



McClellan Apartments



FISH
MACKAY
ARCHITECTS LLC



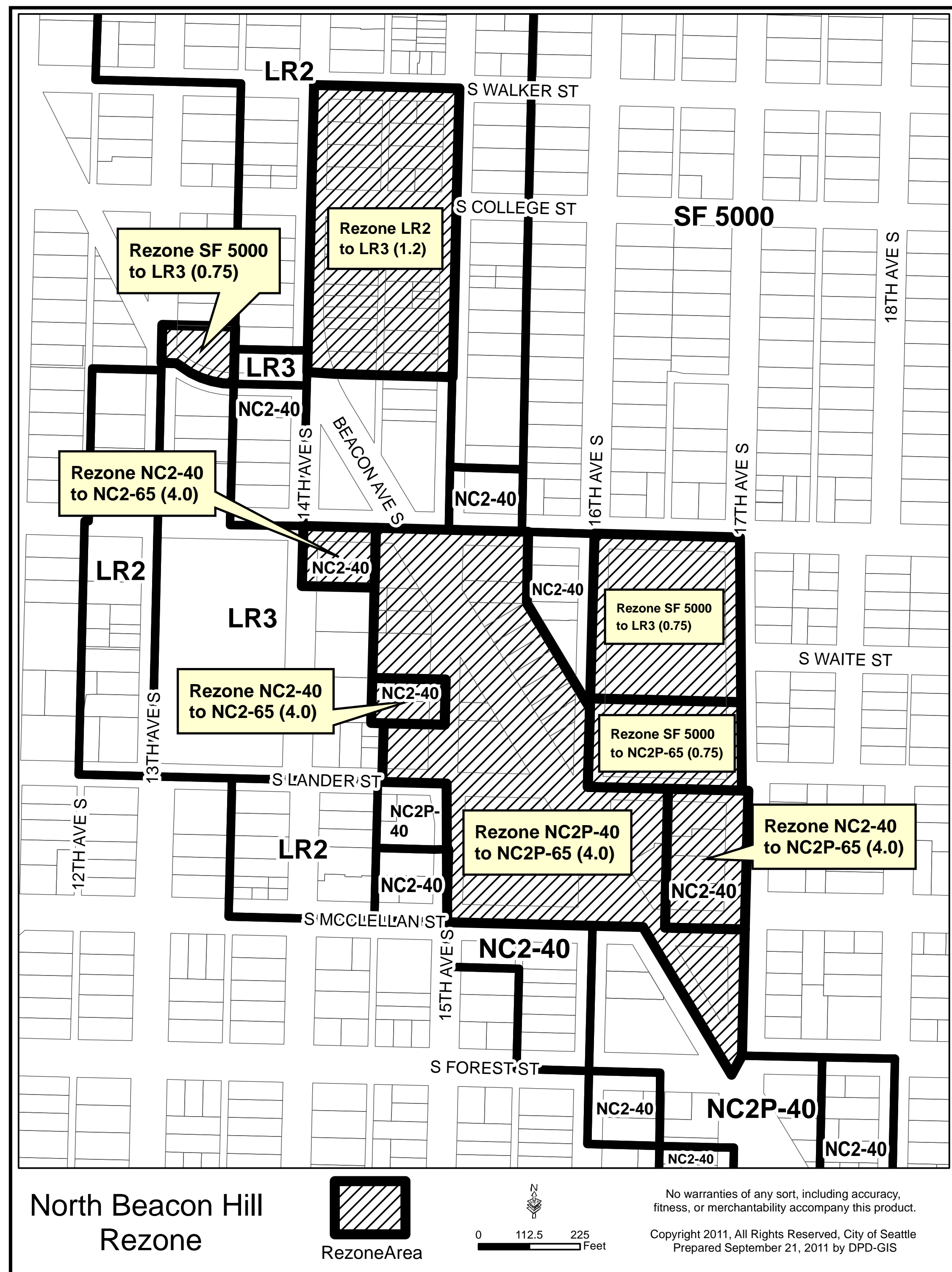
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Recommendation Meeting
Updated March 21, 2013

DPD Project# 3012392

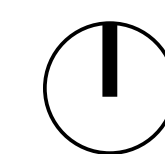




Recent Zoning Changes



Site Context



VICINITY/SITE ANALYSIS



El Centro de la Raza



Beacon Avenue Commercial



Beacon Hill Light Rail Station



Beacon Hill Branch Library

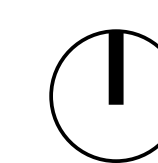
El Centro de la Raza

Roberto Maestras
Festival Street

Beacon Hill Light Rail
Station

Red Apple

Beacon Hill Branch
Library



NEIGHBORHOOD LANDMARKS

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Traditional Brick Apartment Buildings

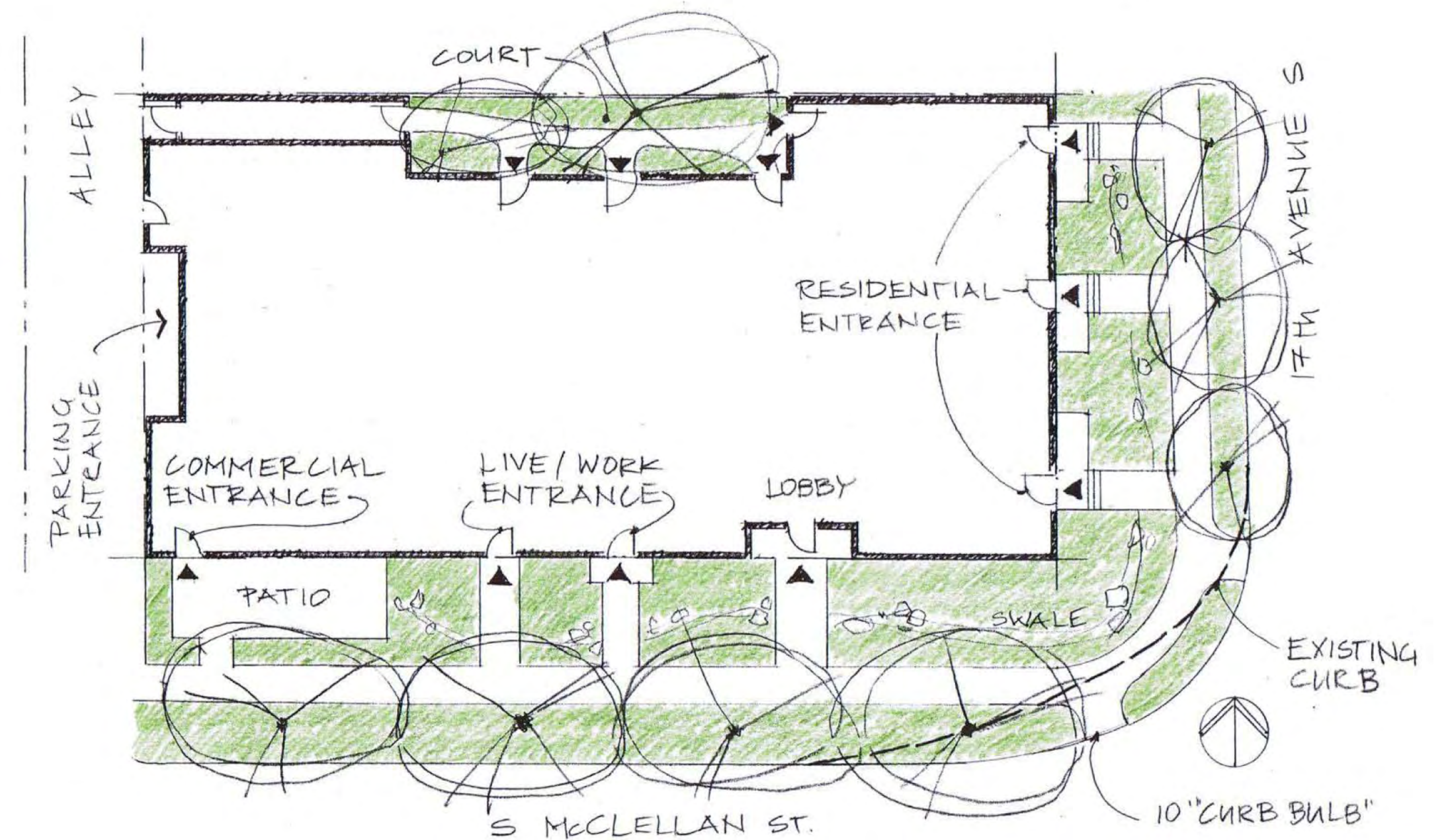
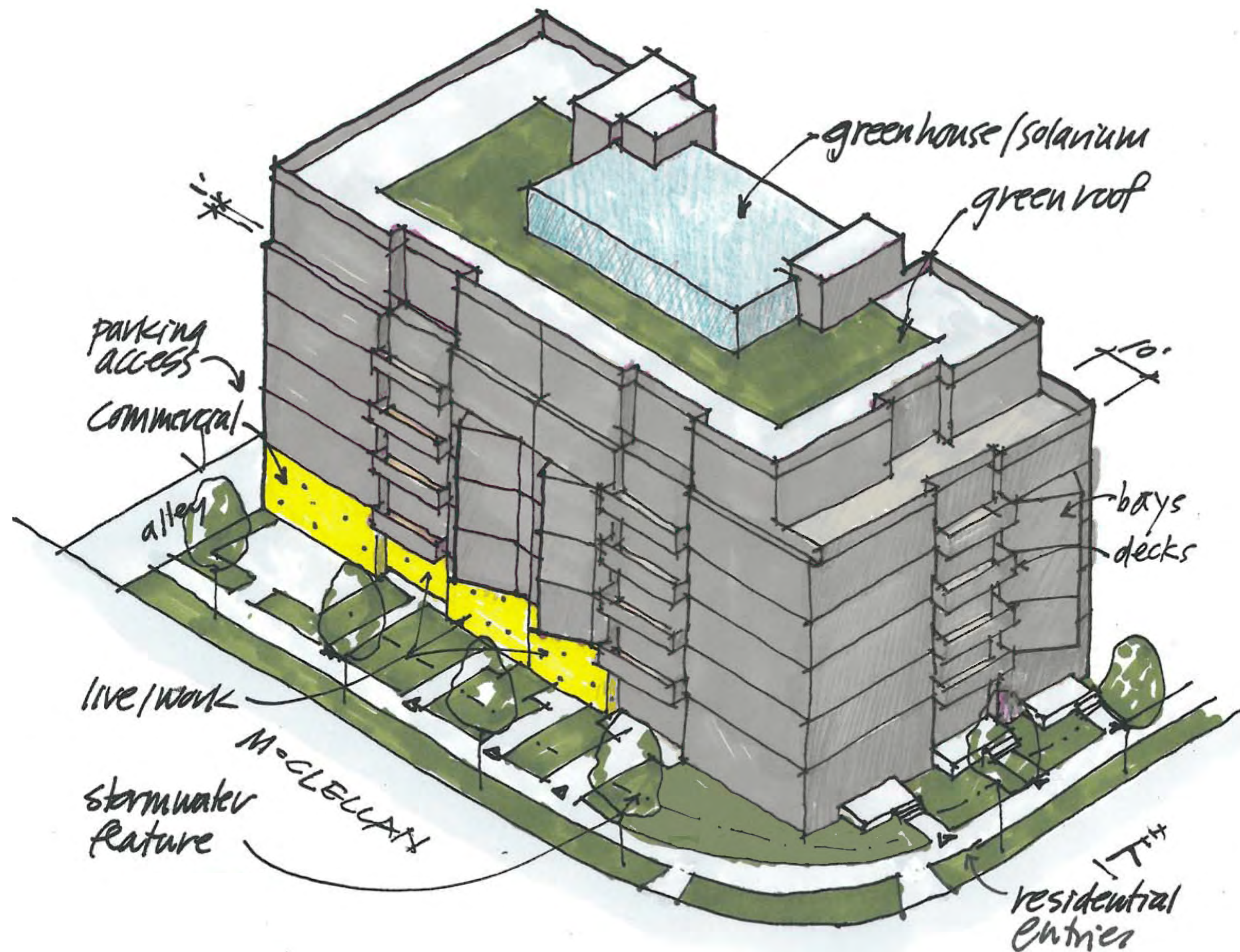


Traditional Low-scale Houses



Metal, Wood, Cement Panel Contemporary Houses

NEIGHBORHOOD RESIDENTIAL CHARACTER



SITE PLAN

SCHEME 'E':

PROS:

- Generally compliant with proposed rezone to NC2'-65' with Overlays
- Smaller setbacks at top floor respond to intent of North Beacon Hill Urban Design Framework
- Varied set backs at top respond to conditions on adjacent streets
- Bays and Decks add interest and modulation to simple massing
- Commercial/Live work uses at street relate to Beacon Ave commercial
- Elevation of residential reduces extent of stairs/ramps

CONS:

- More complex construction

PREFERRED OPTION FROM EDG

McClellan Apartments

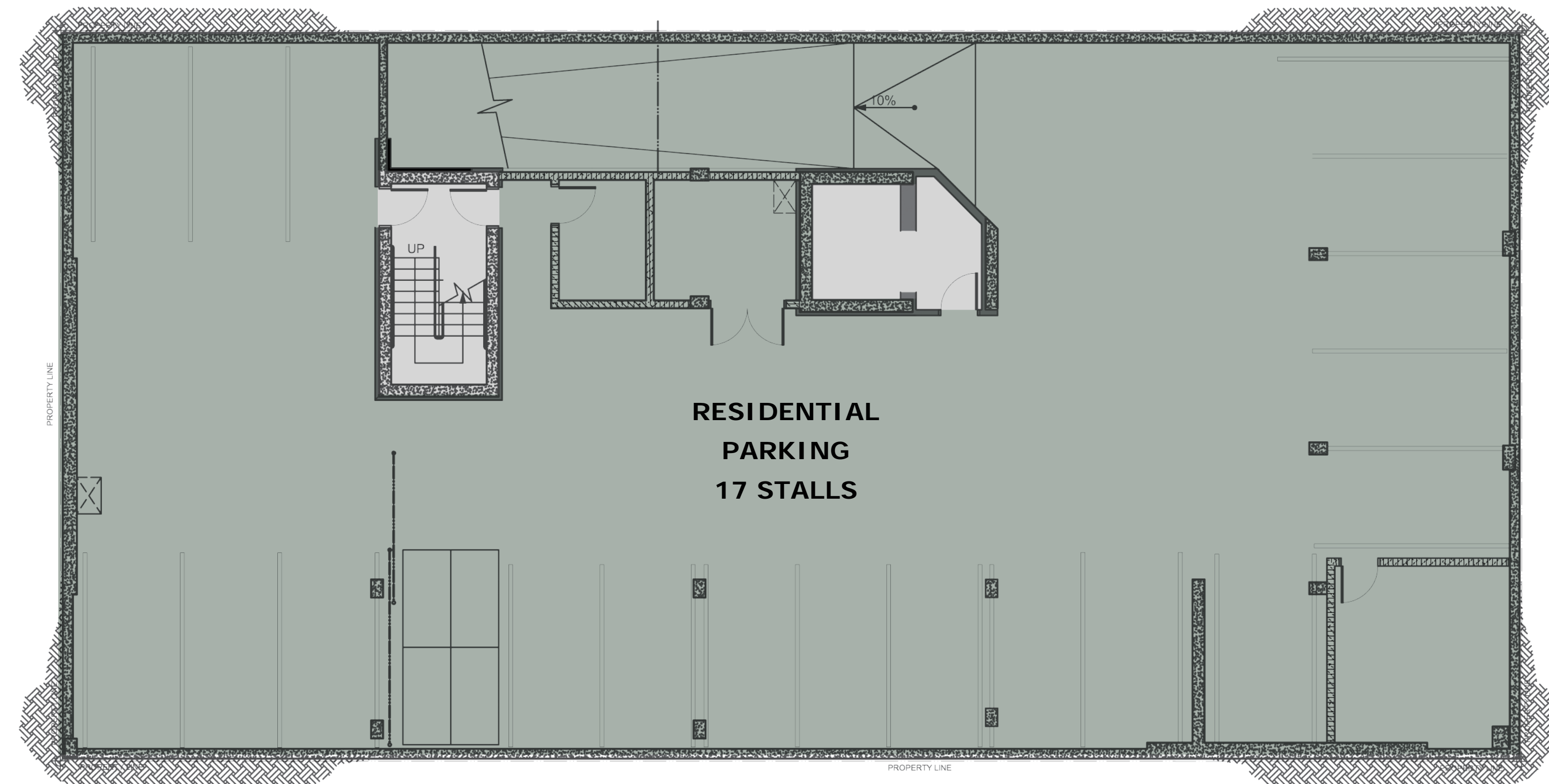
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Approximate Development Objectives

- 46 Residential units
- 17 Parking stalls
- 2,046 sf Commercial space



SITE AND GROUND FLOOR PLAN



Level P1



Levels L2 thru L5



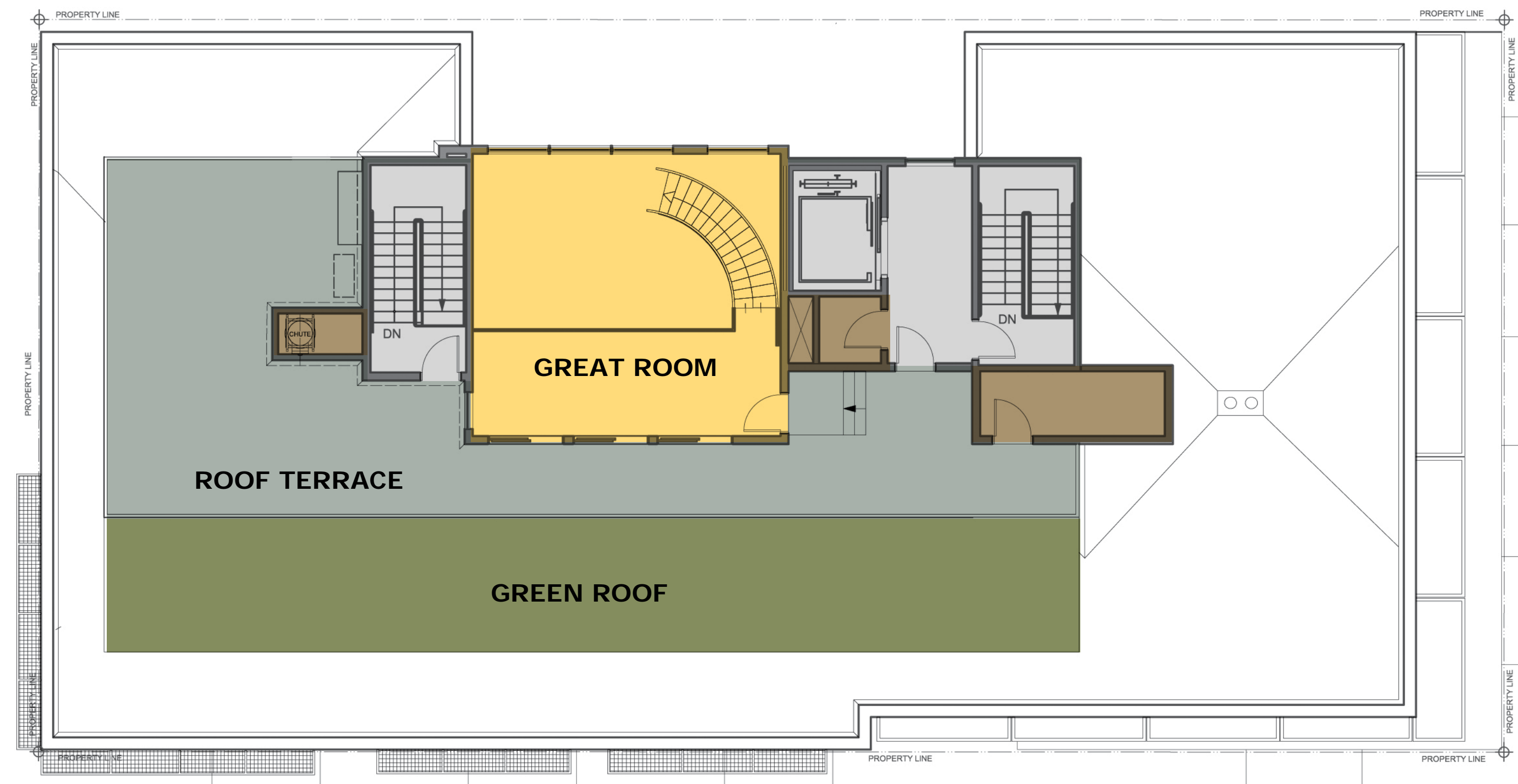
FLOOR PLANS

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Level L6



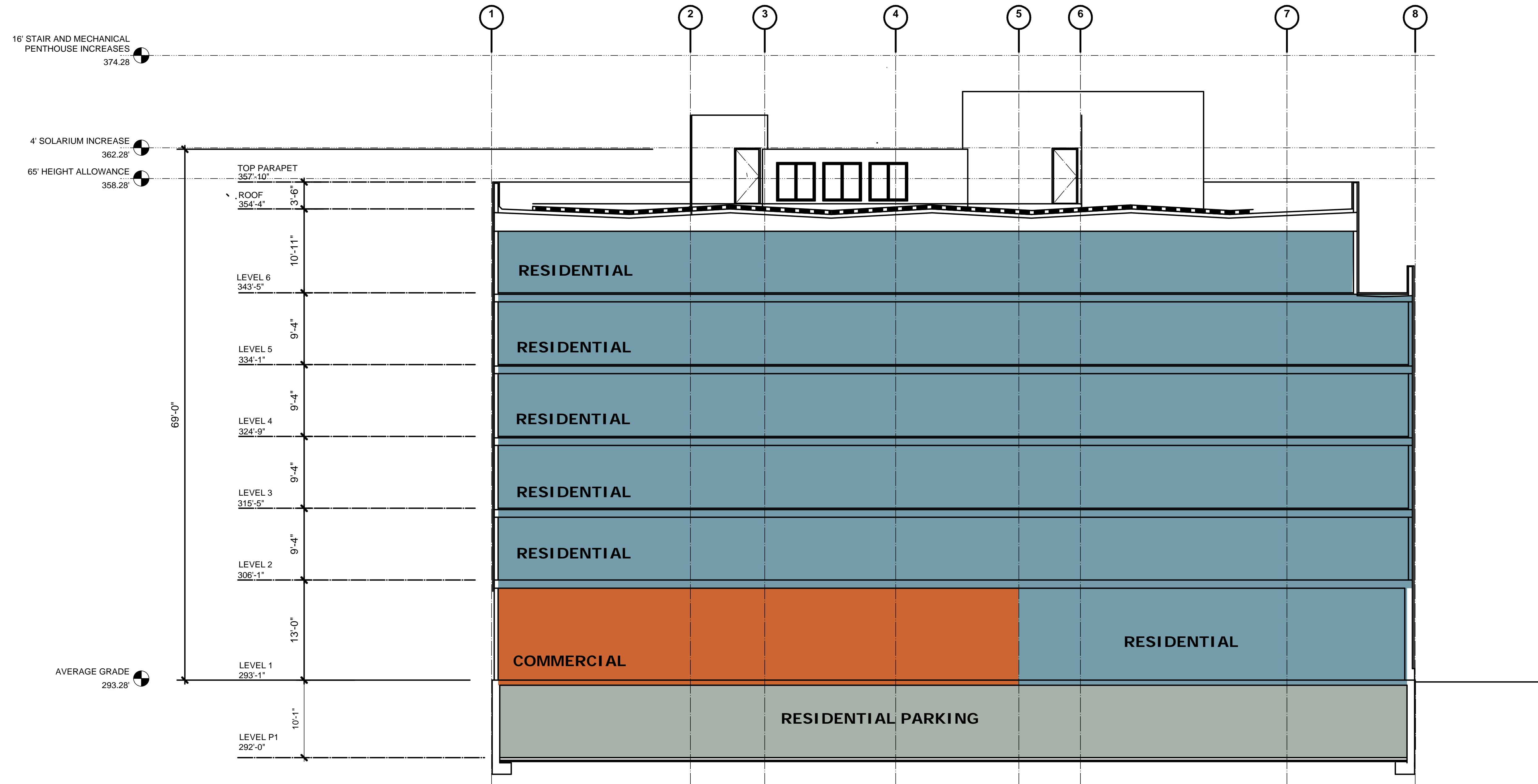
Roof



FLOOR PLANS

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BUILDING SECTION

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B-1 Height Bulk and Scale Compatibility

DRB Guidance

- Modulation necessary for all 4 sides of building
- Upper level setback along 17th endorsed to lessen appearance of height, bulk and scale

Response

- Volume of building is modulated by recessing main entry, extending recess all the way to top of building to create 2 main volumes
- 6th floor set back from 17th to respond to residential scale
- Bay windows at McClellan break up mass of building, extend up to 5th floor
- Bay windows at 17th extend to 4th floor to create another setback layer

CURRENT SCHEME - DESIGN PRIORITIES

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B-1 Height Bulk and Scale Compatibility

View from Beacon Ave looking East

DRB Guidance

- Modulation necessary for all 4 sides of building
- Alley facade as important as other facades, should be well modulated

Response

- Bay windows at McClellan break up mass of building, extend up to 5th floor
- Alley facade is broken up with window layouts and changes in materials

HEIGHT, BULK & SCALE

McClellan Apartments

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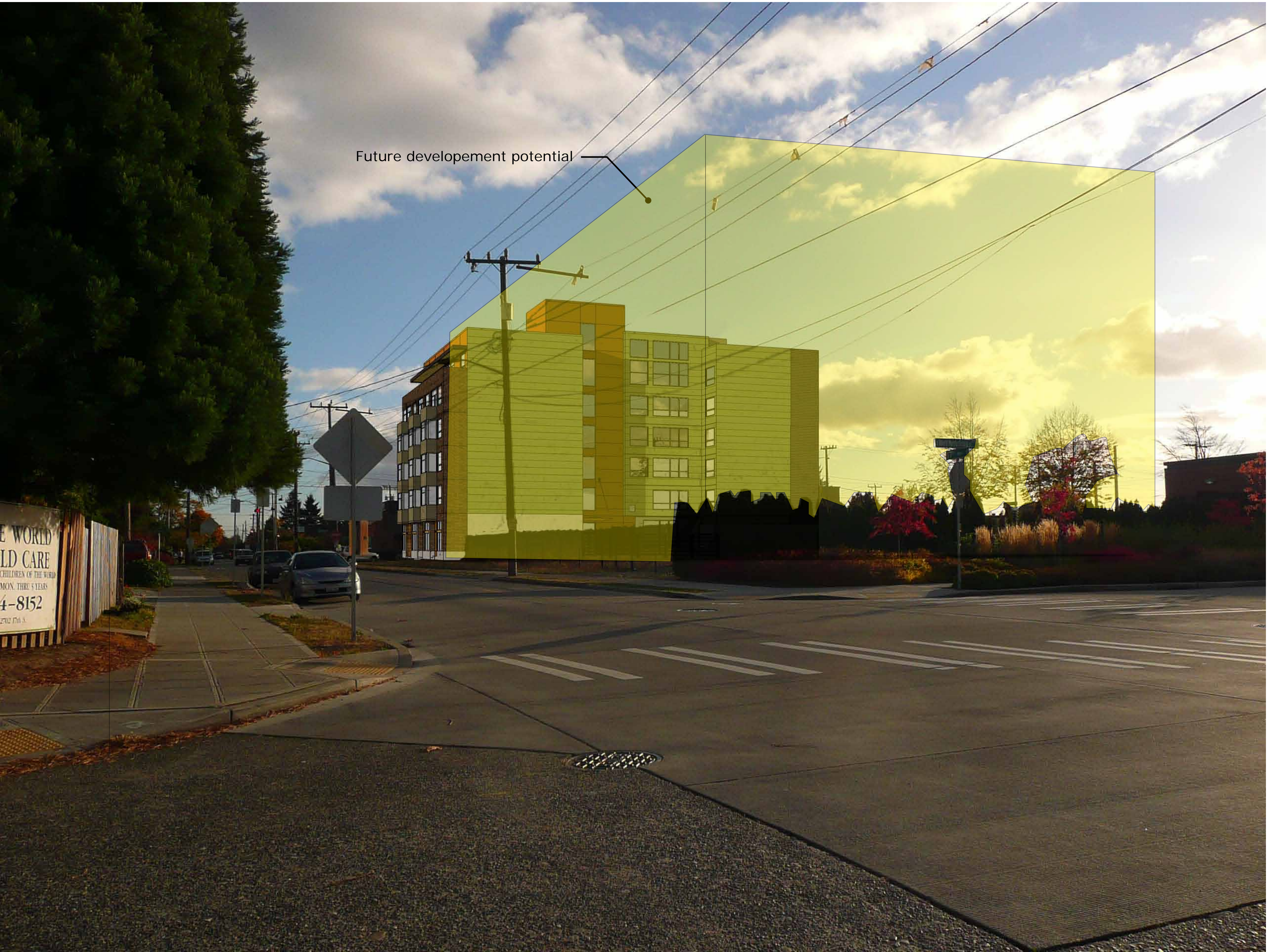
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DRB Guidance

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Response

- 6th floor set back from 17th to respond to residential scale
- Bay windows at 17th extend to 4th floor to create another set-back layer
- North facade with setback above courtyard space and changes in materials to break up scale



View from 17th Ave looking South

HEIGHT, BULK & SCALE

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View from Beacon Ave looking South
HEIGHT, BULK & SCALE



C-4 Architectural Elements and Materials

DRB Guidance

- Quality materials important
- Materials should be well-suited for this location
- Consider context of nearby buildings-Sound Transit Station, Library
- Durable, quality materials at ground level near high pedestrian traffic

Response

- Storefront windows and concrete bulkhead at commercial space
- Metal ribbed siding above commercial storefront at McClellan and at Alley
- Brick veneer at east portion of McClellan and 17th, provides finer texture to relate to small-scale residential context
- Smooth panel with rich color at recessed surfaces provides textural contrast for metal and brick field

SOUTH ELEVATION-McCLELLAN STREET



EAST ELEVATION-17TH AVENUE

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D-6 Screening of Dumpsters

DRB Guidance

- Service elements such as dumpsters and mechanical equipment should be located away from the street front

Response

- Trash room located along alley, screened from view
- Garage exhaust tucked into corner along alley, away from sidewalk
- Transformer vault exhaust located at north courtyard, 10' above walking surface and 10' away from property line
- Restaurant exhaust taken to top of roof

WEST ELEVATION AT ALLEY

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NORTH ELEVATION

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A-2 Streetscape Compatibility

DRB Guidance

- Commercial streetscape character important along McClellan
- Development should extend urban commercial character of the Urban Village along McClellan
- At corner of 17th and McClellan provide transition to residential character
- Streetscape considerations include the alley, pedestrian experience, lighting and transparency

Response

- Large storefront windows along McClellan commercial and main entry
- Canopy to provide weather protection at commercial entries, main residential entry
- Enhanced landscaping and public seating opportunities along McClellan
- McClellan commercial streetscape character transitions from commercial storefront to residential entry, to leasing office, and finally to dwelling units

STREETSCAPE AT McCLELLAN

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D-9 Commercial Signage

D-10 Commercial Lighting

D-11 Commercial Transparency

DRB Guidance

- Signage, lighting, and transparency important along McClellan
- Transparency through building at residential entry lobby important for pedestrian experience

Response

- Signage and lighting integrated into canopy design at McClellan
- Commercial space and main residential entry primarily storefront windows

D-12 Residential Entries and Transitions

DRB Guidance

- Main residential entry should be clearly visible and identifiable

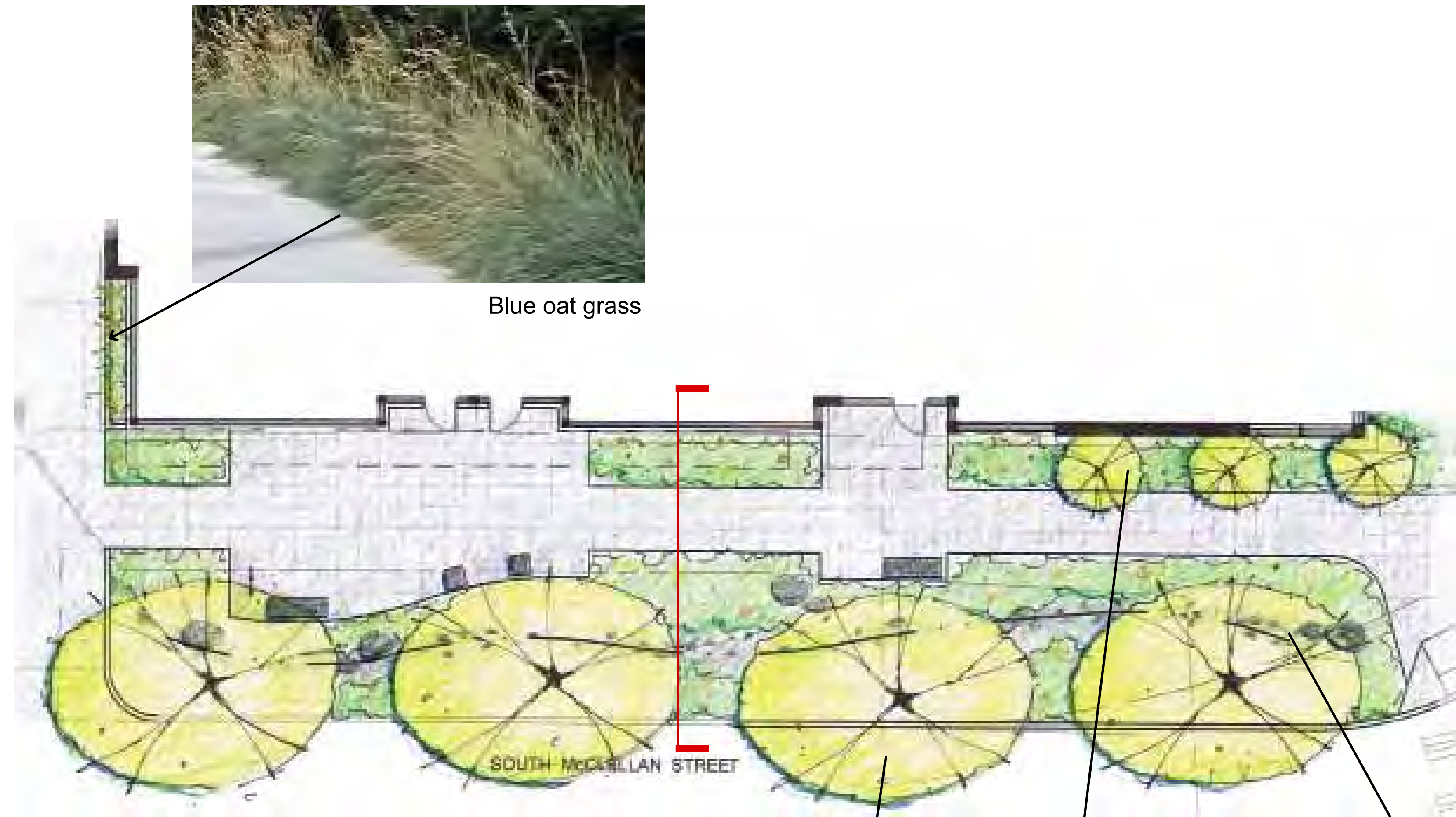
Response

- Main entry at McClellan expressed by recess that continues to top of building, creates 2 distinct masses that break down the building's scale
- Main entry emphasized with warm wood siding, integrated lighting, distinct metal canopy

STREETSCAPE AT McCLELLAN

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Lilly turf, satin flower, catmint, dwarf red-twig dogwood, leatherleaf mahonia, katsura (fall color), katsura, vine maple, swale with boulders and river rock bottom

STREETSCAPE AT McCLELLAN



Corner of McClellan and the alley

D-8 Treatment of Alleys

DRB Guidance

- Alley should be designed with pedestrian experience in mind
- Lighting, transparency, and chamfering the corner at McClellan important considerations

Response

- McClellan commercial space turns the corner and fronts alley, approx 13' of storefront window facing alley with dining or retail space
- Screening provided at alley to block views of trash room and provide visual interest
- Special scoring in alley paving to complement Festival Street
- Planter at corner of alley and McClellan
- Artist-made decorative panels at pedestrian level

STREETSCAPE AT ALLEY

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A-4 Human Activity

A-6 Transition between Residence and Street

- Design Review Board Guidance**
- Incorporation of stoops between residential units and the street highly favored.
 - 17th entries should be recessed from and elevated from sidewalk

- Response**
- Residential entry porches recessed and slightly raised from sidewalk level
 - Layered planting to screen from sidewalk
 - Residential porches to feature warm wood siding and integrated lighting to respond to 17th residential character and create a sense of individual apartment identity

D-12 Residential Entries and Transitions

- DRB Guidance**
- Stoops should have identifiable entry points

- Response**
- Stoops along 17th slightly above grade, set back from sidewalk 10' to allow layered planting to provide screening and privacy and security while allowing interactions between residents and neighbors



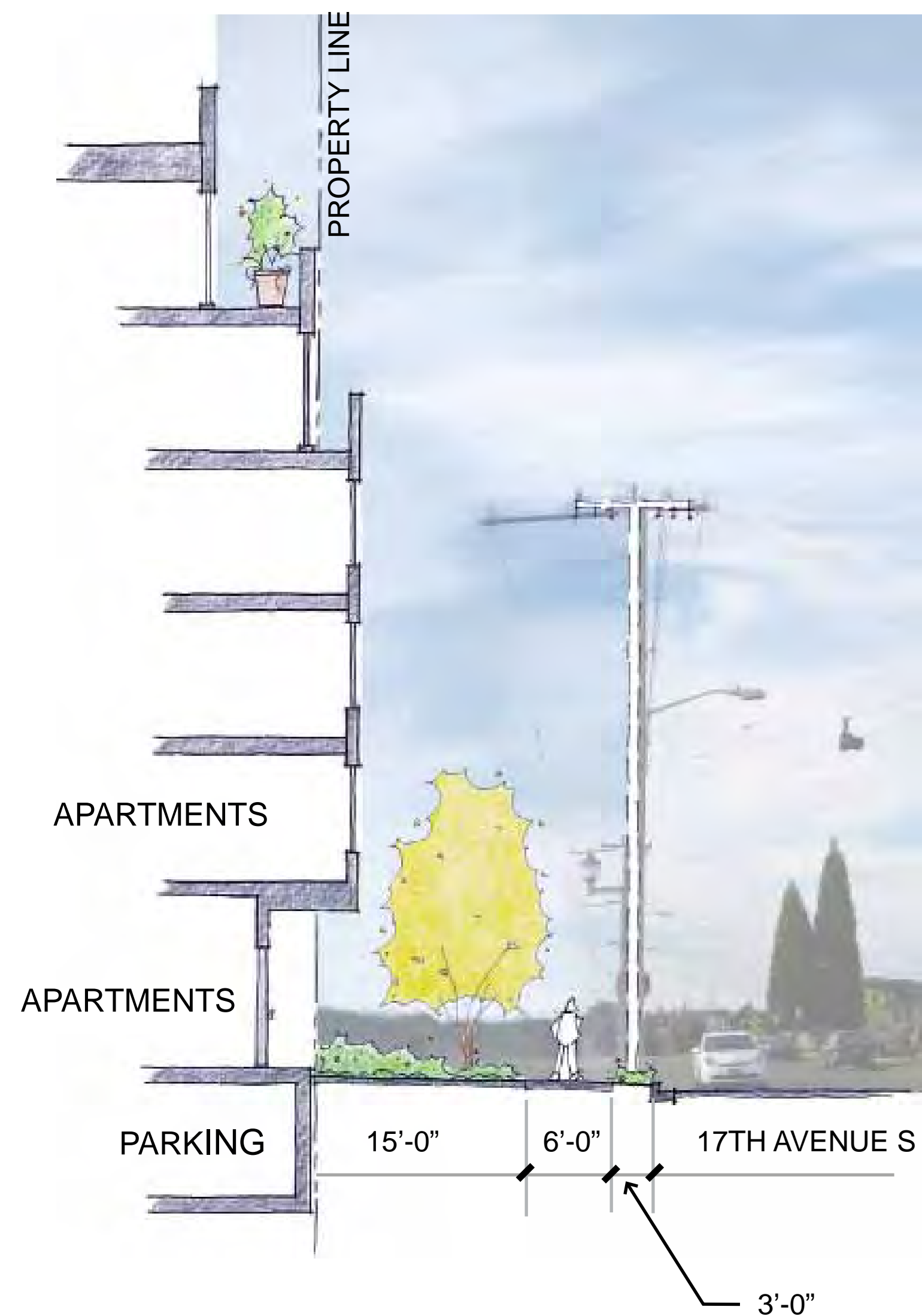
Transition from Commercial to Residential Streetscape Character at McClellan & 17th



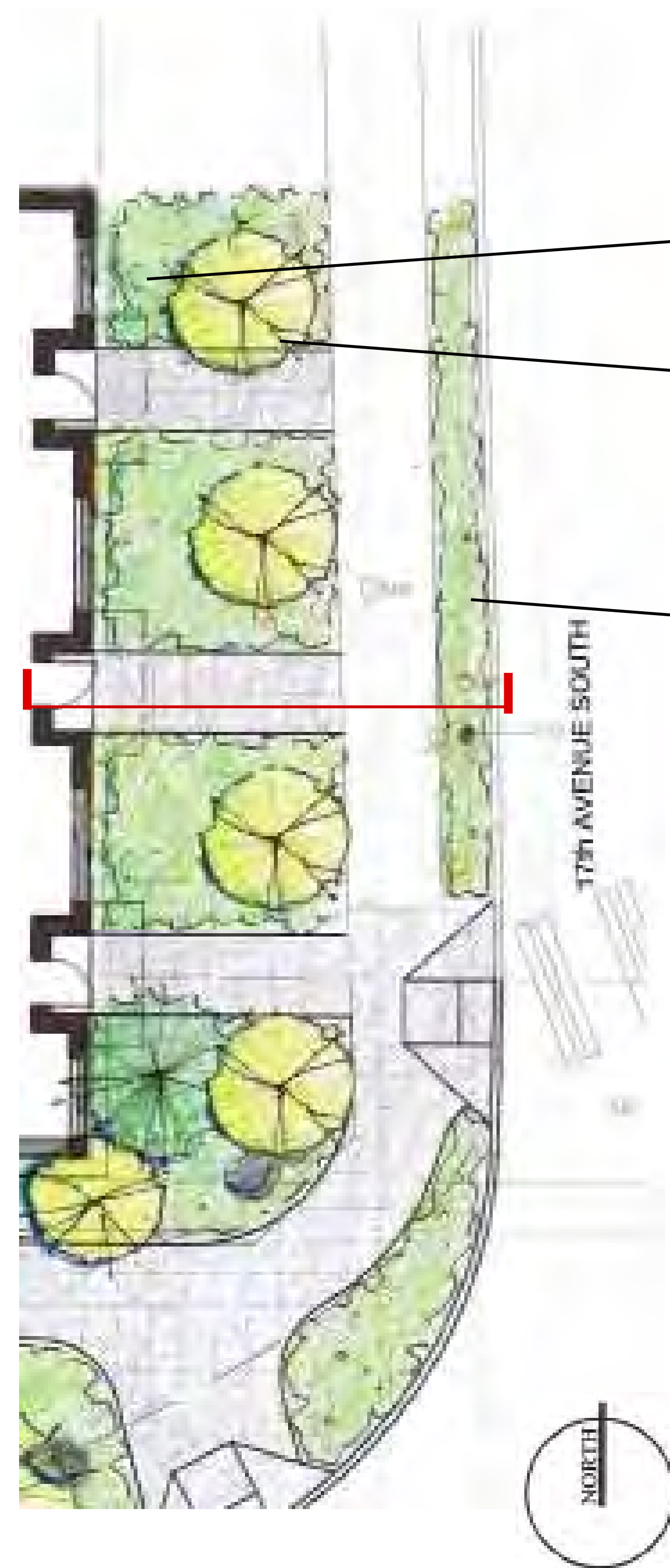
Residential entries along 17th



STREETSCAPE AT 17th AVENUE



Section at 17th Ave



17th Ave Streetscape Plan



Serbian spruce, kousa dogwood



Kinnikinnick, salal



Japanese anemone, sword fern

STREETSCAPE AT 17TH

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E-2 Landscaping to Enhance the Building and/or the Site

DRB Guidance

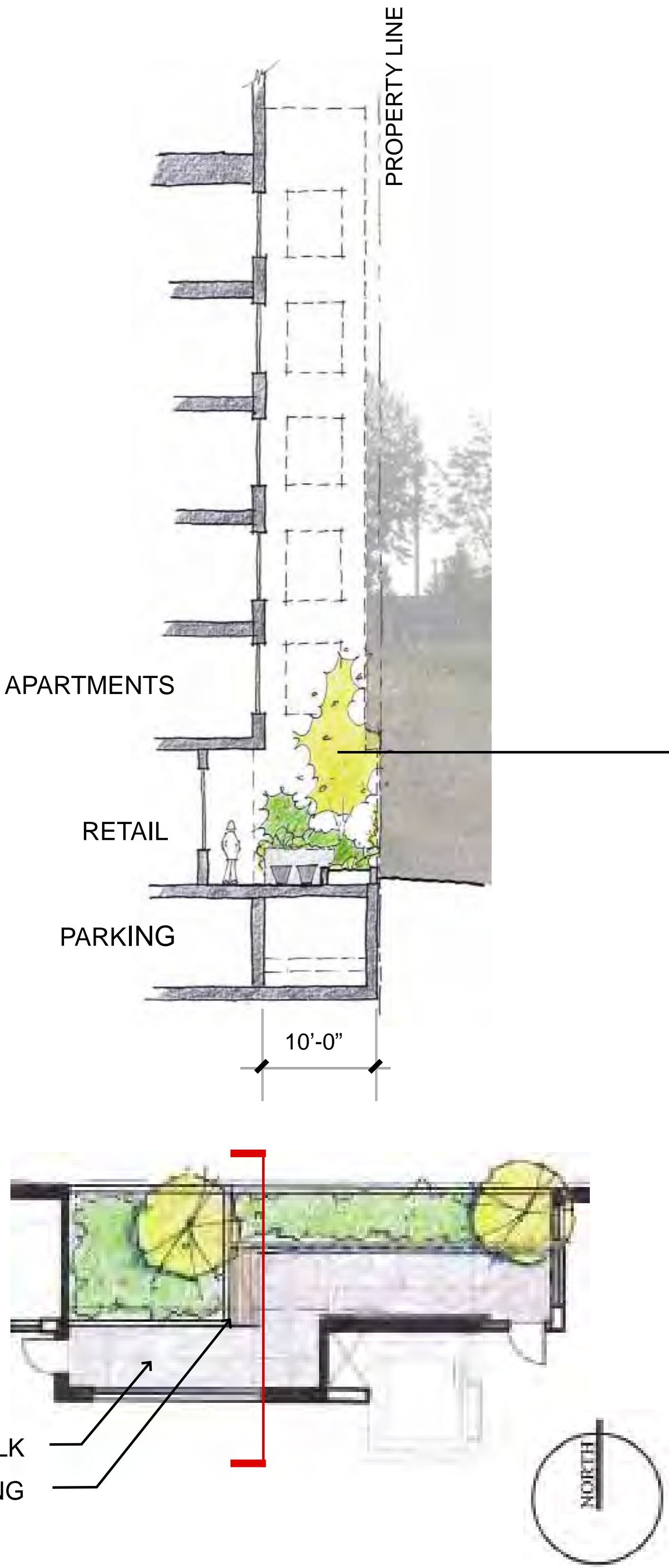
- Landscape should be used to enhance building
- Courtyard at north side and stoops along 17th particular areas of landscape opportunity

Response

- Landscape areas at McClellan soften building edges, define public spaces and building entrances, provide shade, and slow stormwater flows in a bioswale.
- Landscape at 17th is primarily native plants, with trees and understory emphasizing the rhythm of the facade, help scale down the building for transition to single family zone across the street
- At alley and north facade, planters and maximize limited space to introduce small trees, and lush green to courtyard and building edges.



Landscape Courtyard at North Elevation



Star jasmine, japanese tassel fern

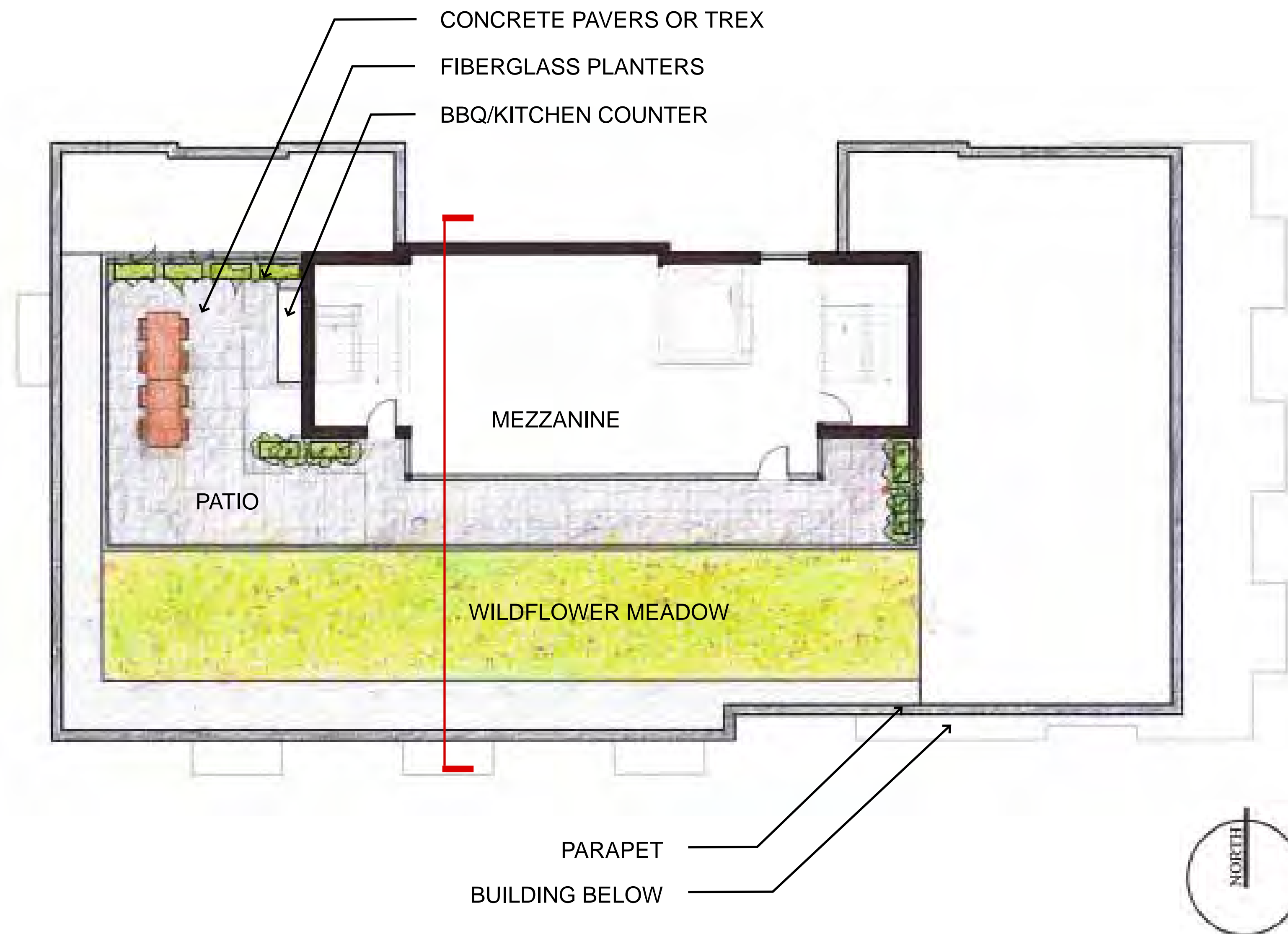


Evergreen dogwood, camellia

COURTYARD LANDSCAPING

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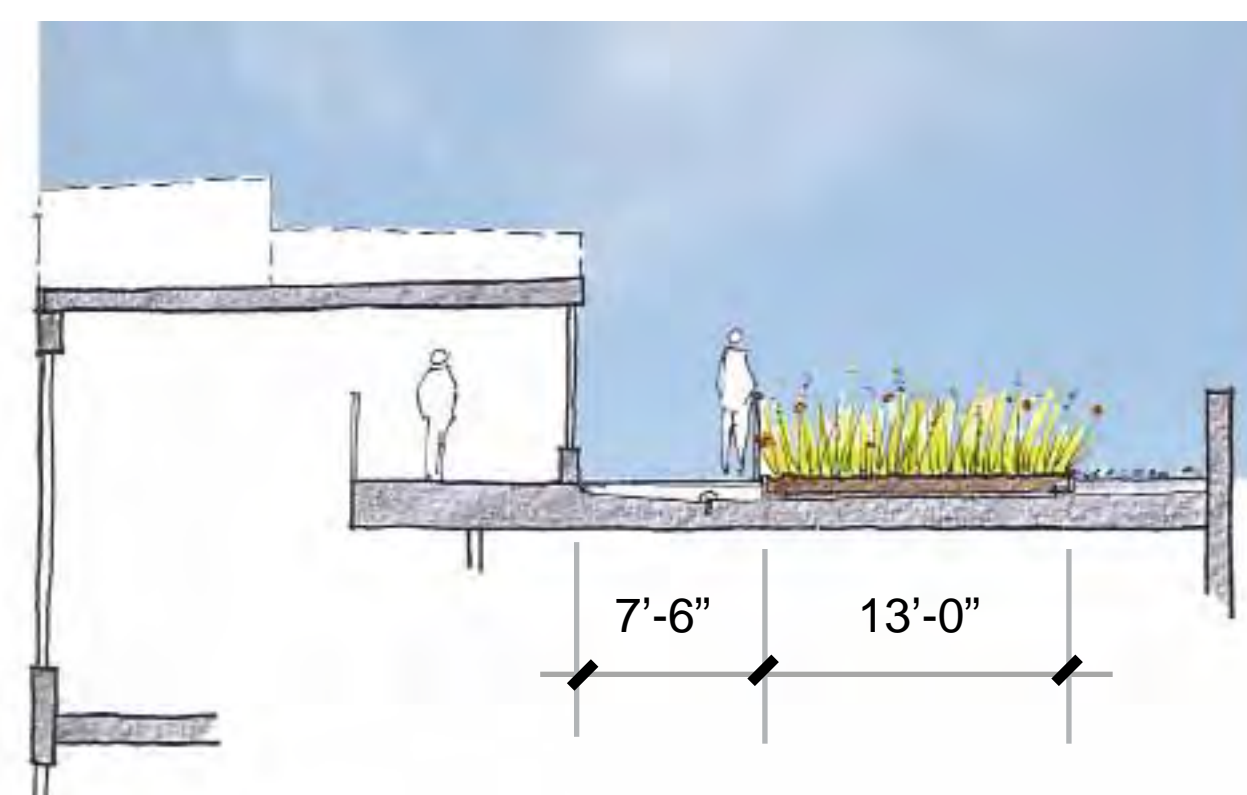
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Wildflower meadow at roof top



Reed grass, blueberry



ROOF LANDSCAPE

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WALL-MOUNTED LED FIXTURE AT ALLEY

WALL-MOUNTED FIXTURE FOR PUBLIC ART-TBD



SOFFIT-MOUNTED LED ACCENT LIGHTING ABOVE PLANTER



LED CYLINDERS AT COMMERCIAL CANOPY & MAIN RESIDENTIAL ENTRY



SOFFIT-MOUNTED LED ACCENT LIGHTING ABOVE COURTYARD



LED STEPLIGHTS AT PLANTER WALL



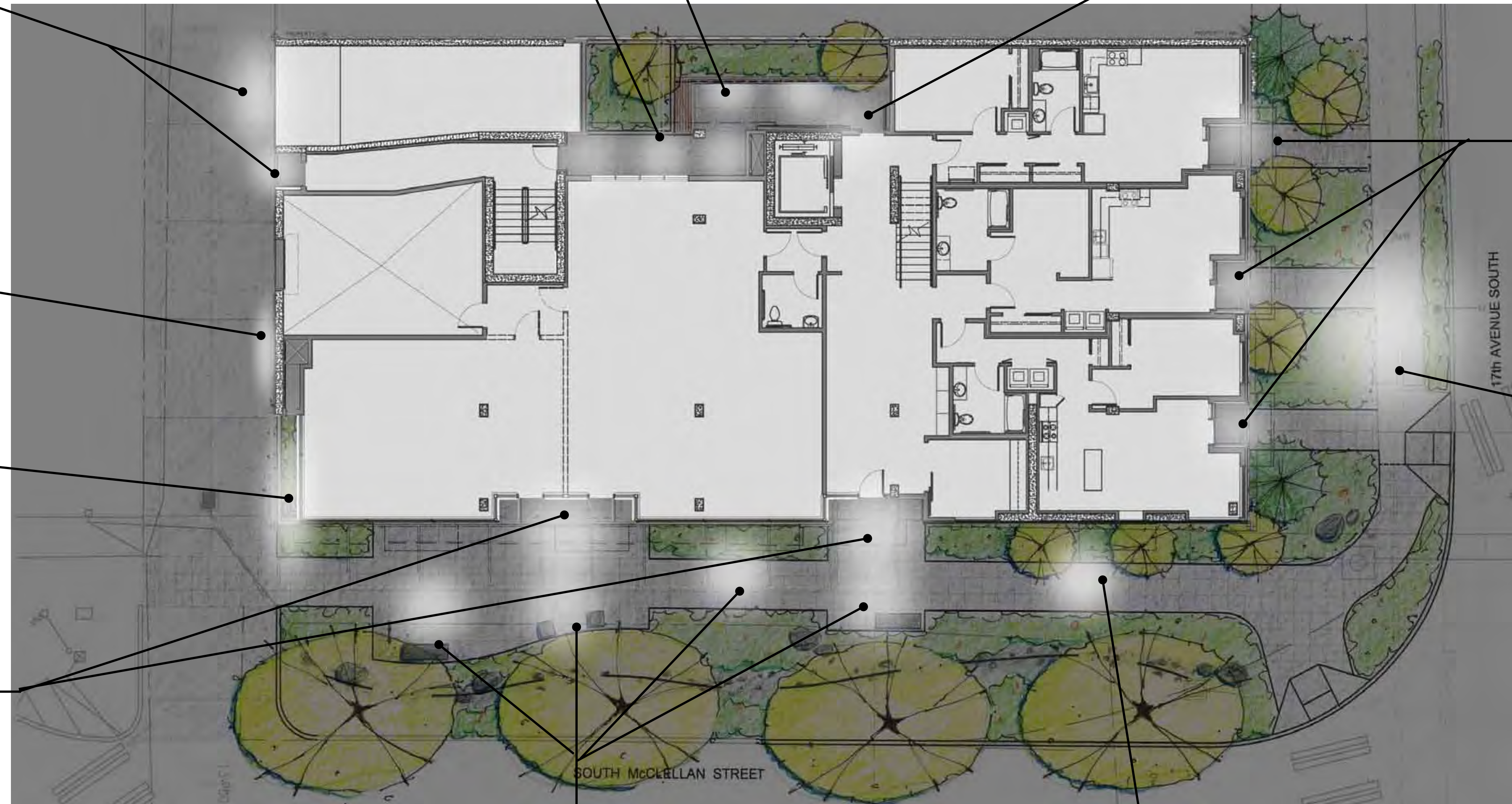
CANOPY-MOUNTED LED LIGHTING AT COURTYARD ENTRY



WALL MOUNTED LED ACCENT LIGHTING AT DWELLING UNIT ENTRIES



EXISTING PEDESTRIAN STANDARD FIXTURE



CANOPY-MOUNTED LED LIGHTING AT R.O.W. SEATING AREAS & SIDEWALK



WALL MOUNTED LED LIGHT FIXTURE TO ILLUMINATE SIDEWALK

EXTERIOR LIGHTING

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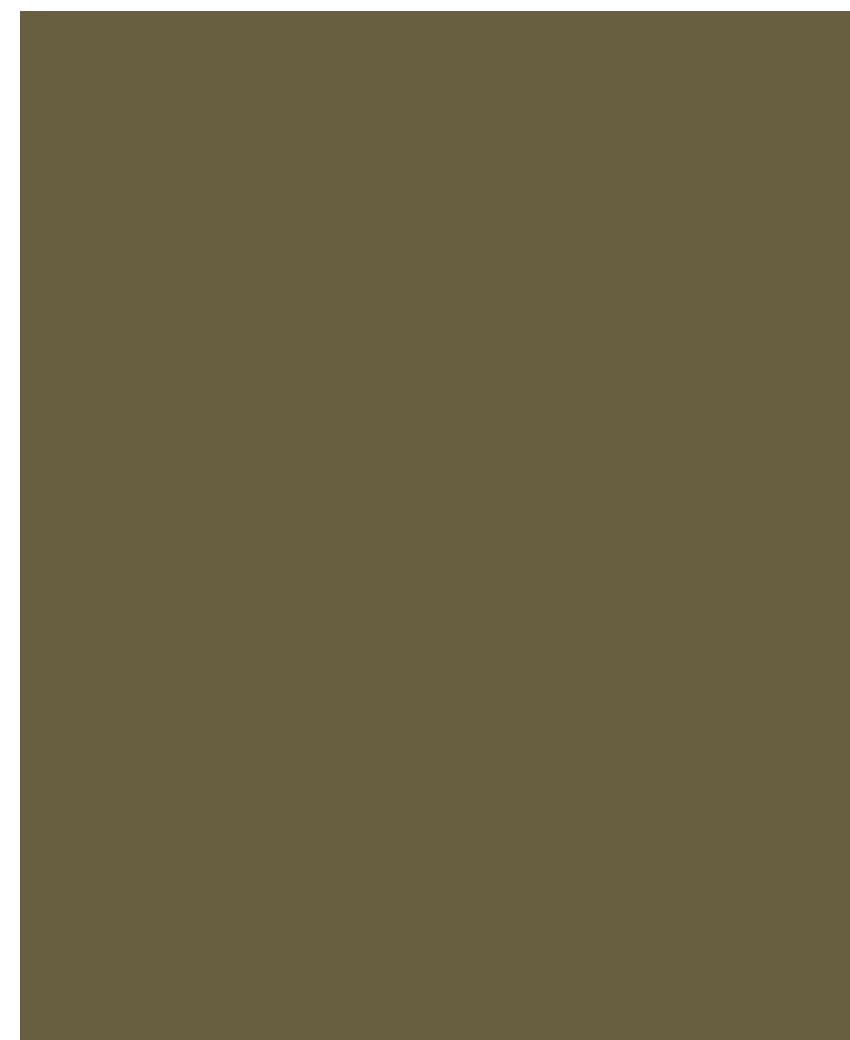
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METAL CANOPIES
COLOR: "CURRY"



CEMENT PANEL SIDING
COLOR: "CURRY"



CEMENT PANEL SIDING
COLOR: "COOL GRAY"



CEMENT PLANK LAP SIDING
COLOR: "HARDWARE"



METAL HORIZONTAL WALL PANEL
COLOR: "COOL DARK BRONZE"



BRICK VENEER
COLOR: "TEAL BROWN"



WOOD VENEER PANEL
COLOR: "PALE"



VINYL WINDOW
COLOR: WHITE



ALUMINUM STOREFRONT WINDOWS AT COMMERCIAL SPACE
FINISH: CLEAR ANODIZED

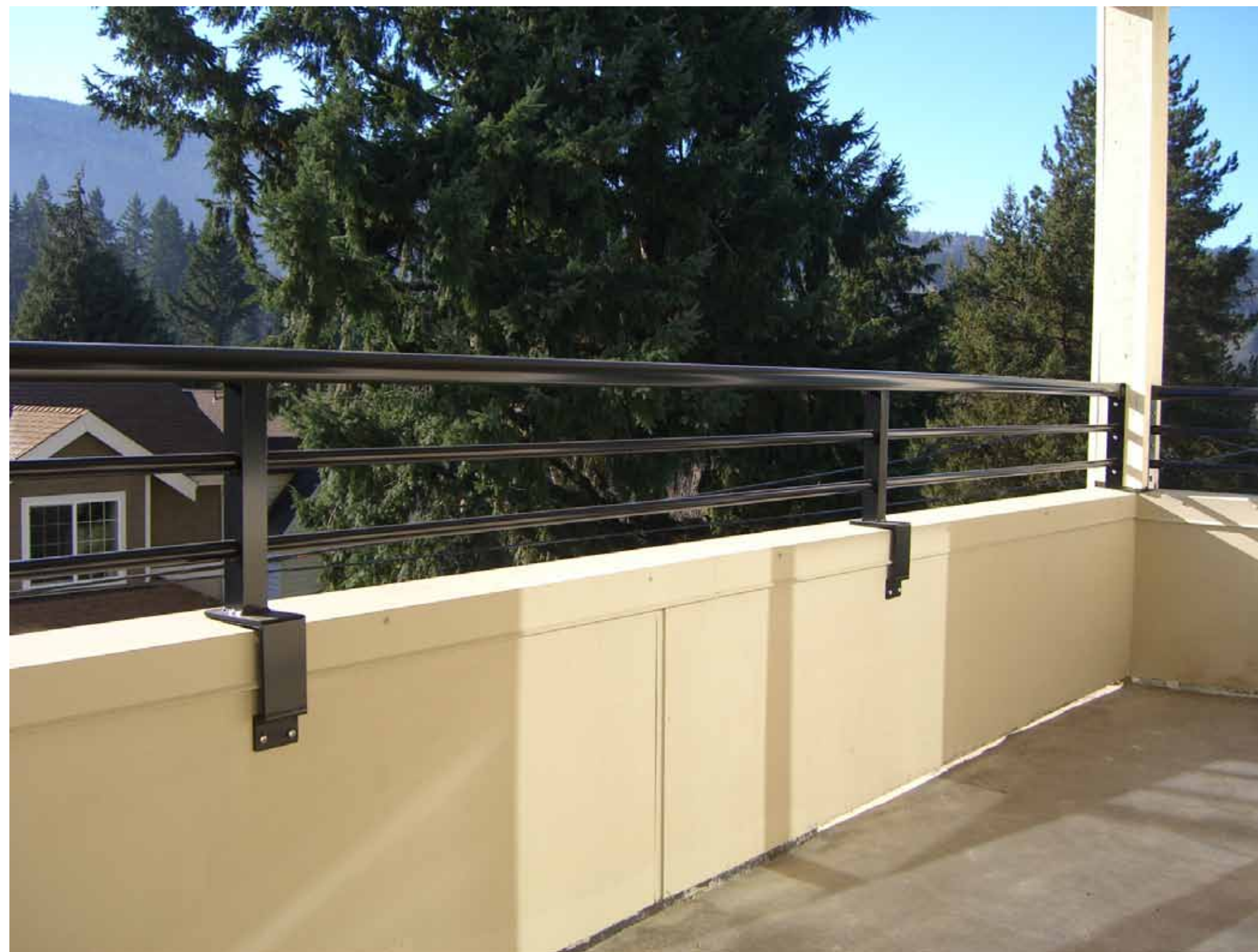
EXTERIOR MATERIALS

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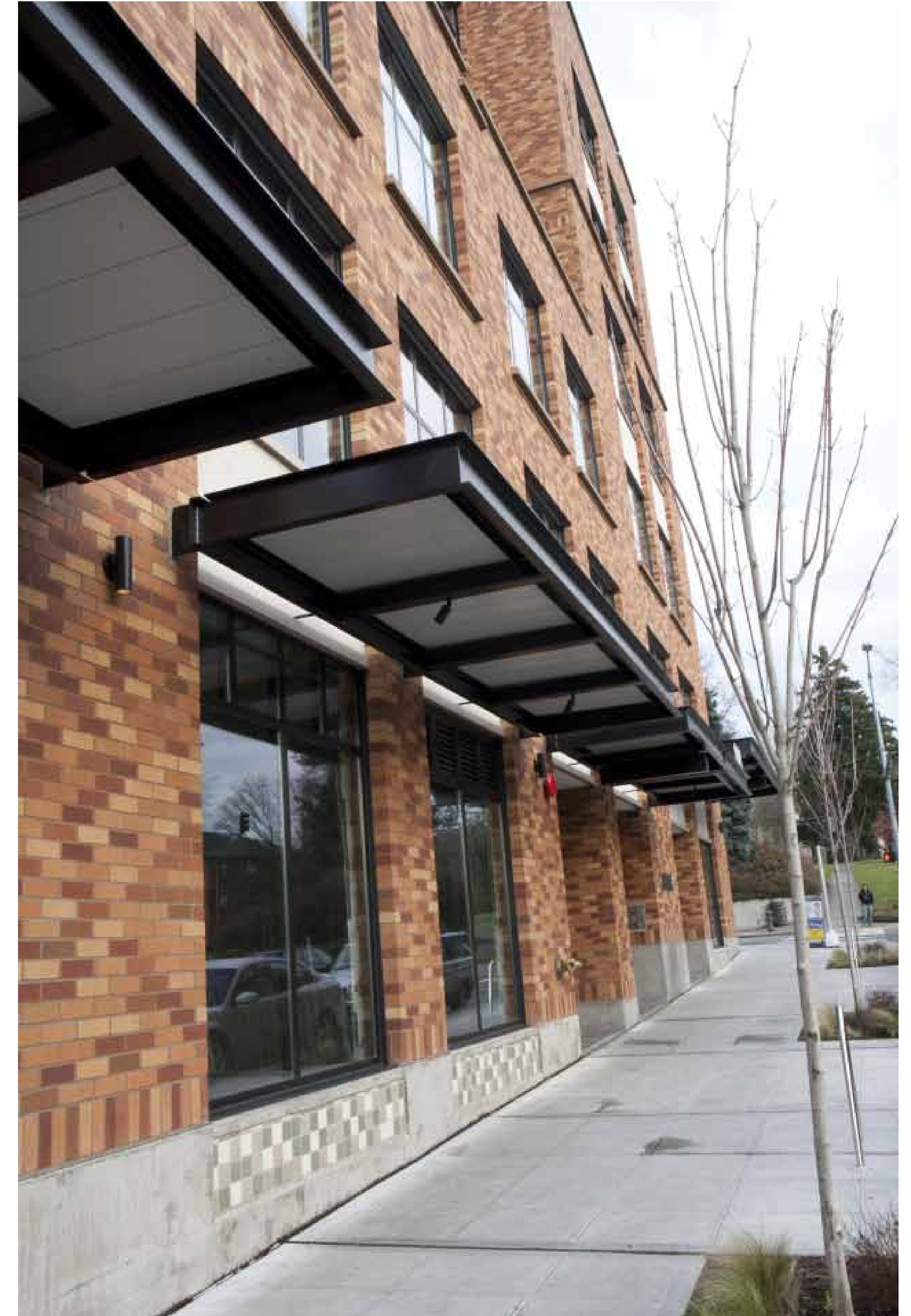
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METAL RAILING AT WEST & SOUTH BALCONIES



METAL RAILING AT TOP OF BAY WINDOWS



METAL CANOPY OVER McCLELLAN R.O.W.

EXTERIOR ARCHITECTURAL ELEMENTS

Departure 1: SMC 23.47A.005 Street Level Uses

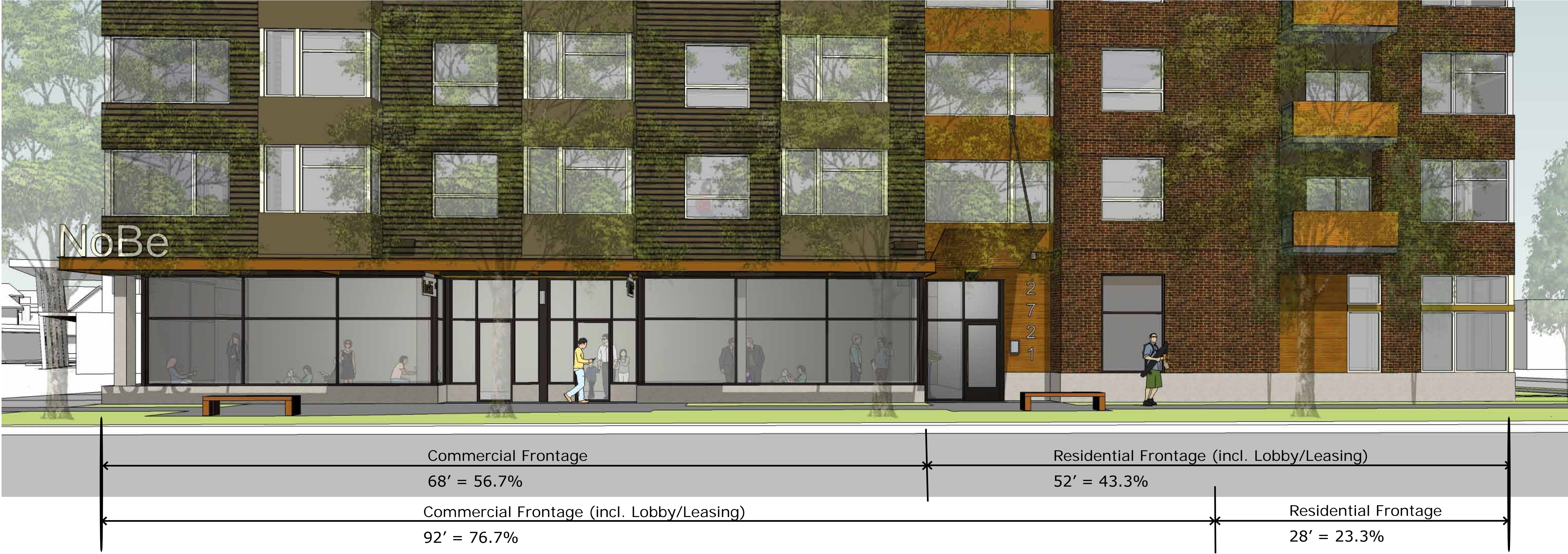
Residential uses along McClellan (a principal pedestrian street) at street level limited to 20%, or 24’ out of 120’ total street frontage

Requested Departure

Provide 43.3% or 52’ of residential street frontage.

Justification

- Residential use at 17th Avenue is compatible with existing residential use and scale at 17th
- Residential units will need a feasible depth along McClellan, providing a transition along McClellan between the existing commercial character to the West and the existing residential character of the East
- Community requested dwelling units along 17th to respond to single-family residential character
- Uses along McClellan transition from the alley along the west side with commercial/retail (Public), to apartment entry lobby (Semi-Public), to leasing office (Semi-Private), finally to dwelling unit (Private)
- Frontage of all spaces with commercial character (incl. lobby and leasing office) = 92’ or 76.67%, leaving 23.33% for spaces with residential character



REQUESTED DEPARTURES

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Departure 2: SMC 23.47A.008 Street Development Standards

The floor of a dwelling unit at street-level street-facing facade shall be at least 4' above sidewalk level or be set back at least 10' from sidewalk

Requested Departure

Dwelling unit facing McClellan at street level is less than 4' above sidewalk grade and 5' horizontally from sidewalk

Justification

Dwelling unit along McClellan has entry located 10' from sidewalk at 17th

Planting will provide a landscape buffer between sidewalk and dwelling unit, creating sense of privacy and security for residents



REQUESTED DEPARTURES

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