

KEY DESIGN GUIDELINES

A-1 - Respond to Site Characteristics

Existing site has a change in topography of 14'. The entrance to the parking garage will be situated on the low side of the site, while the entrance to the units will be situated on the higher side (east). The building will respond to the existing topography. The site contains trees that the developer would like to be saved during the construction process. The massing of the building is intended to stay out of the drip line of the trees located in the southwest corner of the site.

At the Early Design Guidance Meeting, the Board inquired about code compliance for the landscape buffer at the setback. The Board requests the design team provide detail on this at the next meeting. The Board also requested a study of more developed response to street and would like to see more transparency at the street.

A-2 - Streetscape Compatibility

The project should create a consistent building edge abutting the sidewalk. To the north the building edge is buffered with landscaping, while to the south the building has been constructed right to the edge of the sidewalk. This development will strive to create a buffer of landscape while maintaining the presence of the building at the sidewalk.

A-3 - Entrances Visible from the Street

The main entrance will be oriented towards the east to be located on Third Ave N. The main entrance will be visible from the street to provide a clear entry for pedestrians and vehicles. The entry is recessed to provide a covered entry area.

A-5 - Respect for Adjacent Sites

Adjacent buildings are 4 and 5 story buildings. The proposed building will be complimentary of the adjacent structures. The adjacent structures have existing balconies and the massing and location of the proposed building responds to the balcony locations to ensure privacy for the adjacent site as well as potential tenants. *At the Early Design Guidance Meeting, the Board requested the design team to review design options for the northern pedestrian access and the appearance of the facade as viewed from the northern properties.*

A-6 - Transition between Residence and Street

Throughout the neighborhood, landscaping is used as a buffer between the building and the sidewalk. We plan to use landscape to create a buffer between the building and the sidewalk. *At the Early Design Guidance Meeting, the Board stated that it would like to see a study of proper screening between the proposal and the northern properties.*

A-7 - Residential Open Space

Courtyard elements are desired for this location, creating a private/public space for the residence with the potential for individual gardens in this area. There will also be a large at grade open area for the residents on the west side of the site adjacent to the exiting trees. All of the open space is currently at grade. Amenity space is located on the upper floor.

B-1 - Height, Bulk and Scale

The project should be compatible with the adjacent buildings. The existing apartment buildings in the neighborhood are a range of 3 to 5 story buildings. Based on zoning requirements, our building will be shorter than the neighboring buildings, and we feel it's important for the proposed project to hold it's own on the street front.

C-1 - Architectural Context

The surrounding area has many small apartment buildings that are simple forms with intricate detailing. The existing buildings do not contain a lot of modulation, but rather their interest comes from the detailing of the exterior materials. We hope to have a simple well detailed building rather than one that contains artificial articulation.

C-2 - Architectural Concept and Consistency

The project aims to achieve a consistency in design throughout the building. Some features that we hope will reinforce the concept include emphasize on the building entry, detailed railings and an articulated roof line.

C-4 - Exterior Finish Materials

Exterior finish materials will be cementitious siding of a variety of patterns.

C-5 - Structured Parking Entrances

We hope to conceal and minimize the parking entrance by allowing the entrance to be detailed as part of the entire façade. For this reason we hope to obtain a departure to reduce the required setback from the property line. We plan to enhance the pedestrian entrance to minimize the vehicle entrance.

D-1 Pedestrian Environment

The project will plan to incorporate landscape to enhance the space where the building meets the sidewalk. *At the Early Design Guidance Meeting, the Board* stated that it would ilke a study of landscaping at the building base.

D-7 Personal Safety and Security

The project will provide adequate lighting for residents and encourage “eyes on the street” through the placement of exterior decks and outdoor space.

D-12 Residential Entry

Throughout the neighborhood residential building entries have a distinctive characteristic that we will use a design influence. The entrance will have overhead weather protection. *At the Early Design Guidance Meeting, the Board* stated that it would like to see a study of the residential entry.

E-1 Landscaping to Enhance the Building

This will be an important feature for this project and will require lot of thought to incorporate the existing trees on the site and add new landscape elements. We are using the neighborhood examples of small entry courts, intimate courtyards and landscaping at the sidewalk as basis for our design.

E-2 Landscaping to Enhance the Building and/or Site.

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features are incorporated into the design to enhance the project. *At the Early Design Guidance Meeting, the Board* stated that it would ilke a study of landscaping at the building base.

PROJECT TEAM

Owner:
Llewellyn Place 717 LLC
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Architect:
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PROJECT INFORMATION

The site is located on the edge of the Uptown Neighborhood in Lower Queen Anne. The project is only a few blocks from Seattle Center. There is an existing building that currently has 8 units. The property is zoned LR3. The property to the south is zoned NC2-40 and contains a five story mixed use building. The property to the north has a four story apartment building.

The Llewellyn Place Apartments will be completely residential. The existing 8 unit building will be demolished to construct the 20 unit Built Green apartment building. The building will be between 30' and 34' high with three stories of housing and one level of below grade parking for 11 cars and will include bicycle parking. Trash and recycle will be located in the parking garage.

DEVELOPMENT OBJECTIVES

- Create a Built Green 4 star apartment building.
- Create intimate open spaces that are activated by the circulation areas
- Provide privacy and screening for residents
- Provide natural ventilation and day lighting opportunities for residents.
- Save as many existing trees as possible.

LR3 FOR APARMENTS located OUTSIDE GROWTH AREAS

Floor Area Ratio (FAR)
1.3 or 1.5 *(The higher FAR and density limits apply if the project meets additional standards regarding parking location and access, alley paving, and green building performance (SMC 23.45. 510.C)).*

Building Height
30' +5' for roof with min. 6:12 pitch; or +4' for partially below-grade floor; 30' limit if within 50' of a single family zone.

Density Limit
1 unit / 800 SF lot area or No Limit *(The higher FAR and density limits apply if the project meets additional standards regarding parking location and access, alley paving, and green building performance (SMC 23.45. 510.C)).*

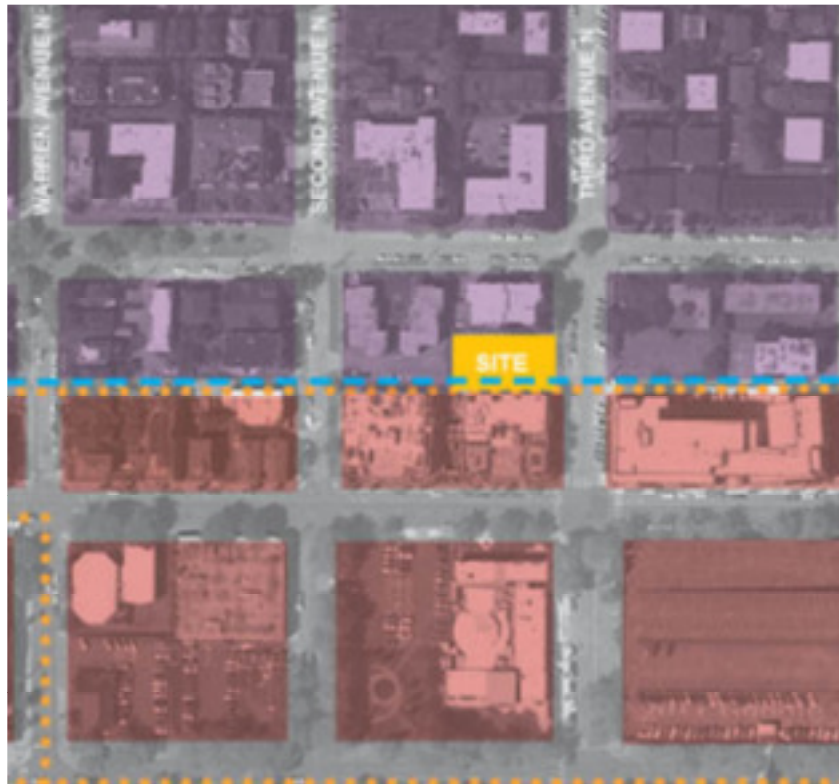
Building Setbacks
Front: 5' minimum
15' minimum no Alley
Side: 5' if building is 40' or less in length, or 7' Average 5' min.

Building Width Limit
120' Outside growth areas

Max. Facade Length
Applies to all: 65% of lot depth for portions within 15' of a side lot line that is not a street or alley lot line



Existing two story apartment building



Location Plan



LANDMARKS



PUBLIC SPACES

Neighborhood Context

Uptown is a very lively neighborhood that encompasses Seattle Center which hosts some of the cities best known landmarks including, The Space Needle, Key Arena, and The EMP. A diverse mix of activities occur throughout the neighborhood, and a variety of services are provided for the residents. Lower Queen Anne is home to over 100 restaurants and bars as well as a wide array of shopping opportunities that provide something for everyone. Seattle Center is the City's backyard and just blocks from the proposed development.

Residential Context

The neighborhood consists of many historic apartment buildings that are simple brick structures constructed at the beginning of the last century. The apartment buildings are small in nature when compared to newer apartment complexes. The massing of the structures are simple using quality materials and attention to detail. In addition to the many brick buildings around the neighborhood, there are a number of buildings that use exterior corridors, and this is especially true near Seattle Center. Many of the buildings incorporate intimate courtyards for the residents and landscaping along the sidewalk.



PUBS



EXTERIOR CIRCULATION BALCONIES



INTIMATE COURTYARDS



LANDSCAPING BETWEEN SIDEWALK AND BUILDINGS



SIMPLE WELL DETAILED BUILDINGS



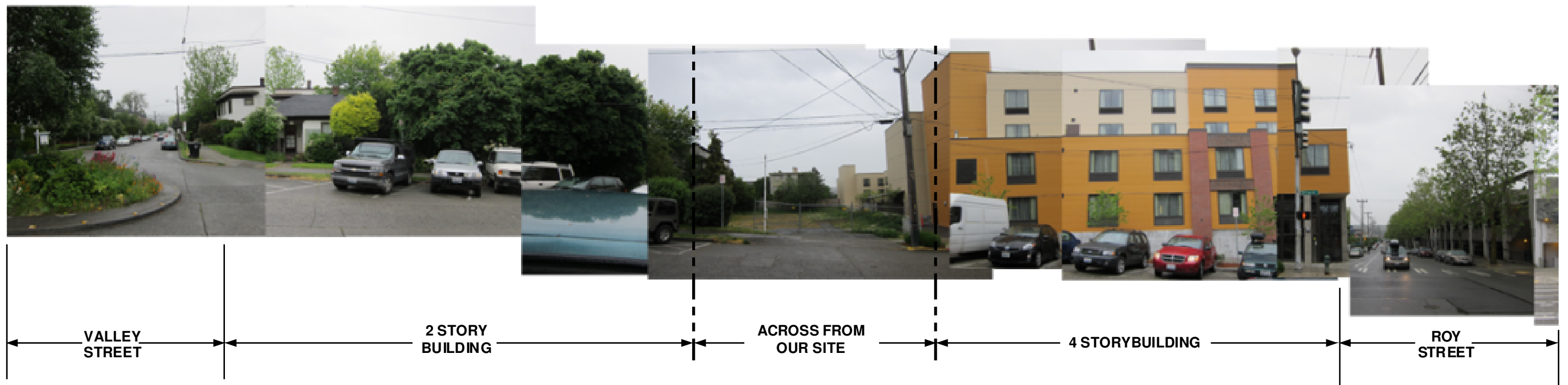
ENTRY EMPHASIS



RECESSED ENTRY WITH FACADE DETAILS ABOVE ENTRY



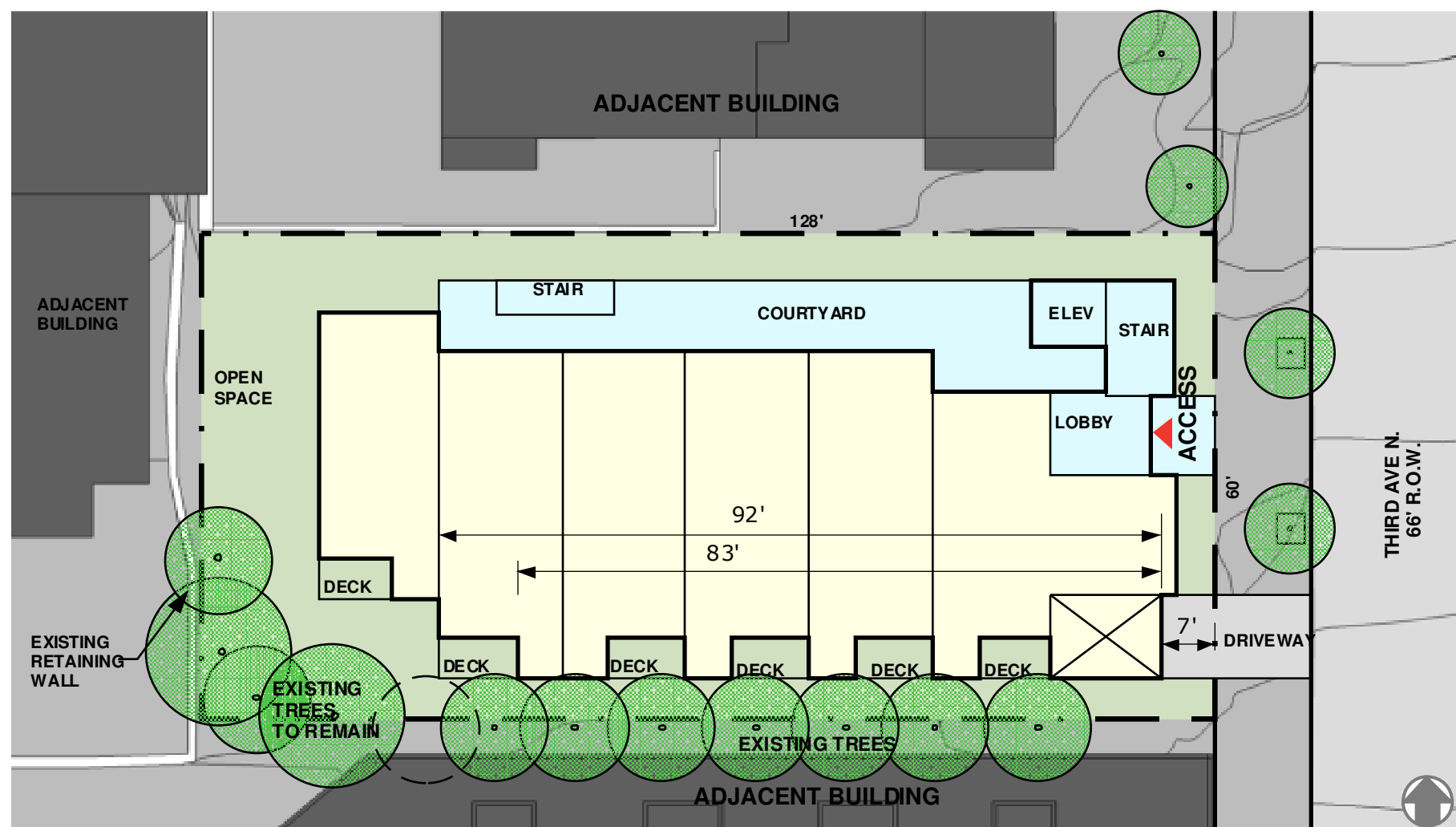
3RD AVE N. LOOKING WEST



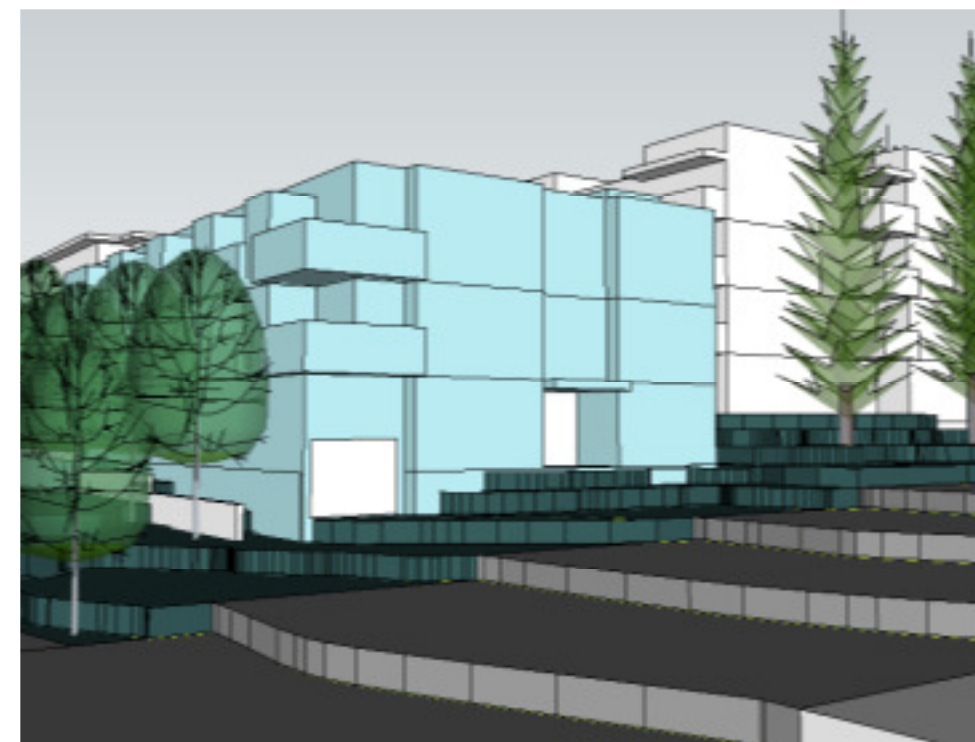
3RD AVE N. LOOKING EAST



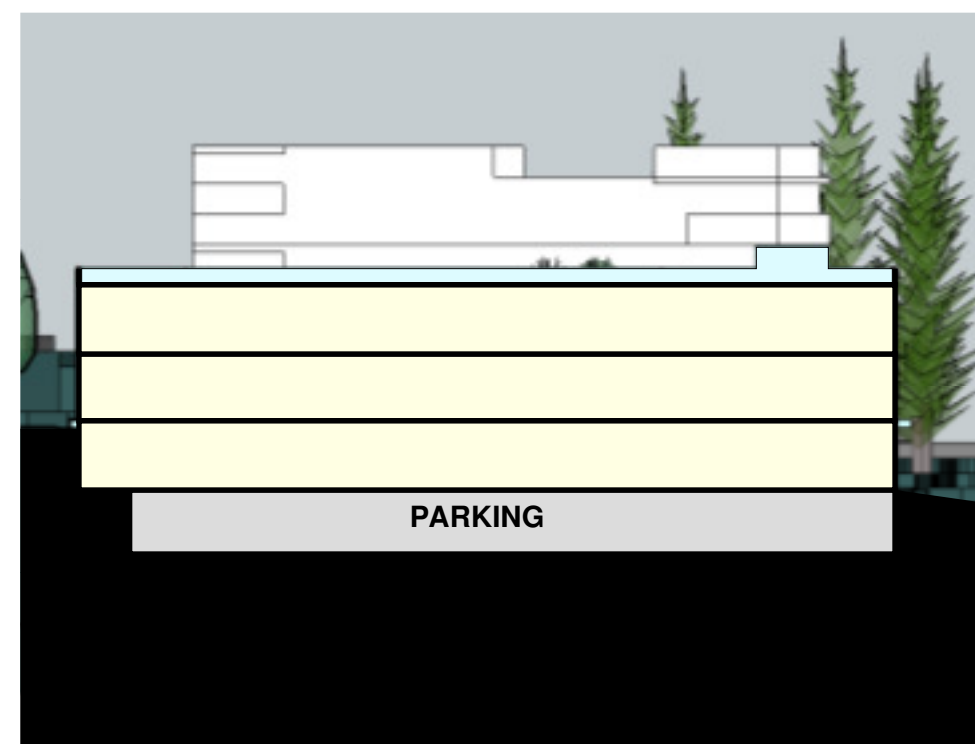
CONTEMPORARY DESIGN



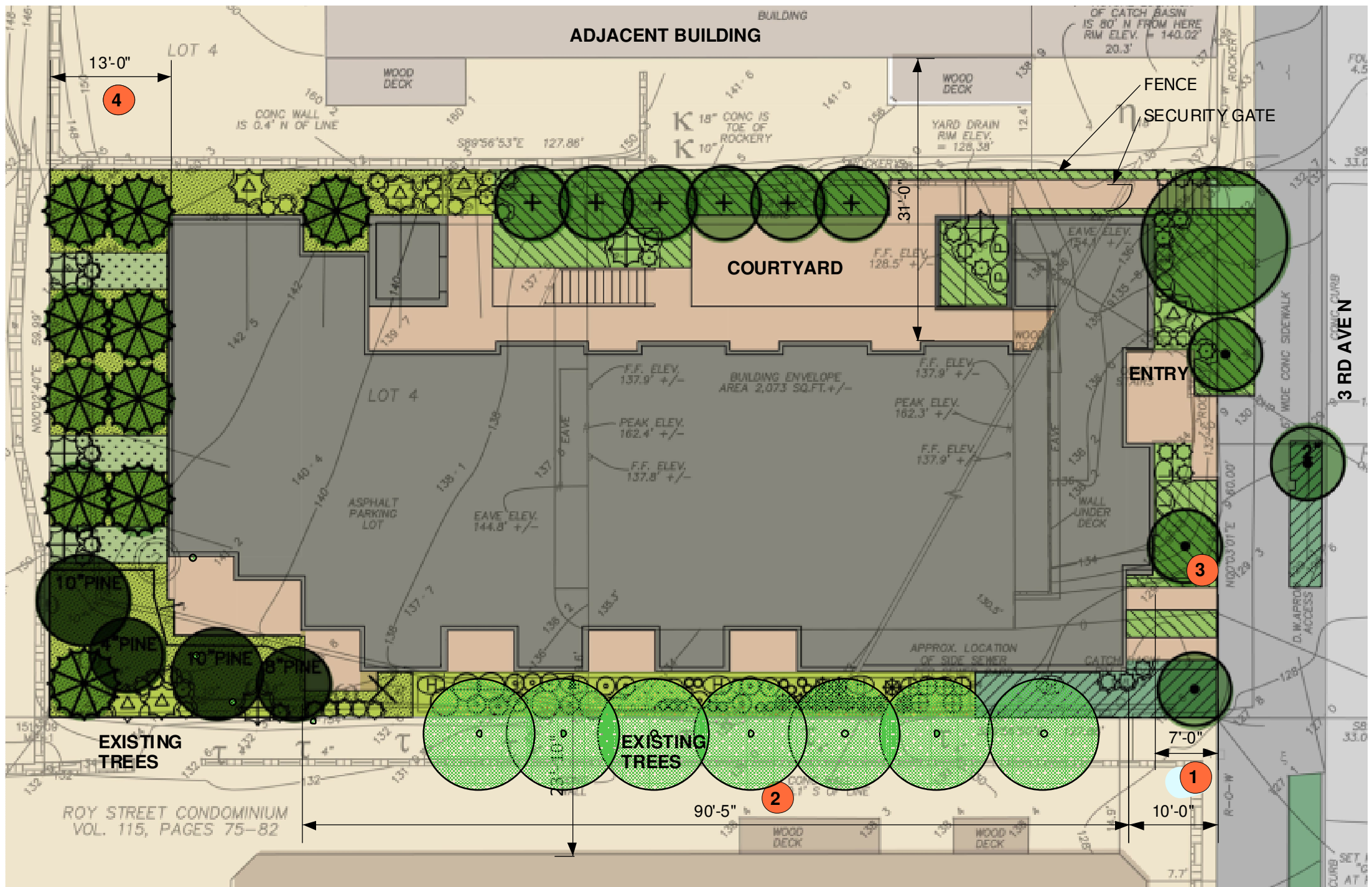
FLOOR PLAN



VIEW FROM THE SOUTH



SECTION

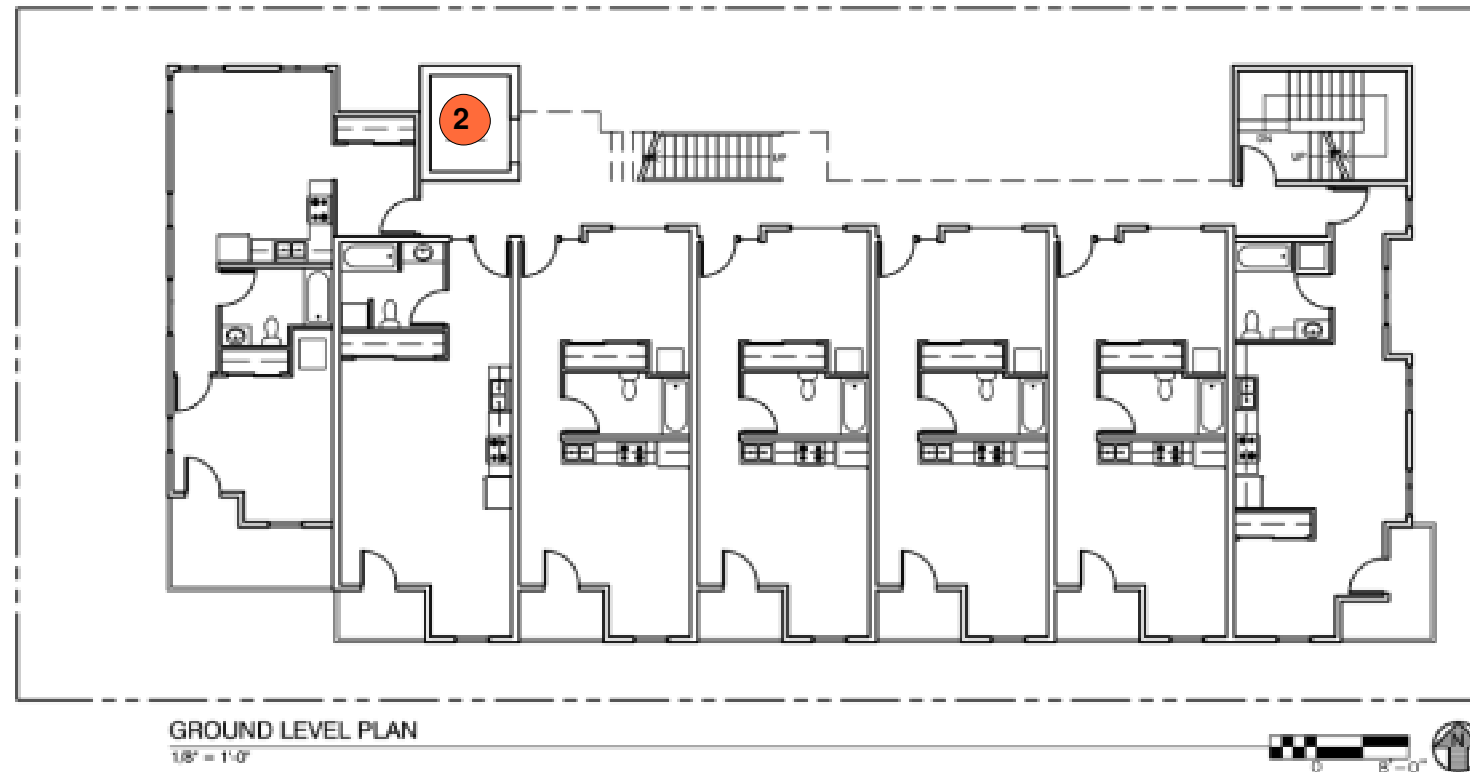


DEPARTURE MATRIX

- 1 This option would also require a departure for the location of garage door. For Option B, we propose recessing the garage door 7' rather than the code required 15'. This allows the door to align with the structure above and eliminates a hole in the façade. The single garage door would be complimentary to the entire façade.
- 2 Building Depth. A departure would be required because of the need for the units to be standardized in the prefab option. There will be modulation on the façade as each unit will have an exterior deck with a total setback of 10' from the property line.
- 3 Reduce the required site triangle on the uphill side of the driveway from 10' to 8'. This allows for the modulation at the front of the building.
- 4 Reduce the rear yard setback by 2' to allow for a larger setback at the front. This was a departure that the board recommended at the EDG meeting.

Code:	83'-0" depth with a 5' setback 65% of the Lot or 83'-0"
Requested Departure:	
Building Depth	90'-6"
Average Setback	8'-0"
Percent of Lot	72%





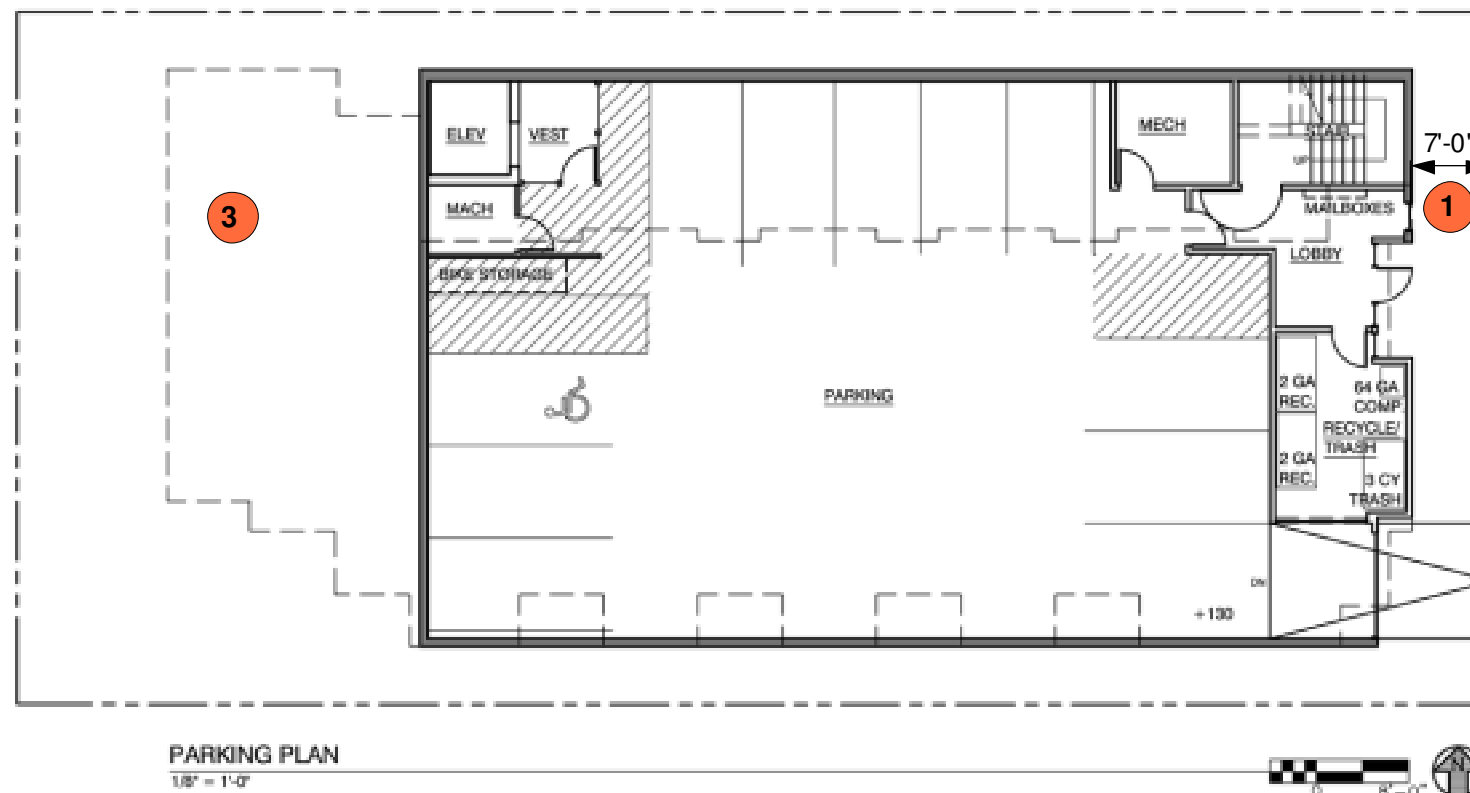
THIRD AVE N.

EDG RESPONSES

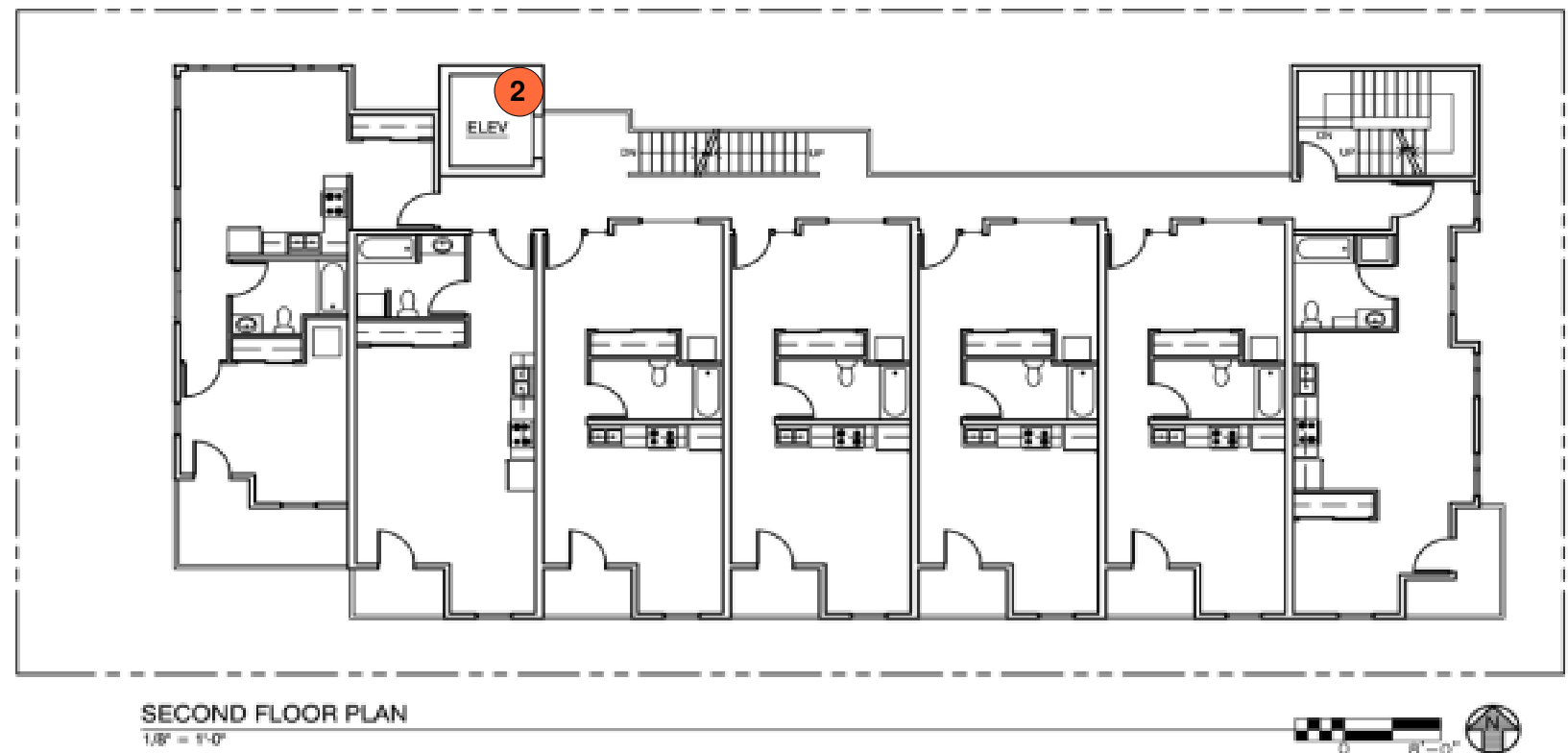
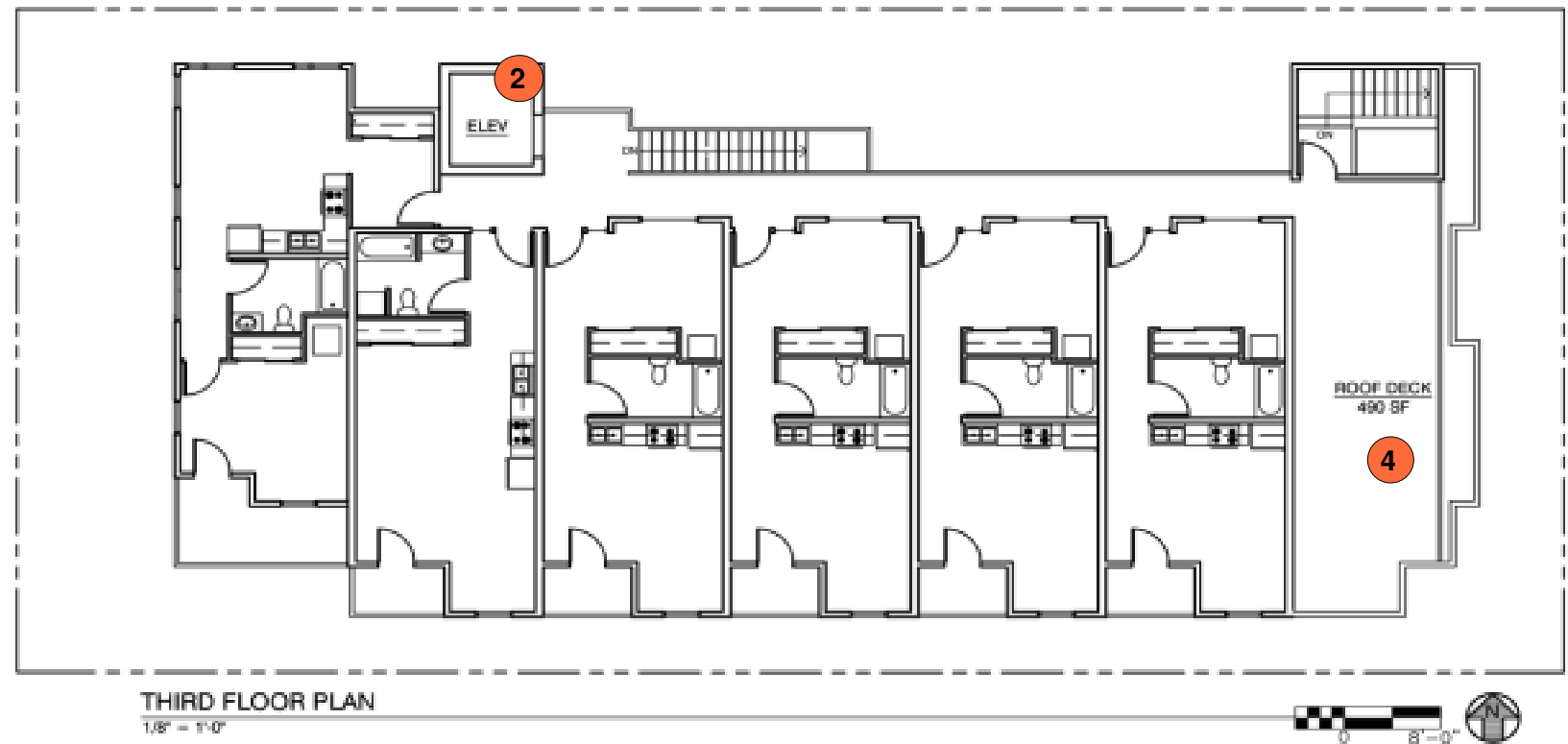
- 1 Shift the building 2' west to provide a greater front yard setback. This will enhance the views of the Space Needle from the north property decks. This was to address the concerns of the neighbor to the north.
- 2 Relocated the elevator shaft to create less of an impact on the neighbor to the north.

RESPONSES TO NEIGHBOR CONCERNS

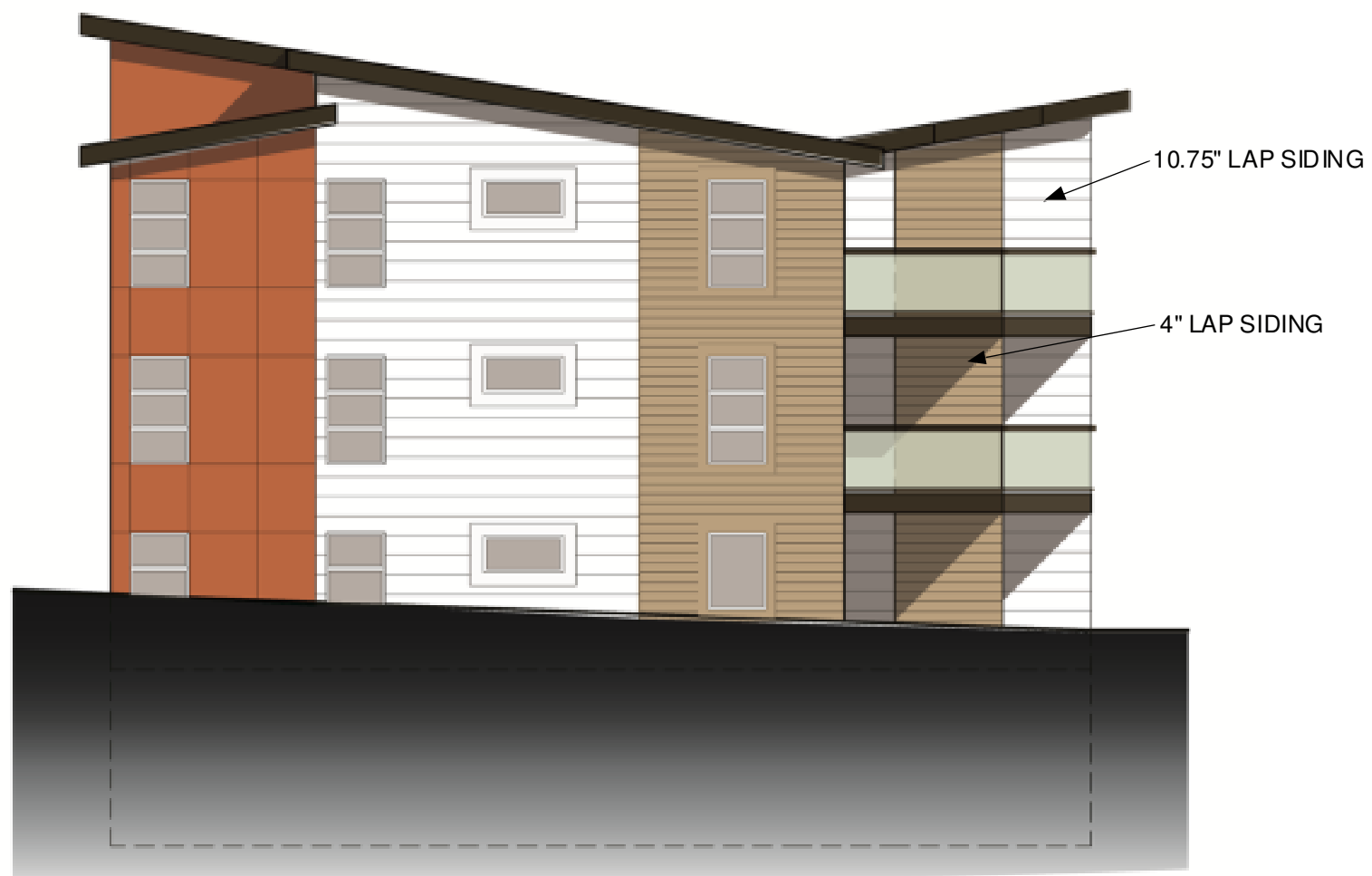
- 3 Due to concerns about the soil and excavation by the neighbor to the west we raised the building 4' feet from the previous scheme. The geotech report confirmed that the soils are not good for holding up during excavation.
- 4 Stepped the upper floor by eliminating one unit. Instead we created a garden terrace at the third floor. The roof deck required an elevator shaft and a stair shaft that blocked views for the north neighbor.



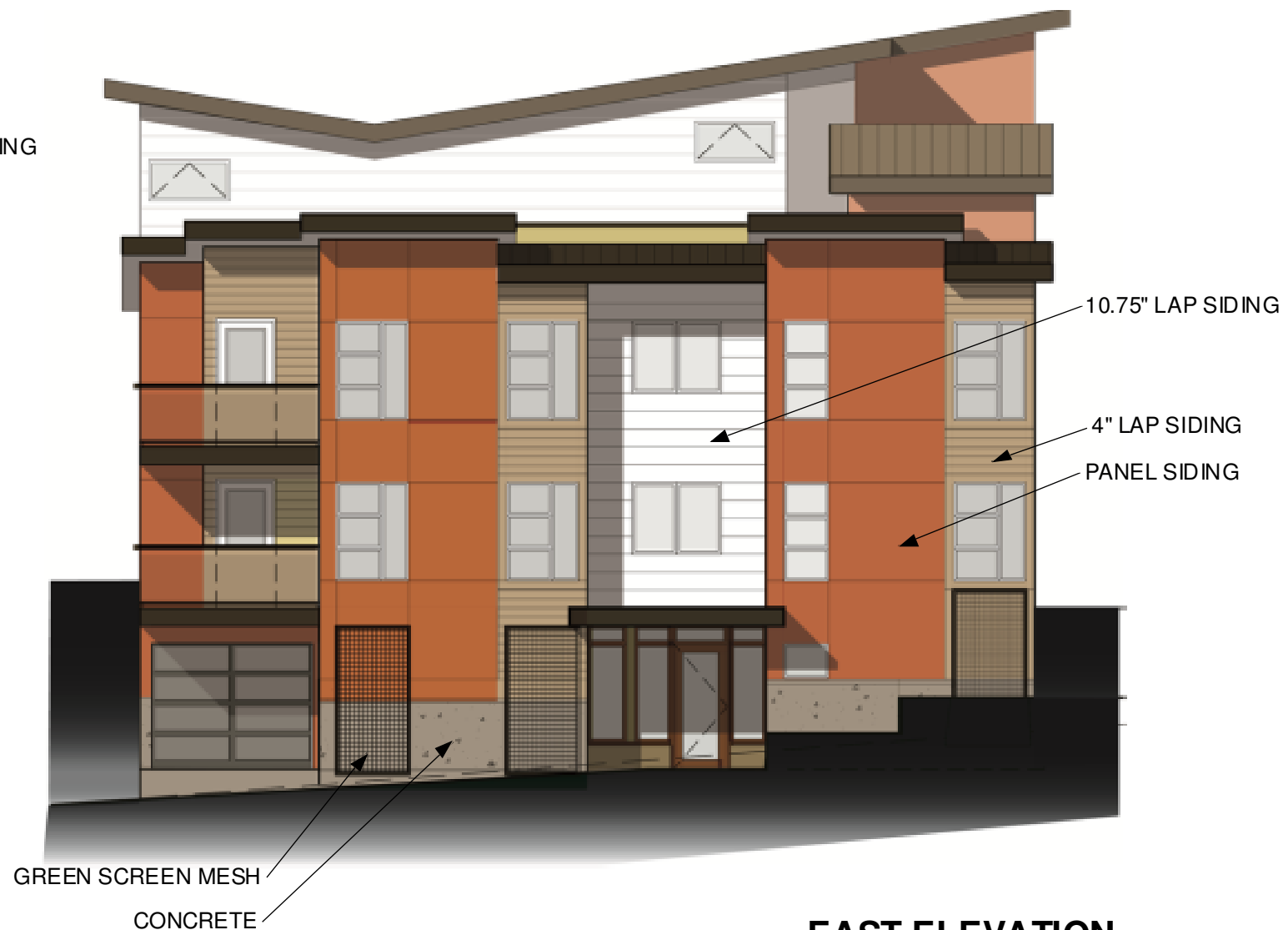
THIRD AVE N.



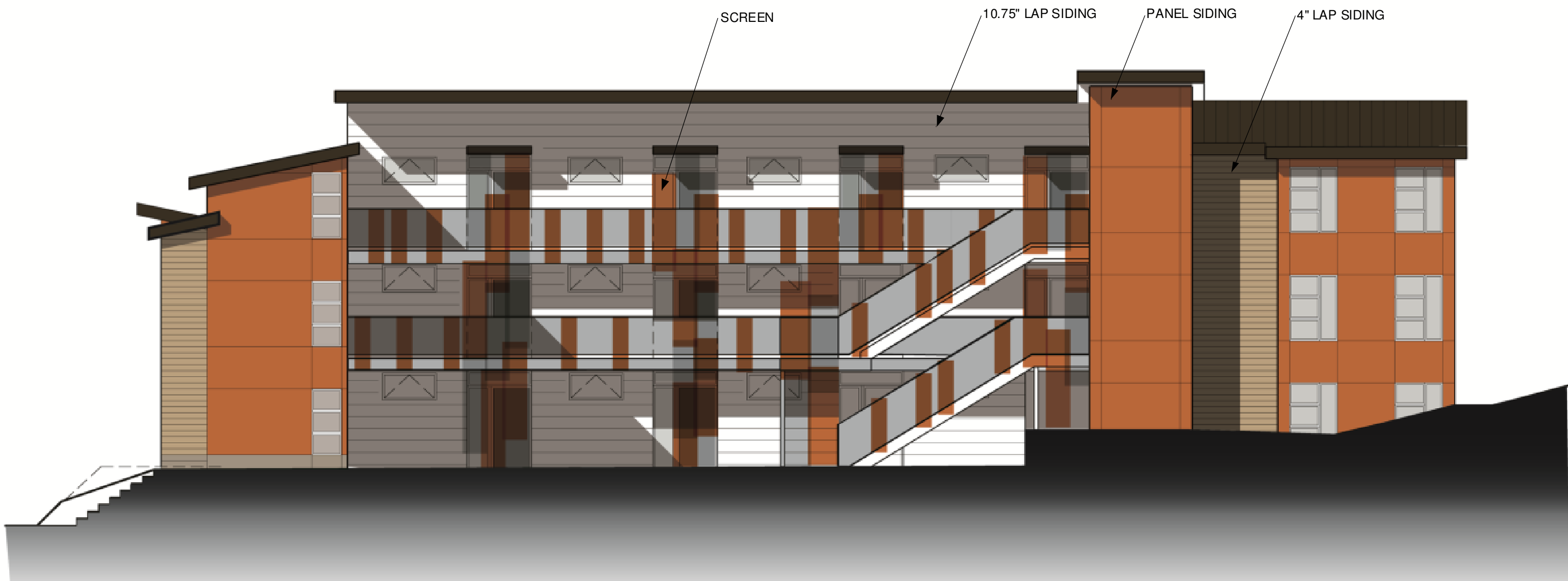




WEST ELEVATION

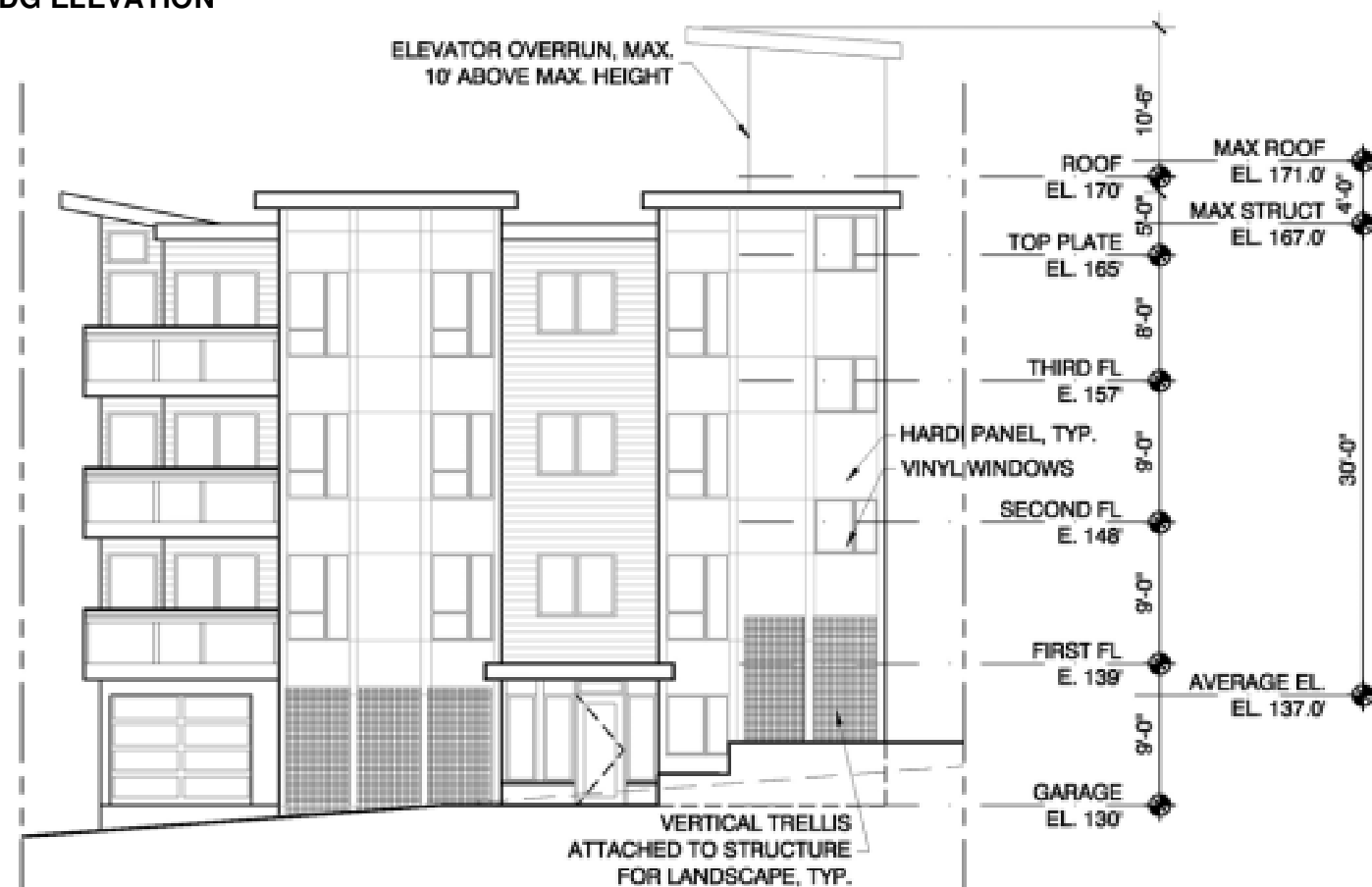


EAST ELEVATION

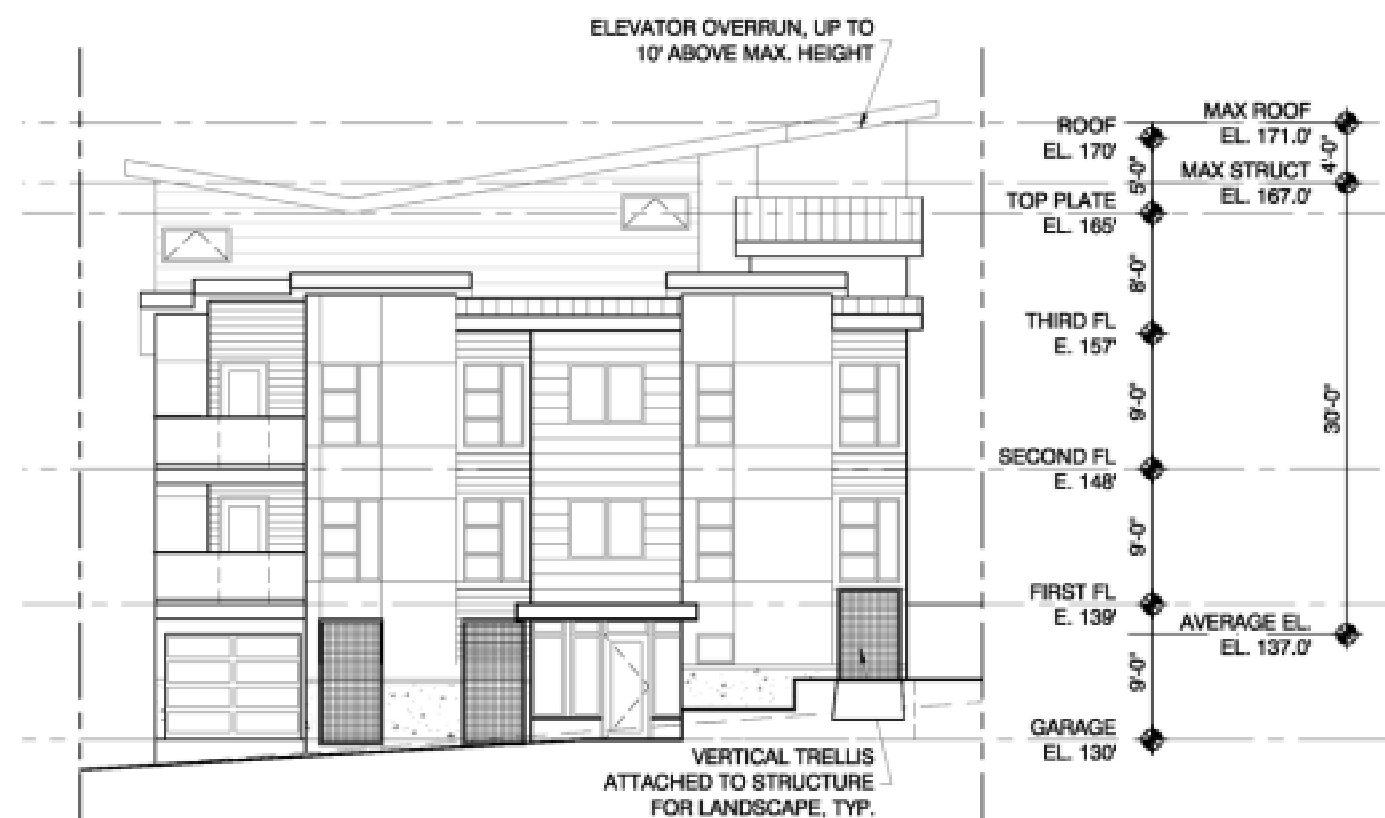




EDG ELEVATION

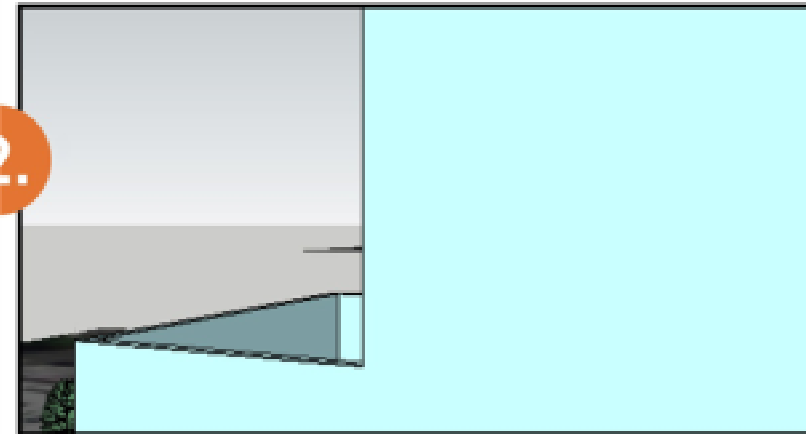


ELEVATION AT MUP SUBMITTAL - CODE COMPLIANT



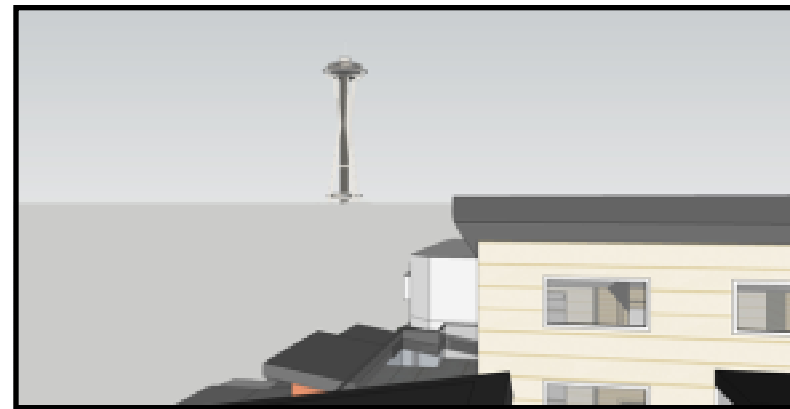
REVISED ELEVATION PER EDG COMMENTS

5' FRONT SETBACK - CODE COMPLIANT



3RD FLOOR

7' FRONT SETBACK, ELEVATOR RELOCATED



3RD FLOOR

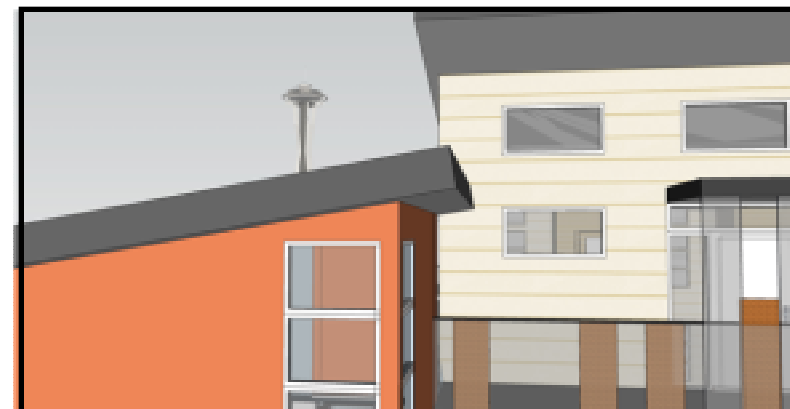
FRONT BALCONY VIEW



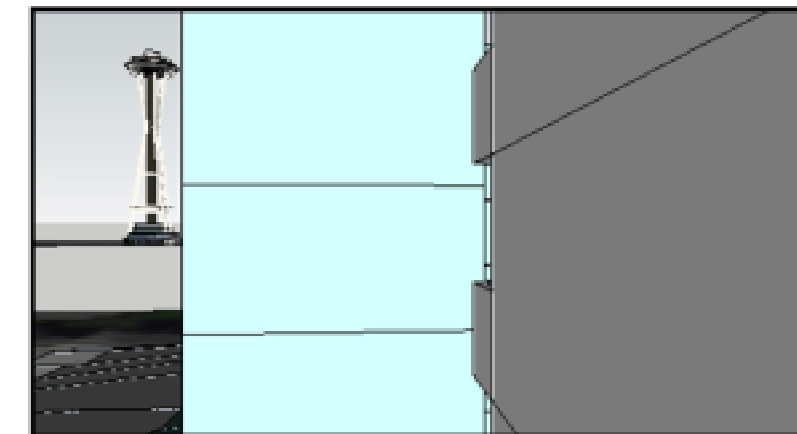
7' SETBACK



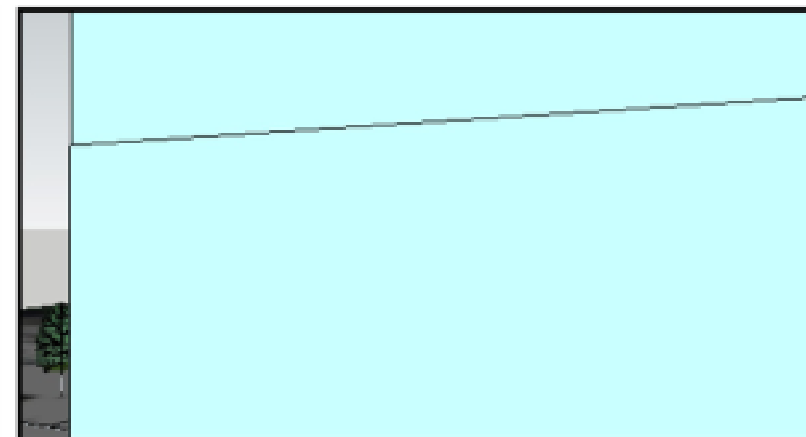
2ND FLOOR



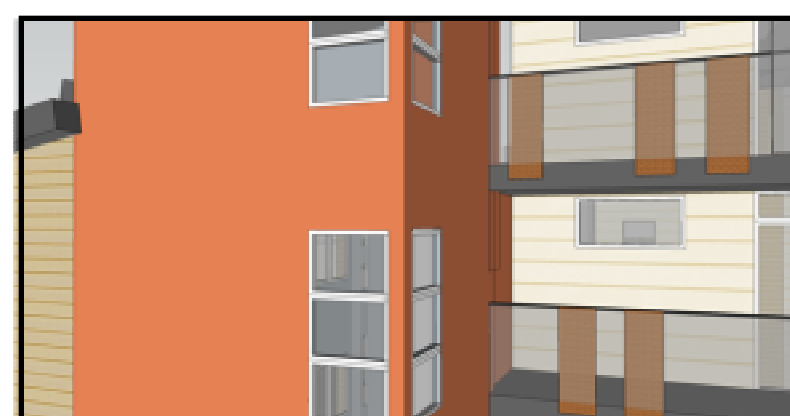
2ND FLOOR



5' SETBACK



1ST FLOOR



1ST FLOOR



ENTRY

A-1 - Respond to Site Characteristics

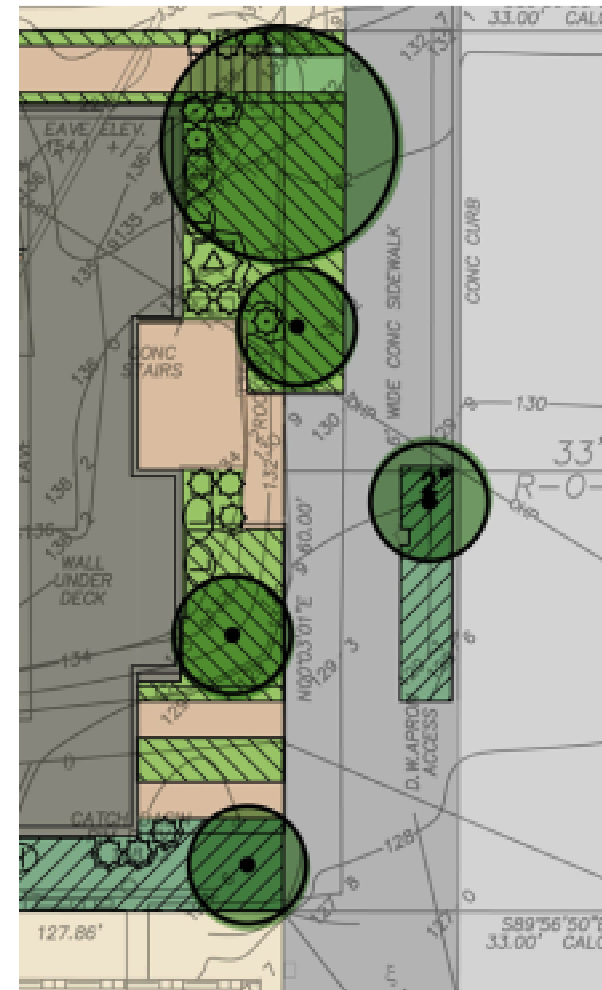
Existing site has a change in topography of 14'. The entrance to the parking garage will be situated on the low side of the site, while the entrance to the units will be situated on the higher side (east). The building will respond to the existing topography. The site contains trees that the developer would like to be saved during the construction process. The massing of the building is intended to stay out of the drip line of the trees located in the southwest corner of the site.

At the Early Design Guidance Meeting, The Board requested a study of more developed response to street and would like to see more transparency at the street.

Response: We have create a small entry courtyard that includes a variety of plants. There is a buffer between the drive and the entry courtyard to create some separation. The planting changes at our building entrance to match what is happening on either side of our building.

A-3 - Entrances Visible from the Street

The main entrance will be oriented towards the east to be located on Third Ave N. The main entrance will be visible from the street to provide a clear entry for pedestrians and vehicles. We will also look to recess the entry to provide a covered entry area.



ENTRANCE COURTYARD LANDSCAPING

D-1 Pedestrian Environment

The project will plan to incorporate landscape to enhance the space where the building meets the sidewalk. *At the Early Design Guidance Meeting, the Board stated that it would like to see a study of the residential entry.*

D-12 Residential Entry

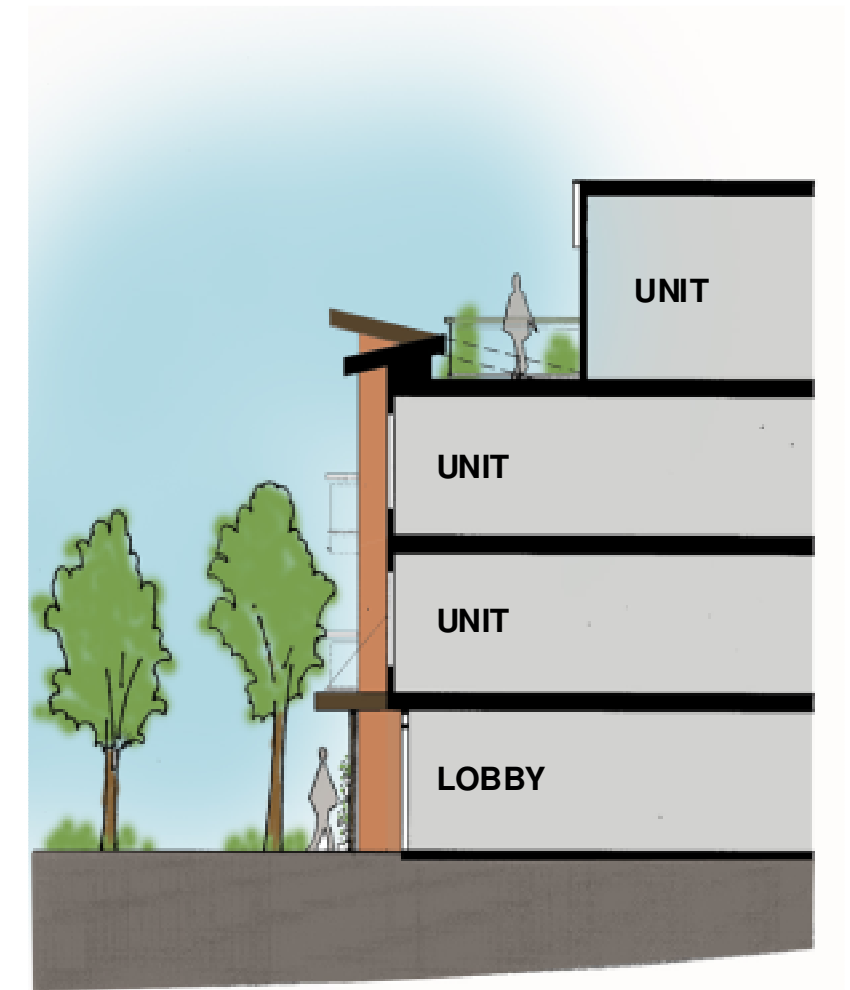
Throughout the neighborhood residential building entries have a distinctive characteristic that we will use a design influence. The entrance will have overhead weather protection.

E-1 Landscaping to Enhance the Building

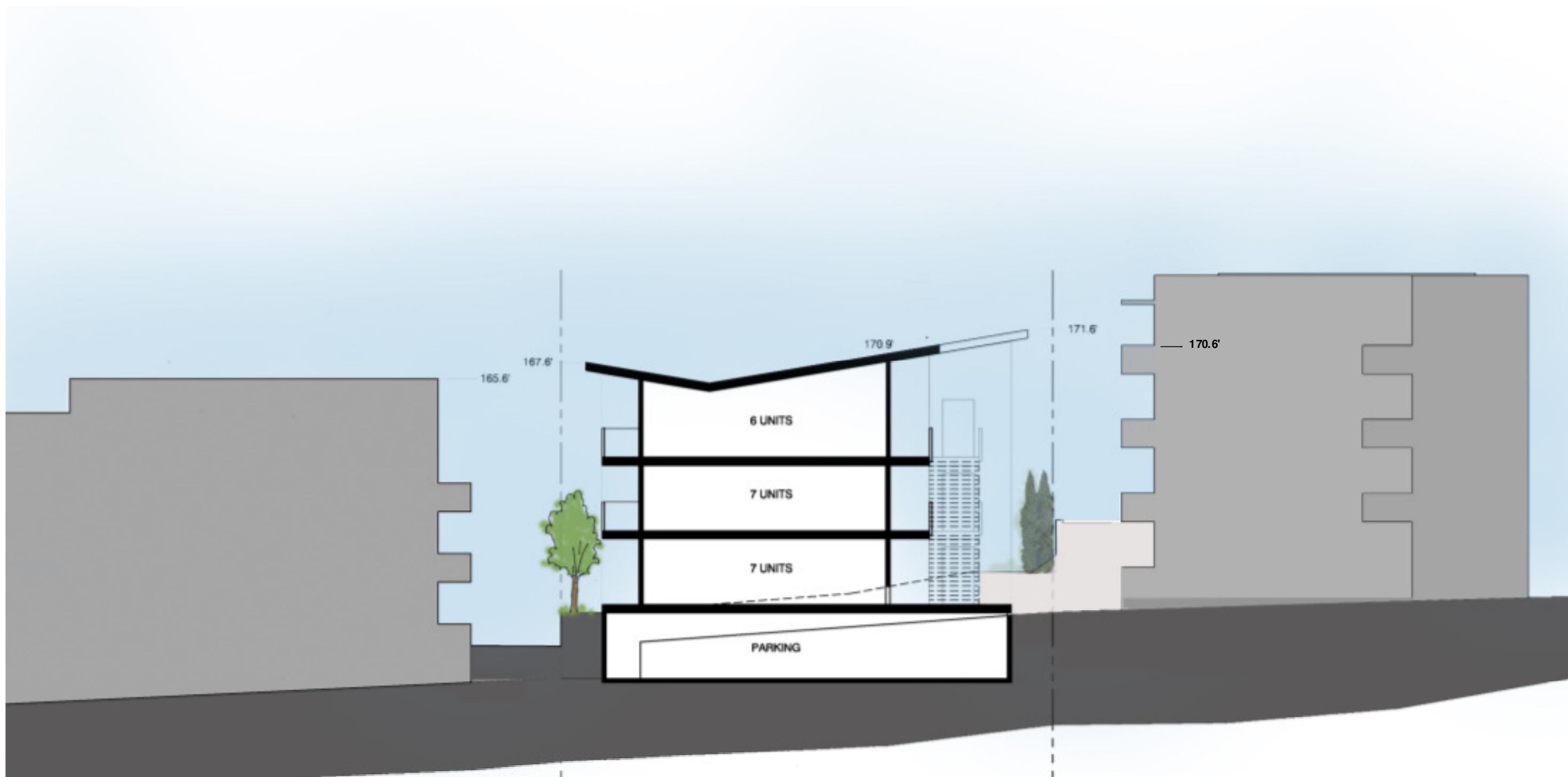
This will be an important feature for this project and will require lot of thought to incorporate the existing trees on the site and add new landscape elements. We are using the neighborhood examples of small entry courts, intimate courtyards and landscaping at the sidewalk as basis for our design.

E-2 Landscaping to Enhance the Buildin and/or Site.

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features hould be appropriately incorporated into the design to enhance the proejct. *At the Early Design Guidance Meeting, the Board stated that it would ilke a study of landscaping at the building base.*



SECTION AT ENTRANCE



A-1 - Respond to Site Characteristics

At the Early Design Guidance Meeting, the Board inquired about code compliance for the landscape buffer at the setback. The Board requests the design team provide detail on this at the next meeting.

Response: No screening is required. We are providing screening with a new fence and new trees along the edge.

A-5 - Respect for Adjacent Sites

Adjacent buildings are 4 and 5 story buildings. The proposed building will be complimentary of the adjacent structures. The adjacent structures have existing balconies and the massing and location of the proposed building responds to the balcony locations to ensure privacy for the adjacent site as well as potential tenants.

At the Early Design Guidance Meeting, the Board requested the design team to review design options for the northern pedestrian access and the appearance of the facade as viewed from the northern properties.

Response: We are showing options for the screening on the north facade.

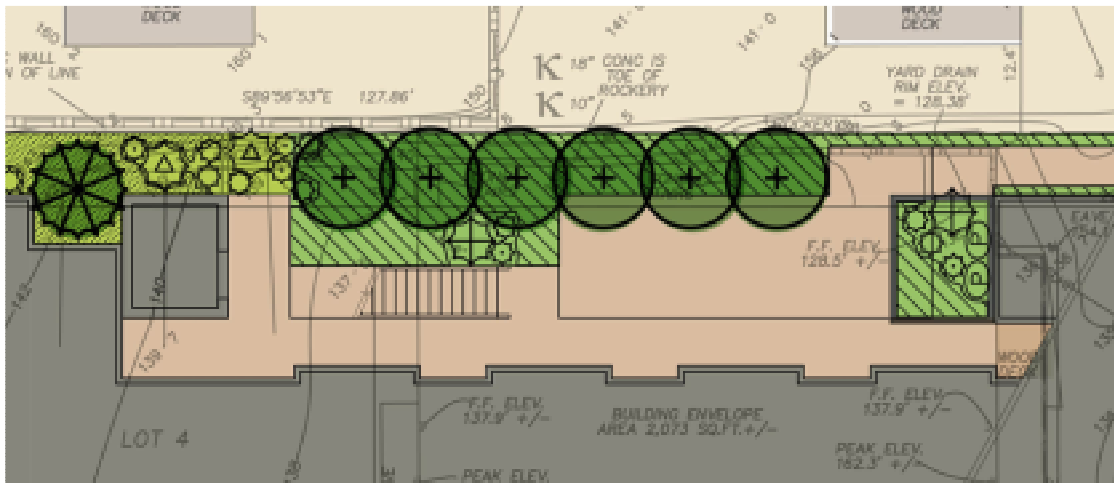
A-6 - Transition between Residence and Street

Throughout the neighborhood, landscaping is used as a buffer between the building and the sidewalk. We plan to use landscape to create a buffer between the building and the sidewalk.

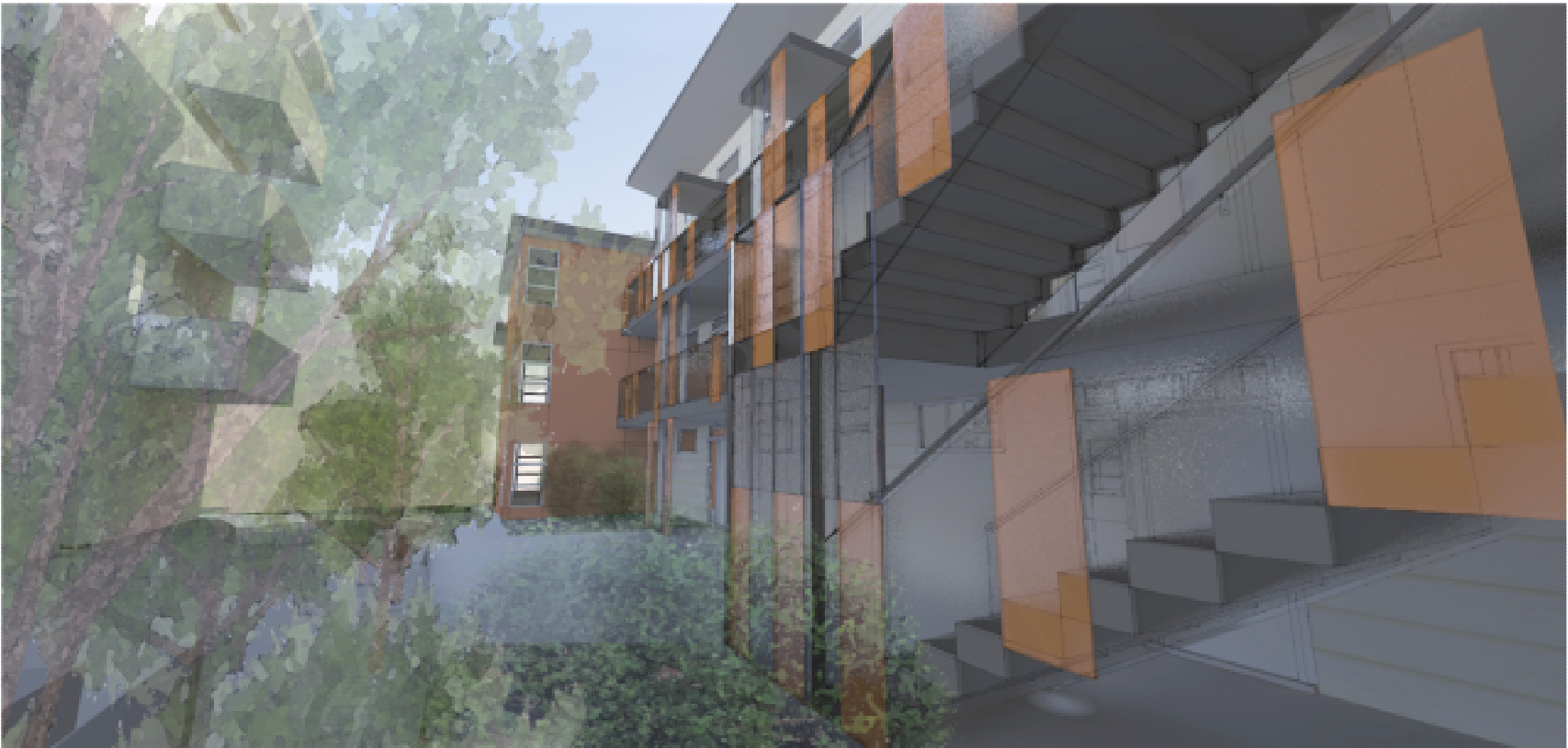
At the Early Design Guidance Meeting, the Board stated that it would like to see a study of proper screening between the proposal and the northern properties.

A-7 - Residential Open Space

Courtyard elements are desired for this location, creating a private/public space for the residence with the potential for individual gardens in this area. There will also be a large at grade open area for the residents on the west side of the site adjacent to the existing trees. All of the open space is currently at grade. There is the potential for amenity space on the roof.



COURTYARD LANDSCAPE PLAN



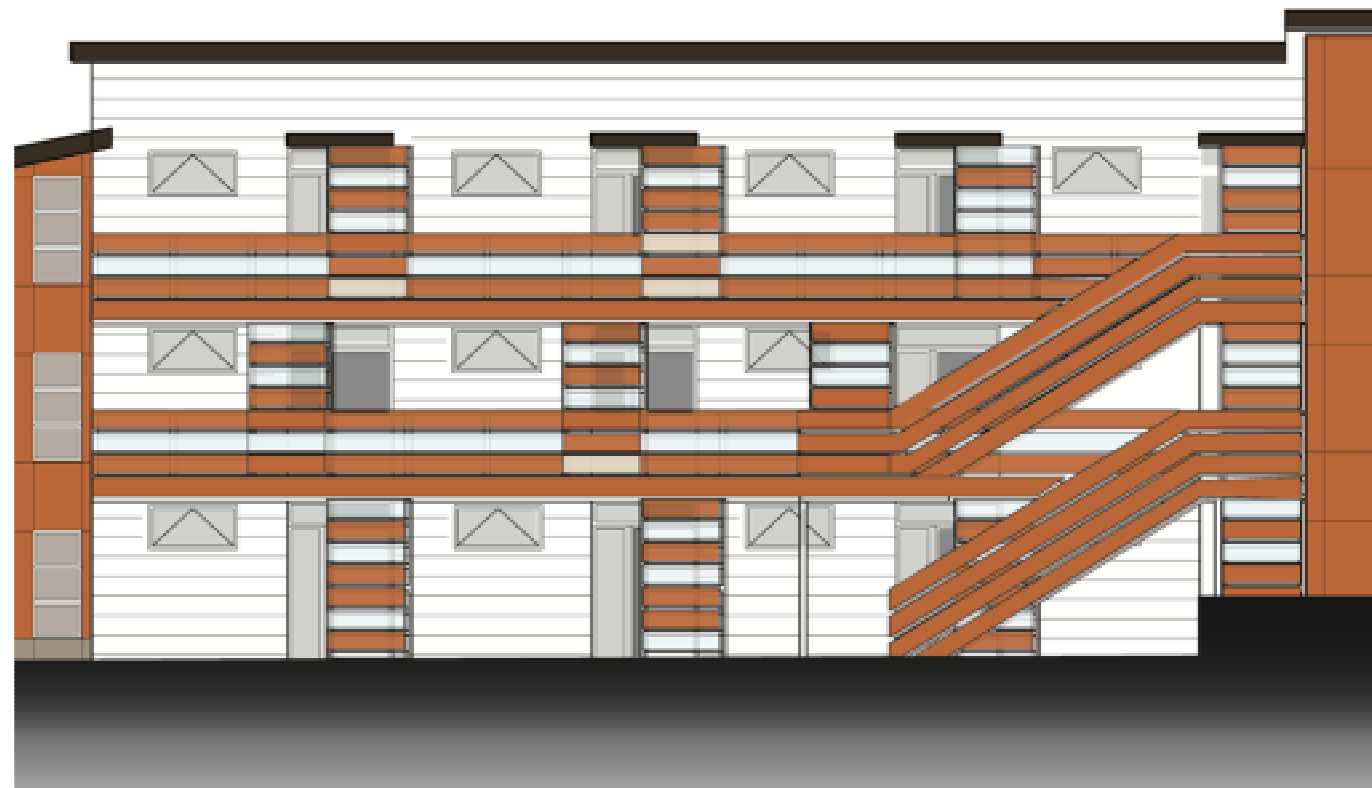
VIEW TO THE EAST



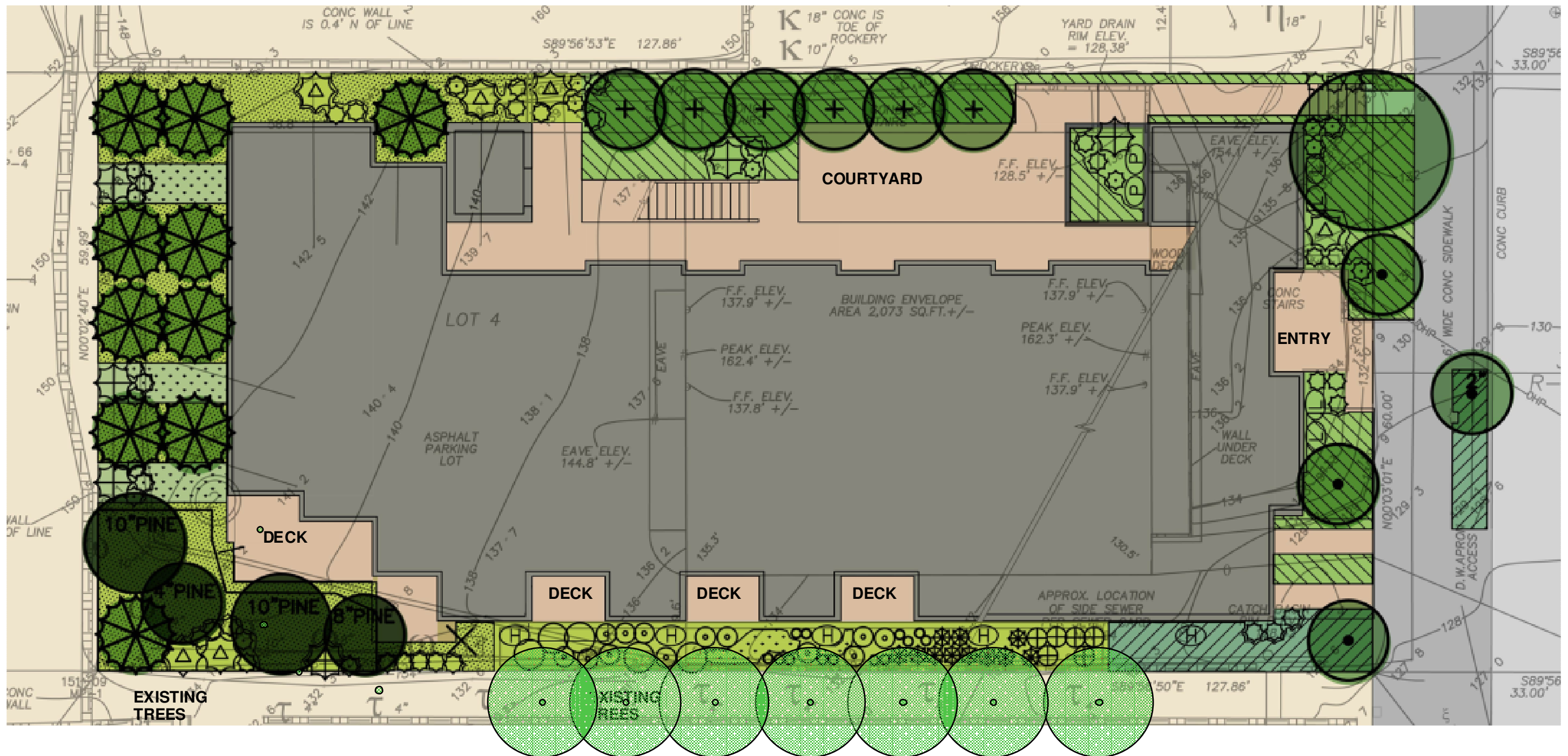
VIEW TO THE WEST

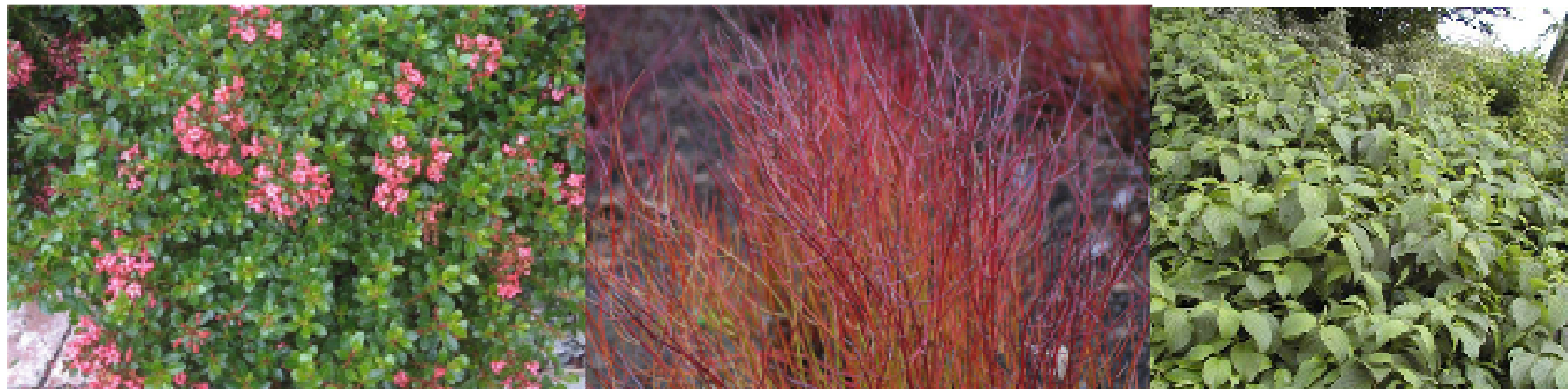




























SCREENS VERTICAL OPTION



SCREENS HORIZONTAL OPTION

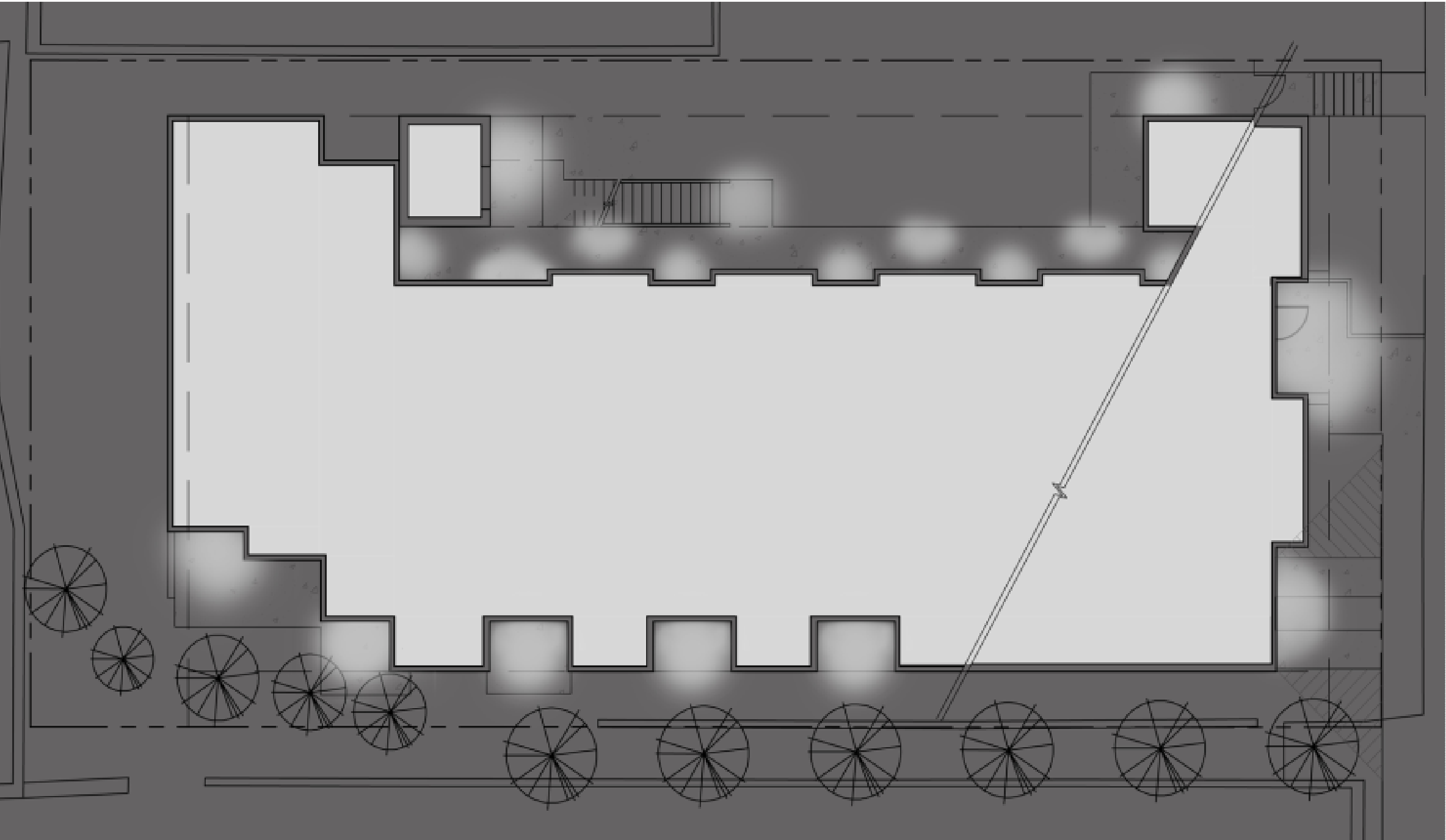




PLANT LEGEND		
DECIDUOUS TREES		
	BOTANICAL NAME	COMMON NAME
	LIRODENDRON TULIPIFERA 'FASTIGIATA'	COLUMNAR TULIP
	PRUNUS SARGENTI 'COLUMNARIS'	SPIRE CHERRY
	PRUNUS SARGENTI 'COLUMNARIS'	SPIRE CHERRY
	PRUNUS 'SNOWGOOSE'	SNOW GOOSE CHERRY
EVERGREEN TREES		
	BOTANICAL NAME	COMMON NAME
	CUPRESSUS SEMPERVIRENS 'STRICTA'	ITALIAN CYPRESS
DECIDUOUS SHRUBS		
	BOTANICAL NAME	COMMON NAME
	CORNUS SERICEA 'KELSEYI'	KELSEY REDSTEM DOGWOOD
	NEPETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW NEPETA
	SPIRAEA DOUGLASSII	WESTERN DOUGLASSII
	SYMPHORICARPOS ALBUS	SNOWBERRY
EVERGREEN SHRUBS		
	BOTANICAL NAME	COMMON NAME
	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY TREE
	BERBERIS CANDIDULA	PALELEAF BARBERRY
	CAMELIA SASANKUA 'YULETIDE'	YULETIDE CAMELIA
	ESCALLONIA 'COMPACTA'	COMPACT ESCALLONIA
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN
GROUNDCOVERS AND VINES		
	BOTANICAL NAME	COMMON NAME
	ARUNCUS 'MISTY LACE'	DWARF GOAT'S BEARD
	ASARUM CAUDATUM	WILD GINGER
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY
	HYDRANGEA ANOMALA PETICULARIS	CLIMBING HYDRANGEA
	LONICERA HECKROTTII 'GOLD FLAME'	GOLD FLAME HONEYSUCKLE
	PARTHENOCISSUS HENRIYANA	SILVERVEIN CREEPER
	VINCA MINOR	DWARF PERIWINKLE

D-7 Personal Safety and Security

The project will provide adequate lighting for residents and encourage “eyes on the street” through the placement of exterior decks and outdoor space.



LIGHTING PLAN



CAN LIGHT ABOVE
UNIT ENTRIES



EXTERIOR LIGHT - STAIR,
ELEVATOR, GARAGE



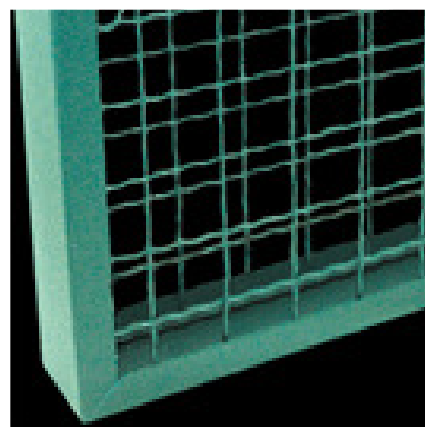
DECK LIGHT



STANDING SEAM METAL ROOF



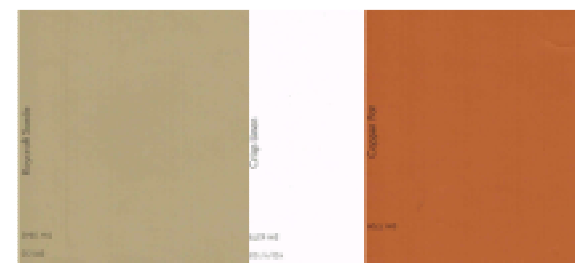
TRANSLUCENT PANELS



GREEN SCREEN MESH



PREFERRED COLOR SCHEME - WEST ELEVATION



4" LAP SIDING

10.75" LAP
SIDING

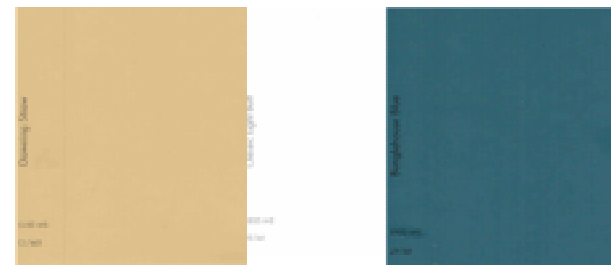
PANEL SIDING

COLOR SCHEME PREFERRED



COLOR SCHEME OPTION - WEST ELEVATION

COLOR SCHEME OPTION



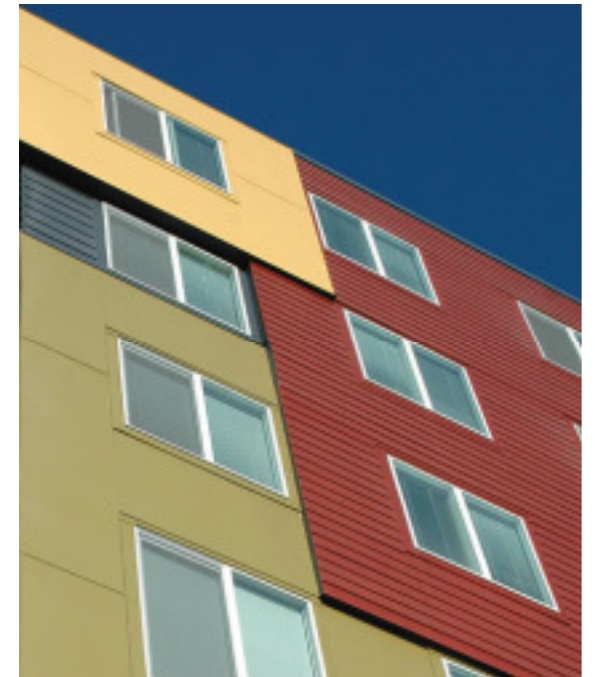
4" LAP SIDING

10.75" LAP
SIDING

PANEL SIDING



Cementitious Panel Siding



Cementitious Panel and Lap Siding



EXAMPLE OF TREATMENT FOR COURTYARD BETWEEN BUILDINGS



SIDING AND DECK TREATMENT OPTIONS



EXAMPLE OF MATERIAL AND LOBBY TREATMENT



EXAMPLE OF EXTERIOR CIRCULATION TREATMENT

