

# Pinehurst Way NE Mixed Use Building Early Design Guidance



**OWNER:** .  
11714 PINEHURST LLC- RICHARD STRAND  
P.O. BOX 27107  
SEATTLE, WA 98125

**PROJECT:**  
11714 PINEHURST WAY NE  
SEATTLE, WA 98125

**ARCHITECT:** NOVION GROUP INC.  
7806 Lake City Way NE  
Seattle, WA 98115  
[rod@noviongroup.com](mailto:rod@noviongroup.com) (206.361.6133)



Application for Early Design Guidance  
Attachment A

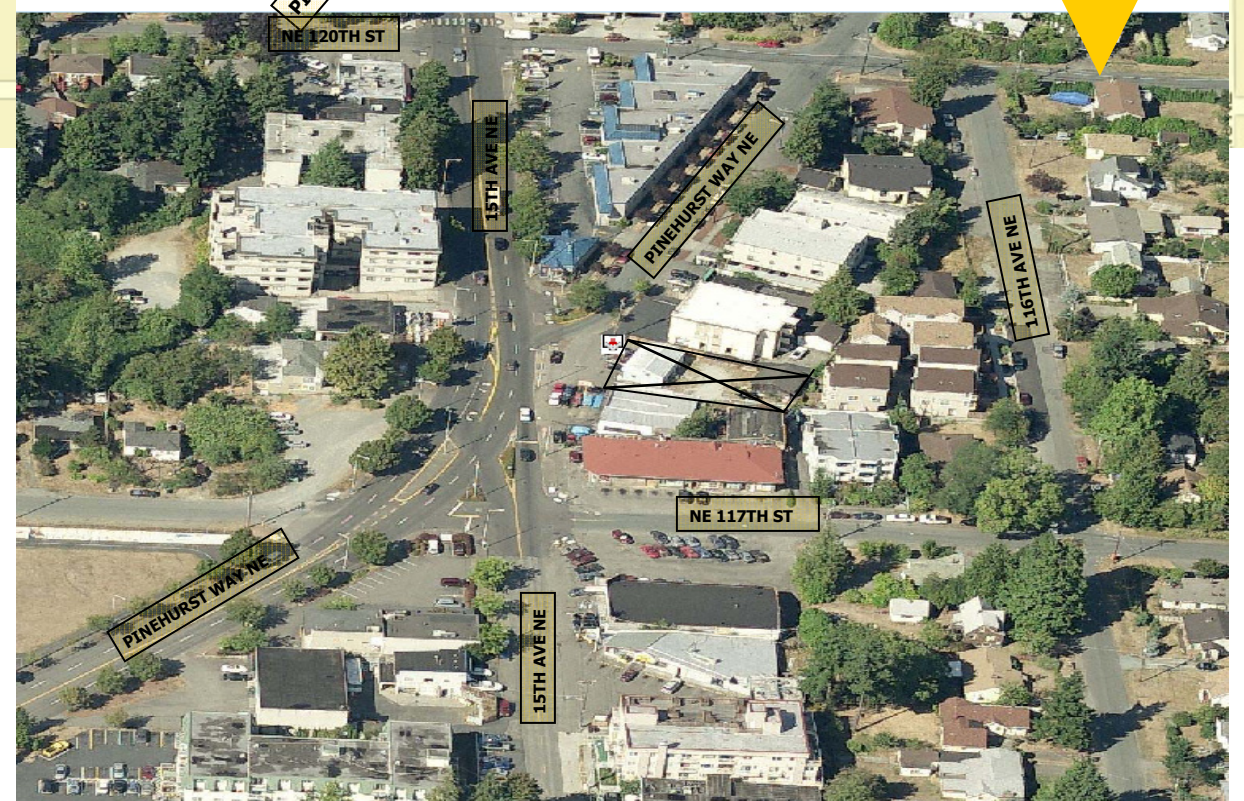
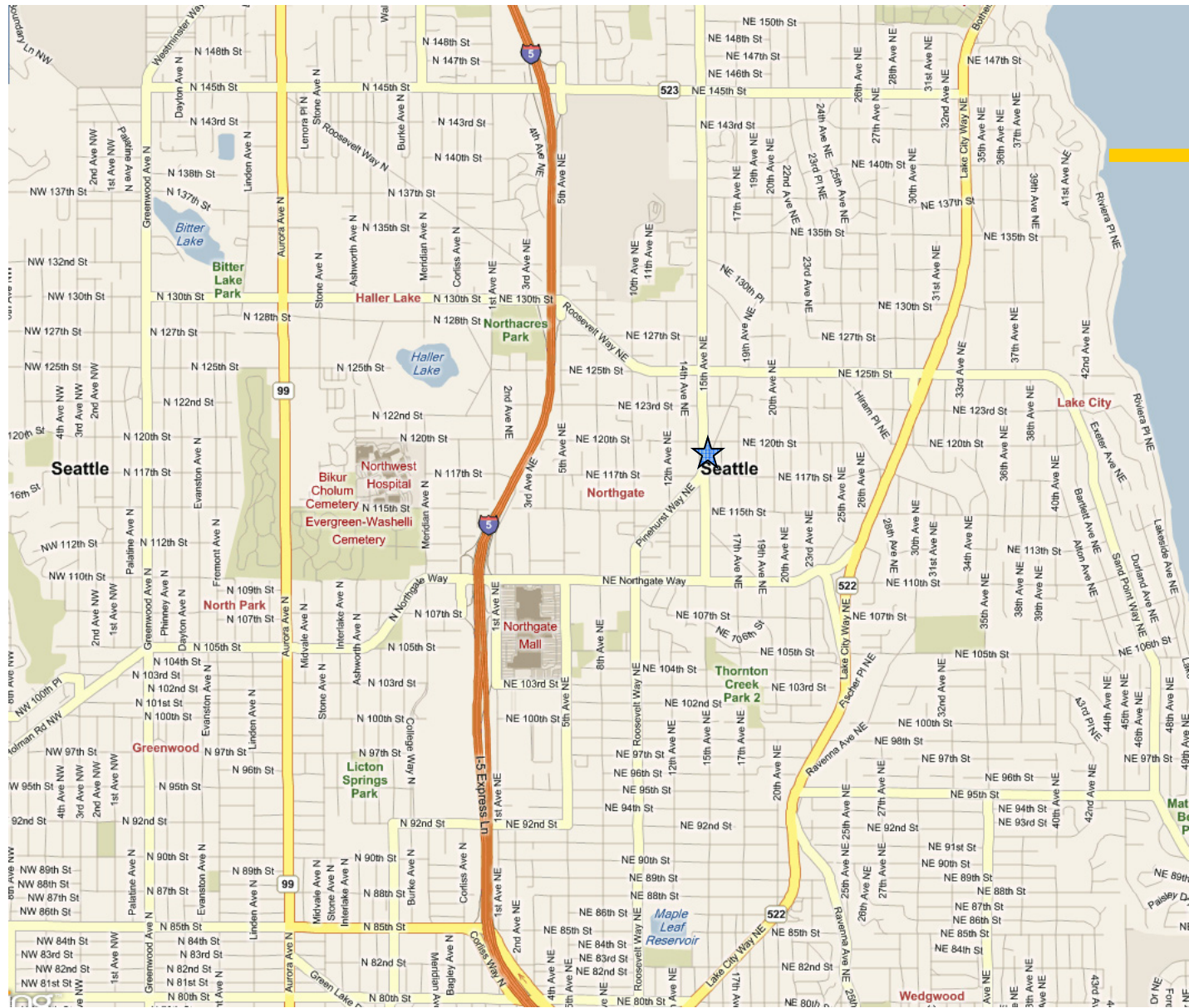
PART I: CONTACT INFO

1. Property Address: 11714 Pinehurst Way NE
2. Project number: 3012001
4. Owner/Lessee: 11714 Pinehurst LLC.  
Richard Strand  
P.O. Box 27107  
Seattle, WA 98125
5. Contact Person Name: Novion Group Inc.  
Andrew Novion  
  
206.361.6133  
Andrew@noviongroup.com
6. Applicant's Name: Rod Novion  
Relationship to Project: Architect
7. Design Professional's Name:  
Rod Novion architect  
Novion Group Inc  
7806 Lake City Way NE  
Seattle, WA 98115  
206.361.6133  
rod@noviongroup.com
8. Applicant's Signature \_\_\_\_\_  
Date

PART II: SITE AND DEVELOPMENT INFO

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.  
The site is located in North East Seattle, within the Northgate Overlay District, in the Pinehurst Neighborhood.  
The site fronts on both 15th Ave NE & Pinehurst Way NE at the 11714 address.  
The site rises in elevation from the street (sidewalks) approximately 1 foot and is relatively level.  
The site's present use is vacant commercial. The space has housed commercial uses (retail) with onsite parking.  
The site is slightly irregular in form, the South lot line is angled with the rear lot line being narrower than the front lot line.
2. Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood-Specific Guidelines.  
The site is zoned NC2-40 and is in within the Northgate Overlay District.  
The project will be governed by the Seattle Municipal Code and the Design Review Guidelines for the city at large and Northgate Overlay Guidelines.
3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.  
ZONING: The site sits in a commercial zoned lot fronting Pinehurst Way NE & 15th Ave NE.  
EAST: Abuts to LR 2 Zone with townhouse style residential uses and then SF 7200 across 16th Ave NE with single family uses.  
WEST: L3-RC zone directly across 15th Ave. NE & then SF 7200 West of this.  
NORTH: Commercial to the North along Pinehurst Way transitioning to LR-2 mid block (eastern side)& SF 7200 North of NE 120th.  
SOUTH: NC2 40 zoning along the eastern side of 15th Ave NE continuing across NE 116th Street and ending at NE 115th Street.  
USES: The subject property is/has been used for commercial use. To the South, the land uses are commercial. and to the North uses are- an apartment building (multi family) adjacent property, and a small mixed use commercial/residential structure north of that. Approximately mid block (east side) where the zoning transitions to residential  
LR 2 zone, the uses become multifamily apartments to NE 120th. Across Pinehurst Way N.E. to the northwest and between Pinehurst Way NE and 15th Ave. N.E. is the Atrium Square commercial development (commercial use) and zoned NC2-40. Along the West side of 15th Avenue NE the parcels are zoned LRC 3, Residential Commercial and represent a mix commercial uses and residential multi-family structures. The parcels behind the site to the east are zoned LR2 and are presently developed with townhouse style-family structures. Across 16th Ave. N.E. from the L-2 zoned lots, the zoning changes to Single-Family 7200 and the uses are residential single family.  
There exists no cohesive architectural type among the multitude of commercial and residential structures in the immediate neighborhood.  
Siting of existing structures also is varied. Structures to the North along the East side of Pinehurst provide front setbacks.
4. Please describe the applicant's development objectives, indicating types of desired uses, structure height (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also include potential requests for departure from development standards.  
The development objectives is to develop a mixed use building with commercial on the ground floor and rental housing units above in a thoughtful way towards the overall building, the habitants, the site and neighborhood and the owner.  
The proposal is to construct a four (4) story mixed-use building in a Neighborhood Commercial 2 zone with a forty (40) foot height limit that is within the Northgate Overlay District (NC 2-40, NG). The structure will house three (3) levels of twelve residential units on floors two through four. The first floor will contain the residential lobby, approximately 1,400 square feet of commercial retail space and garage parking behind the commercial area for approximately 14 stalls.  
The proposed vehicular and pedestrian access will occur from Pinehurst Way Northeast/15th Avenue NE. The parcel is approximately 7,709 square feet in area and is located on the east side of Pinehurst Way N.E. at the point where it crosses 15th Avenue N.E. The existing single-story commercial structure on the site will be demolished.  
Potential departure include a reduction of open space requirements as required in the Northgate Overlay District and building width requirements for the building portions that are within 50' of the rear lot line and 30' and above in height. These departures are discussed further later in the package.





## Site Description

The site is located in North East Seattle, Pinehurst Neighborhood, Northgate Overlay District.

The site sits in a commercial zoned lot fronting Pinehurst Way NE & 15th Ave NE.

EAST: Abuts to LR 2 Zone with townhouse style residential uses and then SF 7200 across 16th Ave NE with single family uses.

WEST: L3-RC zone directly across 15th Ave. NE & then SF 7200 West of this.

NORTH: Commercial to the North along Pinehurst Way transitioning to LR-2 mid block (eastern side) & SF 7200 North of NE 120th.

SOUTH: NC2 40 zoning along the eastern side of 15th Ave NE continuing across NE 116th Street and ending at NE 115th Street.

Site is close to amenities— buses run on Pinehurst Way NE and 15th Ave NE . Shopping, restaurants, schools and places of worship are in the vicinity.

The corner lots on NE 117th Street, 15th Avenue NE and Pinehurst way NE have been identified as a gateway corner.

15th Avenue NE has been designated as a special landscaped arterial.

OWNER-11714 PINEHURST LLC.

PROJECT

architect-Novion Group Inc

11714 Pinehurst Way NE













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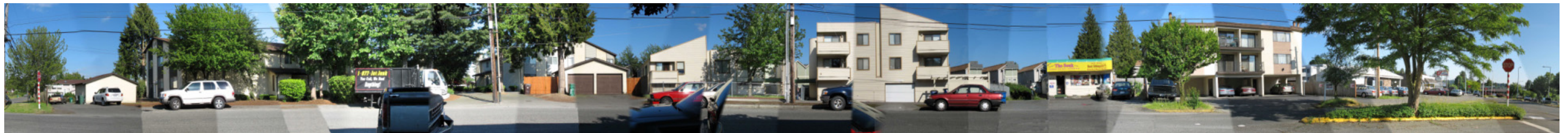
11714 Pinehurst Way NE





SUBJECT PROPERTY

## PINEHURST WAY



SUBJECT PROPERTY

## PINEHURST WAY- FRONTAGE

OWNER-11714 PINEHURST LLC.

PROJECT

architect-Novion Group Inc

11714 Pinehurst Way NE





15TH AVE NE - WEST FRONTAGE

OWNER-11714 PINEHURST LLC.

PROJECT

architect-Novion Group Inc

11714 Pinehurst Way NE



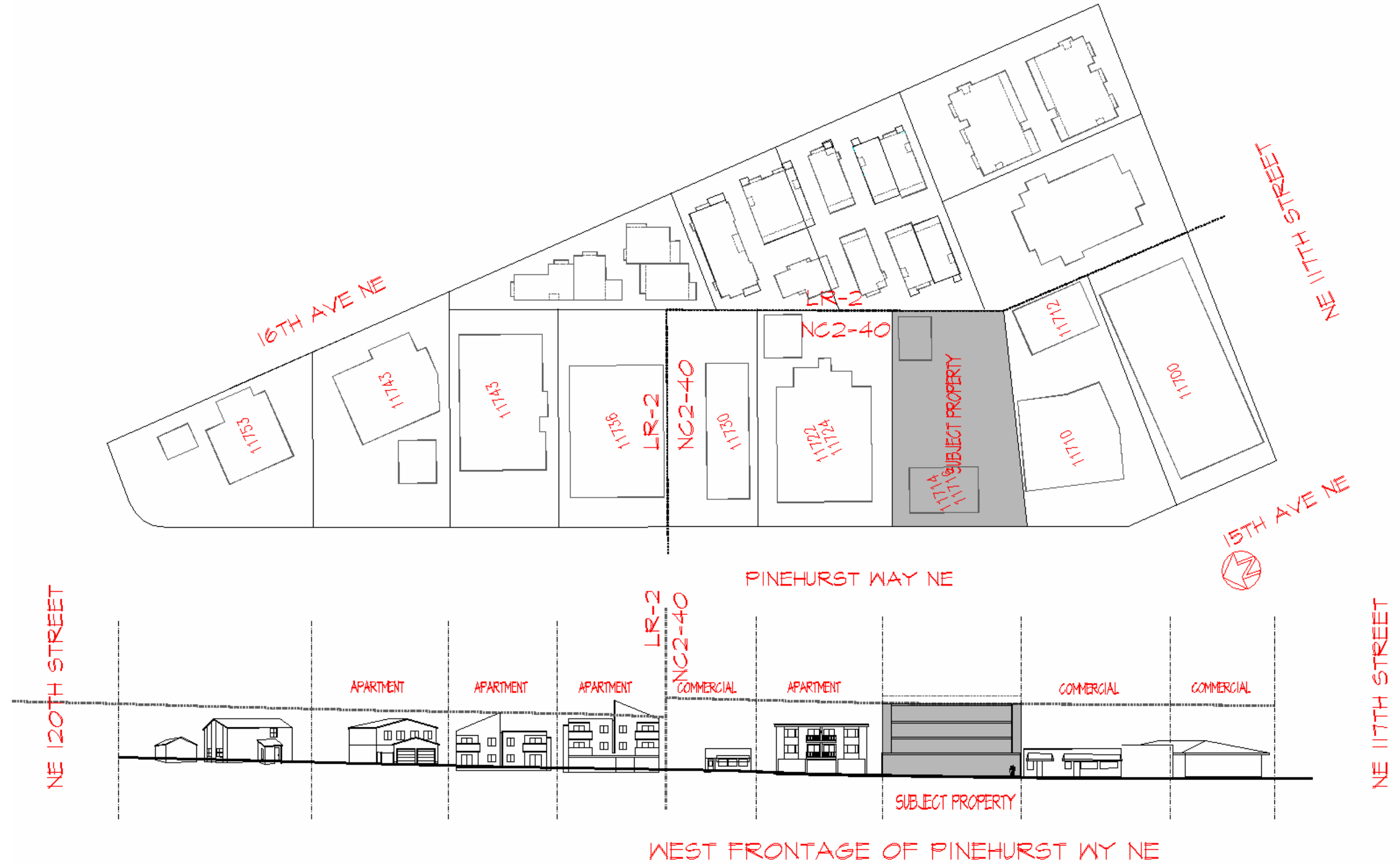


**15TH AVE NE-WEST FRONTAGE**



**15TH AVE NE-WEST FRONTAGE-PAN TO NORTH**





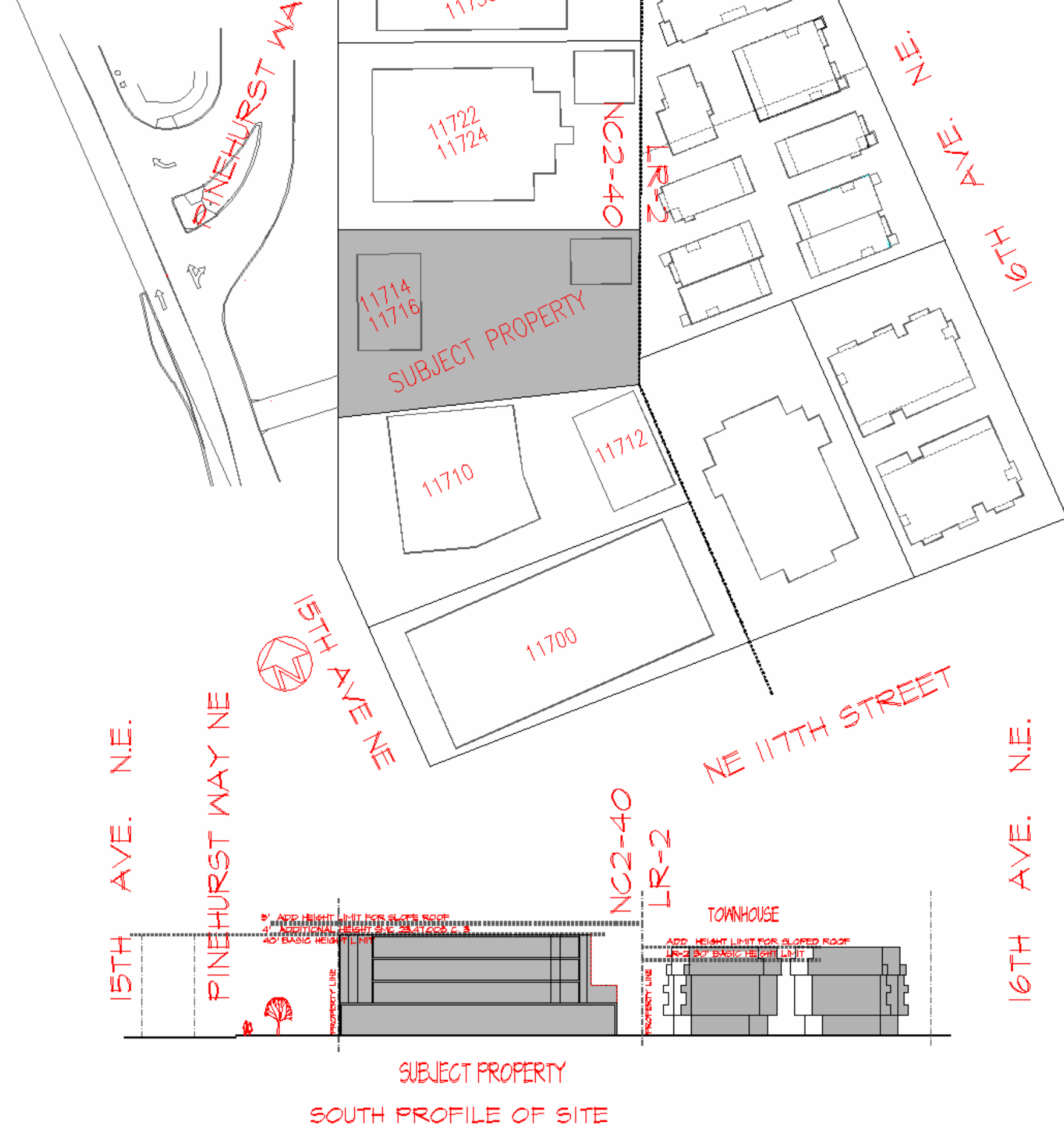
### Massing Study

Depicted above are massing layouts based on existing neighboring structures and possible massing concept for the site following development standards. The actual designed footprints will probably be smaller due to the complete site and area analysis. The maximum base height observed is 40' from existing or finished grade (whichever is lower). Design and development will consider the needs of the client, the site, the adjacent properties and tempered by the input of the Design Review Process and DPD shall result in a reasonable structure within these boundaries.



### Cross Section/Massing Study

This graphic is a massing layout based on existing neighboring structures and possible massing concept for the site following development standards. The actual designed footprints will probably be smaller due to the complete site and area analysis. The maximum base height observed is 40' from existing or finished grade (whichever is lower). Design and development will consider the needs of the client, the site, the adjacent properties and tempered by the input of the Design Review Process and DPD shall result in a reasonable structure within these boundaries.





## Zoning Code Summary

SMC23.47.004: Permitted and prohibited uses- Mixed Use Commercial/Residential Allowed

SMC23.47.005: Street level Uses.

SMC23.47.008 Street level development standards.

SMC23.71.040: B:Density. NC2-40 Northgate overlay— 1dwelling unit per 600sf of site.

lot area: 7,709 sf                  allow units:  $\frac{7709}{600}=12.8$  units

D:20% increase for mixed use       $12.8 \times 20\% = 2.56$       15 units

SMC23.47A.012:Structure height: 40' basic height limit, up to 4' additional height with conditions. Sloped roof- 5' additional. Qualifying roof top features allowed above height limit with conditions.

15' additional height for stair/elevator penthouse– with conditions.

SMC23.47.013: Floor Area Ratio.

Mixed Use Building– 40' Height limit      FAR 3.25 (3.25x7709=25,054sf)

SMC23.71.036: Width and depth. Northgate Overlay

Above 30' of height, wall length (within 50' of lot line) shall not exceed 80% of abutting lot line.

Potential departure request: Required:  $80\% \times 52.49' = 41.992'$

Proposed: 50' -

### SMC23.47.014: Setback Requirements

SMC23.71.030: NG Transition areas.

A. Front setback & Side Setback: None required.

B. Rear setback: From LR 2 zone—10' setback for the portion of structure up to 20' in height. 10' additional setback required for portions of structure exceeding 20' in height.

SMC23.47.024: Residential Amenity Areas.

Gross living area x 5%

SMC23.47.016: Landscape Requirements: Green Area factor. Landscaping that achieves a green factor of 0.3 or greater. SMC 23.86.019 Green Factor Measurement. Street trees are required.

SMC23.71.014: (Northgate Overlay): 10% of lot area.

7,709 sf x 10%=771 sf. 1/2 landscaped, 1/3 useable (public access) and the remainder either of the two aforementioned.

SMC23.54.015: Parking:

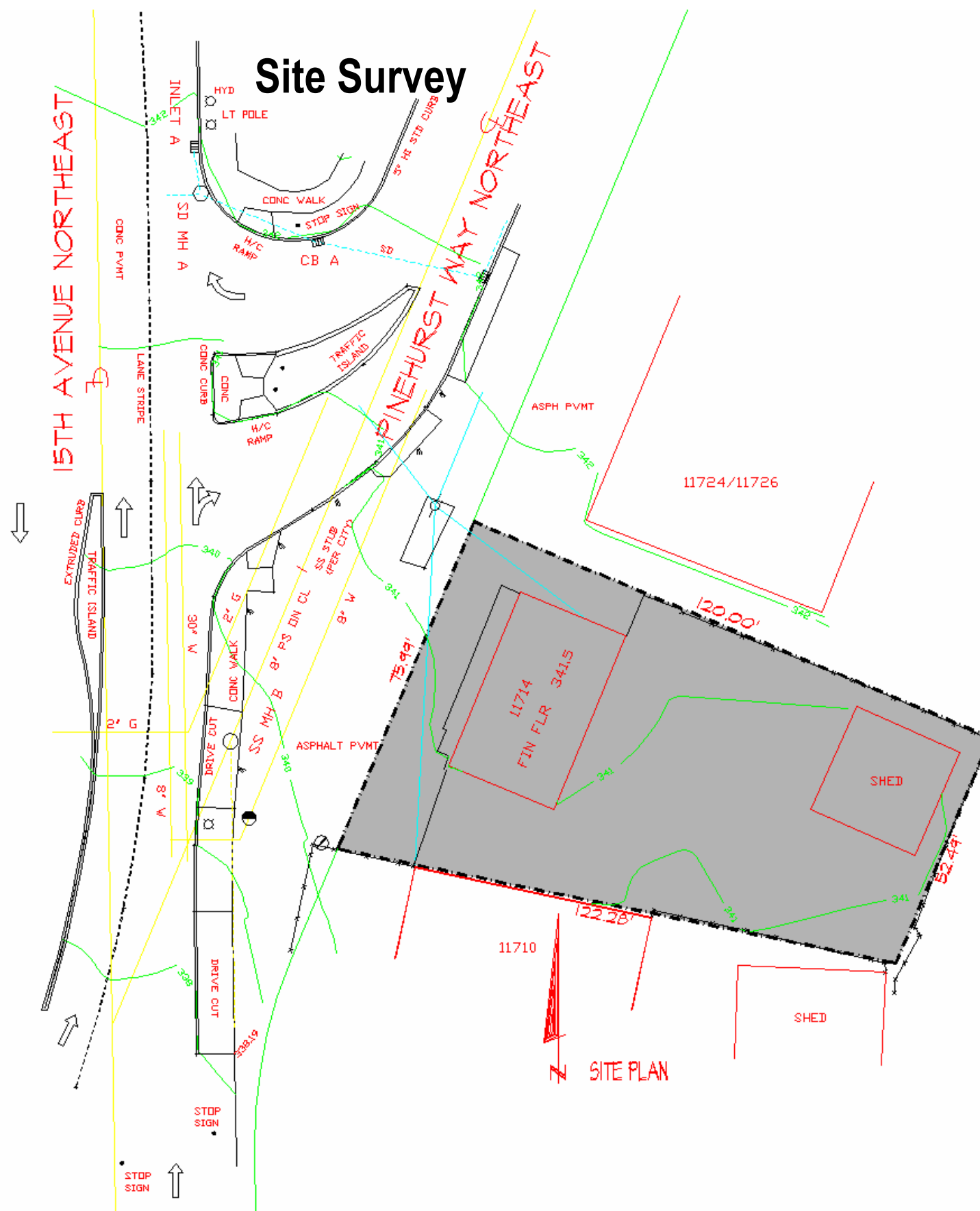
SMC23.71.016 Northgate Overlay Parking and Access requirements.

A. Residential Uses– 1 stall per unit

B. Commercial: none required per SMC23.54.015.D.2

C. Bicycle Requirements: Residential-1 per 4 units.  $12\text{units}/4=3$  spaces

SMC23.47.040: Solid Waste & Recyclable Storage Space Requirement: 191sf





DESIGN REVIEW GUIDELINES

A.. Site Planning

A-2 Streetscape compatibility.

The ground floor commercial will be inviting to the public. It will provide direct access from the sidewalk through a public space that will provide planters, landscaping, trees, benches, lighting.

A-3 Entrances Visible from the street.

The commercial entries will be visible, directly on the street. The residential entry will be distinct and visible. It will be identified from the commercial by location, form, paving.

A-4 Human Activity.

The location of the building at the street edge and the creation of the plaza will provide for social interaction. The commercial store front will provide a transparency to allow a connection between the inside and outside spaces.

A-5 Respect for adjacent Sites

This guideline applies mostly to the site(s) to the East. The zone changes from Commercial (NC2-40) to low rise residential. LR-2. In comparison between the two zones, the commercial zone potential development can have additional height (10 feet basic), reduced setbacks, increased FAR, increased density, etc. all potential leading to a much larger scale building.

In an attempt to soften the impacts the proposed structure will observe a larger setback from the residential zone at the residential levels, will modulate these walls, will locate primary windows and decks in an orientation away from these properties.

The back area at the ground floor will be heavily landscaped and second level terrace will provide planters and landscaping.

A-7 Residential Open Space

The landscaped court at street level can provide a usable, attractive open space.

All residential units will have access to private open spaces either decks or roof terrace.

Planters are proposed to enhance the open spaces.

A-8 Parking and Vehicle Access

Parking will be within the building behind the ground floor commercial. Access to the parking will be from the SW corner of the site. The driveway will be the minimum width required and shall be separated from the commercial/residential court with planters. The location of the driveway is dictated by the conditions present. A north driveway would place at a difficult angle, reduced visibility and would place all exiting traffic on Pinehurst Way northbound. The garage door shall be the minimum width required and shall be placed at a slight angle away from the commercial.

DESIGN REVIEW GUIDELINES

B. Height Bulk and Scale

B-1 Height Bulk and Scale Compatibility

The proposed structure shall be well modulated horizontal and vertically. The ground floor will be to the property lines on three sides and will observe a setback from the rear residential zone. The floors above will step back from the property lines for modulation and light purposes. The upper residential massing will be towards the street away from the zone edge.

C. Architectural Elements and Materials

C-1 Architectural Context

Existing context is not well defined. This will be a highly visible building especially from the Southwesterly approach on Pinehurst way NE. This building potentially could be the ending of the commercial block to the south as these sites redevelop. While the property to the North is in the same commercial zone it presently has a substantial enough building to making a redevelopment unlikely for a while.

The ground floor commercial will have a detailed storefront, overhead canopy providing transparency to the pedestrian court area. The above ground floors will setback providing horizontal modulation that breaks up overall massing. Stepping back of the south façade allows for South facing openings desirable for passive solar.

C-2 Architectural Concept and Consistency

The ground floor will be larger than the above ground floor creating a firm base. The upper floors will step back reducing massing and creating usable open spaces with landscaping visible from the street. These upper levels are residential in use and will be modulated further, will have residential scale openings, decks at strategic locations

C-4 Exterior Finish Materials

Proposed materials consider durability, maintenance and flexibility.

Ground floor perimeter will be a blended CMU (block). Variation in sizes, textures, colors.

Commercial awning shall be metal. The residential levels will have two primary materials, Hardie board and panel. Railings will be metal.

C-5 Structured Parking Entrance

Even though the street form dictates the location of the garage entrance, it's appearance will be minimized.

The entrance/door will be recessed under the building, the opening size will be kept at a minimum and the opening wall is slightly angled away from the commercial front. The driveway will be separated from the plaza area with the use of planters/landscaping.

D. Pedestrian Elements

D-1 Pedestrian Open Spaces and Entrances

The street configuration creates an area ideal for an open space that is useful for both the public and the residents.

The residential entrance will have it's primary connection to the side walk is direct but will also connect to the plaza.

The commercial entrance is at the plaza.

D-2 Blank Walls

Blank walls are avoided in all the residential levels. The ground floor will have blank walls at or near the property lines at the north and south sides. These walls will be softened with material patterns, indentations.

D-5 Visual Impacts of Parking Structures

Parking is within the building and enclosed from views. The eastern wall will have an opening that will be provided with a metal screen. A landscaped area to the eastern property line will obscure this wall.

D-6 Screening of Dumpsters, Utilities and Service Areas

Dumpsters and recycling will be located within the garage structure.

D-7 Personal Safety and Security.

Lighting will be provided in the exterior areas at the street, the plaza area and the commercial/ street face.

Windows are proposed to the street at all floors.

E. Landscaping

E-2 Landscaping to Enhance the Building and/or Site

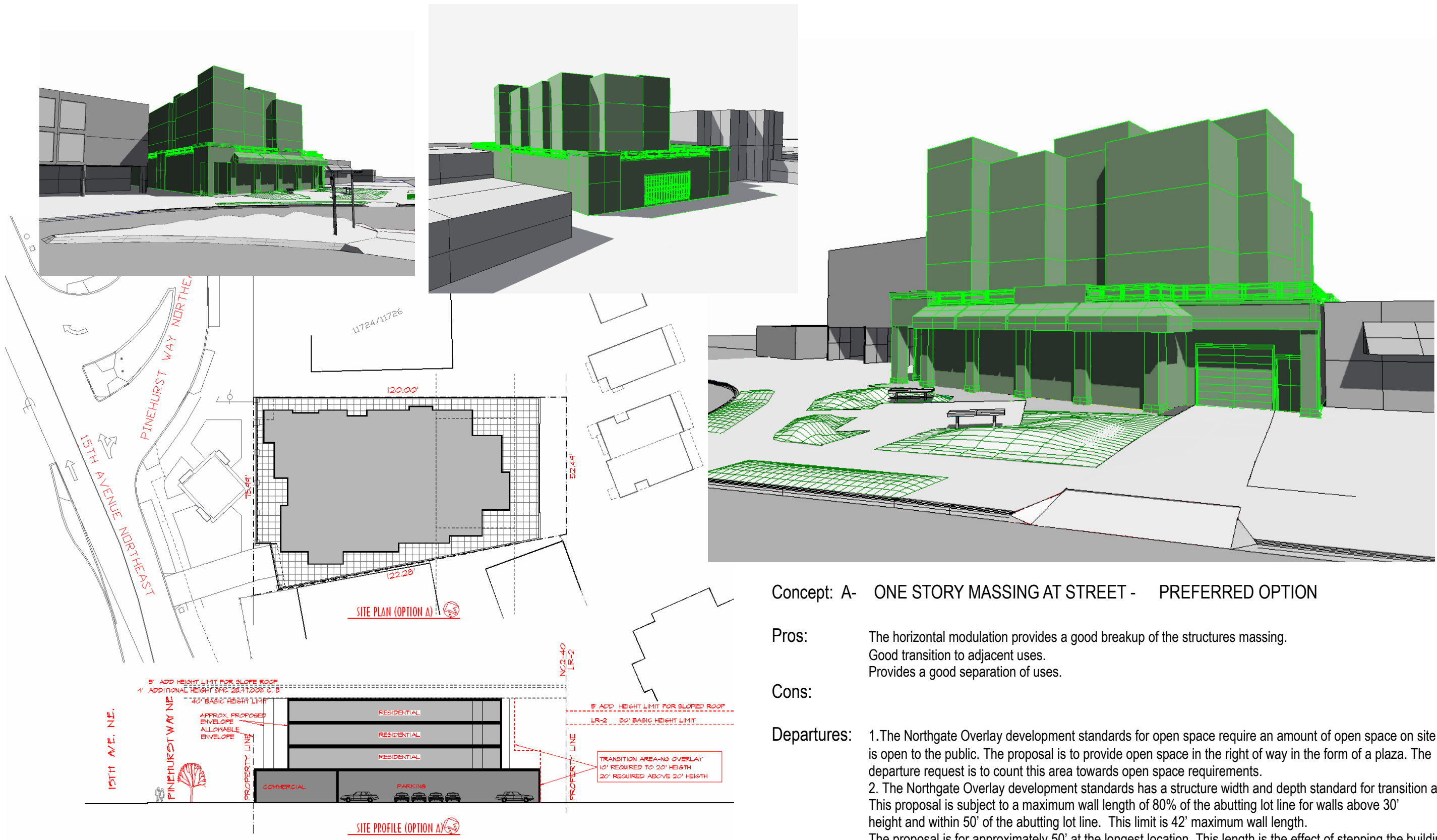
The space in front of the structure will provide a plaza that will contain landscaping planters, sitting and special paving.

The second level terrace will have planters/landscaping that will be visible from the ground floor. The back yard will be landscaped for privacy and visual.

E-3 Landscape Design to Address Special Site Conditions

The existing form of the street creates a good opportunity to creating a plaza that will enhance the street and the building.





## Design Option A -

OWNER-11714 PINEHURST LLC.

PROJECT

architect-Novion Group Inc

11714 Pinehurst Way NE

Concept: A- ONE STORY MASSING AT STREET - PREFERRED OPTION

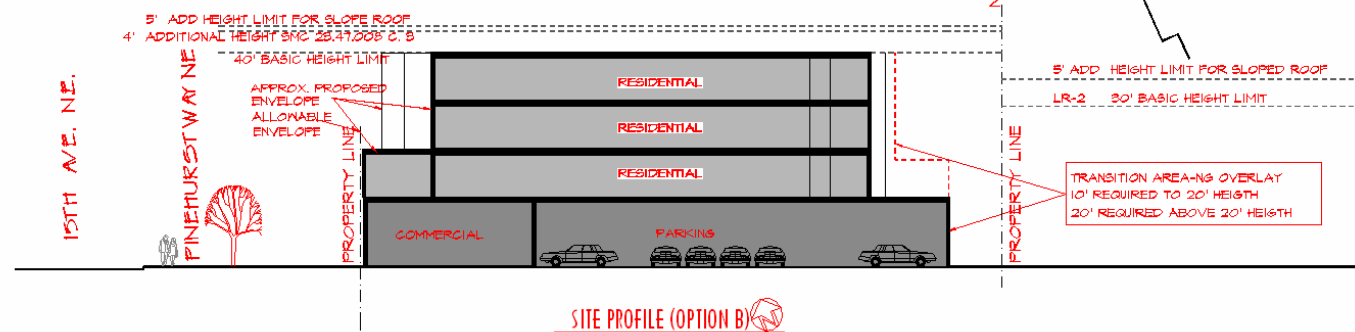
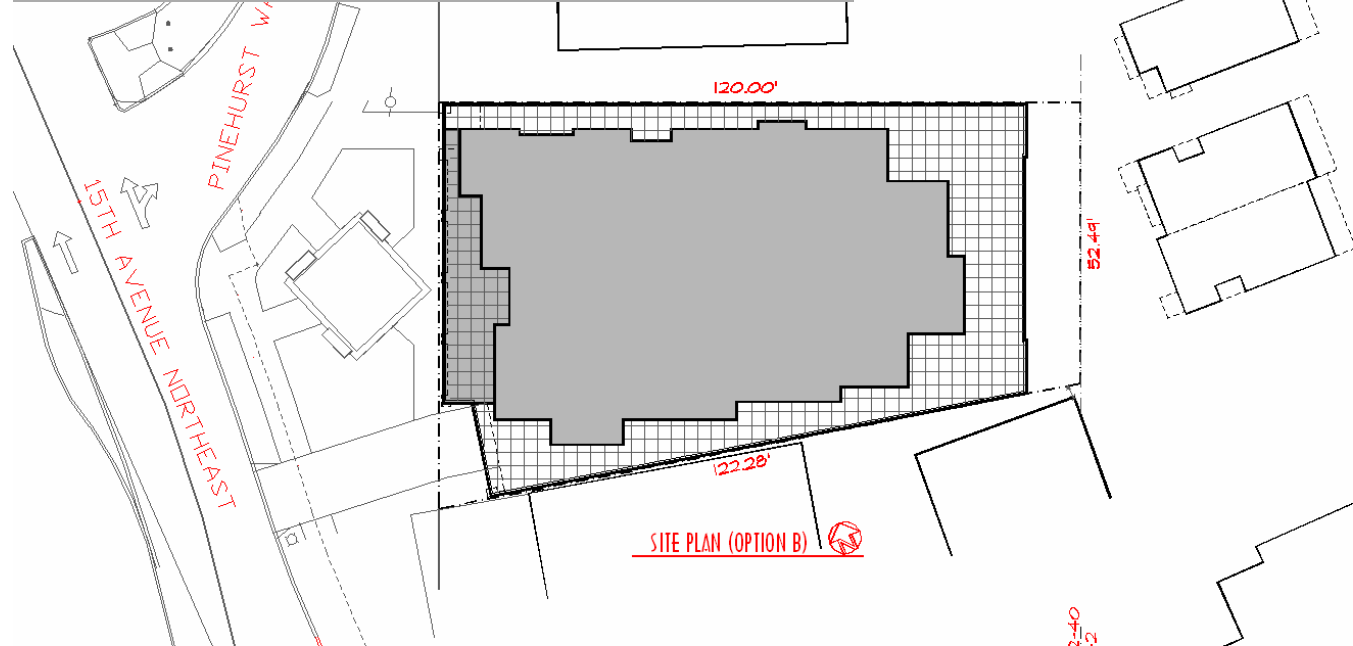
**Pros:** The horizontal modulation provides a good breakup of the structures massing.  
Good transition to adjacent uses.  
Provides a good separation of uses.

**Cons:**

**Departures:**

1. The Northgate Overlay development standards for open space require an amount of open space on site that is open to the public. The proposal is to provide open space in the right of way in the form of a plaza. The departure request is to count this area towards open space requirements.
2. The Northgate Overlay development standards has a structure width and depth standard for transition areas. This proposal is subject to a maximum wall length of 80% of the abutting lot line for walls above 30' height and within 50' of the abutting lot line. This limit is 42' maximum wall length. The proposal is for approximately 50' at the longest location. This length is the effect of stepping the building back from the abutting lot line and modulating these walls. The wall length proposed is not a single wall, it is composed of several walls.





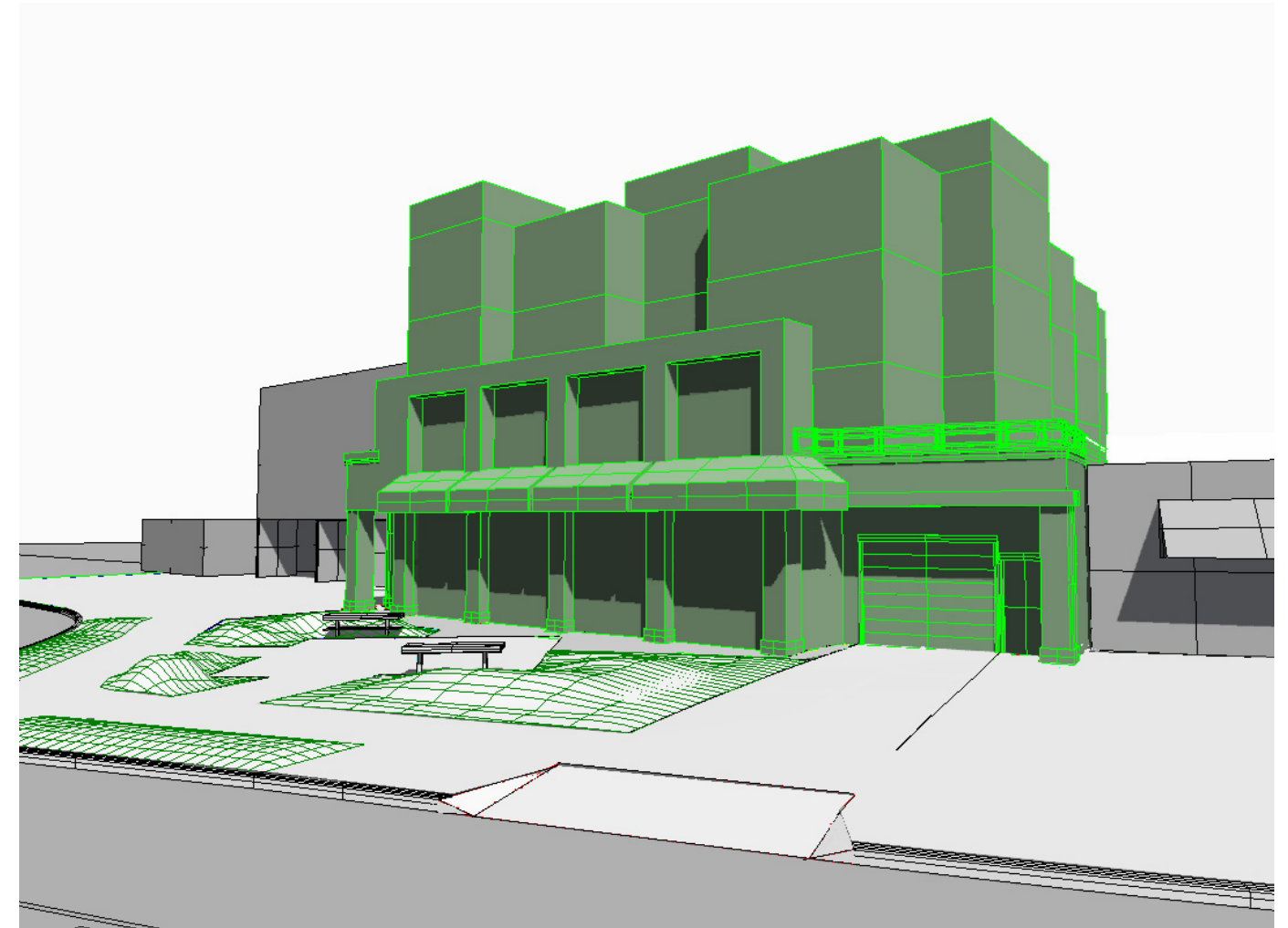
## Design Option B

OWNER-11714 PINEHURST LLC.

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11714 Pinehurst Way NE



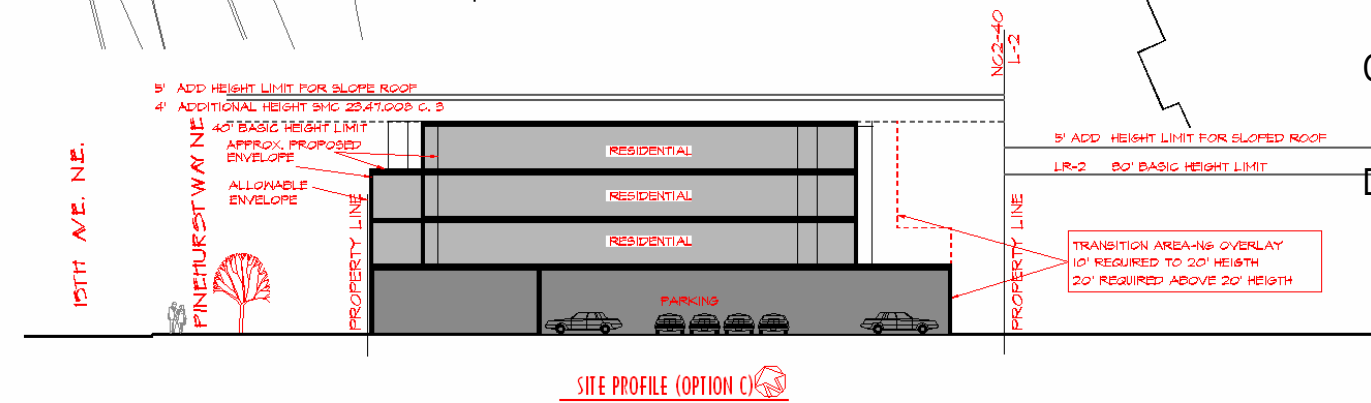
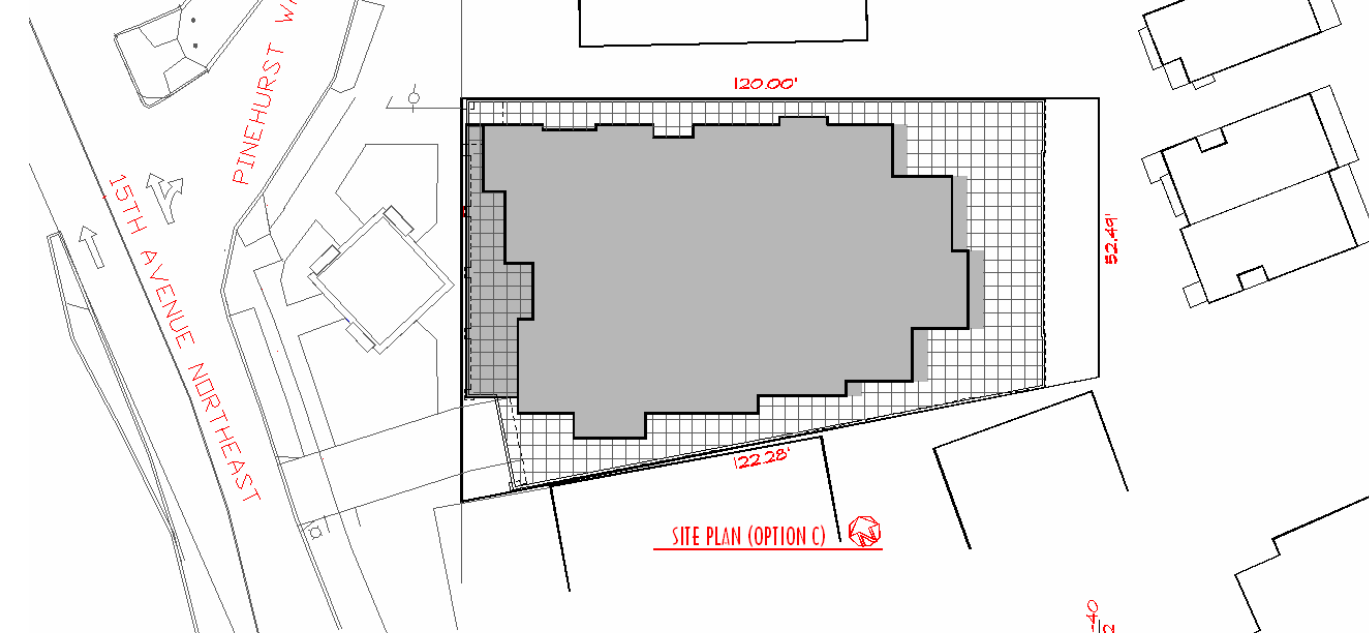
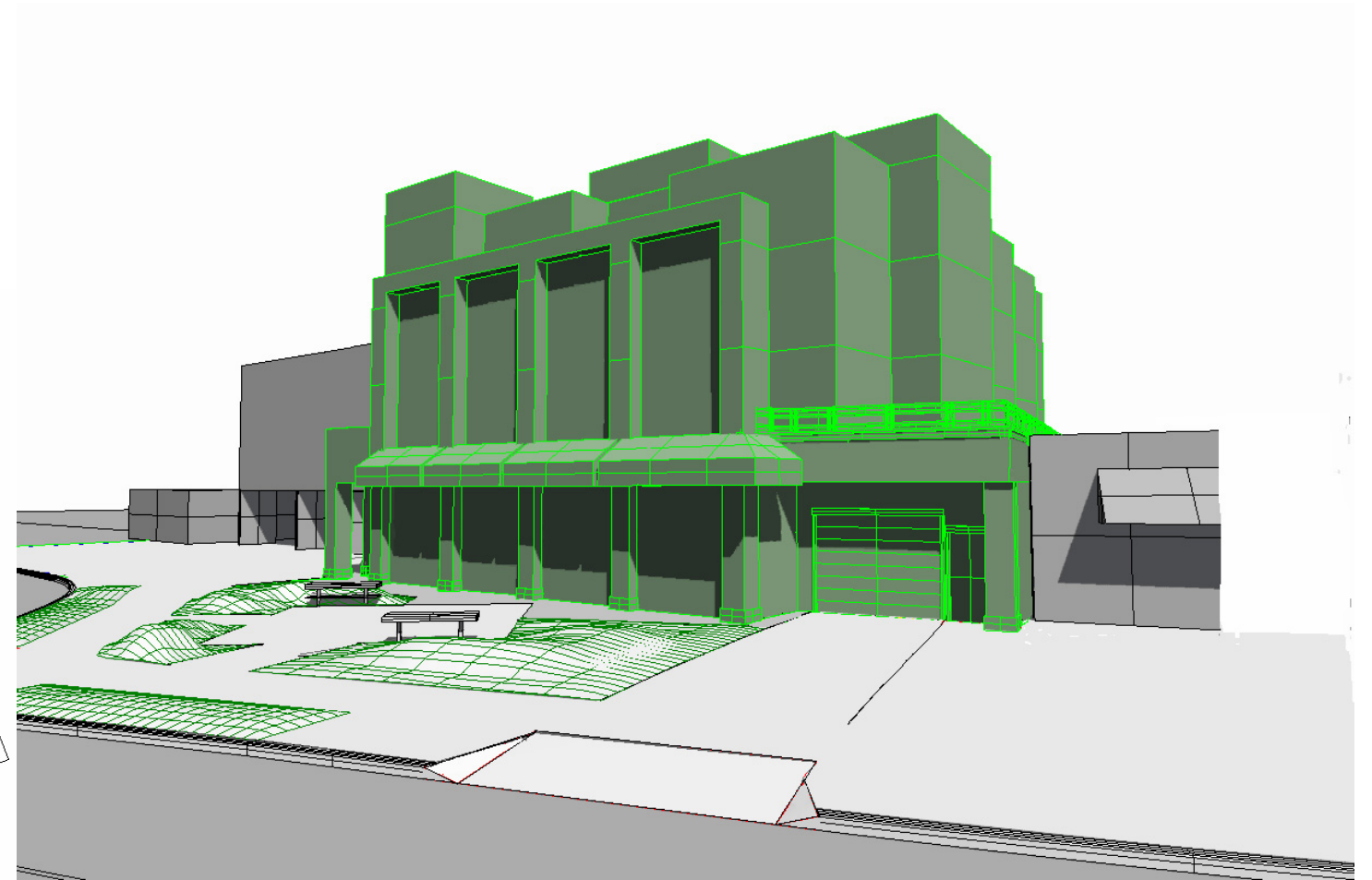
Concept: . B- TWO STORY MASSING AT STREET

Pros: Similar concept as A. Massing at street increased to two stories.  
Interesting façade breakup.

Cons: Increased massing

Departures: 1. The Northgate Overlay development standards for open space require an amount of open space on site that is open to the public. The proposal is to provide open space in the right of way in the form of a plaza. The departure request is to count this area towards open space requirements.  
2. The Northgate Overlay development standards has a structure width and depth standard for transition areas. This proposal is subject to a maximum wall length of 80% of the abutting lot line for walls above 30' height and within 50' of the abutting lot line. This limit is 42' maximum wall length.  
The proposal is for approximately 50' at the longest location. This length is the effect of stepping the building back from the abutting lot line and modulating these walls. The wall length proposed is not a single wall, it is composed of several walls.





Concept: C- THREE STORY MASSING AT STREET

Pros: Residential portions of the building can be separated further from the residential zone to the East.

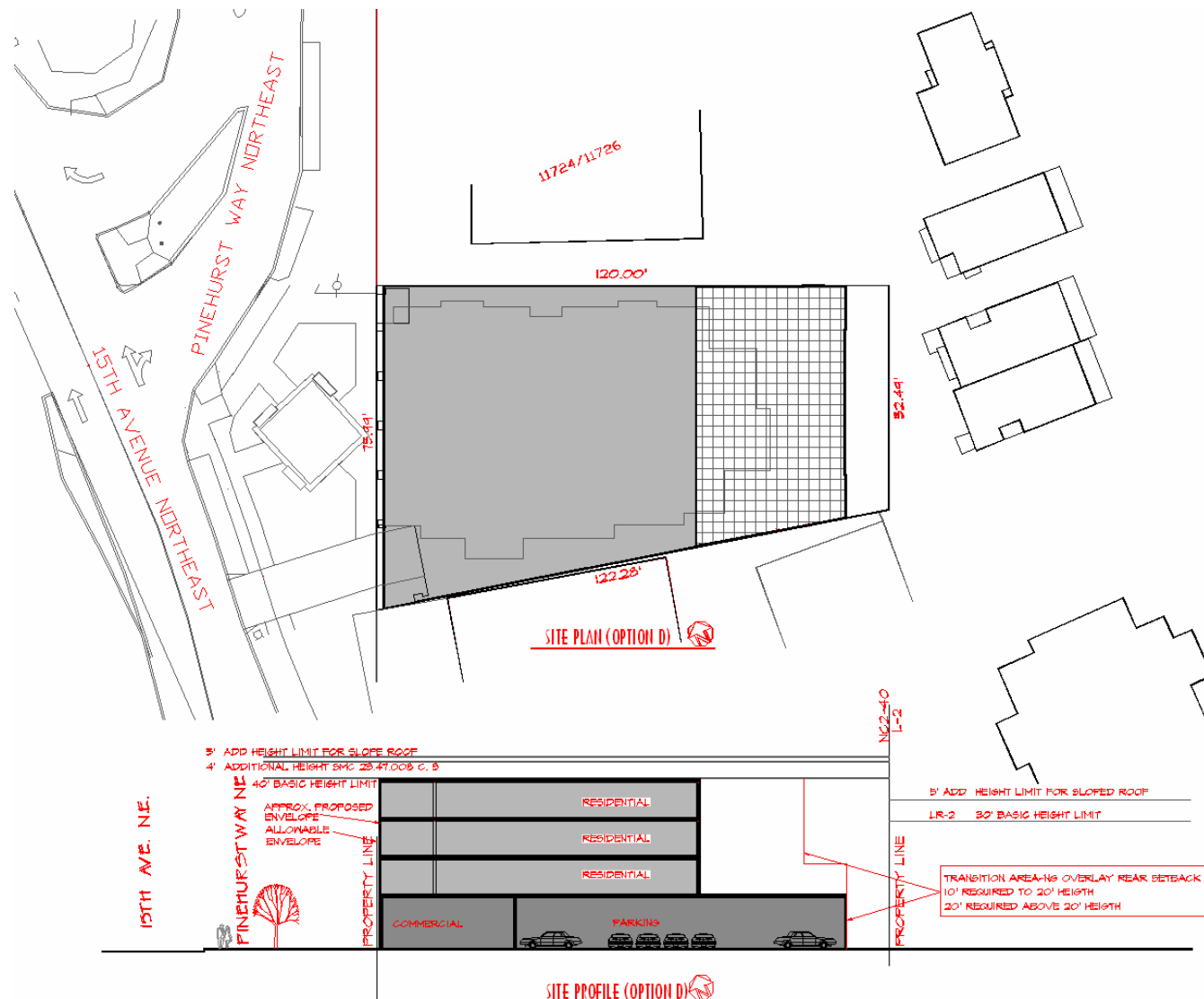
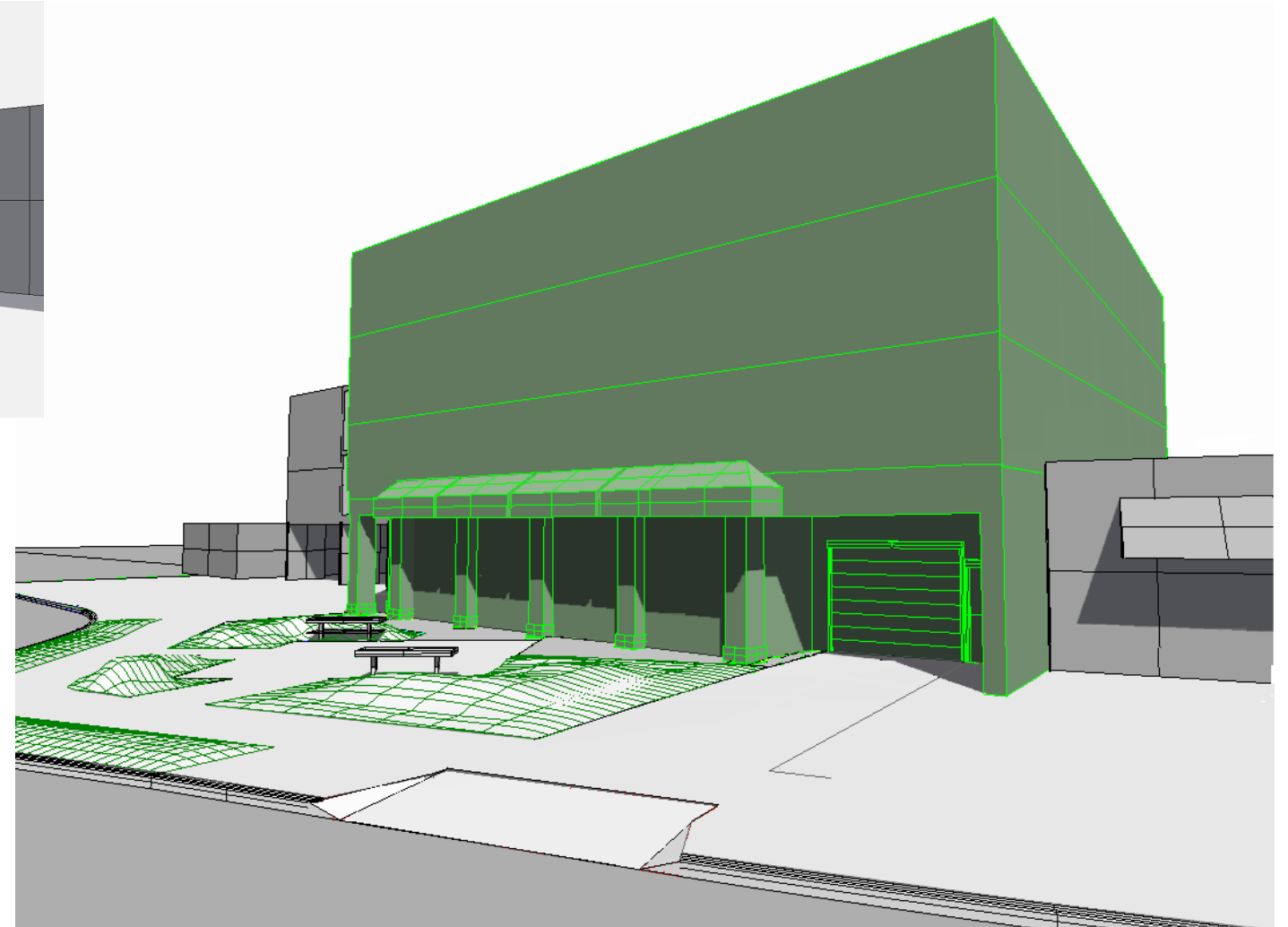
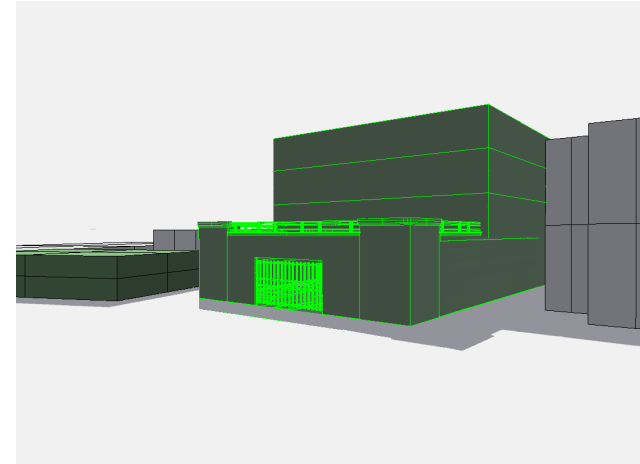
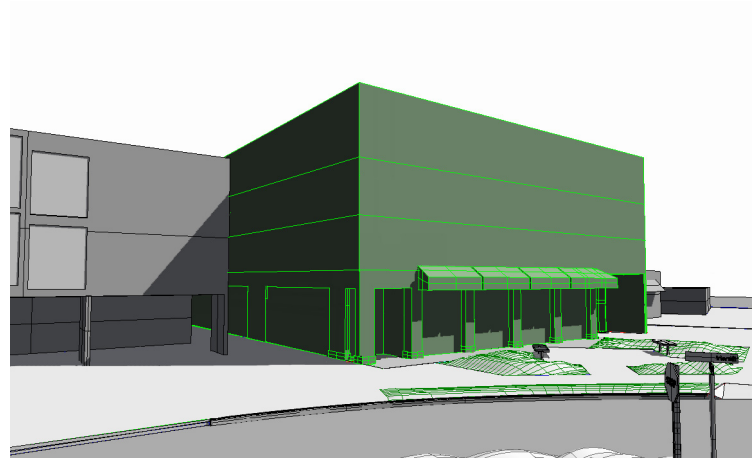
Cons: The building has less modulation-- increasing the mass at the street front.  
Reduced visibility of landscape from street. Reduced floor area at top floor.

Departures:

1. The Northgate Overlay development standards for open space require an amount of open space on site that is open to the public. The proposal is to provide open space in the right of way in the form of a plaza. The departure request is to count this area towards open space requirements.
2. The Northgate Overlay development standards has a structure width and depth standard for transition areas. This proposal is subject to a maximum wall length of 80% of the abutting lot line for walls above 30' height and within 50' of the abutting lot line. This limit is 42' maximum wall length. The proposal is for approximately 50' at the longest location. This length is the effect of stepping the building back from the abutting lot line and modulating these walls. The wall length proposed is not a single wall, it is composed of several walls.

## Design Option C -





Concept: D- CODE COMPLIANT

Pros: Building larger setback from the residential zone at the residential levels.  
Simplified building.  
Residential windows at street.

Cons: The building has less modulation– increasing the mass at the street front and sides.  
Blank walls created at side property lines forcing all openings to the front and rear of the structure.

Departures: 1.The Northgate Overlay development standards for open space require an amount of open space on site that is open to the public. The proposal is to provide open space in the right of way in the form of a plaza. The departure request is to count this area towards open space requirements.