: Line M - for residential uses in commercial zones within urban villages, if the residential use is located within 1,320 feet of a street with frequent transit service - no minimum parking required.

SMC 23.54.015 Table B: Assisted living facilities - 1 space for each 4 assisted living units; plus 1 space for each 2 staff members on-site at peak staffing time; plus 1 barrier-free passenger loading and unloading space

SMC 23.54.020.F.2.a: In multifamily and commercial zones, the minimum parking requirement for all uses is reduced by 20 percent if the use is located within 1,320 feet of a street with frequent transit service. This distance will be the walking distance measured from the nearest transit stop to the lot line of the lot containing the use.

Loading berth requirements and space standards

SMC 23.54.035.A.1: The minimum number of off-street loading berths required for specific uses shall be set forth in Table A.

SMC 23.54.035 Table A:

Medium Demand – 10,000 SF to 60,000 SF = 1 Loading berth

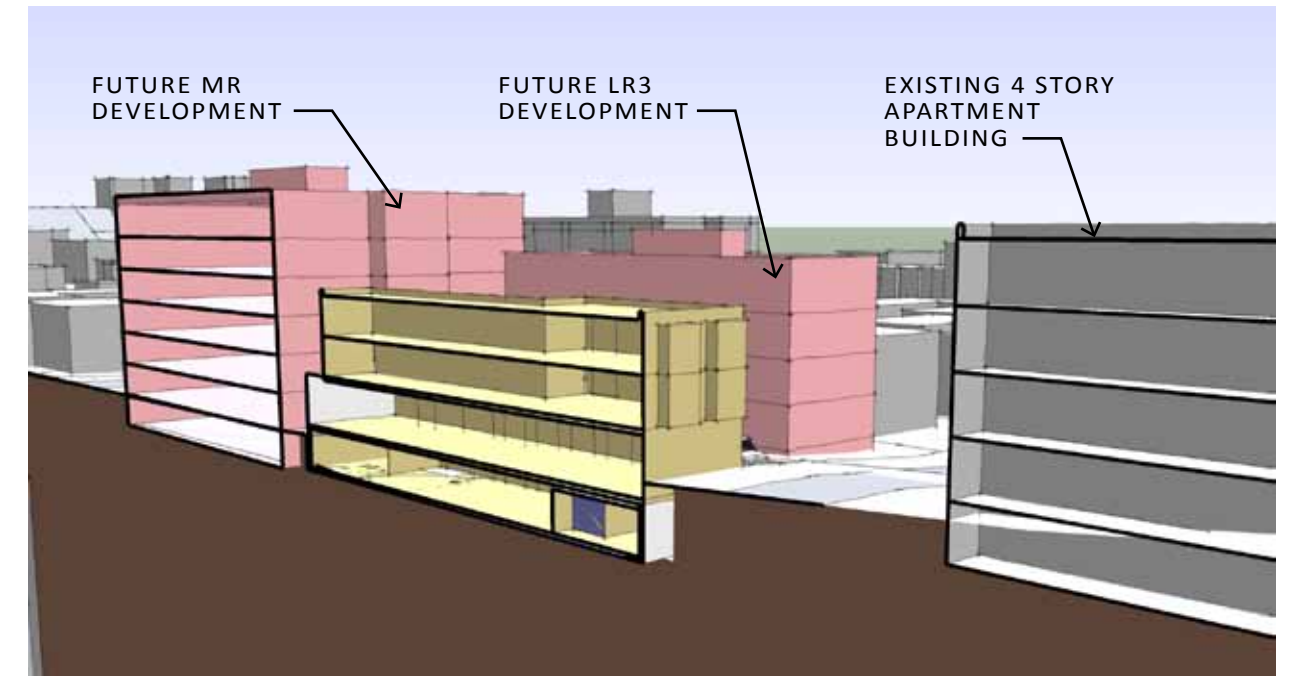
SMC 23.54.035.A, Table for: Assisted Living facilities = Medium Demand

SMC 23.54.035.C: Medium Demand - 10' wide, 14' high, 35' long (25' min exception)

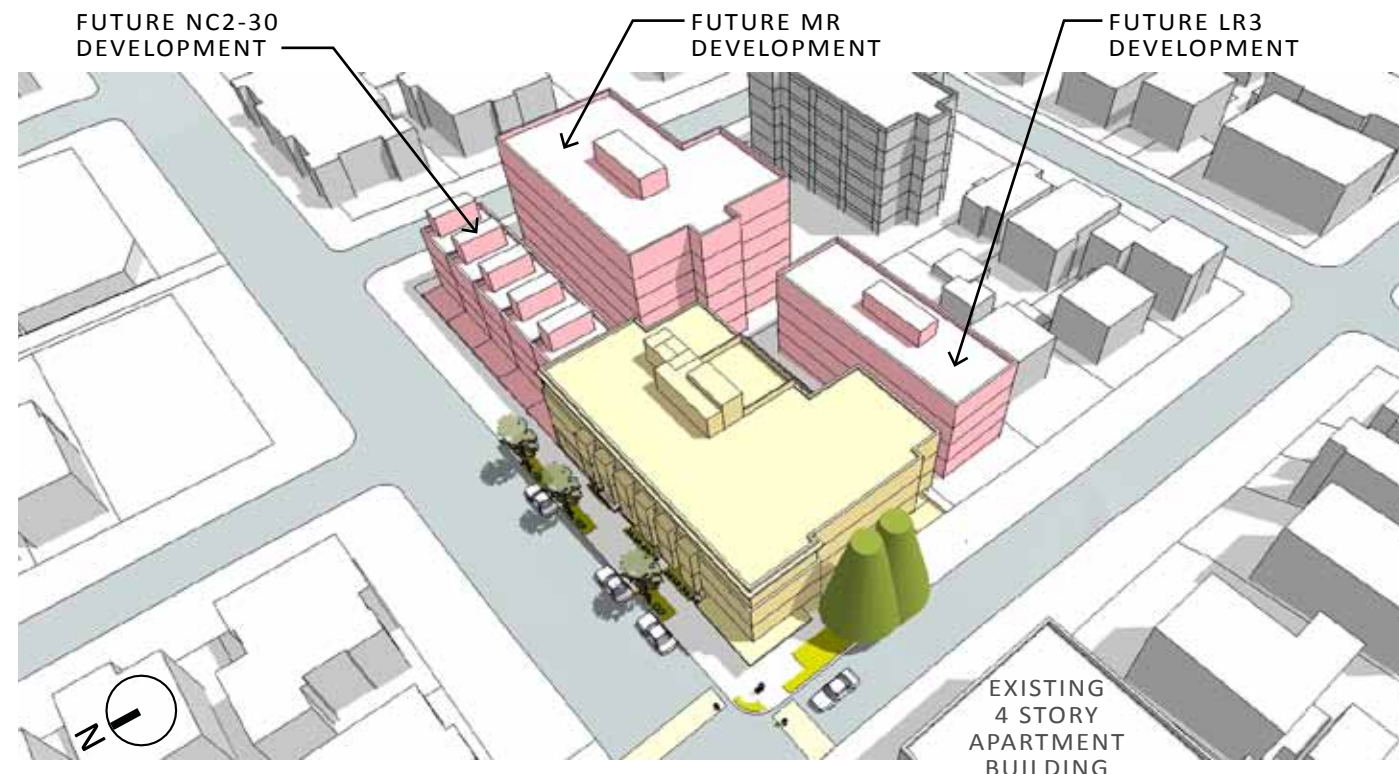
A Contract Rezone from NC2-30 to NC2-40 is being pursued on this project based on the inherent height disadvantage of this property compared to the surrounding conditions and zoning. Land-use policy generally places a height and bulk hierarchy at the center of neighborhood commercial districts then transitions into smaller scale multifamily and single family zones. This project looks to echo that traditional hierarchy. The following conditions justify a contract rezone in this location:

- The existing brick co-op apartment building (built before the establishment of NC2-30 zoning) to the west is four stories and is approximately 39' tall, setting the context for NC2-40' zoning.
- The lot immediately south of the project is zoned LR3. LR3 zoning was recently updated to allow larger apartment buildings in urban villages and the height limit was increased from 30' to 40' (45' bonus with pitched roofs). The propriety of the NC2-30 zoning on the project site has not been re-examined since this re-write of the LR3 zoning code. The age and condition of the building to the south is near the end of its useful life and with this new LR3 zoning in place it is likely to redevelop at the 40'-45' height allowed by the LR3 zone in the near future.
- The property to the east (behind Hobbs Auto Repair) overlaps 1/2 of the project's east boundary. It is zoned MR (midrise) which allows 75' of height and considerably more bulk than NC2-30 zoning (FAR 4.25 vs. 2.5).
- Single family zones allow more height (35' with pitched roofs) than the project site's NC2-30 zone allows.
- Allowing an additional story of height through NC2-40 zoning will create a more appropriate transition from the commercial corridor of Galer to the adjacent residential, midrise, and LR3 areas.
- A Contract Rezone will add more housing capacity to serve Queen Anne's under - served senior population and help the city better meet growth management goals in urban villages and along frequent transit service corridors.
- A Contract Rezone requires the provision of public benefit. Aegis Living is offering the community streetscape improvements well beyond current requirements as part of its contract rezone package. This includes compliance with and exceedance of the Picture Perfect Queen Anne public realm strategies that were developed for Queen Anne Avenue.
- Aegis and VIA Architecture has met with The Land Use Review Committee of the Queen Anne Community Council where this contract rezone approach was well-received. Aegis is currently pursuing endorsement for the contract rezone from the full community council.

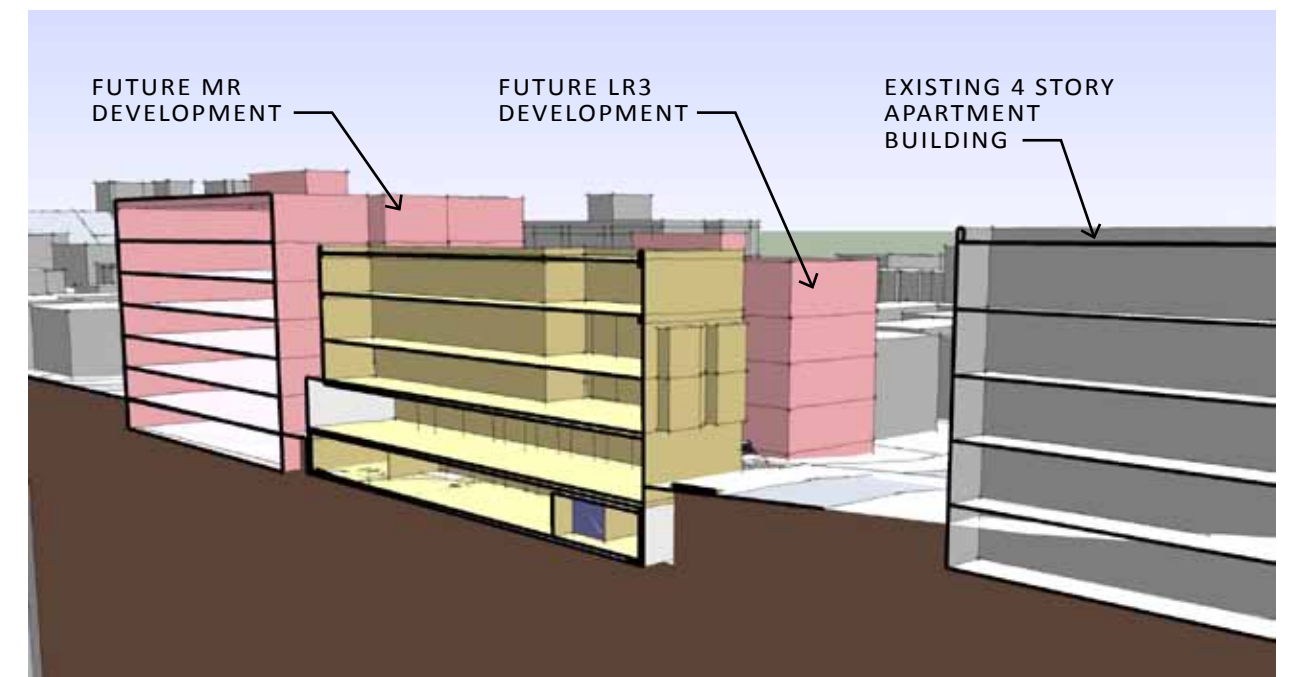
Rationalization for Contract Rezone



SECTION THRU 3 STORY OPTION - EXISTING NC2-30 ZONE



4 STORY OPTION - CONTRACT REZONE TO NC2-40



SECTION THRU 4 STORY OPTION - CONTRACT REZONE TO NC2-40

Site Context

USES:

W Galer Street is a main East - West arterial for the Upper Queen Anne neighborhood. It has a wide ROW containing two lanes of traffic and street parking on each side of the street. Views are territorial with some partial upper floor views of downtown between buildings and trees.

ARCHITECTURAL PATTERNS:

An eclectic collection of building types and uses surrounds the site giving us many sources of inspiration.



1



2



3



4



5



6



7



8



9



10



11



12



13



Precedents

Upper Queen Anne contains a wealth of typologies to draw inspiration from. Our intent is to match the high level of detailing and quality materials of this rich context.



Neighborhood Design Guidelines

Upper Queen Anne Hill Neighborhood Design Guidelines

A-1 RESPONDING TO SITE CHARACTERISTICS

E-1 REINFORCE EXISTING LANDSCAPE CHARACTER OF NEIGHBORHOOD

This site presents a unique opportunity to create a prominent, activated intersection on the South side of West Galer St at 3rd Ave W, where one has previously not existed for many years. The project will add four street trees and planting strips along W Galer Street to enhance the pedestrian environment and maintain the character of the surrounding neighborhood.

Of the four existing cypress trees along 3rd Ave W, the three northernmost trees will remain with new ground level planting. The size and density of these cypress trees completely screen much of the west façade (see A-5). As requested by the board, an arborist’s report has been commissioned, and moderate pruning of the trees to allow for additional visibility at the sidewalk would most likely be tolerated. The report indicates that the trees show considerable resistance to contractor pressures resulting from construction.

A-2 STREETScape COMPATIBILITY

A-4 HUMAN ACTIVITY

D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES

The project shows respect for neighboring properties, particularly the adjacent LR3 site, by responding to their residential scale in the massing of the building. Furthermore, the project strives to incorporate features in its design that recall the rich and diverse history of the neighborhood. Because the project site is situated on a busy commercial street, the design reflects a careful response to creating a safe, pleasant, and vibrant pedestrian environment through the use of fine grain detailing, weather protection, lighting and landscaping.

The project maintains the existing generous sidewalks and adds street trees and planting strips along W Galer Street to enhance the pedestrian environment while also providing a needed buffer between pedestrians and the street. As an assisted living facility, the zoning code allows the ground level to have common areas, rather than apartments facing the street. Beyond this, the proposed design strives to create lively and activated street-level uses that will be seen from the exterior.

A-5 RESPECT FOR ADJACENT SITES

B-1 HEIGHT, BULK, AND SCALE COMPATIBILITY

The W Galer corridor has seen a recent increase in new construction and redevelopment. New retail and multi-family projects are starting to create a more varied and articulated streetscape. As a medium scale project stretching over 125’ along W Galer St, careful attention to mass, scale, and modulation is warranted. The relationship to adjacent sites was carefully considered, specifically to the LR3 site to the south and the existing multifamily building to the West.

Landscaped green-screens as well as an overhead trellis have been proposed at the driveway and loading dock entrances to soften these features and minimize glare. There are several large existing cypress trees along the west edge of the property which will provide dense year-round screening and privacy of the residents along much of the west façade. The portion of the west façade not screened by the cypress trees is further recessed from the property line, creating greater open space between the proposed building and the multifamily building across 3rd Ave W.

A-8 PARKING AND VEHICLE ACCESS

This project maintains the current sidewalk width and does not diminish it with new diagonal parking. Parking garage and loading access is provided from 3rd Ave W. The parking and loading access location on 3rd Ave W minimizes conflict with pedestrian and vehicle activity, and was previously supported by the DRB, the QACC LURC and per SMC 23.47A.032.A.1.c, which requires parking access from a side street. Additionally, it is important to note that automobile use is rare and most residents do not have cars. Minimum parking is provided and targeted mostly for staff and visitors.

A-10 CORNER LOTS

A retail space is proposed on the corner of W Galer St and 3rd Ave W that, while small, has the potential to activate a corner that has been under-utilized for many years. The corner itself is clad in masonry with a recessed ground-level retail storefront. The masonry provides an anchor for the project and creates a strong focal point with a multi-story window bay and a projecting cornice line. Elsewhere, signage and pedestrian realm improvements, including street furnishings and amenities recommended in the Picture Perfect QA Master Plan, are also proposed to further activate this corner.

C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY

C-4 EXTERIOR FINISH MATERIALS

As a residential use building that bridges between commercial and residential areas, the design concept explores the dialogue between these two. Along W Galer St, the building reflects the use, scale, and history of this busy commercial street, while the East, South, and 3rd Ave W facades are respectful of the residential neighborhood and scale they face.

Per the EDG meeting recommendations, the project utilizes a flat roof with a strong cornice element. Brick is proposed at the corner of W Galer Street and 3rd Ave W, enhancing the prominence of that corner and creating a distinctive anchor element that includes a multi-story window bay capped by a projecting cornice.

Lap siding on the upper levels of the project are consistent with the residential character of those areas of the building as well as the neighborhood. Projecting bays along W Galer Street bring additional detail and modulation to the façade. Consistent materials and detailing are used on all facades.

C-3 HUMAN SCALE

High quality materials and fine grain detailing consistent with the character of the surrounding neighborhood is utilized to create a more human scaled environment at street level.

C-5 STRUCTURED PARKING ENTRANCES

D-6 SCREENING DUMPSTERS, UTILITIES & SERVICE AREAS

Special attention is paid to minimizing the visual impact of the parking entrances/service areas, and their impact on the pedestrian environment. The parking garage and loading entrances are recessed beneath the building and capped by an overhead trellis that is intended to be softened by landscaping over time. The loading/service area is screened with a decorative metal enclosure.

D-7 PERSONAL SAFETY AND SECURITY

The project endeavors to keep eyes on all sides of the building to ensure the safety of the surrounding streetscape. See also D-1

D-9 COMMERCIAL SIGNAGE

Care has been given to create signage that is respectful to pedestrian scale and the character of the surrounding neighborhood. The proposed vertical sign above the corner retail provides a signature

feature for the building and neighborhood and an opportunity for unique retail branding. Wall-mounted brass signage placards adjacent to the residential entrance as well as canopy mounted building signage are proposed for the assisted-living identification.

D-10 COMMERCIAL LIGHTING

The project strives for a well-lit, yet environmentally and contextually sensitive lighting solution. Pedestrian scaled, wall-mounted lighting along W Galer complements the fine-grain level of detailing. Soffit lighting at the recessed retail windows will gently wash the storefront and landscape areas.

D-11 COMMERCIAL TRANSPARENCY

The proposed design provides for a great deal of commercial transparency along W Galer Street, allowing for a visual interaction between the sidewalk and public interior spaces, including corner retail, resident bistro, dining area and living room.

D-12 RESIDENTIAL ENTRIES AND TRANSITIONS

The proposed residential entry provides a visually interesting and distinct presence along the W Galer Street frontage; elements include a unique glass and steel canopy, bronze wall placards and residential character wood doors.

E-2 LANDSCAPING TO ENHANCE THE BUILDING AND / OR SITE

In addition to the four new street trees and planting areas along W Galer Street, the project proposes recessing the ground level storefront to accommodate additional landscaping areas between the sidewalk and the building to enhance the pedestrian experience. Similarly, the building is held back from the sidewalk along 3rd Ave W to allow for additional landscaping area between the building and sidewalk.

E-3 LANDSCAPE DESIGN TO ADDRESS SPECIAL SITE CONDITIONS

The project provides landscaped outdoor space at several levels: generous sidewalks, street trees, and planting strips along W Galer St and 3rd Ave W; landscaping at the entrance; a 2nd floor garden for “memory care” residents, and a top floor terrace that looks out over the Upper Queen Anne neighborhood.

Streetscape



1 W GALER STREET, FACING SOUTH, BETWEEN 2ND AVE W AND 4TH AVE W



2 W GALER STREET, FACING NORTH, BETWEEN 1ST AVE W AND 3RD AVE W



Streetscape



3 3RD AVE W, FACING WEST, BETWEEN W GALER STREET AND W LEE STREET

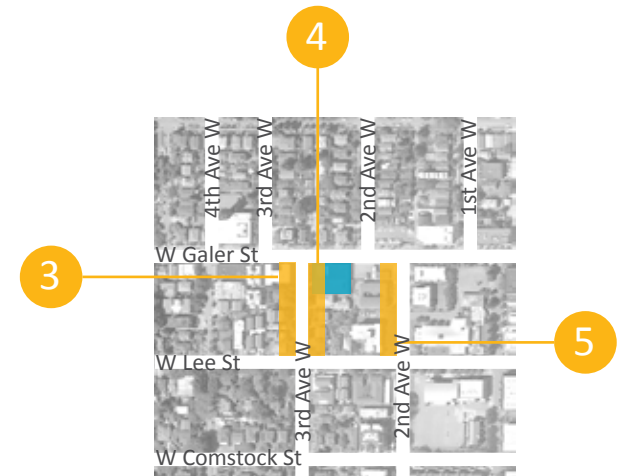
PROJECT SITE



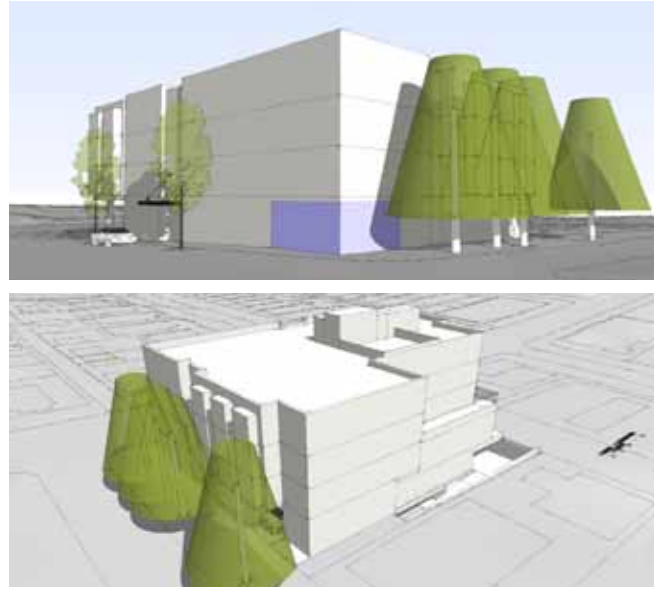
4 3RD AVE W, FACING EAST, BETWEEN W GALER STREET AND W LEE STREET



5 2ND AVENUE, FACING WEST, BETWEEN W GALER STREET AND W LEE STREET



EDG Massing Comparisons



MASSING OPTION 1 CONTRACT REZONE TO NC2-40

This option will be applying for a Contract Rezone to NC2-40. It will allow for a retail opportunity at the corner of W Galer St and 3rd Ave W. The resident entry is located at the mid-point of the structure on W Galer St. Parking access is located off of W Galer St at the low point of the street facade and proceeds to the south end of the site where it creates a light well for the two basement levels. Loading is off of 3rd Ave W and is internal to the building, pushing a portion of the building closer to the south property line. This option does not require the removal of any of the “exceptional” street trees.

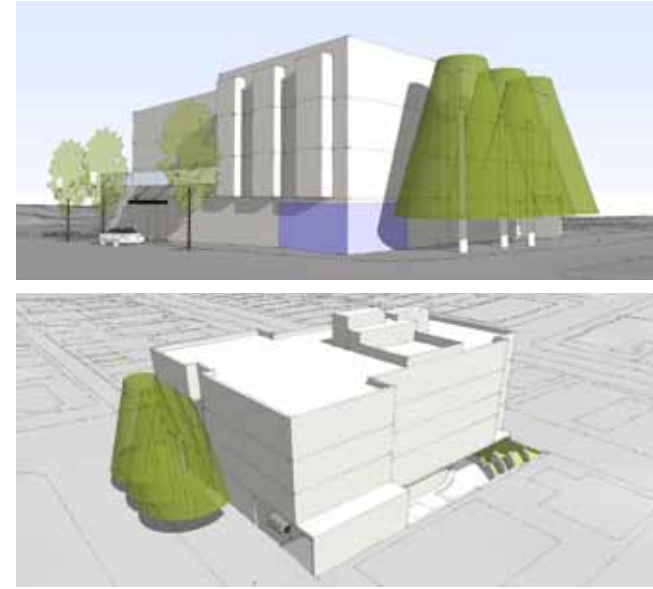
UNITS:	67
F.A.R.:	3.25
HEIGHT:	40'-0"
GROSS DEVELOPABLE AREA:	45,700 SF
PARKING AREA:	6,500 SF
PARKING:	17 STALLS

PROS:

- Saves “exceptional” tree
- South facing memory garden terrace
- Corner Retail space
- More appropriate transition to new LR3 (40' ht limit) and MR (60' ht limit) zoning
- More in context with existing apartment building across 3rd Ave S to the west, which is +40'-0"
- More capacity to serve Queen Anne aging population and meet Growth Management goals

CONS:

- Parking access is off of W Galer St
- Single unit is separated from the rest of the facility by the loading dock / freight elevator
- Departures required to meet development objectives



MASSING OPTION 2 CONTRACT REZONE TO NC2-40

This option will be applying for a Contract Rezone to NC2-40. It will allow for a retail opportunity at the corner of W Galer St and 3rd Ave W. The resident entry is located at the mid-point of the structure on W Galer St. Parking access and loading are off of 3rd Ave W and require the removal of one “exceptional” street tree. The parking access ramp creates a light well for the first basement level, but minimizes development opportunities on both basement levels. The Memory garden terrace is located on the north of the building and helps to add articulation to the W Galer St facade.

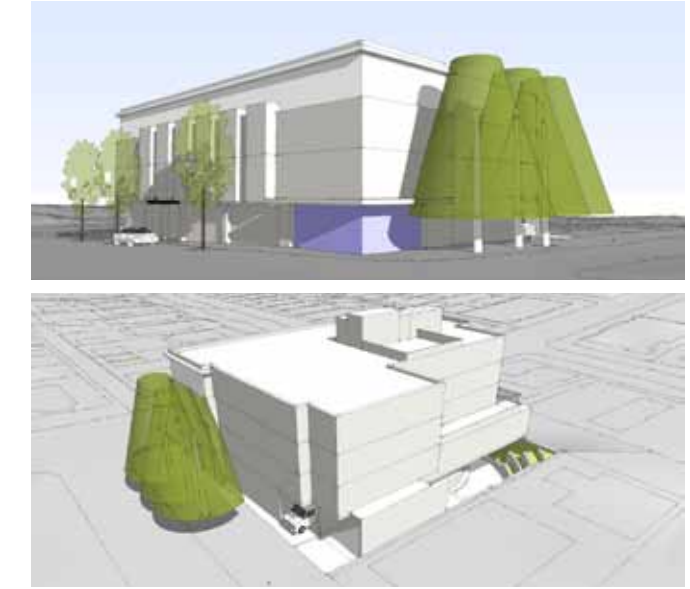
UNITS:	64
F.A.R.:	3.25
HEIGHT:	40'-0"
GROSS DEVELOPABLE AREA:	42,500 SF
PARKING AREA:	7,400 SF
PARKING:	17 STALLS

PROS:

- Corner Retail space
- More appropriate transition to new LR3 (40' ht limit) and MR (60' ht limit) zoning
- More in context with existing apartment building across 3rd Ave S to the west, which is +40'-0"
- More capacity to serve Queen Anne aging population and meet Growth Management goals

CONS:

- Inefficient ramp / vehicle circulation to get to parking
- Expensive structure and construction over ramp (L2)
- Must remove an existing “exceptional” tree to accommodate loading and parking access off of 3rd Ave W
- Departures required to meet development objectives
- North-facing memory garden terrace



MASSING OPTION 3 (PREFERRED) CONTRACT REZONE TO NC2-40

This option will be applying for a Contract Rezone to NC2-40. It will allow for a retail opportunity at the corner of W Galer St and 3rd Ave W. The resident entry is located at the mid-point of the structure on W Galer St. Parking access and loading are off of 3rd Ave W and require the removal of one “exceptional” street tree. The parking access ramp creates a light well for the first basement level, but minimizes development opportunities on both basement levels. The Memory garden terrace is located on the south of the building to take advantage of natural light.

UNITS:	66
F.A.R.:	3.25
HEIGHT:	40'-0"
GROSS DEVELOPABLE AREA:	41,300 SF
PARKING AREA:	7,400 SF
PARKING:	18 STALLS

PROS:

- South facing memory garden terrace
- Corner Retail space
- More appropriate transition to new LR3 (40' ht limit) and MR (60' ht limit) zoning
- More in context with existing apartment building across 3rd Ave S to the west, which is +40'-0"
- More capacity to serve Queen Anne aging population and meet Growth Management goals

CONS:

- Inefficient ramp / vehicle circulation to get to parking
- Expensive structure and construction over ramp (L2)
- Must remove an existing “exceptional” tree to accommodate loading and parking access off of 3rd Ave W
- Departures required to meet development objectives

EDG Development Option 3 (Basis of Design)



STREET VIEW AT W GALER ST & 3RD AVE W - LOOKING SOUTHEAST



BIRD'S-EYE VIEW FROM 3RD AVE W - LOOKING NORTHEAST

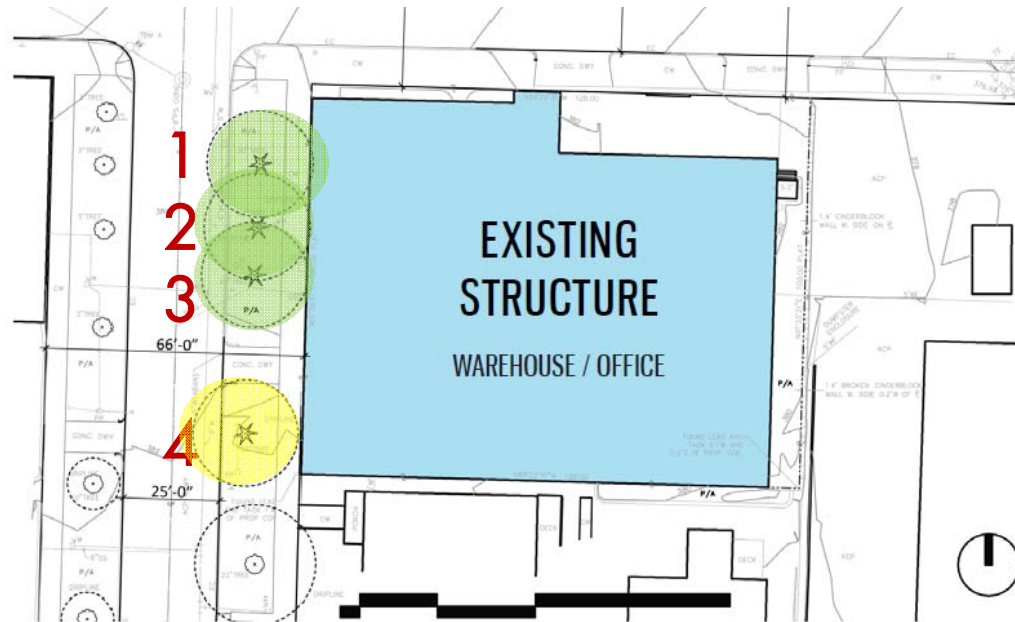


BIRD'S-EYE VIEW - LOOKING NORTHWEST



STREET VIEW AT W GALER ST - LOOKING SOUTHWEST

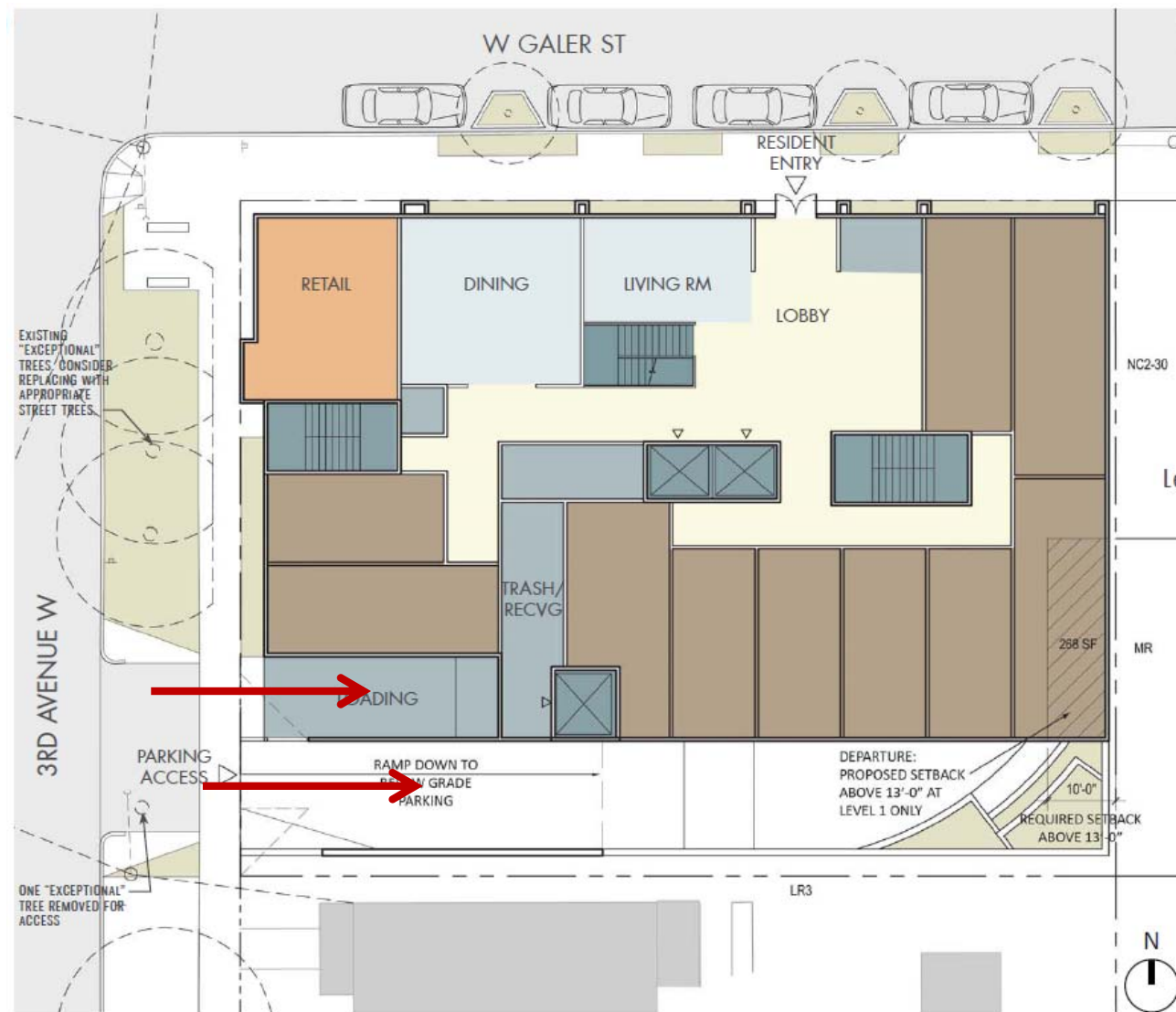
Site Planning A-1: Exceptional Trees



DRB: *requested further review.*

- Existing cypress trees are not recommended street trees but do meet exceptional tree criteria
- SDOT has approved removal of 1 tree, 3 trees will be saved
- Hearty & tough, will tolerate moderate pruning & shoring within root zone
- 4 new street trees will be installed on Galer Street

A-8 Parking & Vehicle Access: Loading



DRB Direction:

...locating the driveway and loading off 3rd Avenue...

- Keep vehicle access points off Galer
- Better urban solution in this context
- Willingness to consider a departure for a wider driveway
- Consistent with Picture Perfect Queen Anne goals
- Municipal code & SDOT requirement

- A-1 Site characteristics – responsive
- A-2 Streetscape character compatibility
- A-10 Corner lot addressed
- B-2 Height bulk and scale appropriate



A-4 Human Activity & C-3 Human Scale



A-5 Respect for Adjacent Sites: West Facade



DRB Request: ...*arrange windows on 3rd Avenue for privacy*

- Saved trees buffer
- Setback building
- No Aegis activity areas facing west

Façade Concept



B-1 Height Bulk and Scale

• Simple clear design parti

- Corner focal element, breaks up mass
- Delineated commercial base expresses ground plane uses
- Straight forward residential body articulated by uniform bays



B-1 Height Bulk and Scale

DRB at EDG:

Some board members were concerned with the window bays crowding the sidewalk...

- Number of bays reduced from 6 to 5
- Bays raised up an additional floor



AERIAL VIEW AT W GALER ST - LOOKING SOUTHWEST



STREET VIEW AT W GALER ST - LOOKING WEST

Entry



STREET VIEW AT W GALER ST - MAIN RESIDENTIAL ENTRANCE

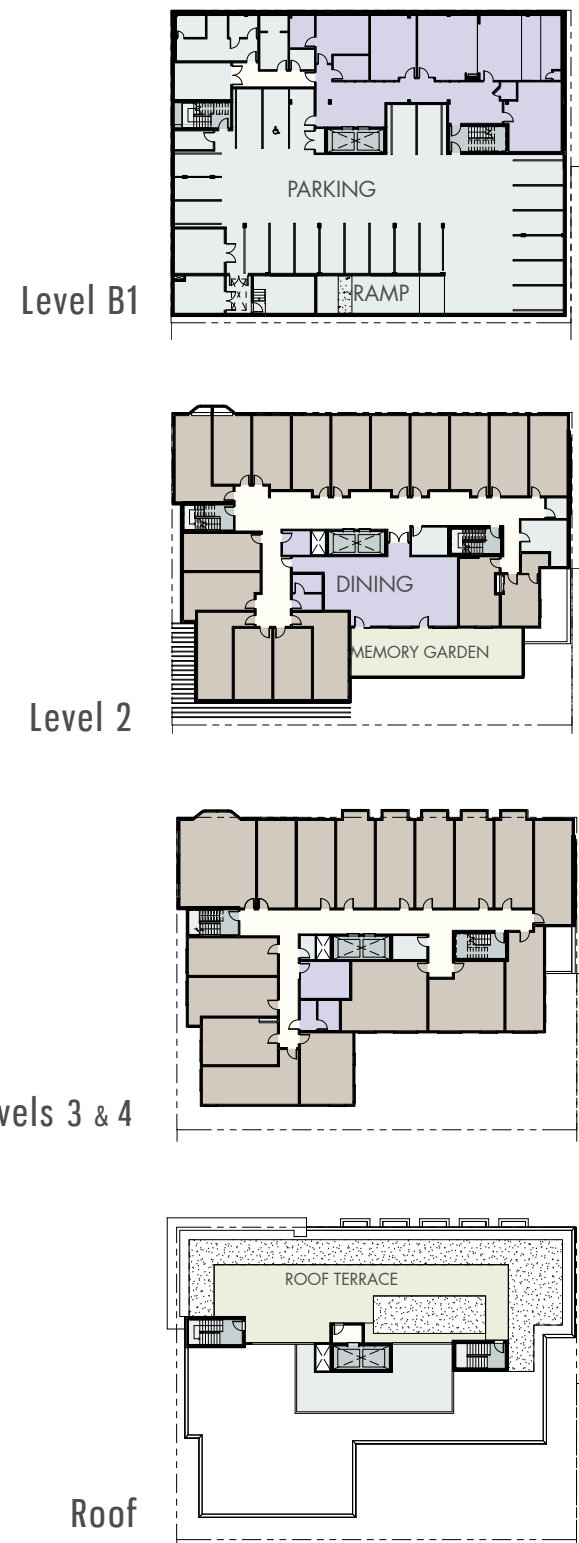
Proposed Design (Contract Rezone to NC2-40)

57 residential units

500 sf of commercial space

21 parking stalls

The proposal has applied for a Contract Rezone from the existing NC2-30 to NC2-40. The design proposes a small retail space at the corner of W Galer Street and 3rd Ave W. The residential entry is located at the mid-point of the structure on W Galer Street. Level 1 program areas include retail as well as resident dining and living room spaces fronting W Galer Street. Below grade parking and loading dock access are off of 3rd Ave W and require the removal of one "exceptional" tree. Other building elements include below grade resident amenity areas, three levels of assisted living and memory care units, a second level "memory garden" as well as a rooftop terrace amenity space.



PROGRAM LEGEND

COMMERCIAL
RESIDENTIAL
CIRCULATION
AMENITY
GARDEN
VERTICAL CIRCULATION
SUPPORT

GROUND LEVEL - L1

D-6 Screening Services



STREET VIEW AT 3RD AVE W - LOOKING NORTHEAST

D-6 Screening Services



AERIAL VIEW AT 3RD AVE W - LOOKING NORTHEAST

Perspective Renderings



STREET VIEW AT W GALER ST - LOOKING SOUTHEAST



STREET VIEW AT W GALER ST & 3RD AVE - LOOKING SOUTHEAST

Perspective Renderings



STREET VIEW AT 3RD AVE - LOOKING EAST

Perspective Renderings

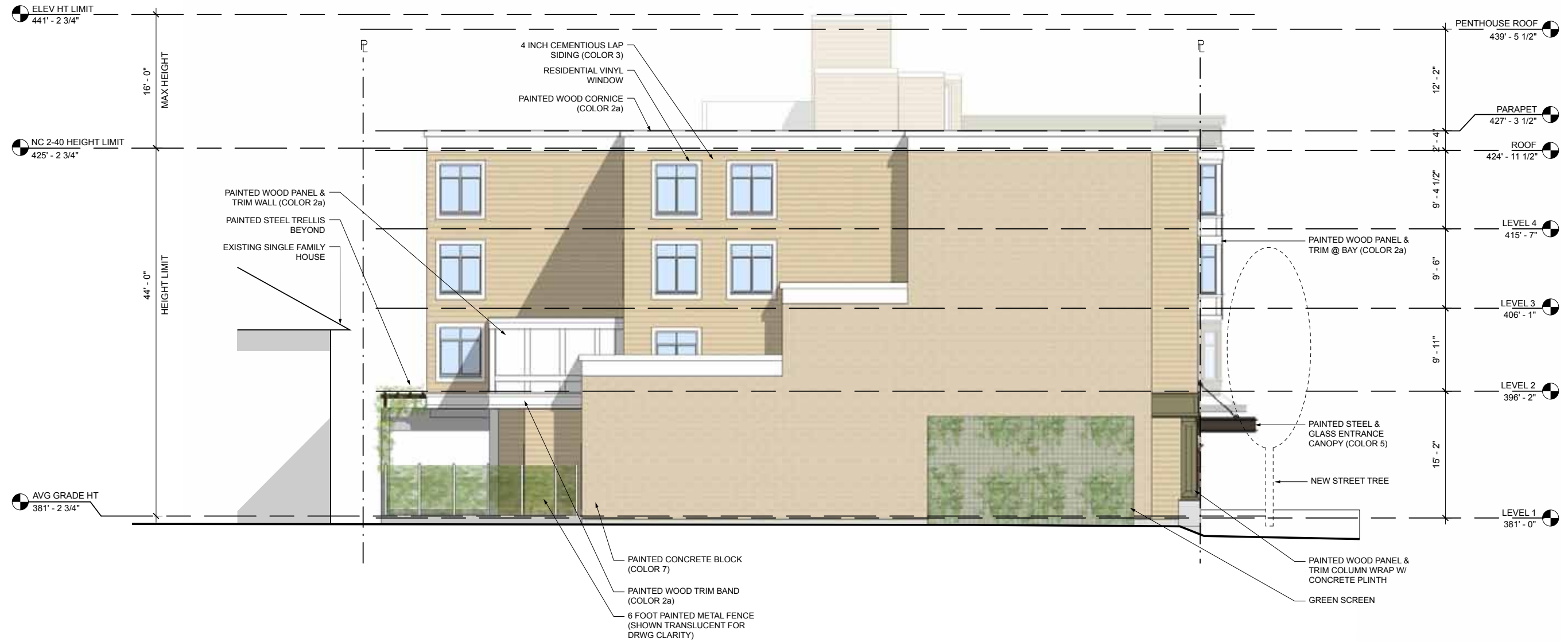


STREET VIEW AT W GALER ST - RESIDENTIAL ENTRY



NORTH ELEVATION

Elevations



EAST ELEVATION

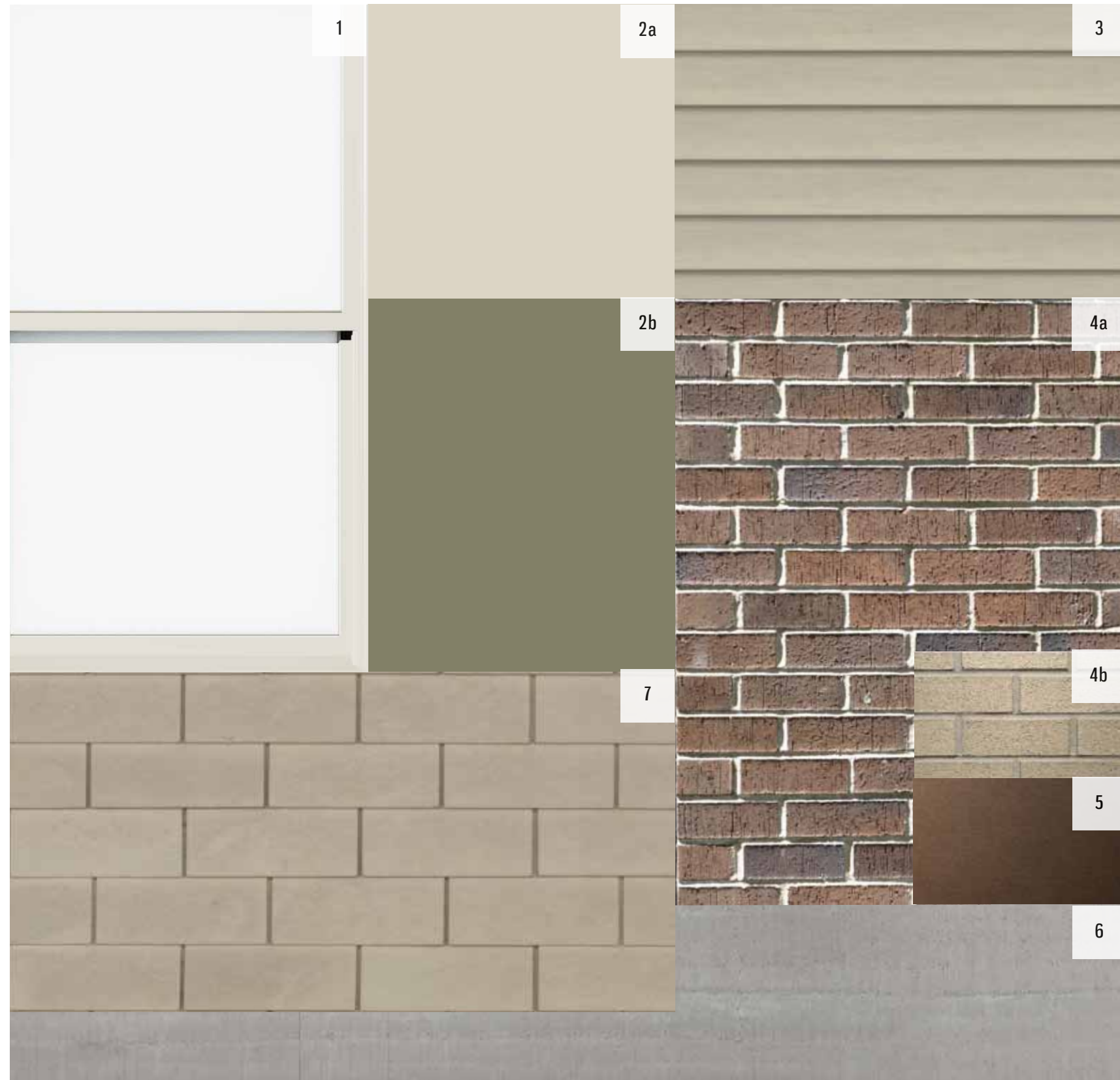


SOUTH ELEVATION

Elevations



WEST ELEVATION



- 1 RESIDENTIAL VINYL WINDOW
- 2a PAINTED WOOD PANEL & TRIM (COLOR 1)
- 2b PAINTED WOOD PANEL & TRIM (COLOR 2)
- 3 CEMENTITIOUS LAP SIDING (COLOR 3)
- 4a BRICK (COLOR 1)
- 4b BRICK ACCENT (COLOR 2)
- 5 PAINTED STEEL & STOREFRONT MULLIONS
- 6 CAST IN PLACE CONCRETE PLINTH
- 7 PAINTED CONCRETE BLOCK



AMELANCHIER ALNIFOLIA



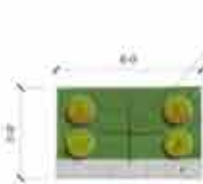
SEASONAL HANGING PLANTERS



BIKE RACK



SPIREA JAPONICA 'MAGIC CARPET'



STREET TREE PLANTING DETAIL



SELF IRRIGATED PLANTER DETAIL, TYP.



LYSIMACHIA NUMMULARIA 'CREEPING JENNY'



PITOSPORUM TENUIFOLIUM 'MARJORIE CHANNON'



RUBUS PENTALOBUS 'EMERALD CARPET'



BERBERIDOPSIS CORALLINA



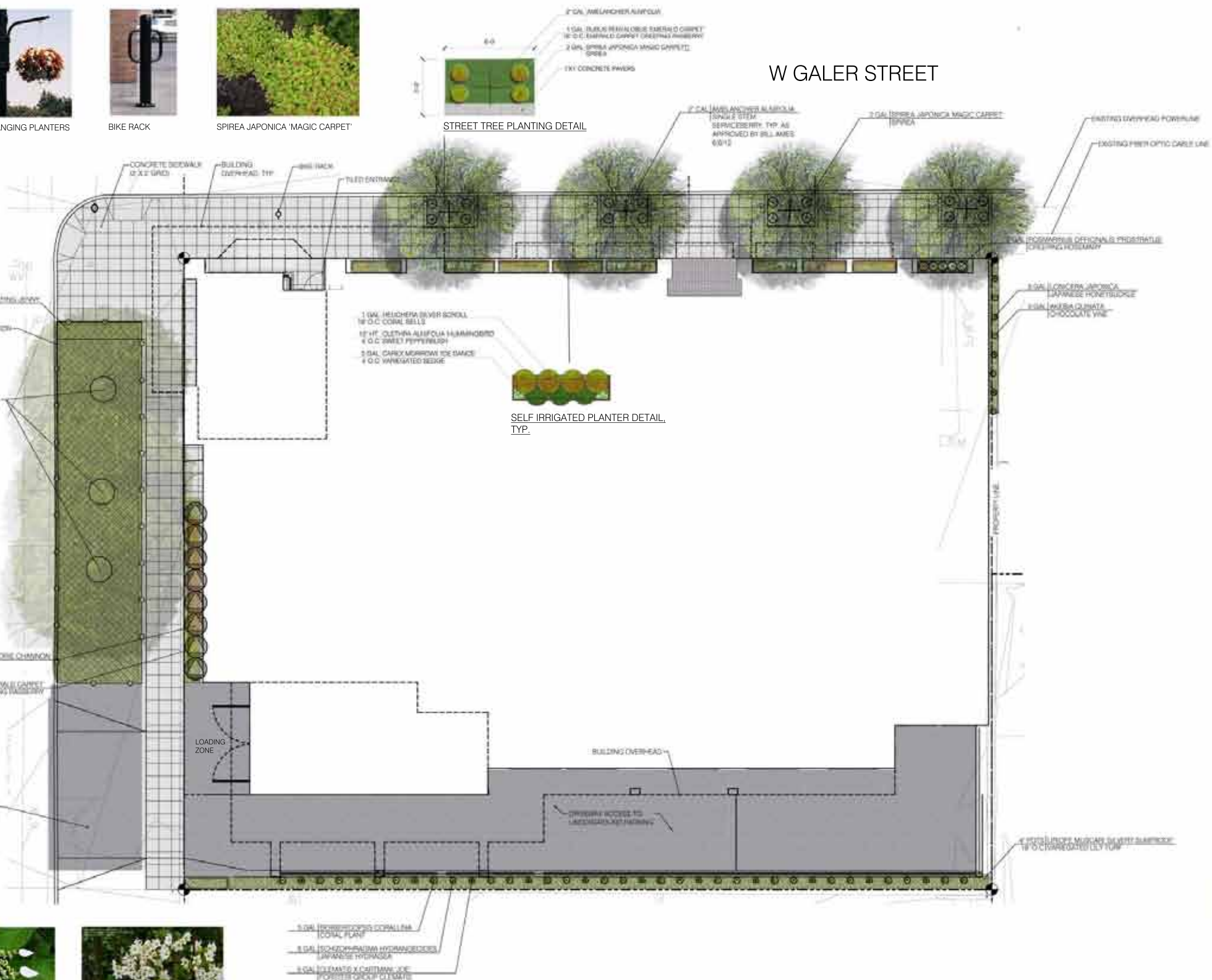
SCHIZOPRAGMA HYDRANGEOIDES



CLEMANTIS X CARTMANI 'JOE'

3RD AVENUE WEST

W GALER STREET



ROSMARINUS OFFICINALIS 'PROSTRATUS'



LONICERA JAPONICA



AKEBIA QUINATA



LIRIOPE MUSCARI 'SILVER SUNPROOF'



CLETHRA ALNIFOLIA 'HUMMINGBIRD'



CAREX MORROWII 'ICE DANCE'



HEUCHERA SILVER SCROLL



Landscape Design

- Compliments site
- Works with significant trees
- Adds new trees on Galer
- Buffering plantings and green screens near sidewalks and adjacent properties
- Accessible planted roof garden
- Meets Green Factor



KITCHEN GARDEN IN PLANTERS



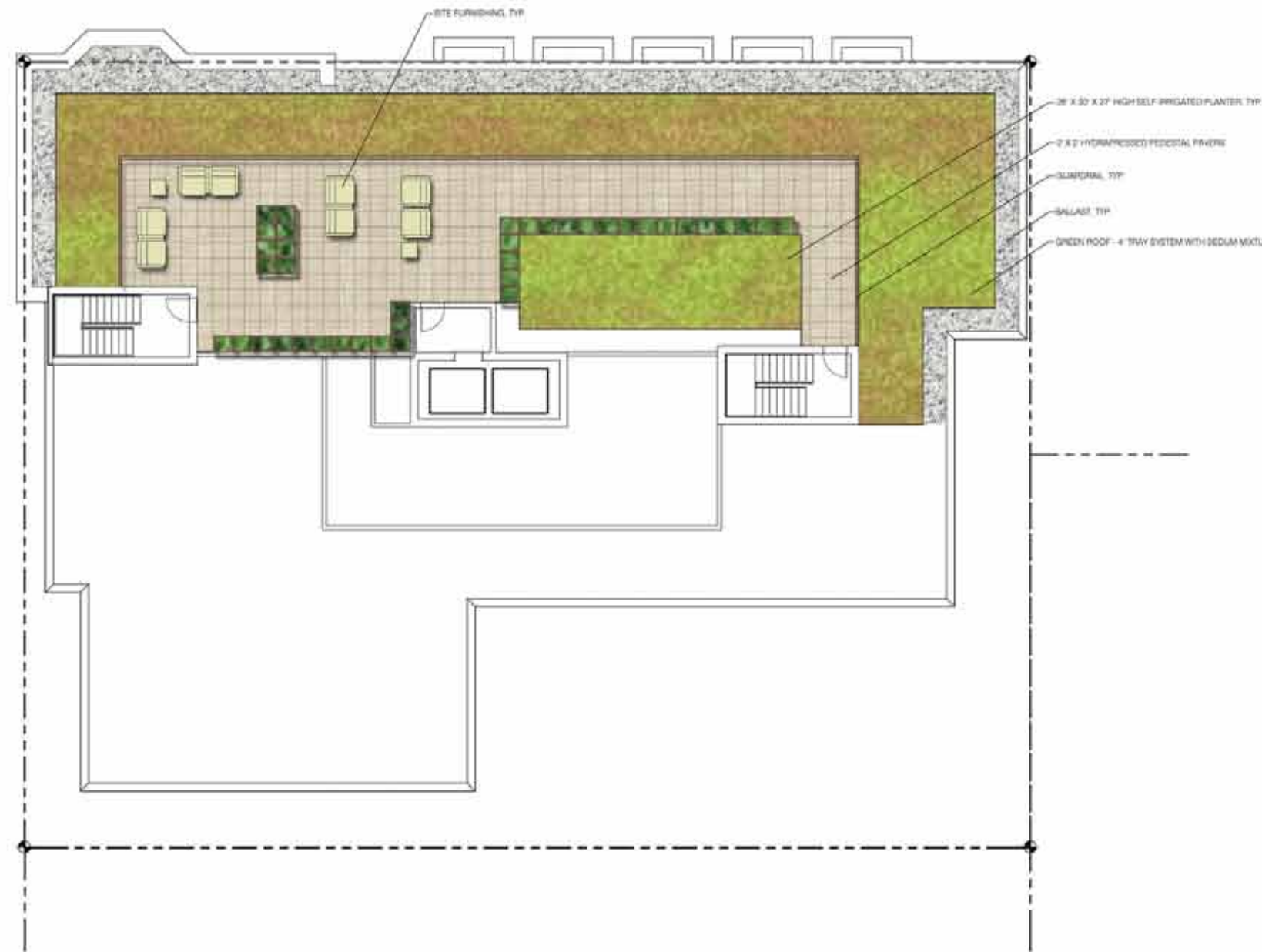
GREEN ROOF - SEDUM MAT



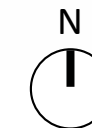
PEDESTAL SET PAVERS



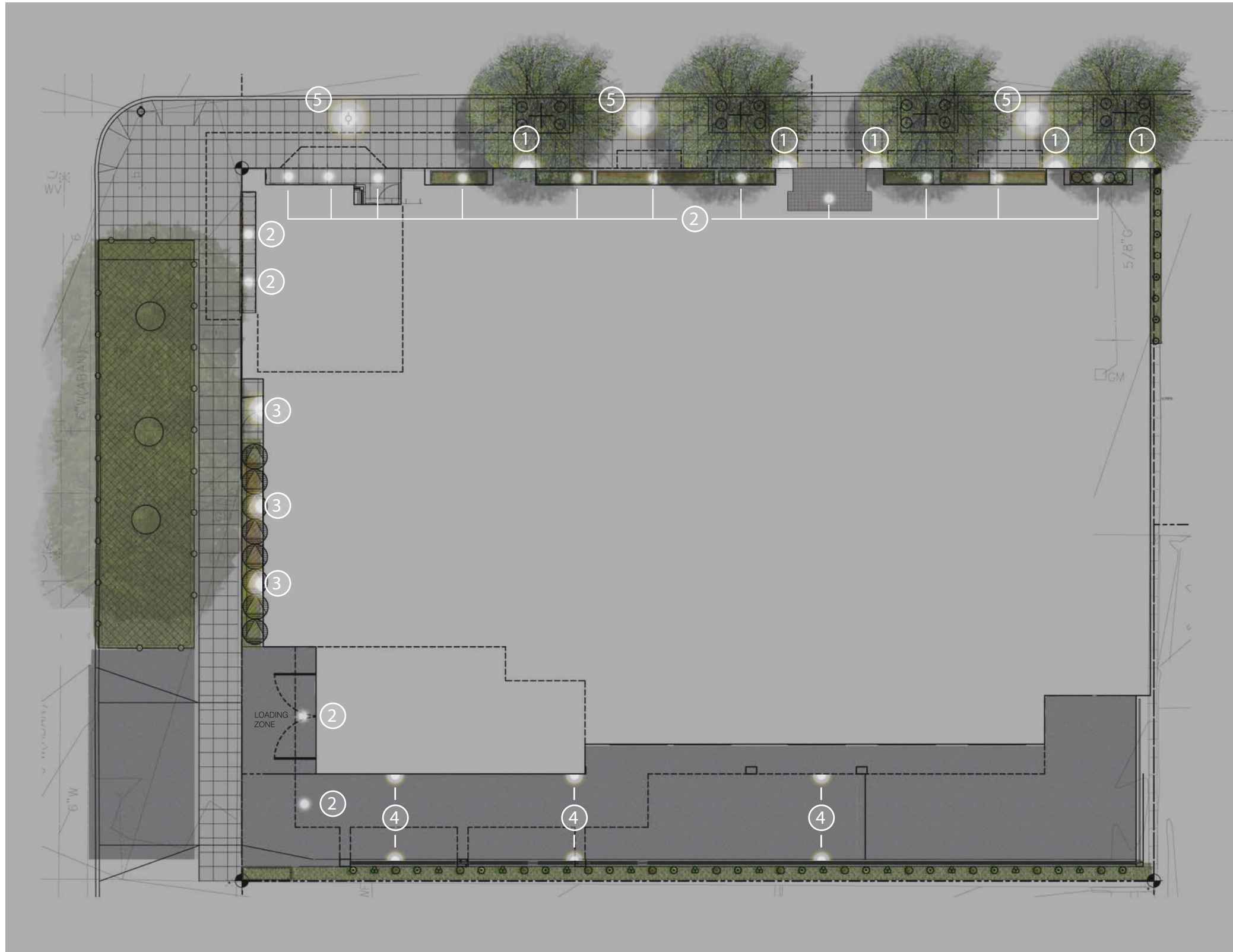
3' BALLAST BAND ALONG GREEN ROOF EDGE



ROOF PLAN



Lighting Plan



1 ACCENT LIGHTING
Used to highlight pilasters along W Galer St.
Finish dark bronze.



2 DOWNLIGHTING
Used to light plantings along W Galer St, retail corner, and loading area.
Finish dark bronze.



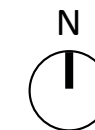
3 ACCENT LIGHTING
Used to light plantings and emergency exit along 3rd Ave.
Finish stainless steel.



4 RECESSED LIGHTING
Used in parking ramp walls.
Finish stainless steel.



5 STREET LAMPS
Used in the right-of-way along W Galer Street. Finish & style per the Picture Perfect Queen Anne standards



Solar Analysis



Departure Requests

	REQUIREMENTS	DEPARTURE	RATIONALE FOR DEPARTURE
1	SMC 23.47A.008.B.3.a STREET LEVEL DEVELOPMENT STANDARDS NON-RESIDENTIAL USES SHALL EXTEND AN AVERAGE OF 30' AND PROVIDE A MINIMUM OF 15' OF DEPTH FROM THE STREET LEVEL FAÇADE.	PROPOSED DESIGN PROVIDES 25'-6" MINIMUM AND AVERAGE DEPTH FOR LEVEL 1 NON-RESIDENTIAL USE.	THE RETAIL SPACE IS REDUCED AS A RESULT OF THE LEVEL 1 RETAIL STOREFRONT BEING SETBACK 2'-0" FROM THE PROPERTY LINE ALONG GALER AND THE LOCATION OF AN EXIT STAIR INTERNAL TO THE BUILDING. THE LEVEL 1 SETBACK PROVIDES AN OPPORTUNITY FOR A LANDSCAPED PLANTING AREA AND WIDER SIDEWALK AREA ALONG THE BUILDING FACE, RECESSING & ARTICULATING THE BUILDING FACE AND ENHANCING THE PEDESTRIAN EXPERIENCE. THE EXIT STAIR LOCATION IS A RESULT OF PARKING WHICH IS BEING PROVIDED AS A CONCESSION TO THE NEIGHBORHOOD. NO PARKING IS REQUIRED FOR RESIDENTIAL BUILDING TYPES IN URBAN VILLAGES. MOVING THE STAIR WOULD RESULT IN A LOSS OF A PARKING SPACE. THE SCALE OF EXISTING RETAIL ALONG W GALER STREET IS VERY SMALL, MAKING THIS A CONTEXTUALLY SENSITIVE SOLUTION.
2	SMC 23.47A.014.B.1 SETBACK REQUIREMENTS LOTS ABUTTING A RESIDENTIAL ZONE WILL PROVIDE A 15'X15' SETBACK TRIANGLE ALONG THE STREET LOT LINE AND SIDE LOT LINE.	PROPOSING A STEEL TRELIS ABOVE THE PARKING GARAGE ENTRANCE WHICH ENCROACHES INTO THE REQUIRED SETBACK TRIANGLE.	THE PROPOSED TRELIS IS INTENDED TO BUFFER THE VEHICLE AND LOADING ENTRANCES FROM THE STREET AS WELL AS SCREEN THE DRIVEWAY FROM THE ADJACENT LR3 SITE. DESIGNED TO WORK IN CONJUNCTION WITH THE VERTICAL GREEN SCREENS, LANDSCAPING IS SPECIFIED THAT WILL TRAIN UP THE GREEN SCREENS AND ONTO THE TRELIS. ADDITIONALLY, THE TRELIS IS PRIMARILY OPEN AND HORIZONTAL IN ITS PROJECTION, MINIMIZING ITS APPARENT BULK.
3	SMC 23.47A.014.B.3.a SETBACK REQUIREMENTS 15' REAR SETBACK REQUIRED FOR PORTIONS OF STRUCTURE FROM 13' TO 40' IN HEIGHT WHEN ADJACENT TO A RESIDENTIAL ZONE.	PROPOSING 7'-6" SETBACK FOR A 49'-6" LONG PORTION OF SOUTH FAÇADE.	THE SMALLER SETBACK IS ON JUST 39% OF THE REAR YARD. THE REMAINDER OF THE FAÇADE PROVIDES A SETBACK DIMENSION BETWEEN 20' AND 31'. THE RESULTING AVERAGE REAR SETBACK IS 22'-10". THE OVERALL IMPACT TO THE ADJACENT LR3 ZONED PROPERTY IS LESS THAN THE STRICT APPLICATION OF THE SETBACK REQUIREMENT OF 15' TO ALL FLOORS ABOVE 13'. SEE DIAGRAMS ON PAGE 28 & 29.
4	SMC 23.47A.014.B.3.a SETBACK REQUIREMENTS 15' SIDE SETBACK REQUIRED FOR PORTIONS OF STRUCTURE FROM 13' TO 40' IN HEIGHT WHEN ADJACENT TO A RESIDENTIAL ZONE.	PROPOSING A 10' SETBACK FOR A 19' LONG PORTION OF EAST FAÇADE.	DESIGN PROPOSES A 10' SETBACK ALONG 19' (38%) OF THE AFFECTED PORTION OF THE EAST FAÇADE. THE REMAINDER OF THE FAÇADE PROVIDES BETWEEN A 15' SETBACK AND UP TO 71'. THE RESULTING AVERAGE SIDE SETBACK IS 43'-11". THE OVERALL IMPACT TO THE ADJACENT MR ZONED PROPERTY IS LESS THAN THE STRICT APPLICATION OF THE SETBACK REQUIREMENT OF 15' TO ALL FLOORS ABOVE 13'. SEE DIAGRAMS ON PAGE 28 & 29.
5	SMC 23.47A.014.B.3.a SETBACK REQUIREMENTS 15' SETBACK REQUIRED FOR PORTIONS OF STRUCTURE ABOVE 13'.	THE PROJECT IS PROPOSING THAT A SMALL PORTION OF THE FIRST FLOOR ABUTTING THE MR ZONE ON THE EAST FAÇADE BEGINS THE 15' SETBACK AT 15' ABOVE GRADE RATHER THAN 13' ABOVE GRADE.	DUE TO THE SLOPE OF THE SITE, IT IS DIFFICULT TO KEEP THIS PORTION OF THE MAIN FLOOR BELOW 13' ABOVE GRADE WITHOUT COSTLY STRUCTURAL VERTICAL JOGS IN THE POST-TENSIONED PODIUM SLAB AT THE SECOND FLOOR. THE FIRST FLOOR PLAN AREA NEEDING THE DEPARTURE IS ONLY 224 SF AND IT WOULD BE ABOUT 15' ABOVE GRADE RATHER THAN THE ALLOWED 13'.
6	SMC 23.54.030.F.1.b.2 CURB CUTS FOR RESIDENTIAL USES, COMBINED CURB CUTS ARE LIMITED TO 20' OF TOTAL WIDTH	REQUESTING A COMBINED CURB CUT OF 25' FOR THE DRIVEWAY AND LOADING DOCK ACCESS.	THE FRONTAGE ALONG 3 RD AVE W IS PERMITTED TO HAVE TWO CURB CUTS. THE PROPOSED DESIGN CONSOLIDATES THE DRIVEWAY AND LOADING DOCK ACCESS POINTS TO BE ADJACENT TO ONE ANOTHER AND ARE ALLOWED A 20' COMBINED CURB CUT FOR DRIVEWAYS SERVING RESIDENTIAL USES. TO BETTER ACCOMMODATE VEHICLE MANEUVERING TO AND FROM 3 RD AVE W, A 25' WIDE COMBINED CURB CUT IS PROPOSED. THE NET RESULT IS LESS IMPACT THAT TWO SEPARATE CURB CUTS.
7	SMC 23.54.035.C.2 LOADING BERTH REQUIREMENTS LOADING AREAS FOR A "MEDIUM DEMAND" USE ARE REQUIRED TO BE 14' TALL AND 35' LONG. ASSISTED LIVING IS CATEGORIZED AS "MEDIUM DEMAND".	REQUESTING REDUCTIONS TO 12' VERTICAL CLEARANCE AND 25' DEPTH	THOUGH FLOOR TO FLOOR HEIGHT IS 15' FROM LEVEL 1 TO LEVEL 2, EXISTING GRADE AT THE LOADING DOCK LOCATION LIMITS THE AVAILABLE HEIGHT TO 12' CLEAR. THE ACTUAL DELIVERY VEHICLES AND AEGIS PASSENGER VAN SERVICING THE FACILITY REQUIRE LESS THAN 12' CLEAR VERTICALLY AND CAN EASILY PARK AND LOAD IN A 25' DEEP BAY. THE GARBAGE PICK UP WILL OCCUR AT THE STREET AND DOES NOT REQUIRE PULLING INTO THE BAY. SINCE THE SITE IS SO COMPACT AND THE DELIVERY NEEDS ARE WELL KNOWN TO AEGIS, WHO OPERATES 35 COMMUNITIES, A MEDIUM DEMAND LOADING AREA ISN'T NECESSARY. THE EXISTING STREET TRUCK LOADING ZONE ON W GALER STREET WILL BE MAINTAINED AND WILL BE USED FOR ANY LARGER DELIVERIES.

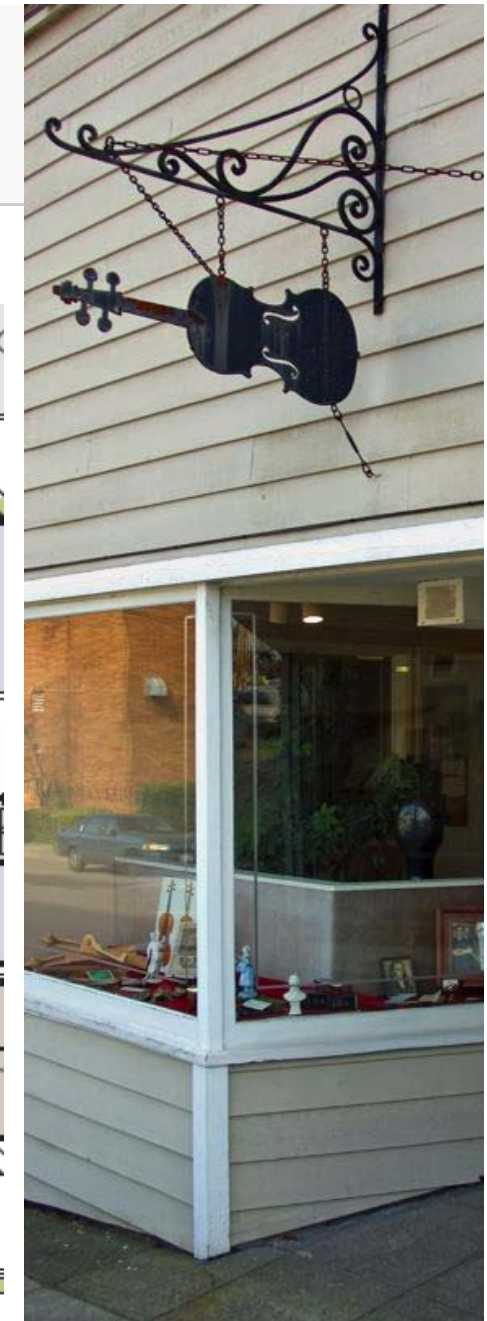
Departure 1: Retail Depth

...Retail depth from the street must average 30'...

25'-6" Proposed Depth

Rationale:

- 2' setback at street for wider sidewalk and provides architectural interest
- Stair positioning limits retail depth but allows more parking which was a high priority for the neighborhood
- **Surrounding neighborhood retail is similarly small and intimate.**
- The rest of the main floor has a commercial character.
- Guidelines A-2 , A-5 Context Compatibility
- Guidelines C2 & C3 Arch Consistency
- Guideline D1 Pedestrian Friendly



Departure 2:

...Lots abutting a residential zone require a 15' x 15' triangular setback at the property corner...

Trellis element protrudes into this triangle about 80 feet or square feet

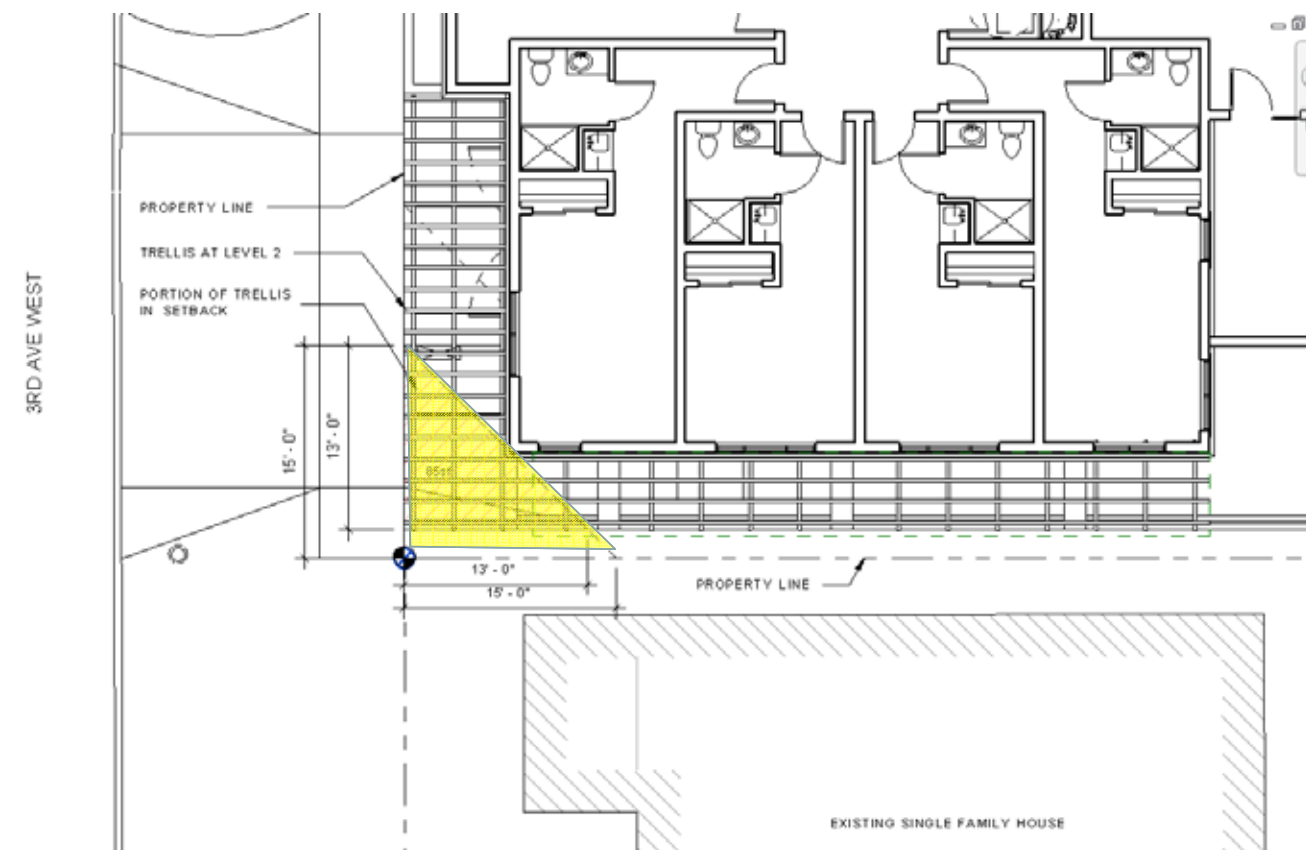


Rationale:

- Trellis combined with vertical green screens is a complimentary decorative element that adds quality and a soft green vegetative element to the driveway and loading area.
- Trellis is a horizontal element 13' above the sidewalk and doesn't block ground level views through the triangle setback.

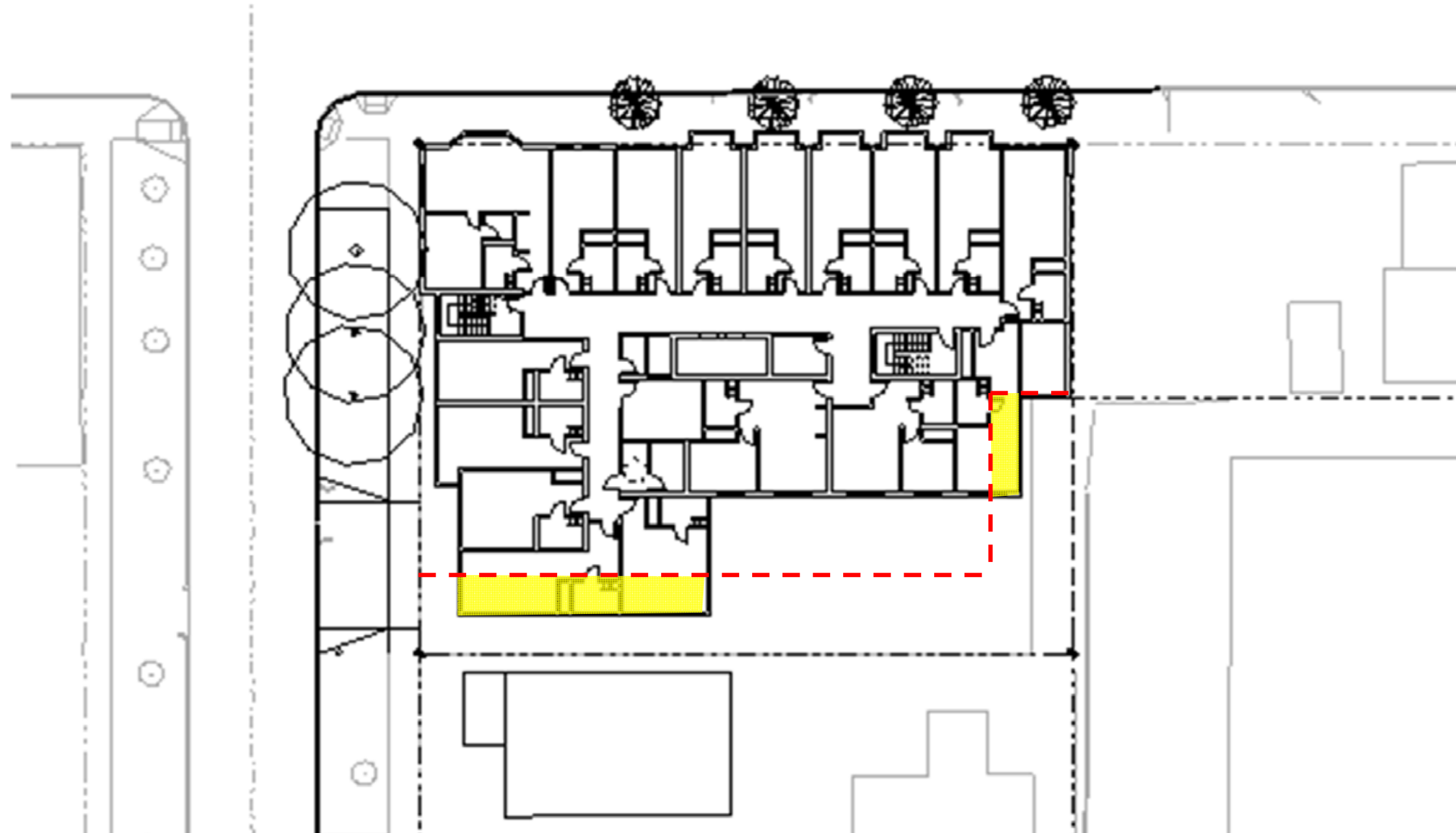
Guidelines

- A-2 , A-5 Compatibility & Respect
- C5 Minimize garage entry
- C2 & C3 Arch consistency & scale
- D1 Pedestrian Friendly

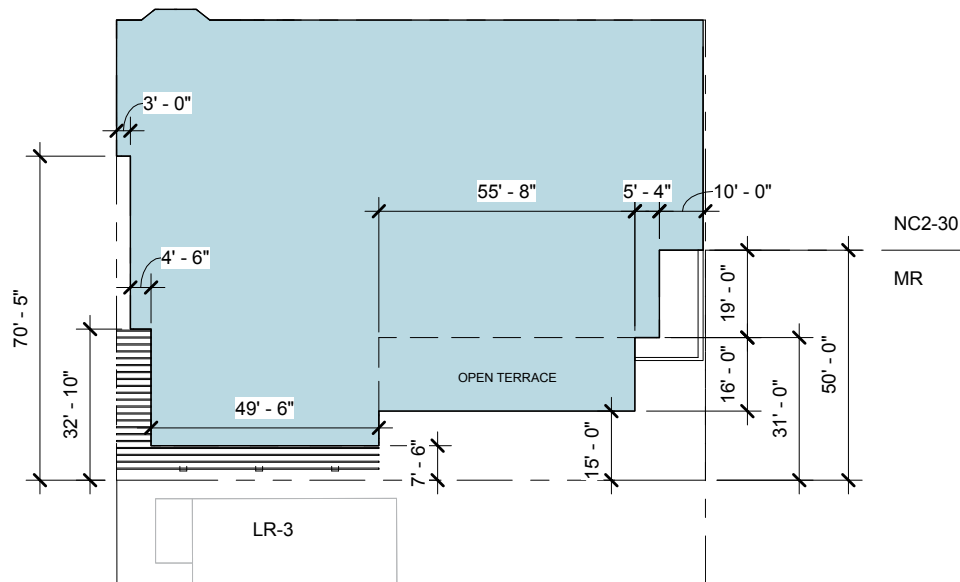


Departure 3 & 4: Rear & Side Yard Setbacks

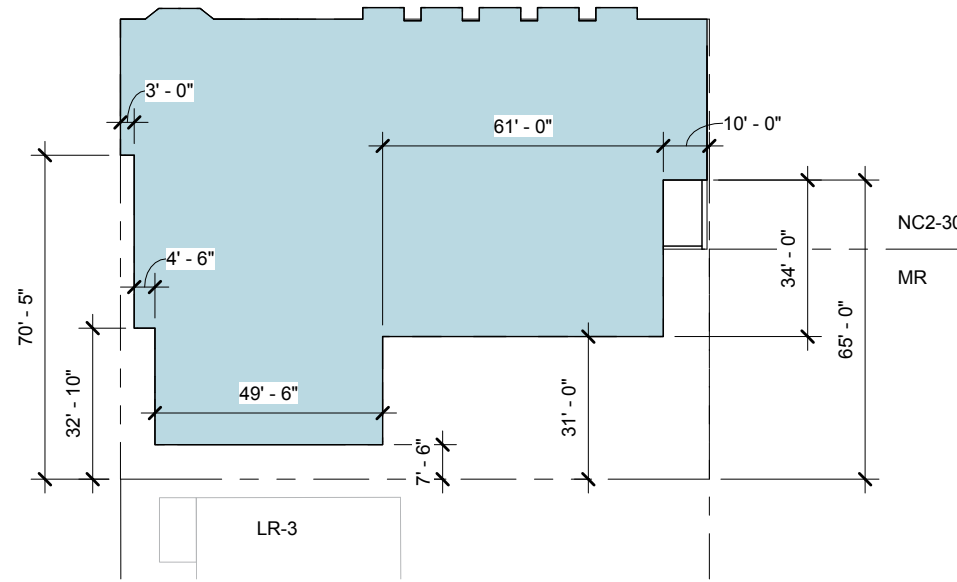
... 15' setback for lots abutting a residential zone... applies to only the area above the first floor...



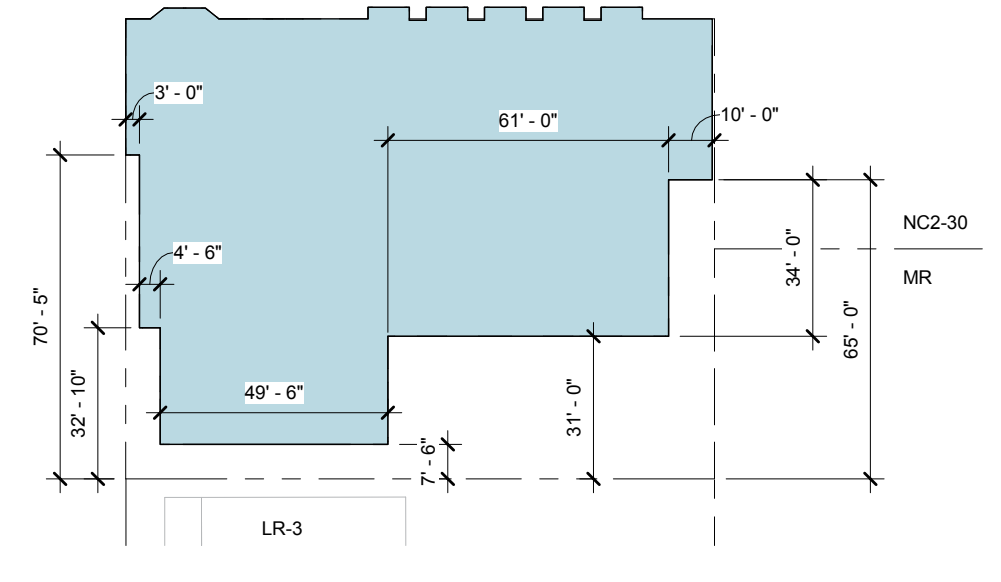
Level 2



Level 3



Level 4



SOUTH FACADE: AVG REAR SETBACK

70.4' x 3' = 211.2'
 32.8' x 4.5' = 147.6'
 7.5' x 49.5' = 371.3'
 15' x 55.7' = 835.5'
 31' x 5.3' = 164.3'
 50' x 10' = 500'

L2 AVG SETBACK: 2229.9' / 128' = 17.4'

EAST FACADE: AVG SIDE SETBACK

10' x 19' = 190'
 15.3' x 16' = 244.8'
 71' x 15' = 1065'

L2 AVG SETBACK: 1499.8' / 50' = 30'

SOUTH FACADE: AVG REAR SETBACK

70.4' x 3' = 211.2'
 32.8' x 4.5' = 147.6'
 7.5' x 49.5' = 371.3'
 31' x 61' = 1891'
 65' x 10' = 650'

L3 AVG SETBACK: 3271.1' / 128' = 25.6'

EAST FACADE: AVG SIDE SETBACK

10' x 34' = 340'
 71' x 31' = 2201'

L2 AVG SETBACK: 2541' / 50' = 50.8'

SOUTH FACADE: AVG REAR SETBACK

70.4' x 3' = 211.2'
 32.8' x 4.5' = 147.6'
 7.5' x 49.5' = 371.3'
 31' x 61' = 1891'
 65' x 10' = 650'

L3 AVG SETBACK: 3271.1' / 128' = 25.6'

EAST FACADE: AVG SIDE SETBACK

10' x 34' = 340'
 71' x 31' = 2201'

L2 AVG SETBACK: 2541' / 50' = 50.8'

Rationale Rear Setback:

- The weighted average setback all floors is 22'-10"
- Only occurs on 39% of rear façade
- Better massing articulation and modulation at rear of building Future L3 Development will likely respond in a similar fashion to create a rear courtyard

Guidelines:

- A-5 Respect adj. sites
- B1 Bulk and scale appropriate
- C2 & C3 Arch consistency & scale

Rationale Side Setback:

- Code recently change from 10' to 15' since EDG
- Small area - 95 SF
- Average weighted setback all floors is 43'-11"
- MR Zone is a large scale use 60' tall, not a single family

SOUTH FACADE: TOTAL AVERAGE REAR SETBACK

L2: 17.4'
 L3: 25.6'
 L4: 25.6'

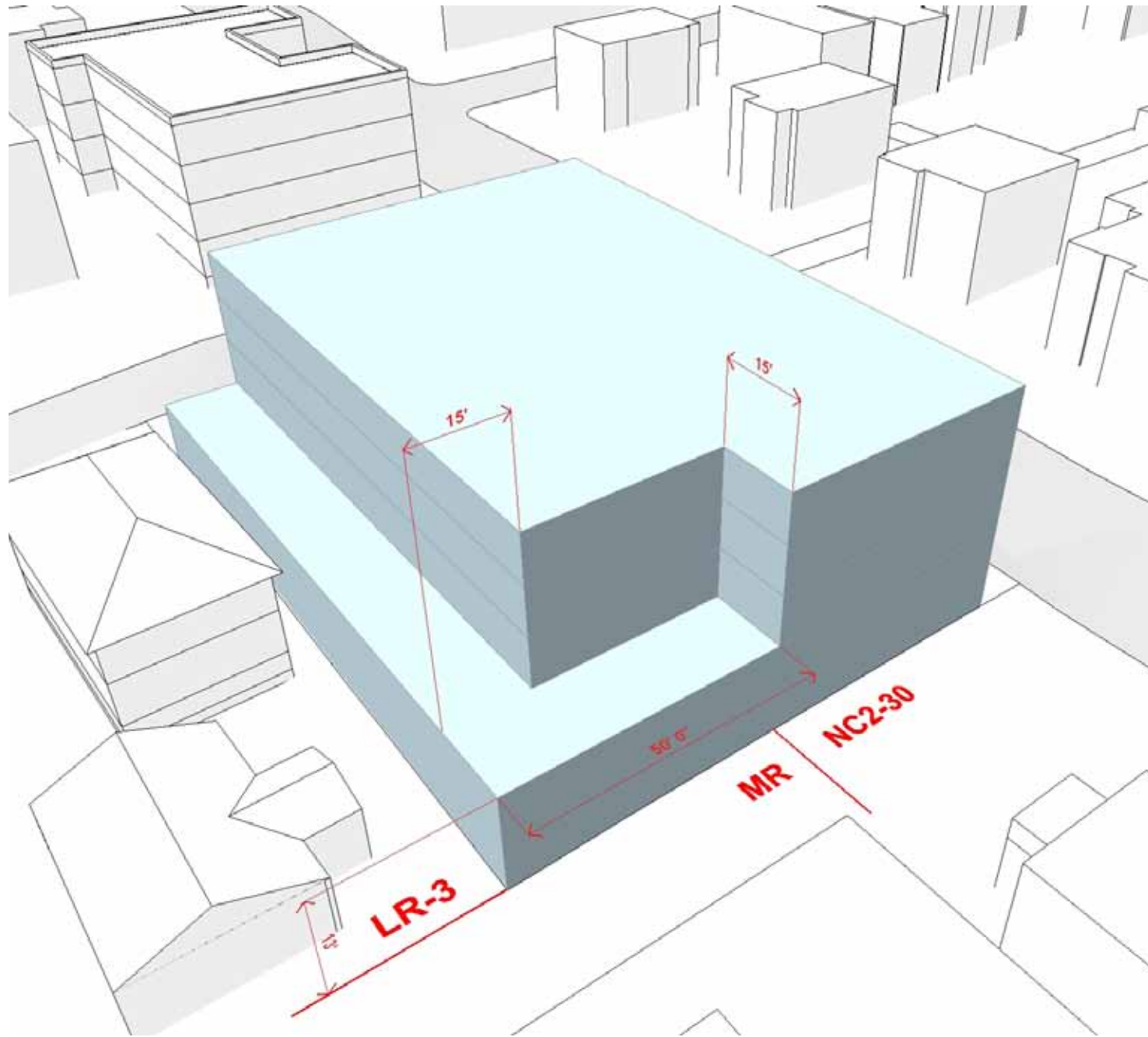
AVERAGE SETBACK: **22.8' (15' Required)**

EAST FACADE: TOTAL AVERAGE SIDE SETBACK

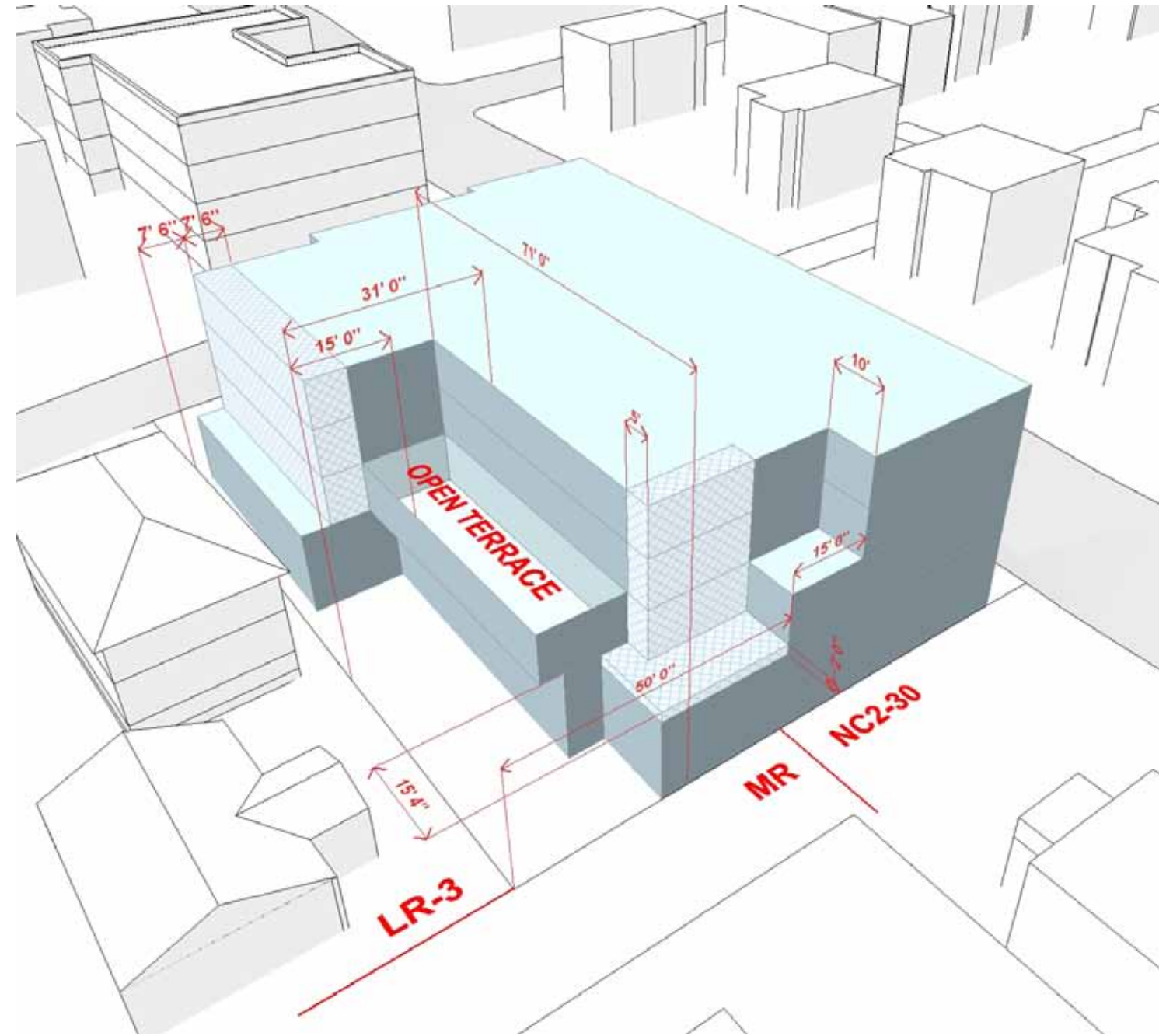
L2: 30'
 L3: 50.8'
 L4: 50.8'

AVERAGE SETBACK: **43.9' (15' Required)**

Zoning Setback Diagrams

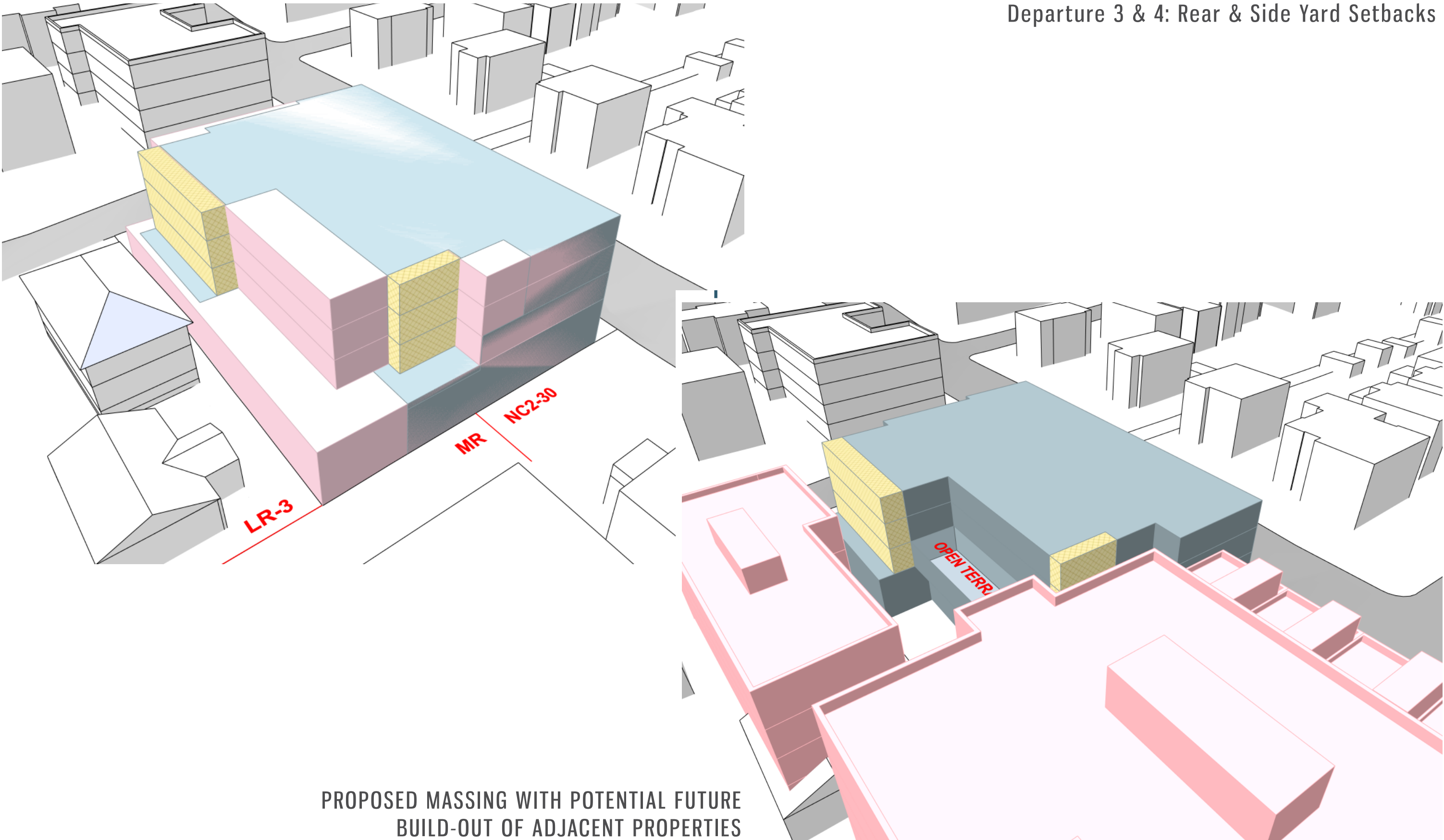


MASSING USING PRESCRIPTIVE ZONING SETBACKS



MASSING USING AVERAGED FACADE SETBACKS

AREA WITHIN SETBACK



PROPOSED MASSING WITH POTENTIAL FUTURE BUILD-OUT OF ADJACENT PROPERTIES



PROPOSED MASSING



AREAS OF DEPARTURE HIGHLIGHTED



COMPARED TO PRESCRIPTIVE ZONING ENVELOPE

Departure 3 & 4: Rear & Side Yard Setbacks

Departure 5: Setback for 1st floor

*... 15' side yard setback
required for portion of
structure above 13'...*

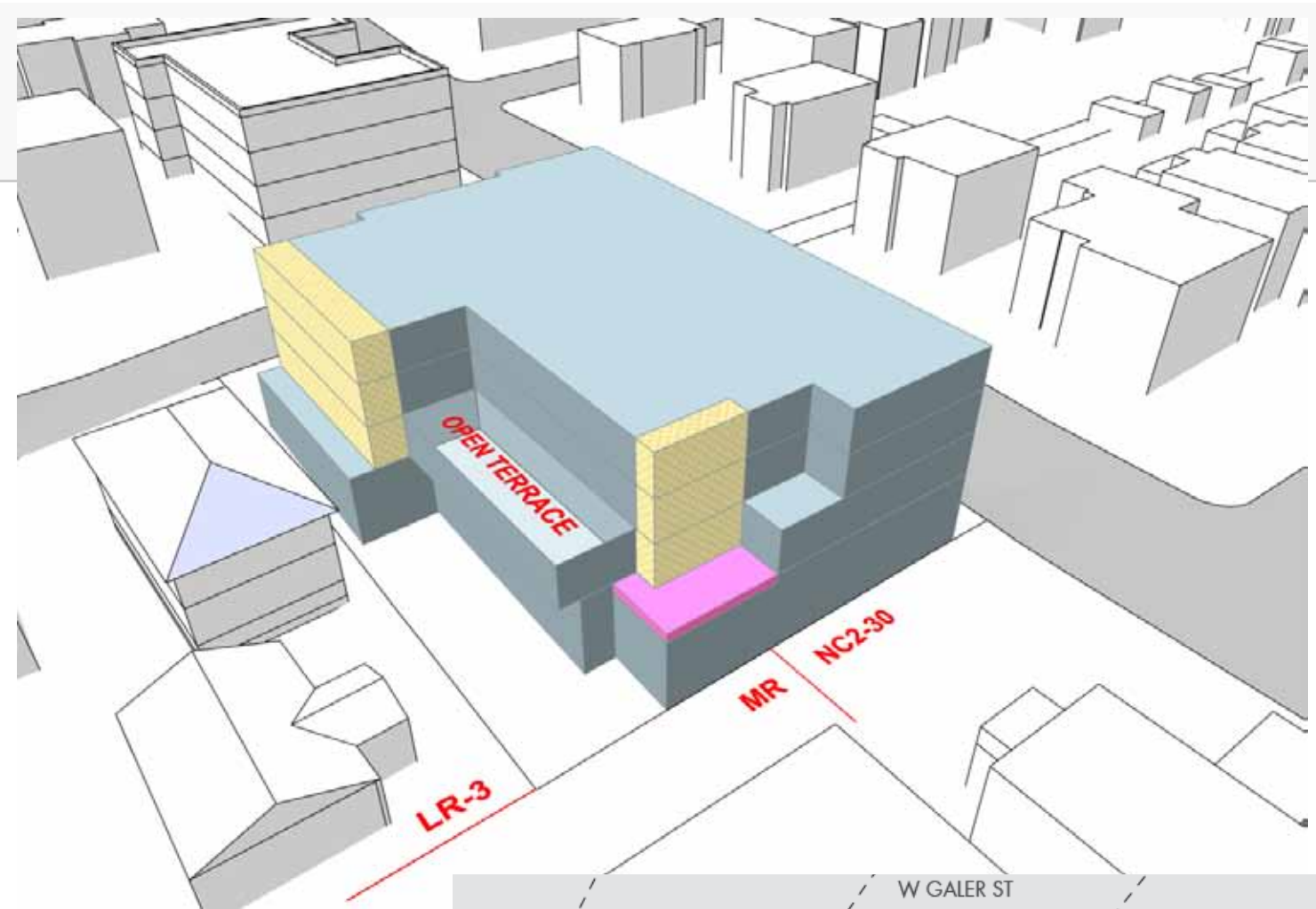
Main floor has a 2' tall,
224 SF area that
protrudes up into this
setback zone

Rationale:

- Slope of site
- Practical PT Slab construction
- Up against larger scale MR Zone, not low rise or single family

Guidelines:

- B1 Bulk and scale appropriate
- C2 & C3 Arch consistency & scale



Departure 6:

...combined curb cuts limited to 20' wide...

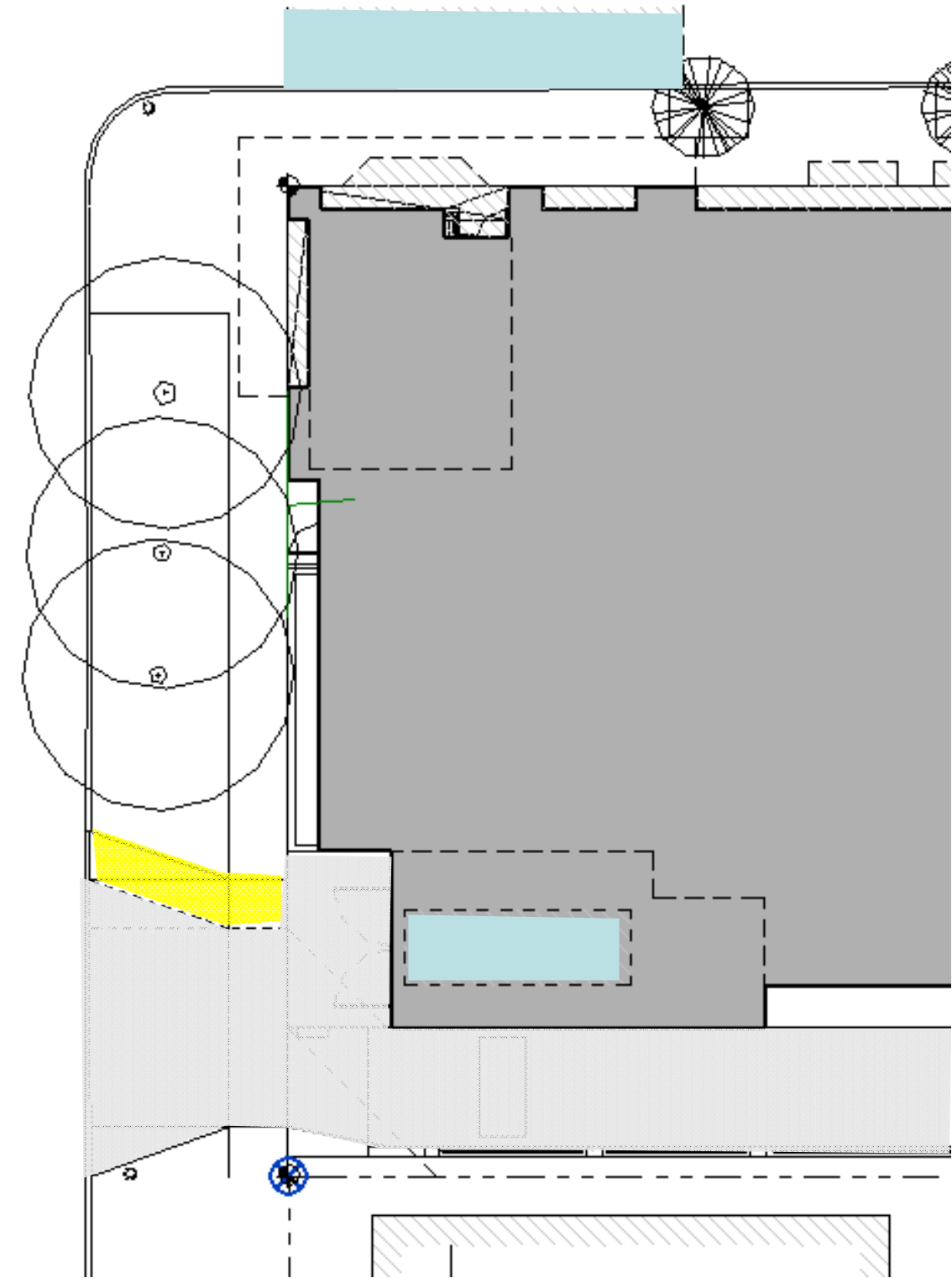
Requesting a 25' wide curb cut

Rationale:

- Consolidated loading and parking access in one location is safer for pedestrian per guideline XX
- 3rd Avenue is relatively narrow and having more apron to maneuver will ease movements to loading area
- Better addresses concerns from neighbors about maneuvering clearances

Guidelines

- A-2 , A-5 Compatibility & Respect
- A8 Parking & Vehicle Access
- D7 Pedestrian Safety



Departure 7: Loading Area Dimensions

Loading areas are required to be 14' tall & 35' deep when assisted living is categorized at "medium demand" loading berth.

Requesting reductions to 12'-0" Vertical clearance and 25' deep.

Rationale:

- The main floor of the building is only 13' tall floor to floor. This is all that is needed for this use
- The sloping grade of the site requires that the floor level be based on the entry level on Galer leaving the elevation of the loading dock higher.
- Aegis passenger and service vans accessing this community require less than 12' clear vertically and they can easily park and load in a 25' bay.
- Garbage pick up & major delivery trucks load at the street and do not require pulling into this bay.

Guidelines

- A-2 , A-5 Compatibility & Respect
- A8 Parking & Vehicle Access
- D7 Pedestrian Safety, D6 Screening service areas

