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PROJECT OVERVIEW

PROJECT DESCRIPTION

The proposed project is a multi-story, mixed-use building development containing two to three above-grade residential apartment buildings over a common subterranean parking garage. The immediate area is predominantly built out with apartment homes, townhomes, and single family residences. The project will contain a mixture of residential unit types but primarily focus on open studios and one-bedroom units for one- and two-person households to match the local demographic which is oriented towards workforce housing and smaller households.

BUILDING COMPOSITION AND MASSING

The west building contains residential uses only, while the north and south buildings contain in addition to residential units, retail and live-work units at the street level along Greenwood Avenue, live-work units along the northern property line along 103rd Street, and parking in a subterranean multi-level garage. The height of the building is anticipated to reach the maximum limit of 40 feet as measured per City of Seattle standards. A multiple building massing concept has been employed due to the size of the project site to reduce overall building scale and increase light / air / view potential as well as to obscure views of the adjacent storage building to the south.

SITE ACCESS & UTILITIES

The existing site maintains two vehicular access points, one curbcut on Greenwood Avenue through a shared access easement contained solely on the project site, and an expanse of open asphalt along the majority of the northern property line on 103rd Avenue. The proposal maintains the curbcut and access easement on Greenwood while establishing a single vehicular curbcut approximately mid-block on 103rd. Both points will provide vehicle access to the common subterranean garage. All refuse / recycling collection will occur from a common courtyard access point off 103rd, however storage of refuse and recycling will occur within each of the three buildings.

RESIDENTIAL USES AND AMENITIES

The residential entrance lobby for each building is located in a common central courtyard accessed from 103rd. Residential amenity spaces include common laundry rooms (one per building), an outdoor pool, an indoor fitness center, common exterior recreation open space, and an extensive indoor amenity level with a common amenity room, private theater, concessions, and restrooms. Exterior private patios on grade are present for ground-level units in all buildings.

DEVELOPMENT SUMMARY

Number of residential units:	263 units		
Number of parking stalls:	212 (0.8 spaces / DU, allowed with transit reduction)		
Retail / Commercial:	Greenwood only	4,248 sf total	
Live-work Units:	103rd only	6 units	
Residential entry access point:	N 103rd Street - common courtyard entry to all buildings		

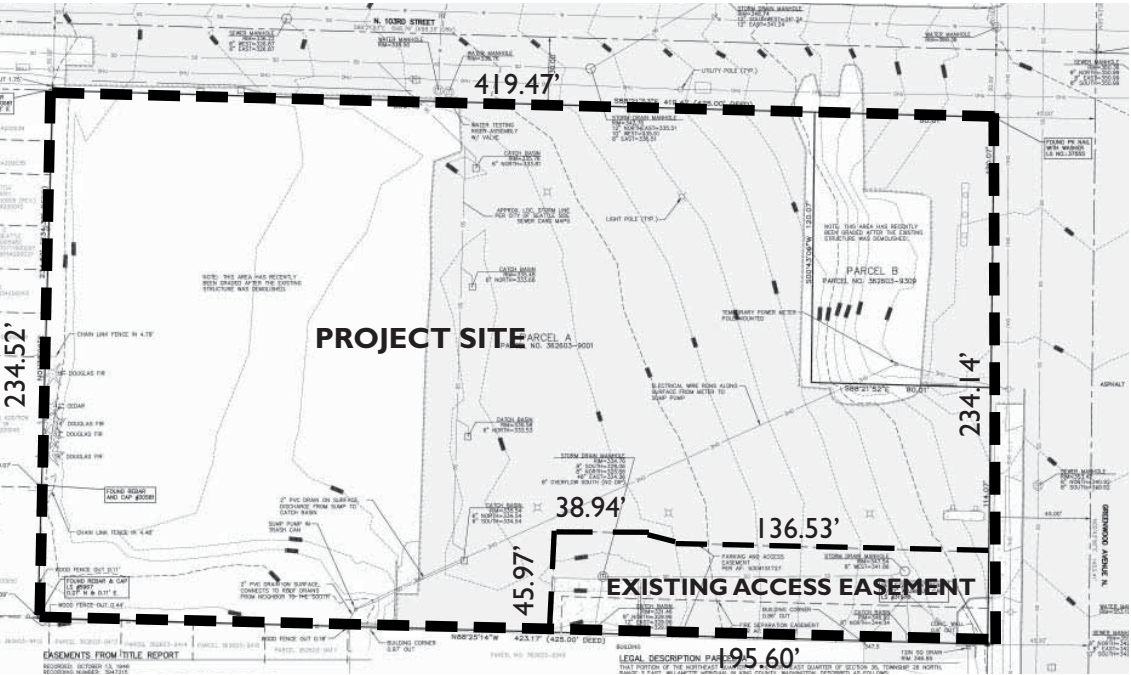
PROJECT INFORMATION

Address:	10201 Greenwood Avenue North, Seattle WA		
DPD Permit:	# 3012209 - MUP		
Project Team:	Owner / Financially Responsible Party	GRE LL Greenwood LLC c/o Matt Parent / Goodman Real Estate	
	Architect / Applicant:	Brian Palidar AIA / grouparchitect www.grouparch.com	
	Landscape Architect:	Thomas Rengstorf ASLA / Thomas Rengstorf and Associates www.thomasrengstorfassociates.com	

PROJECT OVERVIEW / DEVELOPMENT SUMMARY



AERIAL PHOTOGRAPH / PROJECT VICINITY



PROJECT SITE SURVEY & EASEMENT LOCATION



AERIAL PHOTOGRAPH



COMMERCIAL SINGLE FAMILY INSTITUTION MULTI-FAMILY
ADJACENT USE DISTRIBUTION



SITE OPPORTUNITIES



SITE CONSTRAINTS

SITE ANALYSIS AND CONTEXT

GENERAL ZONING / BUILDING INFORMATION

Parcel Numbers: 3626039001 & 3626039309
 Zoning: C1-40
 Lot Size: 94,604 SF
 Overlays: none
 Mapped ECA: none
 Streets: Greenwood Ave N (designated arterial) & N 103rd Street
 Codes: Seattle Land Use Code (current edition), 2009 Seattle Building Code (SBC)

ZONING ANALYSIS (SEATTLE LAND USE CODE)

COMMERCIAL (23.47A)

- 23.47A.005 Street-level uses: Street-level street-façade residential uses along an arterial (Greenwood Ave. N) may not exceed 20% of the façade length.
- 23.47A.008 Street-level development: Greenwood Ave. and N 103rd, max 40% blank façade with min 60% transparency allowed
- 23.47A.012 Structure height = 40' maximum as measured under amended zoning code. Skylights, parapets, and other rooftop elements may extend an additional 4' beyond height limit.
- 23.47A.013 Floor area ratio = 3.25 maximum (area below grade is not counted)
- 23.47A.014 Setbacks: Rear lot line setback of 15' (between 13' and 40' building height) where abutting residential zone (applies at west and southwest property lines). For each portion of structure exceeding 40', additional setback at the rate of 2' required for every 10' in additional height.
- 23.47A.016 Landscaping and screening required with Green Factor score of .30 or greater required. Street trees required. Parking occupying street-level street-facing façade shall be screened per Table D.
- 23.47A.024 Residential amenity area req'd = 5% of gross resid. floor area, at or above ground level, may NOT be enclosed.
- 23.47A.029 Min 200 sf recyclables / solid waste storage per building.
- 23.47A.032.A1c If lot abuts two streets, single vehicular access is permitted across one of the side street lot lines.

PARKING (23.54)

- 23.54.015.A Residential uses: 1.0 parking spaces required for each dwelling unit
- 23.54.015.D Nonresidential uses: No parking required for the first 1500 SF of each business (includes live-work units)
- 23.54.015.K Bicycle parking requirements: 1 bicycle parking space required per 4 residential units. Reductions apply after the first 50 spaces provided. Nonresidential requirements subject to Table E.
- 23.54.020.F2a Transit reduction allows 20% reduction of required parking when use is within 800' of a street with midday transit service headways of 15 minutes or less.
- 23.54.030.G2 Sight triangle required at two-way driveways, 10'x10' minimum.

SITE CONTEXT



HAMPTON COURT APARTMENTS



CIVETTA APARTMENTS



MIXED USE BUILDING



JEFFERSON COURT APARTMENTS



DUAN ORTHODONTICS



VACANT CORNER SITE



TOWNHOMES



SLG & NO. 1 JAPANESE AUTO



TOWNHOMES



GREENWOOD STORAGE



RESIDENTIAL CONDOS



ADJACENT BUILDINGS

EARLY DESIGN GUIDANCE

The DRB was largely in agreement with the proposed Preferred Option 3 as the desirable direction for the final design proposal. A number of areas for the Applicant to investigate further focused primarily on development of the open space courtyards, street-level development and landscaping, building massing and scale adjacent to the neighboring L-1 and L-2 zones, development of a consistent architectural character for the project, and integration of the storage building / access easement / blank facade to the south of the project site. Integration of streetscape and pedestrian character remained of utmost importance and a number of comments focused on this. There was some verbal discussion of the proposal to place live-work units along Greenwood Avenue which was subsequently clarified in the written EDG document to recommend against this particular part of the proposal. There was also general interest in the successful development of the interior open space courtyards and common residential entry court and the DRB looked forward to seeing these items developed in full. We took away from the meeting that the Preferred Option 3 was the approved massing scheme to further develop while incorporating the changes requested of the DRB such as the removal of retail along Greenwood. We concurred with the DRB's comments about areas of focus and/or additional study and took no exception to their concerns.

DESIGN EVOLUTION

The proposed project represents the development of the Preferred Option 3 in response to the comments and guidance given at the June 13, 2011 DRB meeting. We endeavored to investigate the project's design at a level commensurate with its scale, complexity, and program, and have documented the project in this packet. The foremost of the design considerations which drove our investigations were thus:

RESIDENTIAL ENTRY - The connection between the residential building entries from the entry court off 103rd was paramount to establishing the personality and character of the project. The entries had to be in immediate vicinity to one another to be perceived as part of the same project identity. The decision was made to keep them consolidated, which required placing other uses along 103rd in places.

AESTHETICS & DESIGN CONCEPT CONSISTENCY - The buildings needed to have a strong, rational relationship to one another. Commercial uses needed to be expressed differently than residential ones. Colors and materials needed to address the building's bulk and scale while also developing a consistent character which becomes the identity of the final project. A material palette was developed to reflect the mixed use character of the project while keeping the variation in materials limited and simple.

LANDSCAPING AND OPEN SPACE COURTYARDS - The large amount of ground level open spaces (streetscape, public and private courtyards, and private landscaping areas and patios) presented a great opportunity to make the project a success. The extensive amount of existing site grading made the landscaping challenging however, with a number of terraces and planters being required to fully utilize all of the site. Each courtyard was developed in character and extents based on its individual design conditions. The result is a project with a number of unique spaces which provide a diversified range of experiences for residents and visitors alike.

SUMMARY OF NOTABLE CHANGES FROM EDG MEETING PROPOSAL

1. Retail space replaces live-work units in lowest level of North building along Greenwood.
2. Public courtyard and accent artwork added at SE corner of site along Greenwood
3. Greenscreening added extensive at building facades flanking residential courtyard entry from 103rd
4. Greenscreening added for privacy for residential units at NW corner of West Building on 103rd



DESIGN GUIDANCE RESPONSES

R1: Parking in Neighborhood and Onsite (A-2) - Parking onsite has been supported through providing two vehicular access points to subterranean parking garage levels. Additionally, SDOT has verified that all street frontage along the project site will remain typical curbside parking to maximize parking opportunities for commercial and residential users alike.

R2: Development of Residential Entry Courtyard (A-3, D-12) - The residential entry courtyard off 103rd has been developed to provide pedestrian and vehicular access while inviting guests and residents alike into a welcoming and unified environment. Accents in the paving and illuminated bollards define the pedestrian surfaces with a “woonerf” feel and the vehicular garage entry is now surrounded by a greenscreen. The residential entries themselves are opposite one another and decorated with awnings and individual accent colors to maintain each building’s identity. Festival lighting overhead signals the arrival at the point of destination.

R3: Greenwood Streetscape (A-4) - Livework units along Greenwood Avenue have been replaced by ground level retail spaces. Finish floor elevations follow sidewalk grades where possible but conflicts between height limits and development objectives required that the middle portion of the North building’s Greenwood facade be cut below the sidewalk level. A stairway to maintain pedestrian continuity was therefore added.

R4: Design Response to Adjacent Properties to West - The project’s response to the western properties begins with maintaining the originally proposed façade modulation and changing façade color on the uppermost level in addition. Additional landscaping to provide screening was added to replace existing trees which were removed due to construction activity. Exterior materials proposed are also complementary of the existing neighboring properties, namely cement board siding with similar scales and color palettes. All units are also provided within blinds for control of personal privacy & screening.

R5: Live-work Units - Transition, Transparency, and Relationship to Grade (A-6, D-11) - Livework units along 103rd have been carefully stepped to follow sidewalk grades, creating a cascading series of terraced entries with architecturally detailed metal railings. The terraces are stepped to minimize blank wall conditions along the sidewalk while still encouraging interaction with the livework units. Transparency for the units has been optimized as well to maintain their commercial viability and smaller scale entry awnings and individual blade signage complement the livework character of the units.

R6: Residential Open Space Development (A-7) - The residential open spaces and courtyards have been refined to create a series of unique spaces. The uppermost courtyard is an outdoor lap pool adjacent to the project’s amenity spaces and has ample outdoor seating and landscaping as well as screening from adjacent units. The lowest courtyard is an on-grade patio with barbeque. The two courtyard amenities are separated by the entry courtyard, a pedestrian-oriented area with festival lighting, accent paving, and a cascading water feature which connects the entry courtyard to the amenity pool above.

R7: Access Easement & Functionality - The vehicular easement extents and operations are documented in an exhibit in this packet. The easement itself extends from Greenwood Avenue back to mid-site and provides access to both the project site and neighboring storage building.

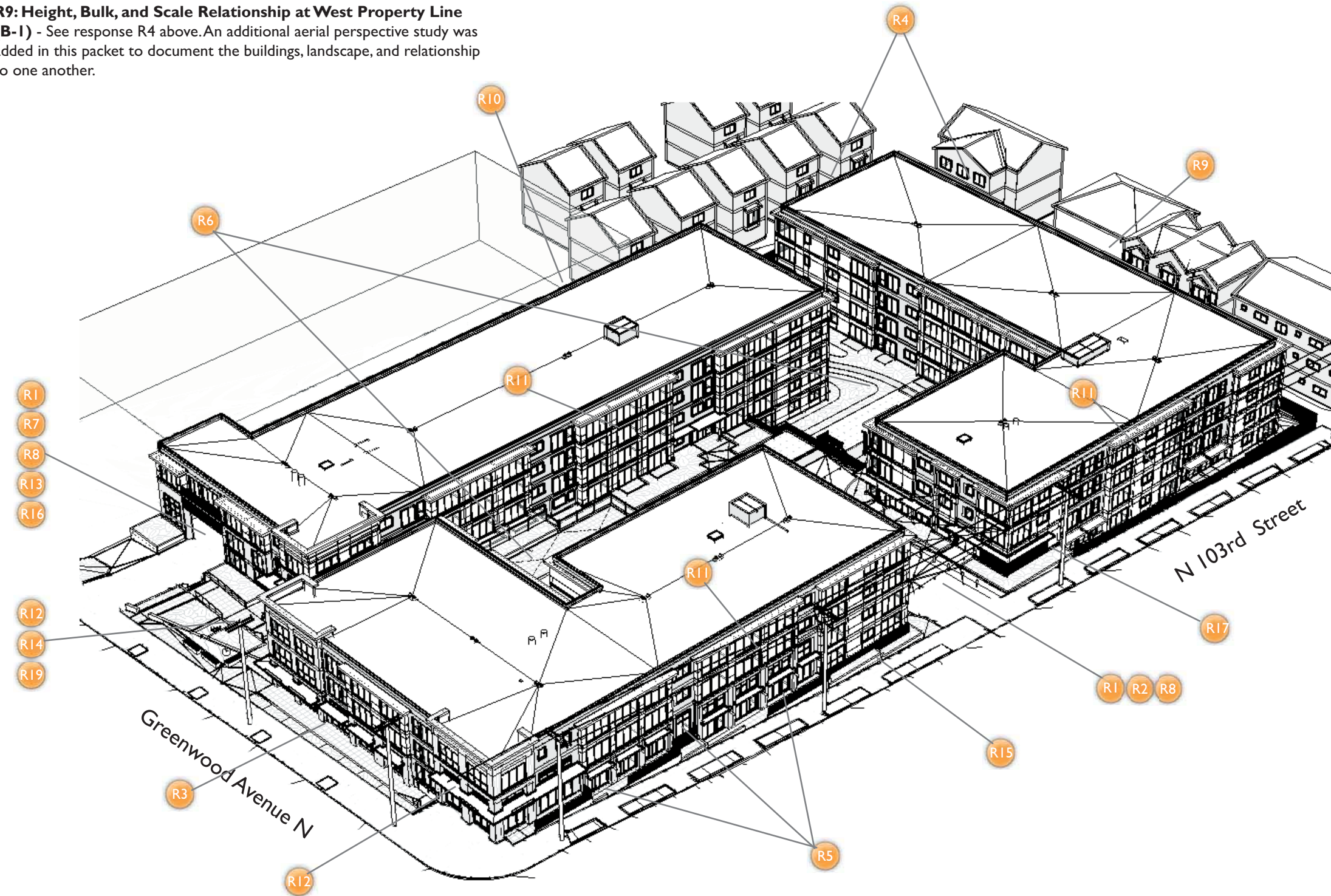
R8: Vehicular Ingress / Egress - Vehicular ingress / egress at the entry courtyard off 103rd is controlled by keeping the garage access adjacent to the street and allowing pedestrians within the courtyard to circulate between buildings safely. The courtyard provides a few load/unload spots and allows utility vehicle turnaround only.

R9: Height, Bulk, and Scale Relationship at West Property Line (B-1) - See response R4 above. An additional aerial perspective study was added in this packet to document the buildings, landscape, and relationship to one another.

R10: Adjacent Blank Wall / Building at South Property Line (C-1, D-2) - The South building’s placement on site is fixed by site design, and changes in the massing of the building above would do little to mitigate the blank wall impacts. We therefore focused landscaping along the blank façade wall and added planters between individual units as well as along the south property line. Additionally, a thick stand of cypress trees were added at the ground level to reduce the blank wall impact at the pedestrian level. Study images including a wall elevation depicting landscaping extents and individual perspective from the decks and grade are present later in the packet.

RESPONSES TO
DESIGN GUIDANCE

RESPONSE TO DESIGN GUIDANCE **R1**



R11: Architectural Consistency (C-2) - A clean and architecturally consistent design was initially conceived by utilizing two primary siding materials, corrugated metal and cement board, in the same manner on all buildings. Top level accent colors on the cement board and projecting eaves were added to provide a scale transition to respect adjacent building heights and to add a proper accent to the roof / cornice line. A cultured stone with concrete finish as the exterior material to accent the retail and live-work bases, and added pedestrian-level lighting to accent the public streetscape. A simple and restrained color-coded accent scheme was employed consistently for building identity and differentiation and is reflected not just in the accent panels adjacent to residential windows but also present at the residential building entries themselves.

R12: Human Scale at Streetscapes (C-3) - Human scale details were considered throughout the design's development. Awnings, signage, lighting, accent paving, and landscape design all have been adjusted to respect human scale relationships, particularly at the commercial and live-work frontages of the North building. The exterior courtyard along Greenwood also reflects this attention to pedestrian needs, providing outdoor seating and visual accents such as artwork and a water feature to embellish the sidewalk streetscape. A number of detail sections were specifically added to this packet to document the project's considerations of these concerns.

R13: Parking Structure Entrances (C-5) - The vehicular entrance scale at 103rd has been minimized by not fronting on the street, surrounding it in a greenscreen element, and using decorative metal gate. The entrance from Greenwood however remains somewhat overscaled due to the requirements of the existing access easement which benefits the adjacent storage building. The overhead clearances and requirements for parking along the southern property line could not be removed. Ground level landscaping screening as well as a new tree have been added at this location to mitigate this condition.

R14: Landscaping and Pedestrian Environment along Greenwood (D-1) - See responses R3, and R12 above. Additionally, the pedestrian courtyard which fronts the South building has a water feature and accent artwork to increase visual interest and encourage pedestrian interaction and enjoyment of the space as well as support the retail uses housed in the North building.

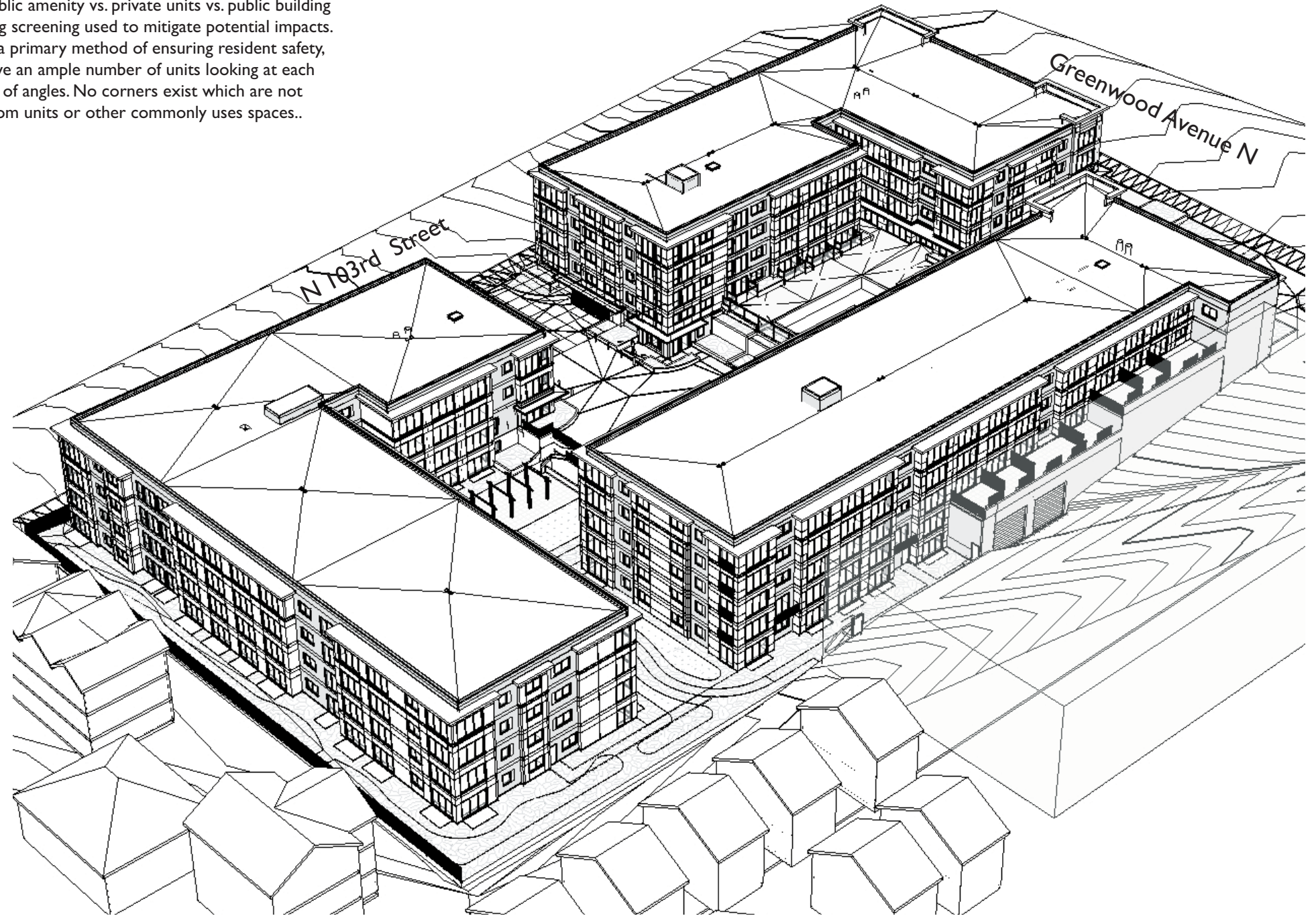
R15: Reduction of Retaining Walls (D-3) - Exposed retaining walls and/or blank walls have been reduced wherever possible, particularly where facing the pedestrian streetscape.

R16: Reducing Visual Impact of Parking Structures (D-5) - See response R13 above.

R17: Screening of Dumpsters, Utilities, Service Areas (D-6) - The location of the refuse and recycling collection and storage room in the West building was driven not just by SPU requirements but by the programmatic requirement to maintain project unity and sense of community for residents by keeping all building entries directly facing one another in the entry courtyard. An extensive greenscreen facing all facades of the storage room and monument signage were added to mitigate the room's location and street frontage.

R18: Personal Safety and Security at Courtyards (D-7) - Personal safety for residents was of upmost concern in the design of the outdoor courtyards. Each courtyard was considered for adjacency of uses (public amenity vs. private units vs. public building entry) and landscaping screening used to mitigate potential impacts. Eyes on the street is a primary method of ensuring resident safety, and all courtyards have an ample number of units looking at each space from a number of angles. No corners exist which are not visually observable from units or other commonly uses spaces..

R19: Landscaping and Site Enhancement at Greenwood Avenue (E-2) - See response R12 above. The landscape plan at the Greenwood courtyard has been developed to include a water feature, accent artwork, benchwall seating, and space for outdoor seating / furniture.



COMPREHENSIVE SITE PLAN





COMPREHENSIVE SITE ELEVATIONS

- 1 COMMERCIAL / RETAIL SPACE
- 2 LIVE-WORK UNIT w/ GROUND FLOOR ENTRY
- 3 AWNING AT COMMERCIAL OR LIVE-WORK UNIT
- 4 RESIDENTIAL ENTRY COURTYARD (ENTRIES TO NORTH / SOUTH / WEST BUILDINGS BEYOND)
- 5 RESIDENTIAL AMENITY COURTYARD (BEYOND)
- 6 REFUSE / RECYCLING STORAGE / COLLECTION ROOM
- 7 VEHICULAR ENTRY TO SUBTERRANEAN GARAGE
- 8 FESTIVAL LIGHTING
- 9 EASEMENT ACCESS DRIVE
- 10 EASEMENT PARKING AREA
- 11 VEHICULAR ACCESS GATE TO EASEMENT PARKING AREA
- 12 RESIDENTIAL LEASING OFFICE
- 13 RESIDENTIAL AMENITY - BUSINESS CENTER
- 14 SOUTH BUILDING ENTRY / ACCESS FROM EASEMENT PARKING AREA
- 15 SOUTH BUILDING ENTRY TO GREENWOOD



COMPREHENSIVE SOUTH ELEVATION



COMPREHENSIVE EAST ELEVATION (GREENWOOD)



COMPREHENSIVE NORTH ELEVATION (103RD)

EXTERIOR MATERIALS



- 1 METAL SIDING - TYPICAL**
Metal Siding by AEP-Span, color “Cool Zinc Gray”, profile “Nu Wave Corrugated”. A modern siding profile chosen for a textured surface appearance.
- 2 METAL SIDING - CORNER TOWERS**
Metal Siding by AEP-Span, color “Cool Metallic Silver”, profile “Prestige Flat-Pan”. A modern siding profile chosen for a distinguished, refined appearance.
- 3 CEMENT PANEL SIDING - TOP STORY**
Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is “Moody Blue”, SW-6221 by Sherwin Williams.
- 4 CEMENT PANEL SIDING - BODY**
Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Paint color is “Sawdust”, SW-6158 by Sherwin Williams.
- 5 RESIDENTIAL WINDOWS**
Vinyl windows, color to be “adobe”.
- 6 STOREFRONT WINDOWS & DOORS
RAILINGS & AWNING TRIMS**
Aluminum storefront system, color to be “dark bronze”. Metal railing and awning components powdercoated to match storefront color.
- 7 LOUVERS**
Metal louver components powdercoated to match storefront color.
- 8 STONE VENEER TILE**
Lightweight stone veneer tile by Cultured Stone, Cast-Fit 8” x 16” “French Gray”
- 9 ACCENT COLOR - SOUTH BUILDING**
Accent color for the South Building’s window accent panels and awnings. Paint color is “Flower Pot”, SW-6334 by Sherwin Williams.
- 10 ACCENT COLOR - NORTH BUILDING**
Accent color for the North Building’s window accent panels and awnings. Paint color is “Garden Spot”, SW-6432 by Sherwin Williams.
- 11 ACCENT COLOR - WEST BUILDING**
Accent color for the West Building’s window accent panels and awnings. Paint color is “Still Water”, SW-6223 by Sherwin Williams.

PERSPECTIVE: SOUTHEAST CORNER AT SHARED ACCESS EASEMENT











PERSPECTIVE: ENTRY COURTYARD AND WEST BUILDING FROM 103RD













NORTH 103rd STREET



- COMMON / LOBBY
- RESIDENTIAL
- AMENITY

GREENWOOD AVENUE NORTH



NORTH 103rd STREET



- COMMON / LOBBY
- RESIDENTIAL
- AMENITY

GREENWOOD AVENUE NORTH



NORTH 103rd STREET



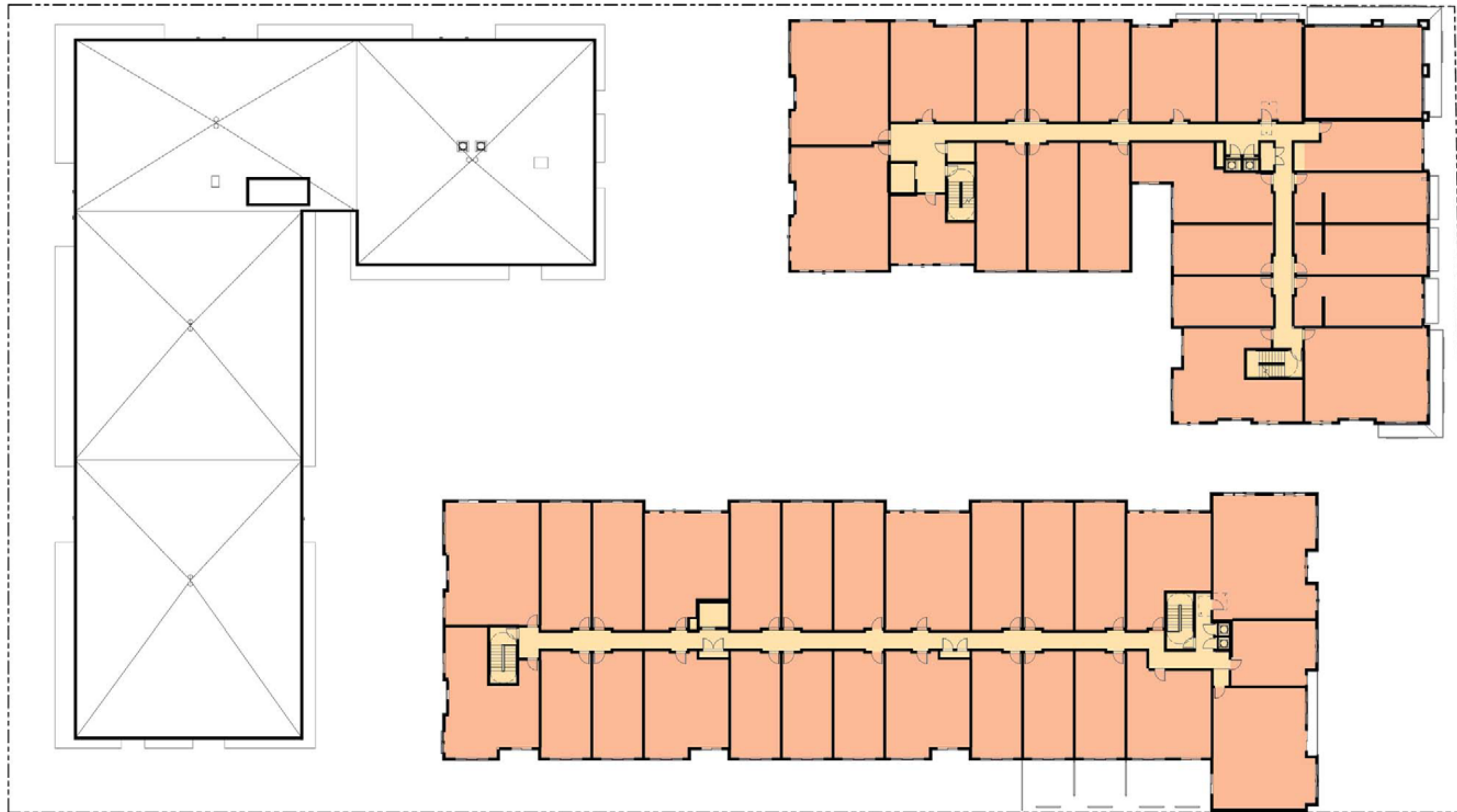
- COMMON / LOBBY
- RESIDENTIAL
- AMENITY
- LIVE/WORK

GREENWOOD AVENUE NORTH





NORTH 103rd STREET



- COMMON / LOBBY
- RESIDENTIAL
- AMENITY

GREENWOOD AVENUE NORTH

PROJECT SECTIONS



SECTION A (LOOKING NORTH)

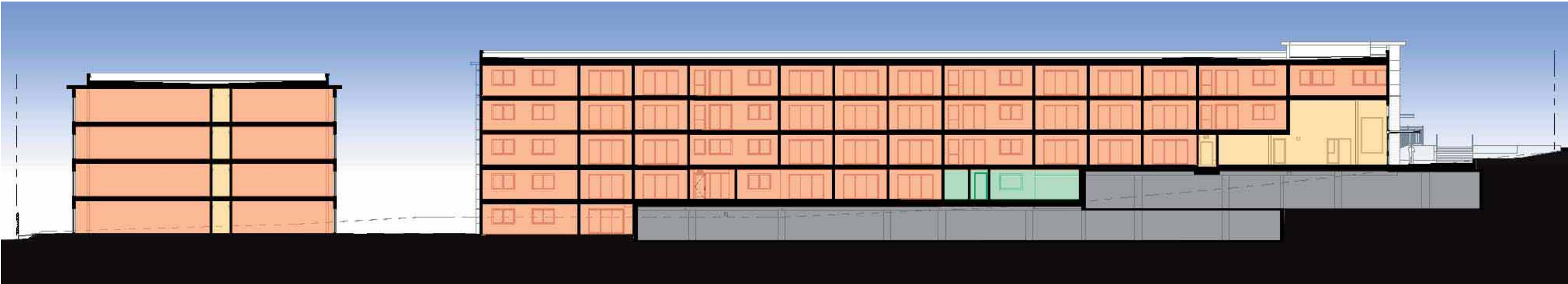


SECTION B (LOOKING NORTH)

PROJECT SECTIONS



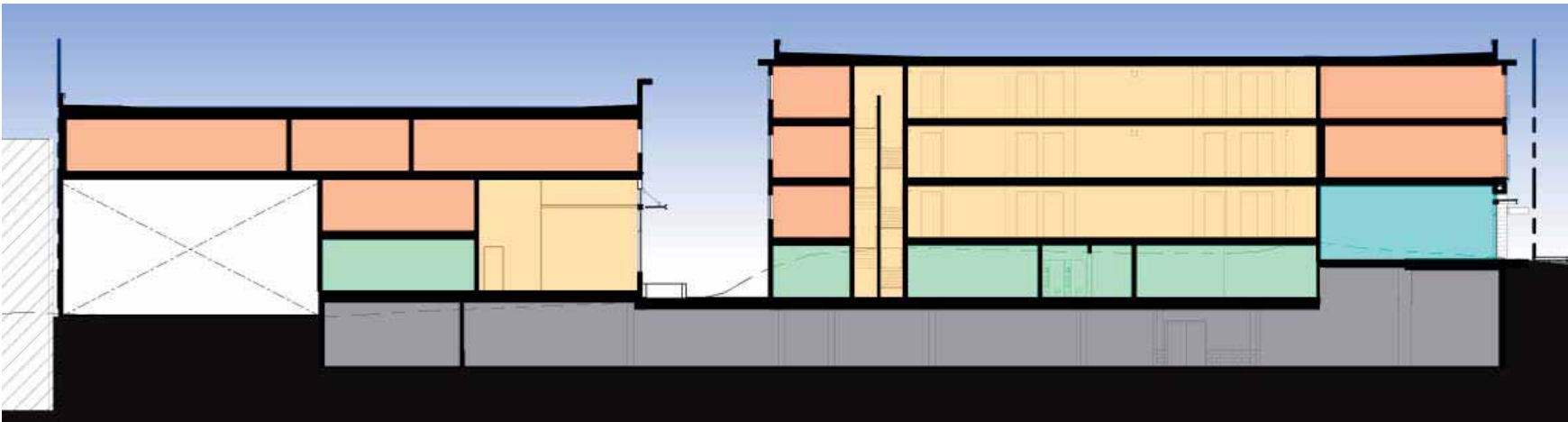
SECTION C (LOOKING NORTH)



SECTION D (LOOKING NORTH)

PROJECT SECTIONS

- COMMON / LOBBY
- RESIDENTIAL
- AMENITY
- LIVE-WORK
- RETAIL
- PARKING



SECTION G (LOOKING WEST)

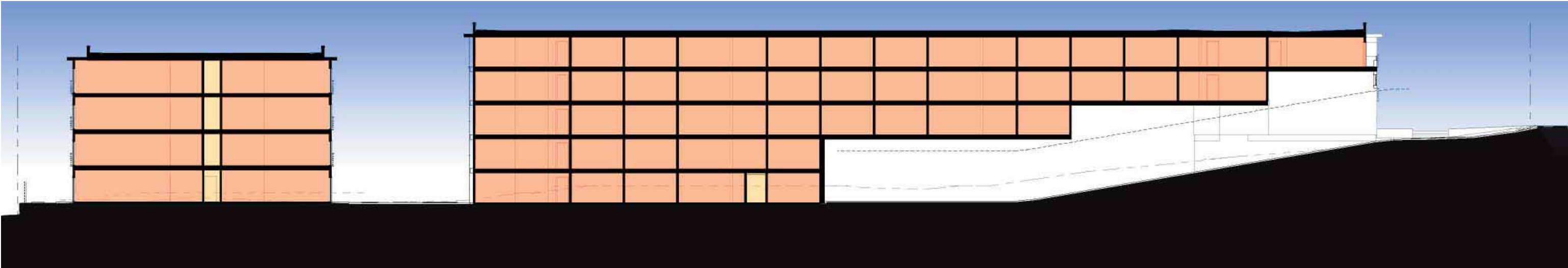


SECTION F (LOOKING WEST)



SECTION E

SECTION G
SECTION F



SECTION E (LOOKING NORTH)

PROJECT SECTIONS

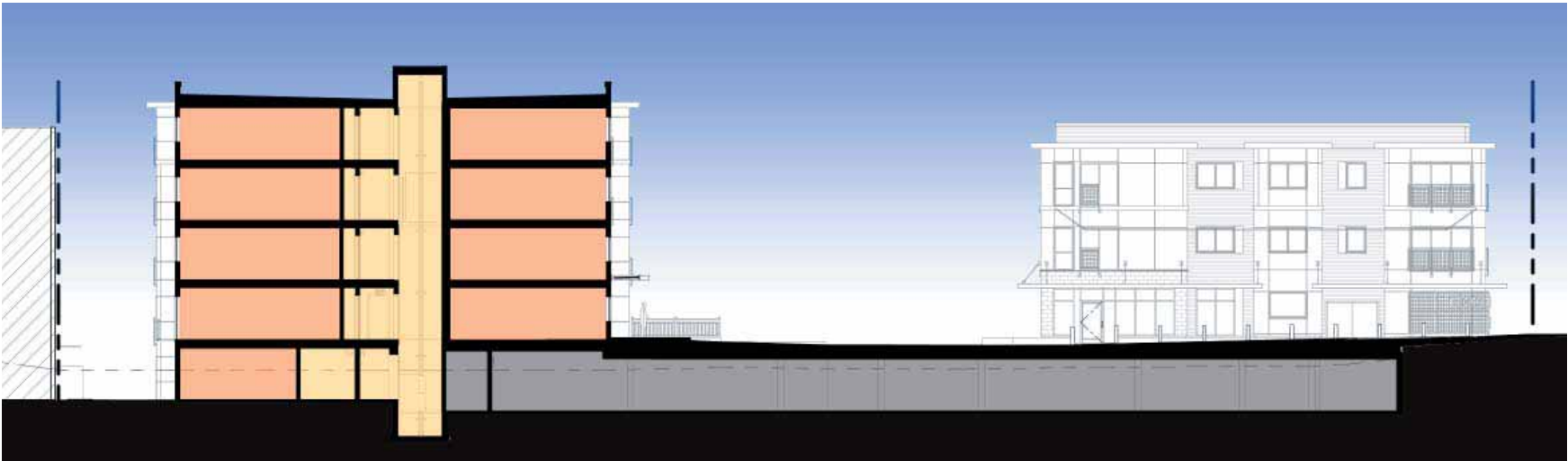
- COMMON / LOBBY
- RESIDENTIAL
- AMENITY
- LIVE-WORK
- RETAIL
- PARKING



SECTION J (LOOKING WEST)



SECTION J | SECTION I | SECTION H



SECTION I (LOOKING WEST)



SECTION H (LOOKING WEST)

BUILDING ELEVATIONS: NORTH BUILDING



WEST ELEVATION (ENTRY DRIVEWAY / COURTYARD)



EAST ELEVATION (GREENWOOD AVENUE)

BUILDING ELEVATIONS: NORTH BUILDING



SOUTH ELEVATION (POOL DECK / AMENITY PLAZA)



NORTH ELEVATION (103RD STREET)



SOUTH ELEVATION



NORTH ELEVATION (103RD STREET)



EAST ELEVATION (ENTRY COURTYARD)



WEST ELEVATION (FACING PROPERTY LINE)

BUILDING ELEVATIONS: SOUTH BUILDING



EAST ELEVATION (GREENWOOD AVENUE)



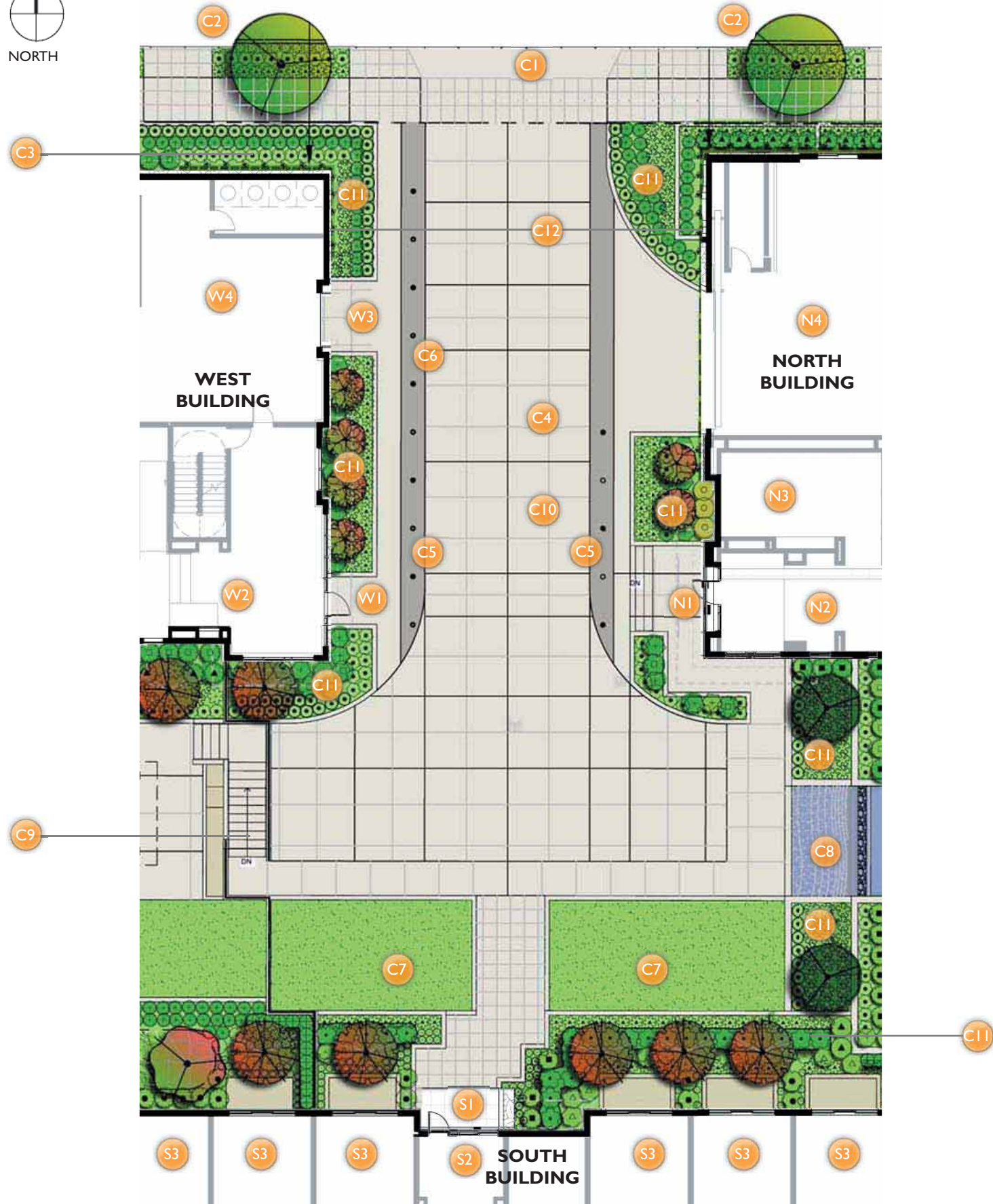
WEST ELEVATION



NORTH ELEVATION (POOL DECK / AMENITY PLAZA)



SOUTH ELEVATION (FACING PROPERTY LINE / EASEMENT)



RESIDENTIAL ENTRY COURT - PLAN & OVERVIEW

COMMON ELEMENTS

- C1 VEHICULAR ACCESS AT NORTH 103RD STREET
- C2 STREET TREES & LANDSCAPING
- C3 PROJECT MONUMENT SIGN
- C4 SCORED CONCRETE PAVING
- C5 ACCENT COLORED CONCRETE PAVING (DESIGNATED PEDESTRIAN WALKWAYS)
- C6 ILLUMINATED BOLLARDS
- C7 TURF LANDSCAPING
- C8 STONE-SURFACED CASCADING WATER FEATURE
- C9 SECURE GATE & ACCESS TO LOWER LEVEL AMENITY SPACE w/ BBQ AND OUTDOOR PAVILION
- C10 FESTIVAL LIGHTING (OVERHEAD)
- C11 LANDSCAPING PLANTER
- C12 GREENSCREEN WALL COVERINGS

NORTH BUILDING

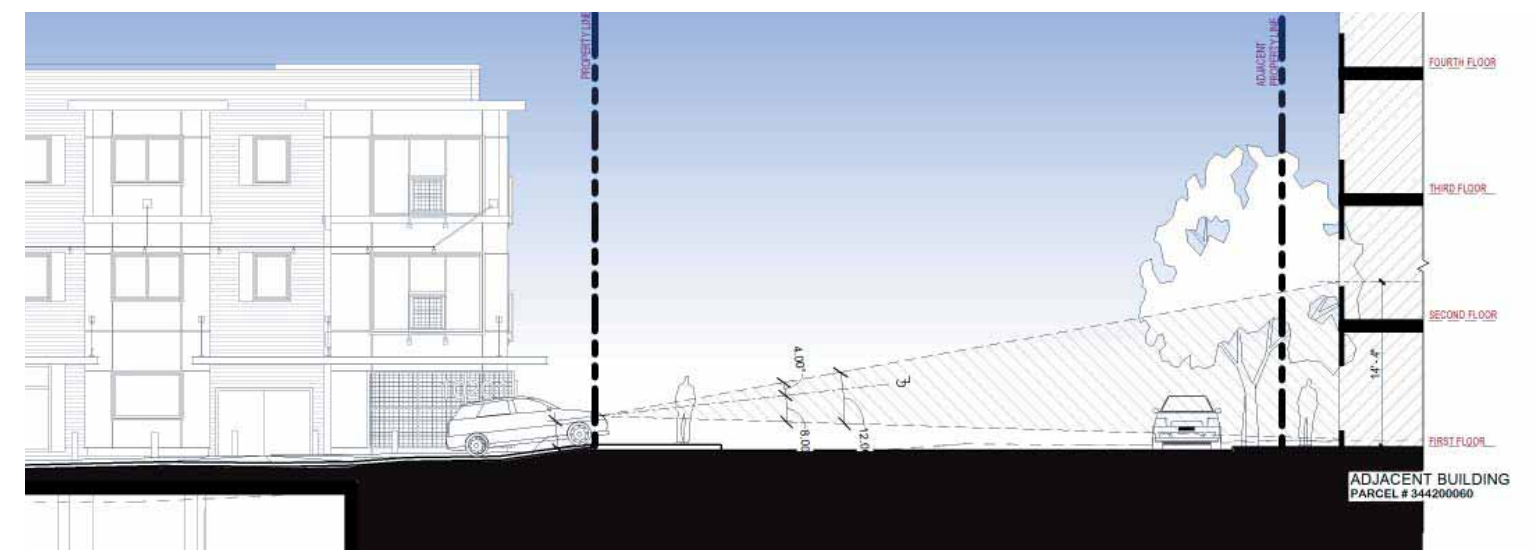
- N1 NORTH BUILDING ENTRY
- N2 NORTH BUILDING LOBBY
- N3 MAIL ROOM
- N4 PARKING GARAGE (PROJECT LEVEL 2)

SOUTH BUILDING

- S1 SOUTH BUILDING ENTRY
- S2 SOUTH BUILDING LOBBY
- S3 RESIDENTIAL UNITS

WEST BUILDING

- W1 WEST BUILDING ENTRY
- W2 WEST BUILDING LOBBY
- W3 REFUSE / RECYCLING ACCESS
- W4 REFUSE / RECYCLING STORAGE



VEHICLE GLARE STUDY
AT 103RD EGRESS

RESIDENTIAL ENTRY COURT - DETAIL VIEWS



PEDESTRIAN LEVEL PERSPECTIVE - NORTH BUILDING



S1
SOUTH
BUILDING
ENTRY



W1
WEST
BUILDING
ENTRY



PEDESTRIAN LEVEL PERSPECTIVE - WEST BUILDING



N1
NORTH
BUILDING
ENTRY

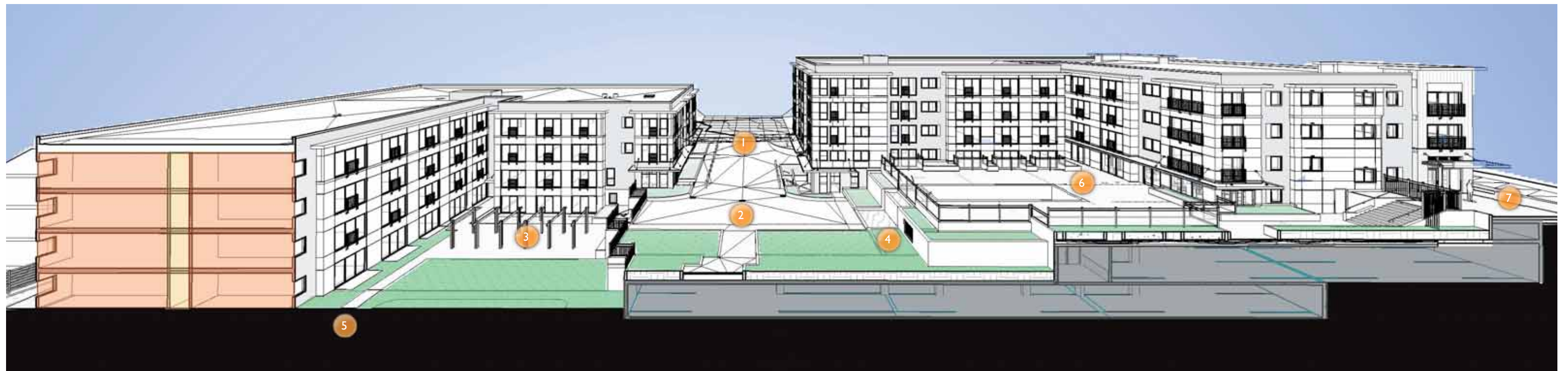


N 103rd ST



EXTERIOR COURTYARDS AND AMENITIES

- 1 RESIDENTIAL ENTRY COURT (PUBLIC)
- 2 VEHICULAR TURNAROUND / PEDESTRIAN LOADING (PUBLIC)
- 3 LOWER AMENITY SPACE & OUTDOOR PAVILION (PRIVATE)
- 4 STONE-SURFACED CASCADING WATER FEATURE (PUBLIC)
- 5 WALKING PATH AND RAIN GARDENS (PRIVATE)
- 6 LAP POOL / SUN DECK / RESTROOMS (PRIVATE)
- 7 RETAIL PLAZA WITH BENCHES (PUBLIC)
- 8 BOWLING BALL AND PINS STONE ARTWORK AND WATER FEATURE (PUBLIC)



SITE SECTION / PERSPECTIVE - CENTRAL COURTYARD LOOKING NORTH (TOWARDS 103RD)

COMMON ELEMENTS

- C4 SCORED CONCRETE PAVING
- C5 ACCENT COLORED CONCRETE PAVING (DESIGNATED PEDESTRIAN WALKWAYS)
- C6 ILLUMINATED BOLLARDS
- C7 TURF LANDSCAPING
- C8 STONE-SURFACED CASCADING WATER FEATURE
- C9 SECURE GATE & ACCESS
- C10 FESTIVAL LIGHTING (OVERHEAD)
- C11 LANDSCAPING PLANTER
- C13 POOL DECK
- C14 LOWER LEVEL AMENITY SPACE w/ BBQ AND OUTDOOR PAVILION
- C15 RESIDENTIAL UNIT PATIO

NORTH BUILDING

- N1 NORTH BUILDING ENTRY
- N5 AMENITY ROOMS & POOL BATHROOMS

SOUTH BUILDING

- S1 SOUTH BUILDING ENTRY
- S4 LEASING OFFICES
- S5 AMENITY - FITNESS CENTER / SOUTH BUILDING LAUNDRY

WEST BUILDING

- W2 WEST BUILDING LOBBY
- W5 AMENITY - SOUTH BUILDING LAUNDRY





WATER FEATURE



REFERENCE IMAGES



PLANT CHARACTER

AMENITY PLAZA & POOL DECK



- 1 LAP POOL
- 2 POOL DECK
- 3 RESIDENTIAL UNIT
- 4 RESIDENTIAL UNIT PATIO
- 5 RAISED PLANTER
- 6 POOL RESTROOMS
- 7 AMENITY LOUNGE
- 8 AMENITY THEATER
- 9 CONCESSIONS





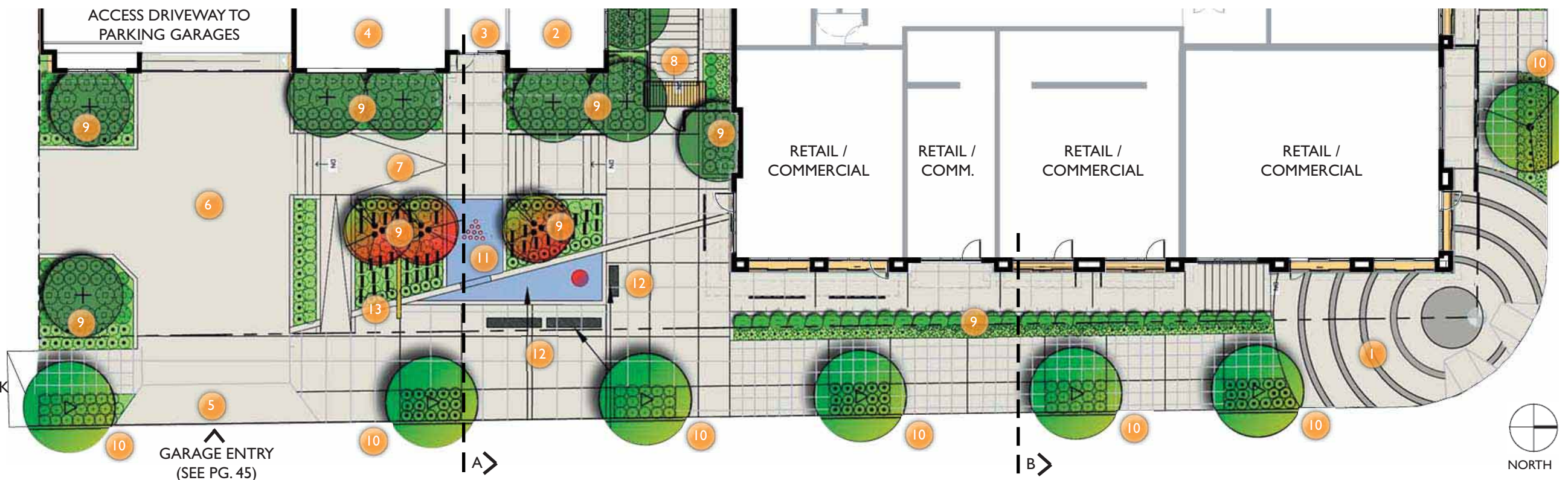
RETAIL PLAZA / WATER FEATURE / LEASING OFFICE

STREETSCAPE AT GREENWOOD RETAIL / PLAZA / LEASING OFFICE



RETAIL - NORTH BUILDING

- 1 ACCENT PAVING
- 2 RESIDENTIAL LEASING OFFICE
- 3 RESIDENTIAL BUILDING ENTRY
- 4 RESIDENTIAL AMENITY ROOM (BUSINESS CENTER)
- 5 EXISTING CURBCUT TO REMAIN
- 6 ACCESS EASEMENT DRIVE
- 7 PEDESTRIAN RAMP / STAIRS
- 8 SECURITY GATE / FENCE
- 9 LANDSCAPE PLANTER
- 10 STREET TREES / PLANTERS
- 11 WATER FEATURE w/ BOWLING BALL AND PINS STONE ARTWORK
- 12 BENCH
- 13 MONUMENT SIGN

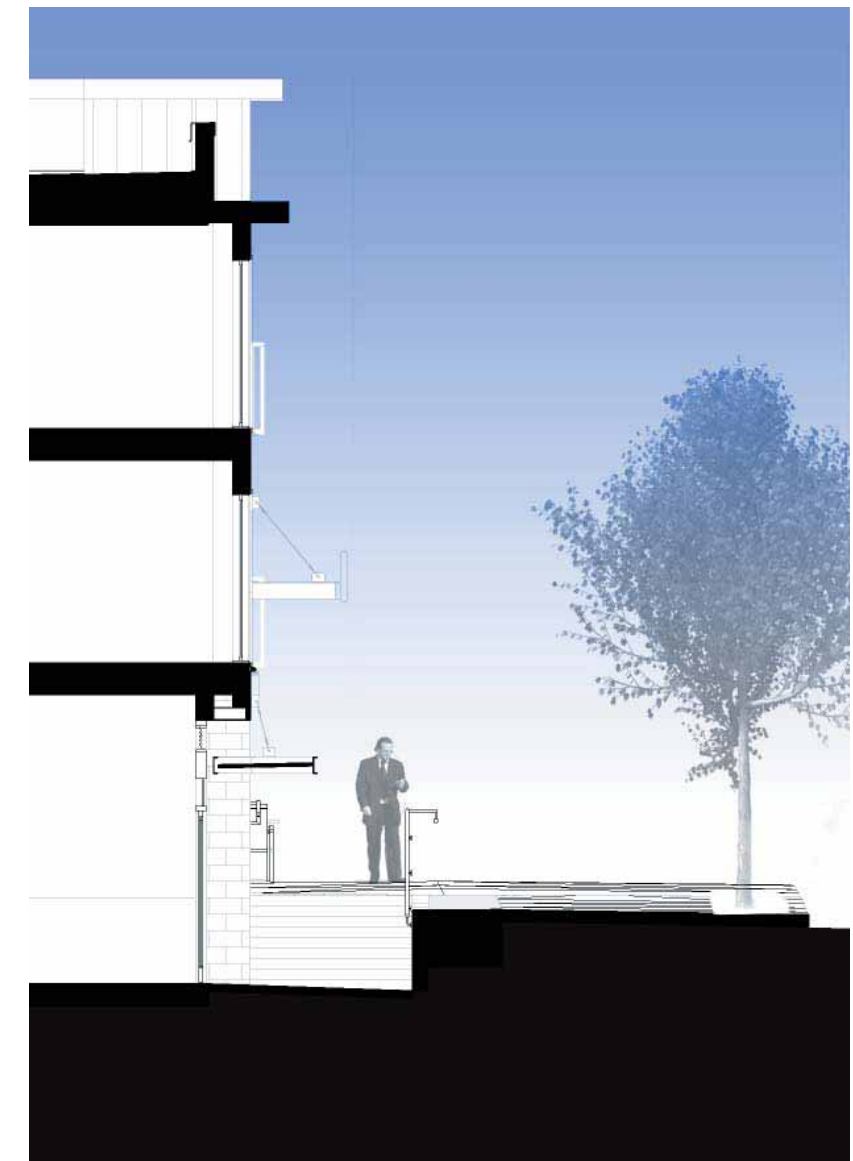


STREETSCAPE AT GREENWOOD SITE SECTION



LEASING OFFICE 23'-0" ENTRY PLAZA 24'-0" WATER FEATURE / AMENITEY PLAZA 6'-6" SIDEWALK 6'-0" PLANTING STRIP

SECTION A - TYPICAL SOUTH BUILDING PLAZA ALONG GREEN-



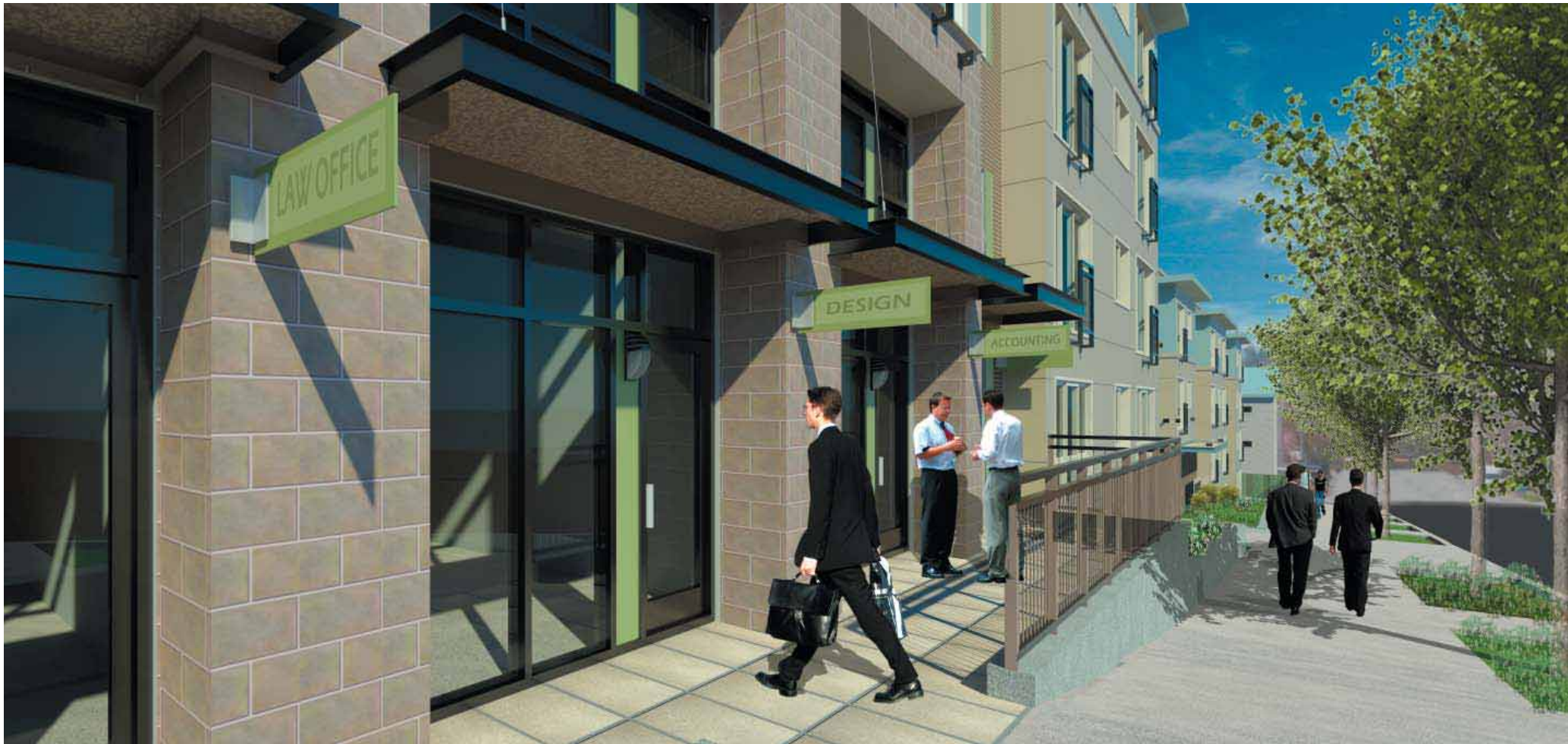
8'-0" ENTRY PATIO 4'-0" PLANTING STRIP 6'-6" SIDEWALK 6'-0" PLANTING STRIP

SECTION B - TYPICAL RETAIL ENTRY ALONG GREENWOOD

STREETSCAPE AT GREENWOOD:
SOUTH BUILDING GARAGE ENTRY



- 1 EXISTING ADJACENT STORAGE BUILDING w/ EXISTING PARKING IN FRONT
- 2 ACCESS DRIVEWAY TO STORAGE BUILDING (PART OF EASEMENT AREA)
- 3 RAISED PLANTER w/ LANDSCAPE SCREENING FOR PARKING BEYOND
- 4 PARKING ON DRIVE AISLE (PART OF EASEMENT AREA)
- 5 DRIVE AISLE TO PARKING LEVELS (PART OF EASEMENT AREA)
- 6 ACCENT LIGHTING
- 7 PEDESTRIAN ACCESS TO SOUTH BUILDING & LEASING
- 8 SOUTH BUILDING / LEASING OFFICE ENTRY



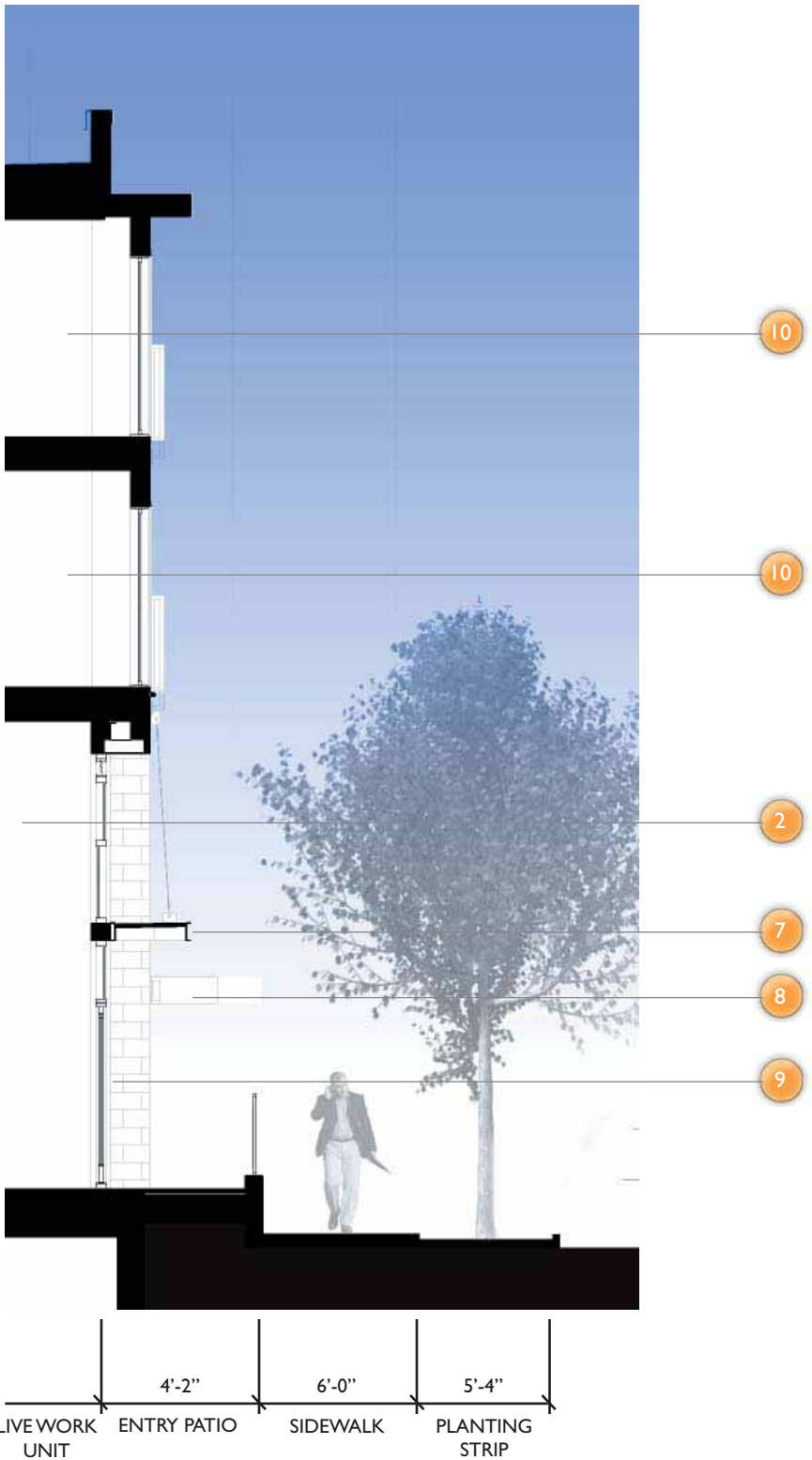
LIVE-WORK ENTRIES FROM STREET CORNER

- | | | | | |
|---------------------|-------------------------------------|--------------------------------------|---------------------------------|--------------------------|
| 1 PARKING GARAGE | 2 COMMERCIAL AREA OF LIVE-WORK UNIT | 3 RESIDENTIAL AREA OF LIVE-WORK UNIT | 4 STAIR TO LIVE-WORK LOFT LEVEL | 5 RETAIL UNIT |
| 6 LANDSCAPE PLANTER | 7 LIVE-WORK ENTRY AWNING | 8 LIVE-WORK SIGNAGE | 9 LIVE-WORK ENTRY | 10 RESIDENTIAL APARTMENT |



(LEVEL 2) | (LEVEL 3) | (LEVEL 3) | (LEVEL 4) PLAN - LIVE-WORK UNITS ALONG 103RD STREET (NORTH BUILDING)

STREETSCAPE AT 103RD LIVE-WORK

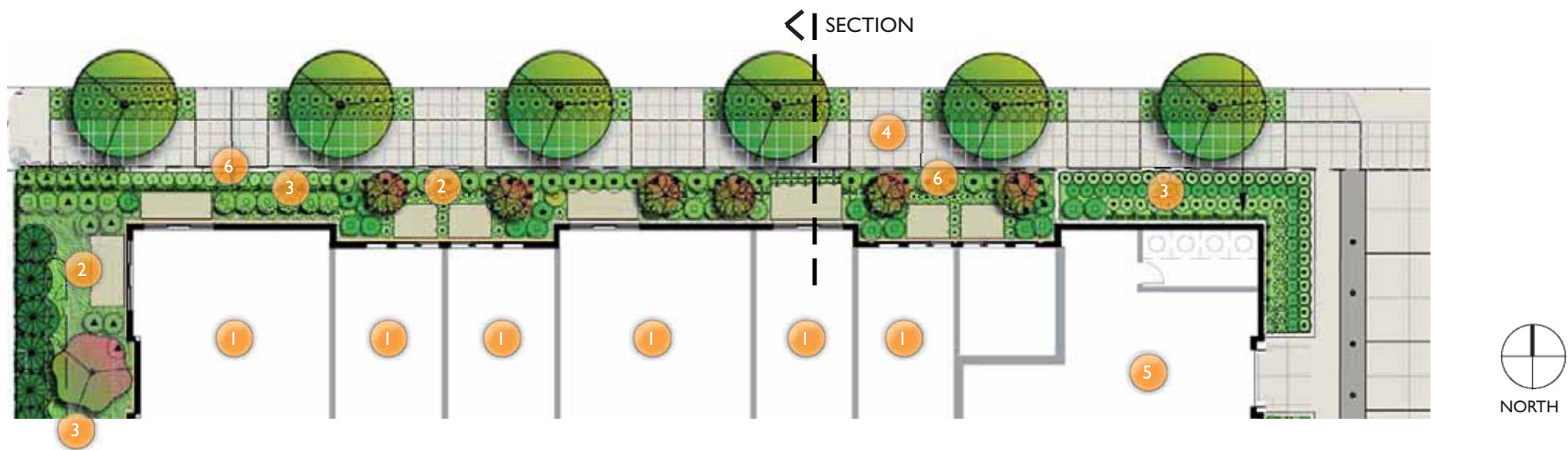


SECTION - LIVE-WORK UNITS ALONG 103RD



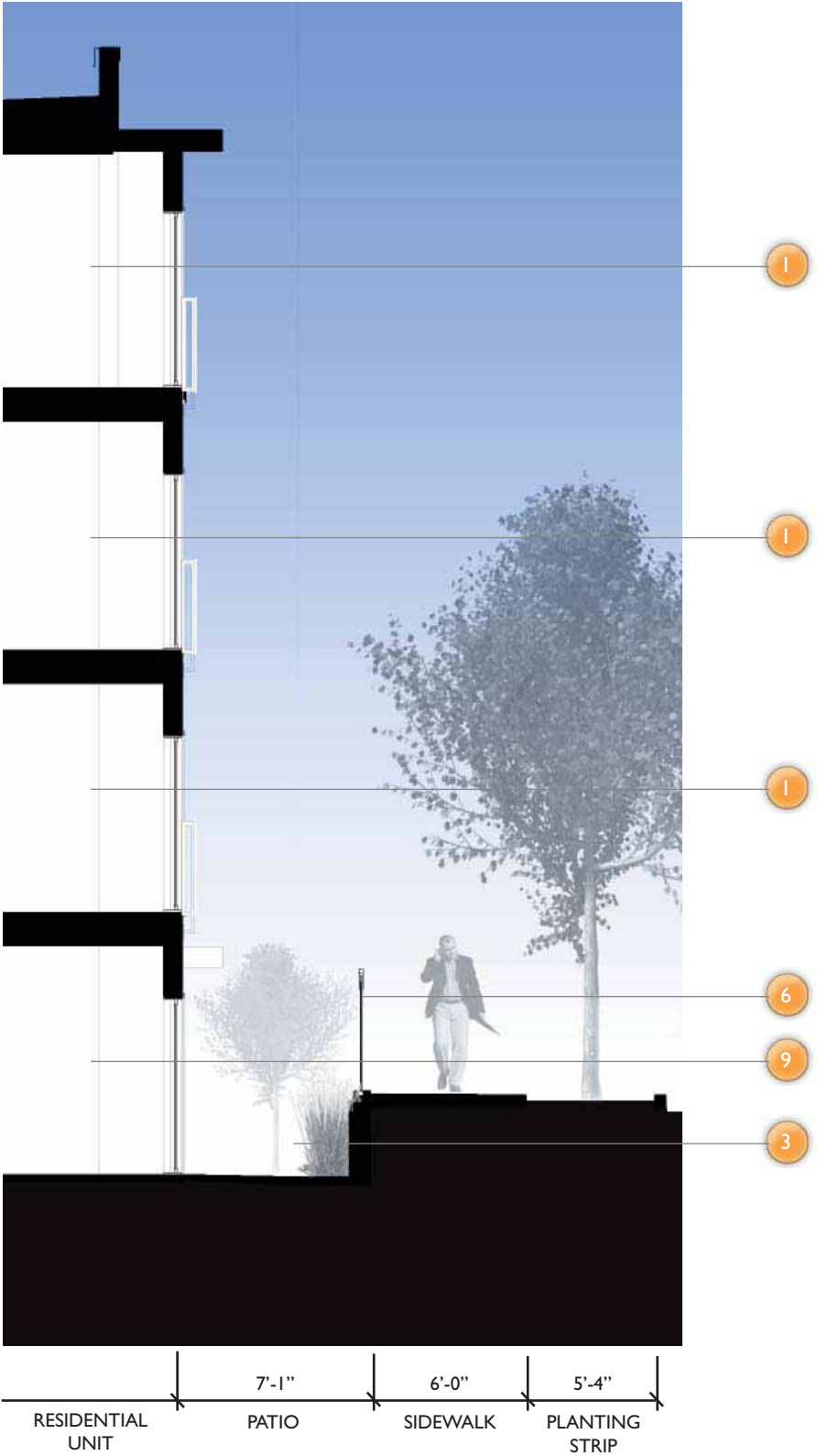
WEST BUILDING - RESIDENTIAL FRONTAGE FROM NW STREET CORNER

- 1 RESIDENTIAL UNIT
- 2 RESIDENTIAL PATIO (PRIVATE)
- 3 LANDSCAPING
- 4 SIDEWALK
- 5 REFUSE / RECYCLING STORAGE
- 6 GUARDRAIL or GREENSCREEN



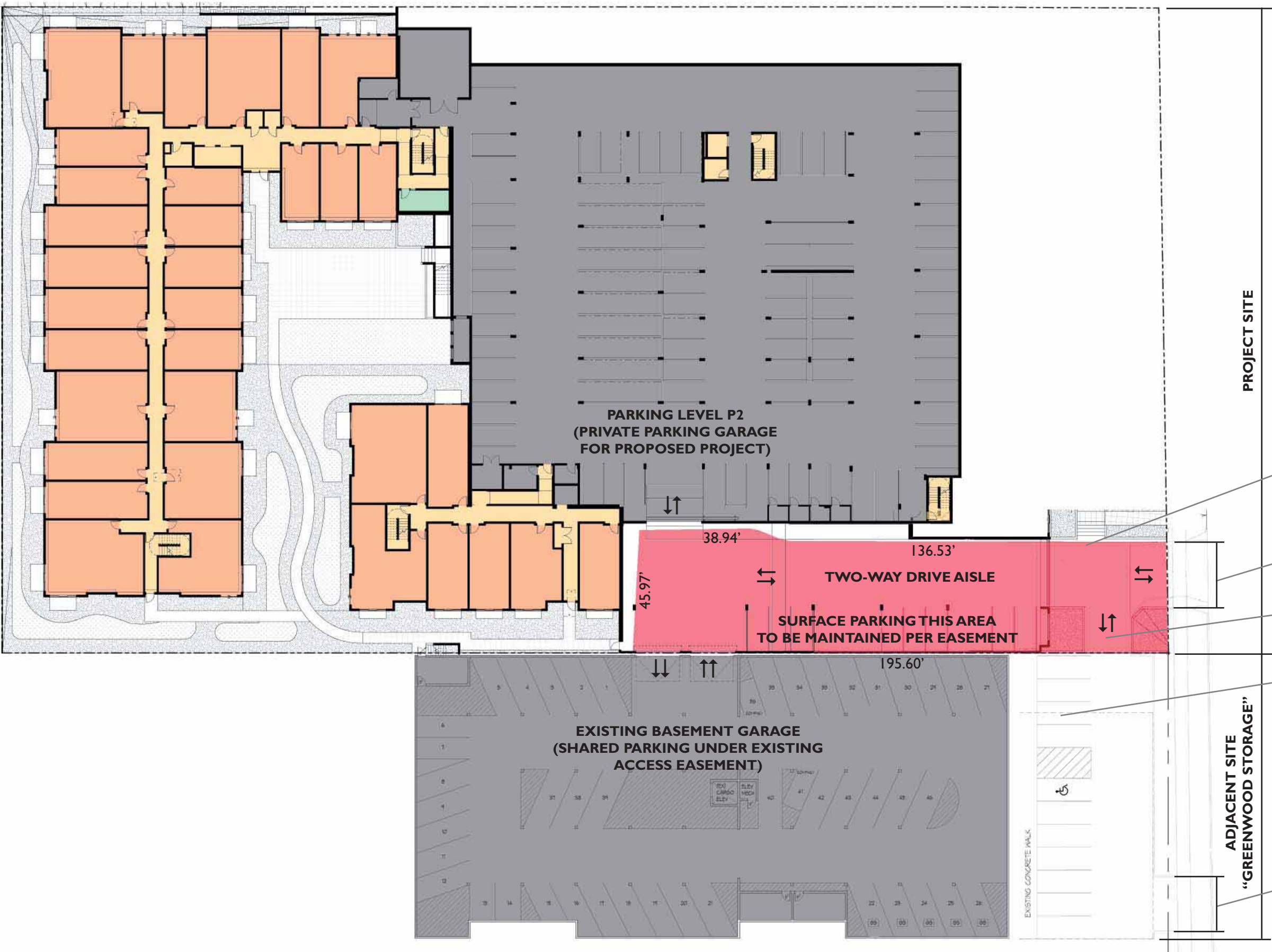
PLAN - RESIDENTIAL UNITS ALONG 103RD STREET (WEST BUILDING)

STREETSCAPE AT WEST BUILDING RESIDENTIAL FRONTAGE



SECTION - RESIDENTIAL UNITS ALONG 103RD

DETAIL STUDY: ACCESS EASEMENT & PARKING



SHADED AREA INDICATES EXTENTS OF ACCESS EASEMENT ENCUMBERING PROJECT SITE

EXISTING CURBCUT TO BE RECONSTRUCTED (LOCATION TO REMAIN)

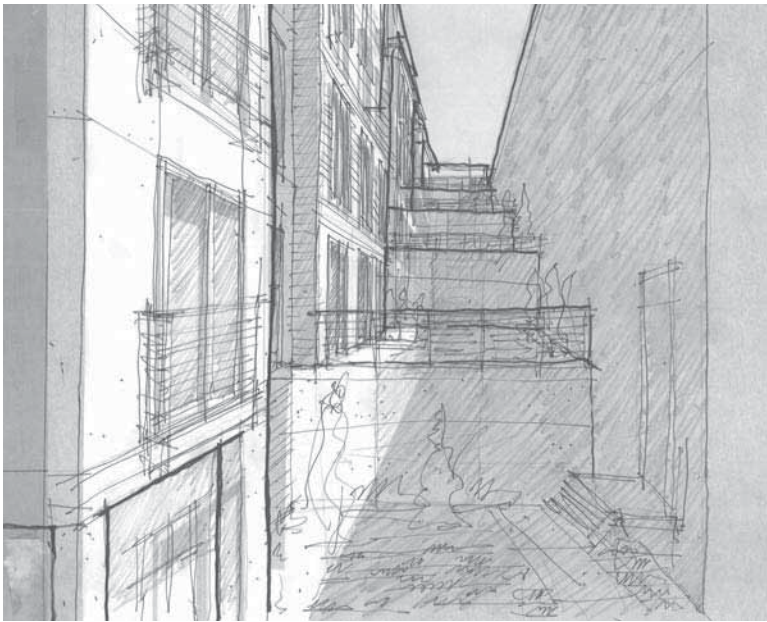
EXISTING ACCESS DRIVE TO ADJACENT SURFACE PARKING TO BE MAINTAINED PER EASEMENT

EXISTING SURFACE PARKING TO REMAIN (PRIVATE USE OF STORAGE FACILITY - NO PROJECT PARKING THIS AREA)

EXISTING CURBCUT TO REMAIN

EARLY DESIGN GUIDANCE OVERVIEW

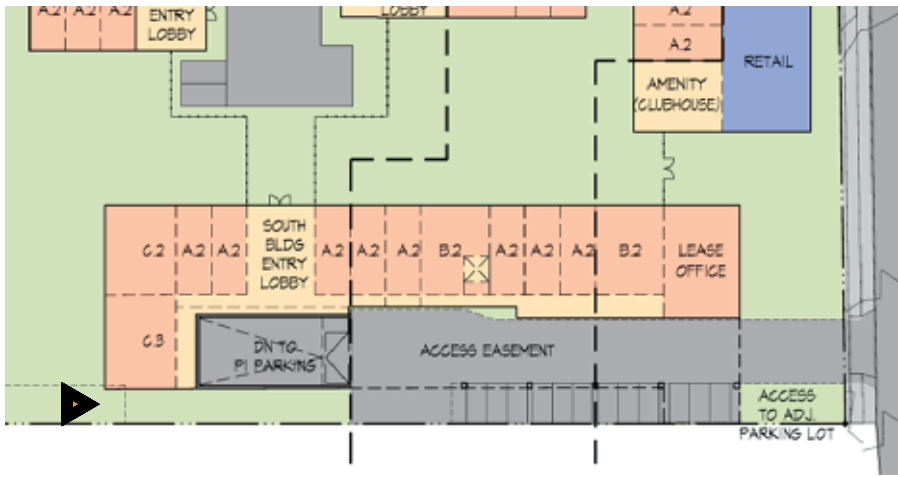
The project proposal at Early Design Guidance (EDG) included three design studies (illustrated below for reference) which documented the primary design responses for the blank wall condition at the south property line. This condition was exacerbated by the existence of the access easement which encumbers the project parcel as well as the inability to decorate or otherwise modify the blank wall itself. Option 1 therefore proposed a series of stepping patios which enclosed the access drive below and provided residential outdoor spaces. Option 2 proposed setting the South building 40-50 feet away from the south property line but at the expense of revealing the large parking lot created by maintaining the access easement. Option 3 was similar to Option 1 but utilized a series of openings between the stepping patios for driveway ventilation. The DRB's comments generally concurred with us that Option 2 was the least desirable of the options given all factors. The Applicant was encouraged however to utilize all available methods for addressing the blank wall condition when placing the proposed South building in such close proximity to the adjacent storage building.



OPTION 1 - PARTIAL GROUND FLOOR PLAN



OPTION 2 - PARTIAL GROUND FLOOR PLAN



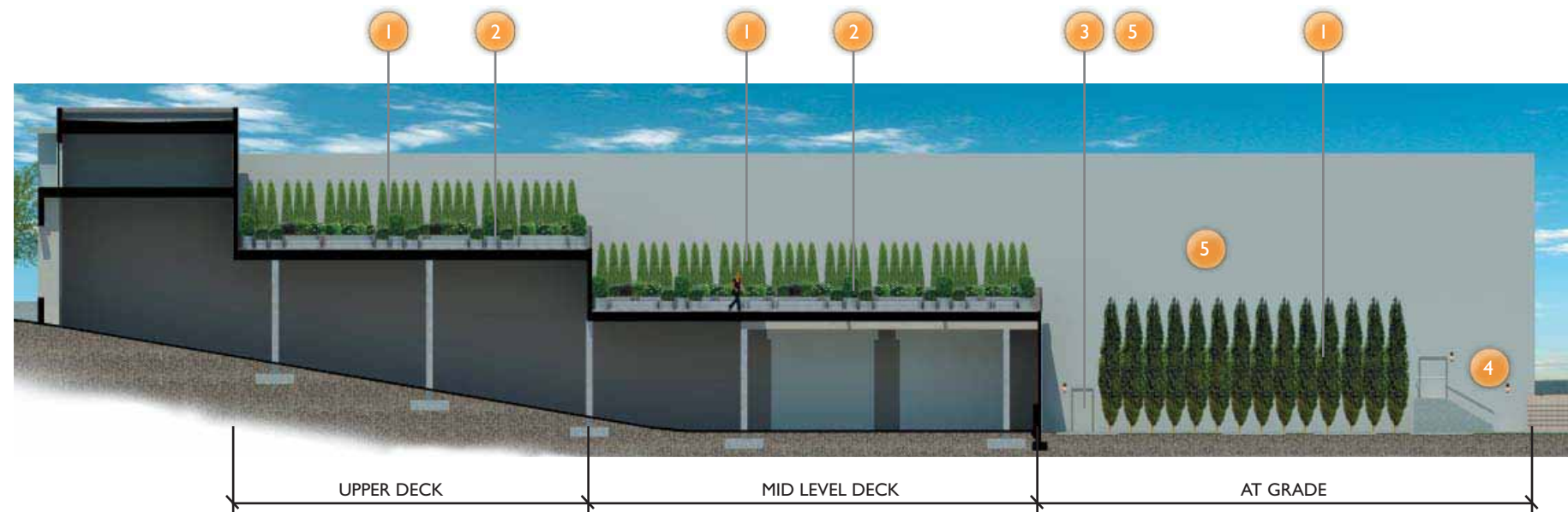
OPTION 3 - PARTIAL GROUND FLOOR PLAN

DESIGN DEVELOPMENT

The current proposal developed a version of Option 1 due to the DRB's comments and other building code considerations in addition to the design rationale already presented during EDG. The most notable design considerations, the blank wall itself and the lack of landscaping, were addressed through placing vertical, fast-growing plants (cypress) along the south property line to reduce the visual blank wall impacts as well as soften up the area between both buildings. Privacy between the patios that were created was also important. This was addressed through the extensive use of planters between the units with screening landscaping to deemphasize the "urban" character of the space. Daylighting was also a factor in placement of the South building, but locating this building for winter sun access to all units resulted in a design response resembling Option 2. We therefore focused on reducing the number of units that were either entirely in shadow and/or provided those that were with more access to private outdoor space. Personal safety and character of the pedestrian environment was considered as well. The large flood lights on the storage building will be removed and replaced with anti-glare units at the pedestrian level, and pathway lighting from the parking garage in the storage building will connect the garage entry to the South building's Floor 1 entry in the same courtyard.

BLANK WALL AT SOUTH PROPERTY LINE:
DESIGN STUDIES FROM EDG

DETAIL STUDY: BLANK WALL AT SOUTH PROPERTY LINE

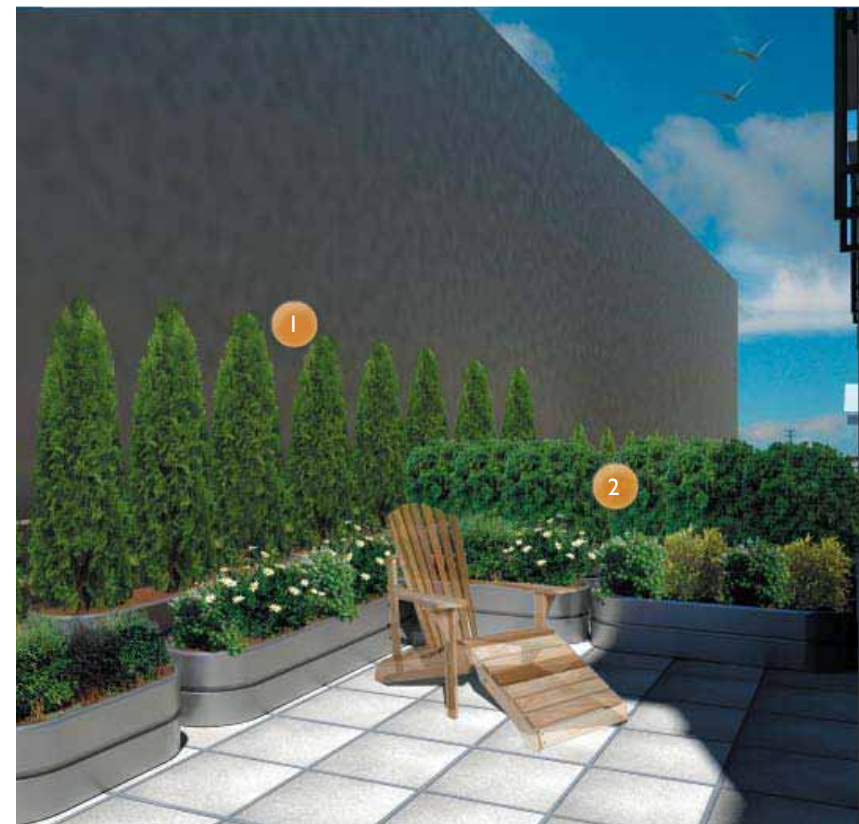


SECTION- EASEMENT

- 1 LANDSCAPING FOR VISUAL SCREENING OF BLANK WALLS
- 2 INDIVIDUAL PRIVACY SCREENING BETWEEN UNIT PATIOS AND/OR PUBLIC WALKWAYS
- 3 ACCESS TO STORAGE BUILDING PARKING GARAGE
- 4 EGRESS STAIRWAY FROM STORAGE BUILDING
- 5 NEW PEDESTRIAN-LEVEL ANTI-GLARE LIGHTING TO REPLACE EXISTING FLOOD LIGHTS ON STORAGE BUILDING



STUDY PERSPECTIVE - UPPER DECK

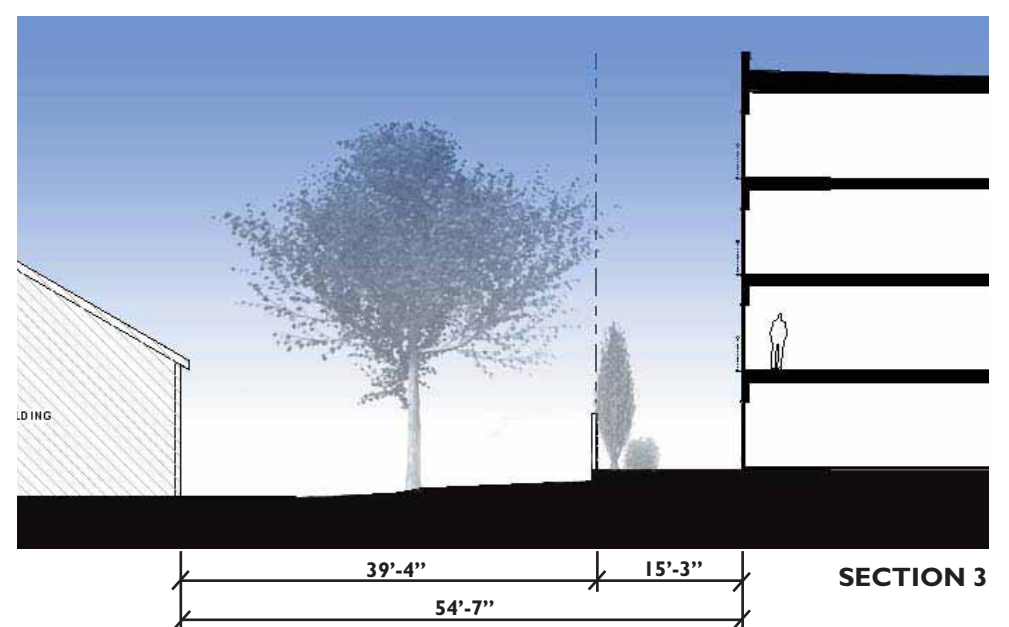
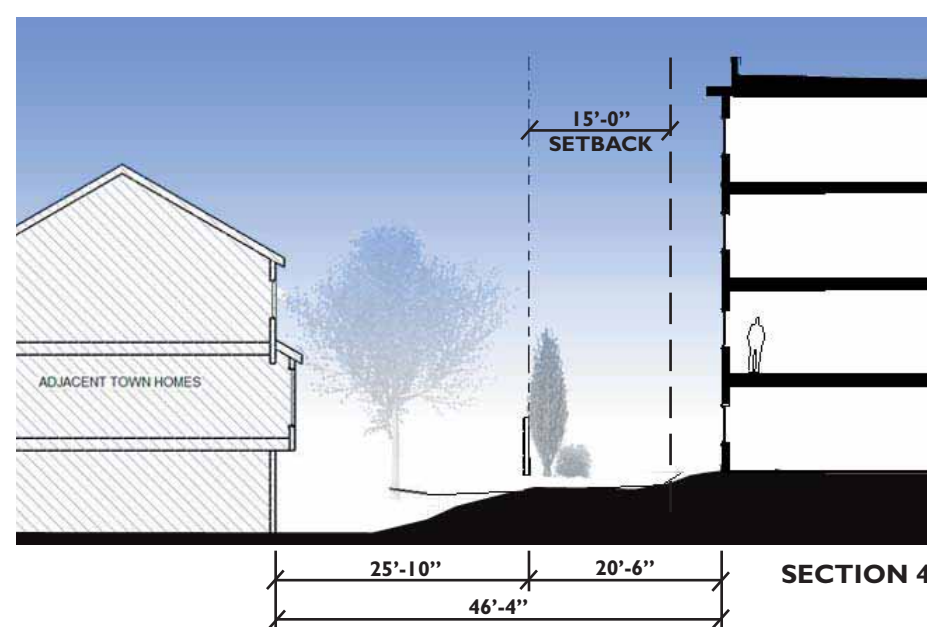
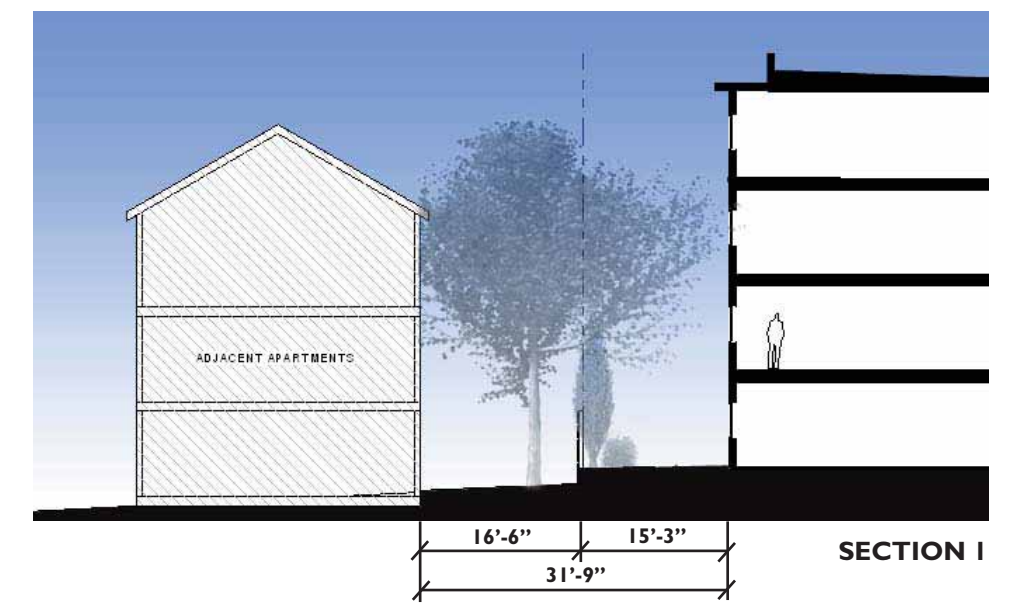
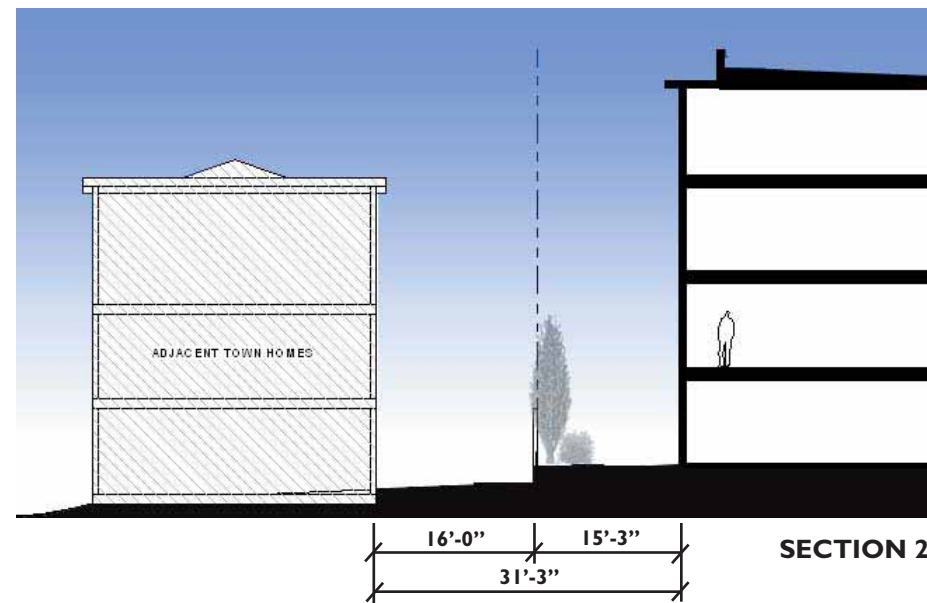


STUDY PERSPECTIVE - MID-LEVEL DECK



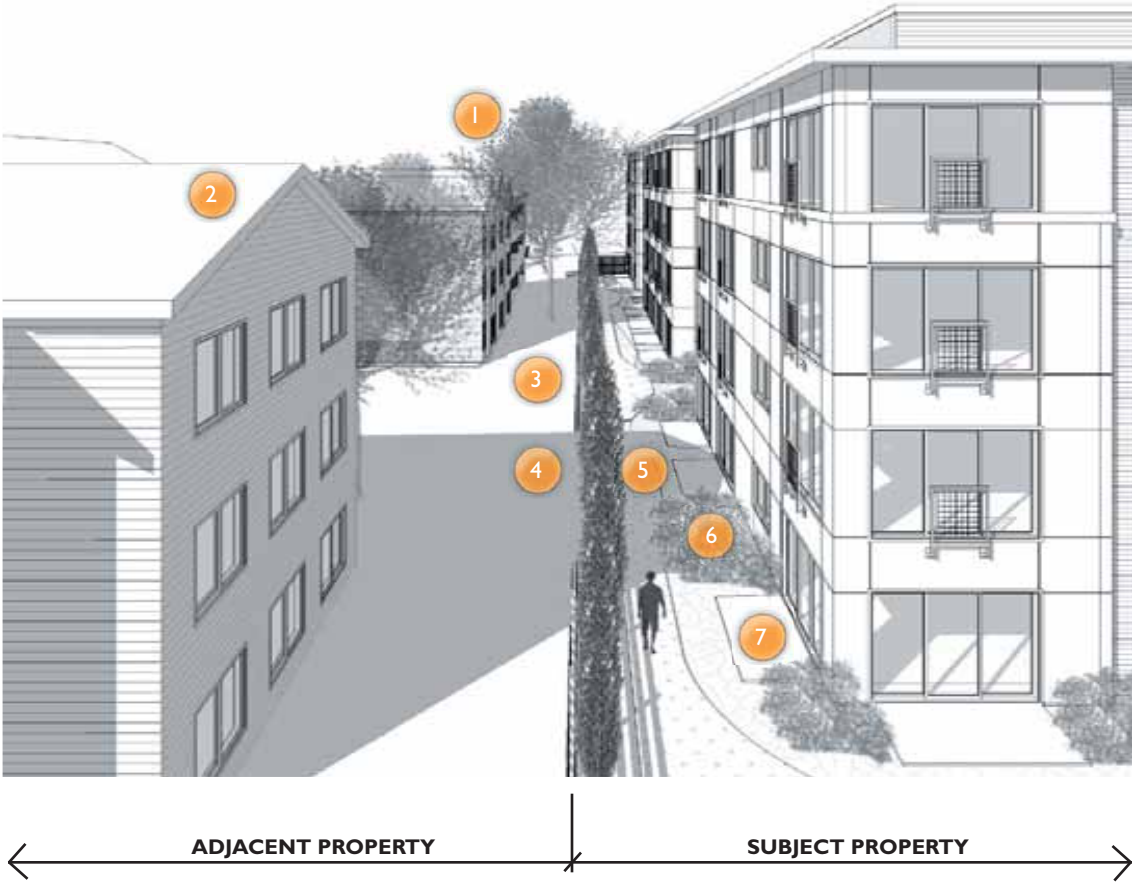
STUDY PERSPECTIVE - GARAGE ACCESS AT GRADE

DETAIL STUDY: BUILDING SECTIONS AT WEST PROPERTY LINE



DETAIL STUDY:
AERIAL PERSPECTIVE AT WEST PROPERTY LINE

- 1 EXISTING TREES TO REMAIN
- 2 ADJACENT RESIDENTIAL BUILDINGS
- 3 LANDSCAPE SCREENING (TREES)
- 4 PRIVACY FENCE
- 5 BIOSWALE
- 6 LANDSCAPING
- 7 PRIVATE UNIT PATIO



SITE LIGHTING PLAN



1 FESTIVAL LIGHTING ABOVE DRIVE ENTRY



2 LIVE-WORK LIGHTING



3 COMMERCIAL & PEDESTRIAN ENTRY LIGHTING



4 PATIO LIGHTING AT RESIDENTIAL UNITS



5 BOLLARDS



DEPARTURE REQUESTS - MATRIX

DEPARTURE NUMBER		LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
1	D1	SMC 23.47A.005C3	RESIDENTIAL USES AT STREET LEVEL	Residential uses may not occupy more than 20% of the street-level street-facing façade when facing an arterial.	South building proposes 76% residential use. North building proposes 0%. Combined South & North facade along Greenwood proposes 27.8%.	South building is recessed from street in response to building massing at adjacent site while also respecting existing vehicular access easement. Recess of building from street limits commercial / retail viability. Leasing office proposed in lieu of commercial uses provides project identity while successfully activating streetscape along Greenwood. Extents of residential uses of both North and South buildings if facade uses combined would be approximately 27.8%, with 20% maximum allowed.
2	D2	SMC 23.47A.008A2b & c	BLANK FACADES - SEGMENT WIDTH AND TOTAL FACADE LENGTH	Blank segments between 2' and 8' above the sidewalk may not exceed 20' in width. Total of all blank façade segments may not exceed 40% of the width of the façade of the structure along the street.	A blank segment of 51'-3" occurs at the West building along N 103rd St. West building proposes 56.2% blank facade length at the 5' height from sidewalk.	Existing ROW grading along along N 103rd St is largely incompatible with building height and floor plan continuity, making continual stepping of ground level uses infeasible. In one location, a non-compliant blank segment occurs between residential floors at the floor plane. The blank segment will be mitigated by landscaped building setbacks.
3	D3	SMC 23.47A.008A3	STREET-LEVEL STREET-FACING FACADES - DISTANCE TO STREET LOT LINE	Street-level street-facing facades must be located within 10' of the street lot line unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.	South building proposes 42'-5" setback along Greenwood Ave. N, creating a landscaped pedestrian plaza between the building and sidewalk. Inset modulations at West building along 103rd propose a 10' setback. Plantings and patios are proposed between the building and sidewalk.	South building is recessed from street in response to building massing at adjacent site while also respecting existing vehicular access easement, allowing graceful, landscaped step from North building to existing storage building south of project site. The resulting pedestrian plaza features a waterfeature, benches, and landscaping giving the North building corner retail opportunities to engage the open space. West building setback allows for plantings to add interest between building and sidewalk while also providing privacy screening for residents. The West building balances providing setbacks for plantings along 103rd, creating modulations in the building facade along 103rd for elevation interest, and providing a larger than minimum required setback along Southern property line to respect adjacent properties.
4	D4	SMC 23.47A.008D2	STREET-LEVEL STREET-FACING FACADES - RESIDENTIAL ENTRY	For all residential uses, at least one of the street-level street-facing façades containing a residential use shall have a visually prominent pedestrian entry.	Single visually prominent courtyard entry off 103rd Street proposed for all buildings. No street-facing primary entry proposed for North & West bldgs	Common entry courtyard creates an arrival plaza which connects all three buildings with a landscaped and visually pleasing, single point of entry courtyard. The common courtyard entries also allow additional building separation which emphasizes the residential open spaces. Decorative elements added to entry gate to amenity plaza in lieu of Greenwood facing residential building entry.
5	D5	SMC 23.47A.032A1c	SITE ACCESS	If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines.	Proposed lot access occurs at both Greenwood Ave. N and N 103rd St.	Proposed parking access replaces existing access on both streets while serving an existing access easement off Greenwood Ave. N. Size of proposed project also warrants multiple access points in effort to limit traffic impact.
6	D6	SMC 23.47A.008B2a	TRANSPARENCY AT UTILITY USES	60% of the street-facing facade between 2' and 8' above the sidewalk shall be transparent	West building proposes 0% transparency at the utility use. Utility use is 28'-8" long and proposes a greenscreen and project signage at street-level instead of transparency.	Due to the departure requested utility use at the building corner and the need to mark the main vehicle and pedestrian entry for the site, the desired facade treatment is to create a prominent green screen and landscaped area and capture the opportunity to clearly mark the entrance with monument signage.

DEPARTURE REQUESTS - MATRIX

DEPARTURE NUMBER		LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
7	D7	SMC 23.47A.008D3	FINISH FLOOR ELEVATION & SETBACK	Finish floor of dwelling units on street-level street-facing façades shall be at least 4 feet above or below sidewalk grade OR at least 10 feet set back from the sidewalk.	West Building proposes two units that are less than 4' above / below sidewalk grade. Unit One: 27'-9" in width, finished floor ranges from 3'-1" to 4'-8" below grade. Unit Two: 28'-8" in width, finished floor ranges from 1'3" below grade to 0'-5" above grade.	Existing ROW grading along along N 103rd St directly conflicts with floor plan continuity, making continual stepping of ground level uses infeasible. Instead of creating 10' setbacks at these locations, the West building balances providing setbacks for plantings along 103rd, creating modulations in the building facade along 103rd for elevation interest, and providing a larger than minimum required setback along Southern property line to respect adjacent properties.
8	D8	SMC 23.47A.005B	LOCATION OF UTILITY USES	Utility uses may not abut street-level street-facing facades where the structure contains more than one residential dwelling unit.	West building proposes the refuse / recycling collection and storage use along 103rd adjacent to the vehicular entrance. Total length is 28'-8".	Refuse / recycling for the entire project is stored in a central interior location per SPU request. West building entry faces interior courtyard to maintain relationship with residential entries in North and South buildings.
9	D9	SMC 23.47A.032B1b	SEPARATION OF STREET- LEVEL PARKING FROM STREET-FACING FACADE	Street-level parking shall be separated from street-level street-façacing facades by another permitted use.	Project proposes parking along street-level street-facing façade at the South building, within the easement location. Total length is 16'-9"	Existing access easement requires location of parking this location. Parking use is mitigated by building screening, the large setback from Greenwood, and additional landscape plantings.
10	D10	SMC 23.47A.008B3a	NON-RESIDENTIAL USES: DEPTHS	Nonresidential uses shall extend an average of 30' and 15' minimum in depth from the street-level street-facing façade.	North building SE corner retail: average depth of 29'-10" for areas with 13' floor to floor height. Overall depth is 35'. North building, Center retail spaces along Greenwood: average depth of 28'-3" for areas with 13' floor to floor height. Overall depth is 38'-0". 103rd Livework units with lofts spaces: 19' flr to flr ht. for 9' depth (in one case 13' depth) at streetside. Under loft areas are 9'-6" flr to flr ht. Overall depth is 28'-6". 103rd Livework units without lofts: overall depth of 28'-6" with 13' floor to floor height throughout.	North building, SE corner retail: a raised platform at the rear of the space accomodates a required egress corridor at the level below. Raised area is 11' deep, 13'-2" wide and has a 9'-6" floor to floor height. North building, Center retail spaces: raised platforms at the rear of the spaces accomodates a required egress corridor at the level below. Raised areas are 9'-9' deep, full width of the space and have a 9'-6" floor to floor height. Livework units with lofts: loft level utilized for residential uses, allowing more space at the ground level for business use. Floor to floor dimensions averaging 12'-6" are proposed while clear height varies from 8'2 to 17' ceilings. In all cases, the retail and livework spaces are destinguished with 18" inset facades to add modulation interest to the street-level pedestrian experience. This 18" inset is in addition to the overall depths listed. At livework units, 4' deep outdoor areas between facade and sidewalk are provided as well, creating an overall apparent livework depth of 34'.
11	D11	SMC 23.47A.008B3b	NON-RESIDENTIAL USES: FLOOR-TO-FLOOR HEIGHTS	Nonresidential uses at street-level shall have a floor to floor height of at least 13' feet	North building, NE corner retail: portion of its width (14'-6") is 9'-6" floor to floor height. Overall width is 41'-9".	North building, NE corner retail has lowered ceilings due to floor plate step. A 27'-3" width (a majority of the 41'-9" overall width) is 19'-0" floor to floor heights, making corner retail viable and encouraging lowered ceiling areas for back-of-house uses.
12	D12	SMC 23.47A.008E	EXTENTS OF COMMERCIAL USES AT LIVework UNITS	Portions of live-work units in which business is conducted must be located between the principal street and the residential portion of the unit.	Project proposes three livework units with all of commercial uses at street side but with residential use at streetside as well. Width of units is 25' with 50% residential and 50% commercial street side use.	Livework units along 103rd balance commercial and residential uses along the street where units are double typical unit width creating a desirable larger livework unit overall. Residential uses do not occur between commercial use and the street.

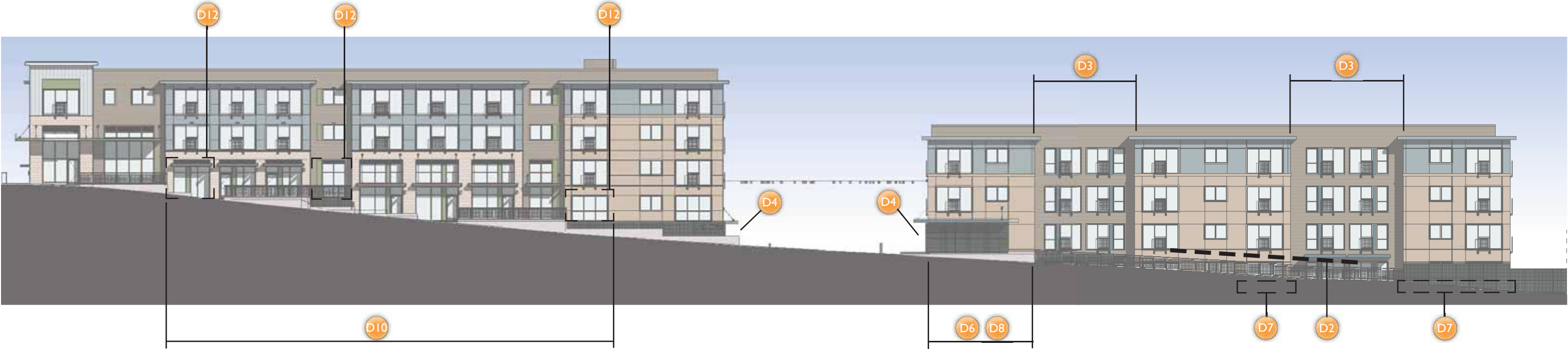


DEPARTURE REQUESTS - LOCATION ELEVATIONS

- D1 STREET-LEVEL RESIDENTIAL USES
- D2 BLANK FACADE LENGTH & WIDTH
- D3 STREET-LEVEL STREET-FACING FACADE - DISTANCE TO PROPERTY LINE
- D4 STREET-LEVEL STREET-FACING FACADE - RESIDENTIAL ENTRY
- D5 SITE ACCESS
- D6 TRANSPARENCY AT UTILITY USES
- D7 FINISH FLOOR ELEVATION AND SETBACK
- D8 LOCATION OF UTILITY USES
- D9 SEPARATION OF STREET-LEVEL PARKING FROM STREET-FACING FACADE
- D10 NON-RESIDENTIAL USES: DEPTH
- D11 NON-RESIDENTIAL USES: FLOOR-TO-FLOOR HEIGHTS
- D12 EXTENTS OF RESIDENTIAL USES AT LIVE-WORK UNITS



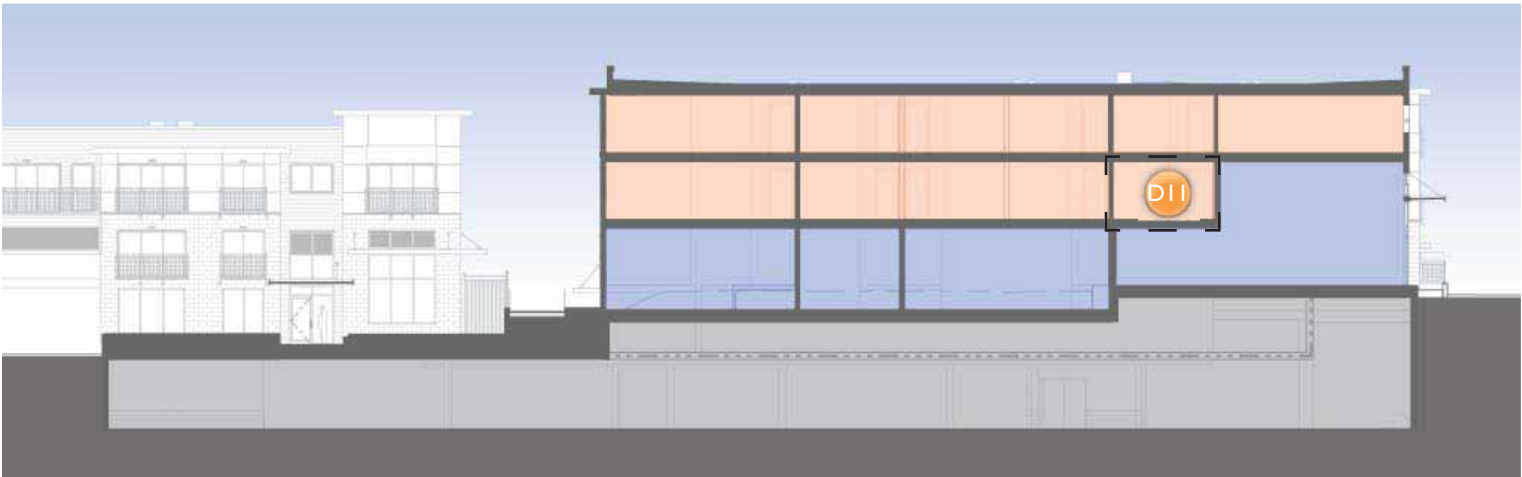
COMPREHENSIVE EAST ELEVATION (GREENWOOD)



COMPREHENSIVE NORTH ELEVATION (103RD)



SECTION H (LOOKING WEST)



SECTION G (LOOKING WEST)



SECTION J (LOOKING WEST)



SECTION B (LOOKING NORTH)





LANDSCAPE PLAN - WEST DETAIL



LANDSCAPE PLAN - EAST DETAIL



